



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: VANTAGE CONSTRUCTION
PROJECT NO.: 23-03
PROJECT LOCATION: SECTION 11, BLOCK 1, LOT 66.21/KINGS HILL ROAD
REVIEW DATE: 31 AUGUST 2023
MEETING DATE: 7 SEPTEMBER 2023
PROJECT REPRESENTATIVE: NOSEK ENGINEERING/ACES SURVEYING

1. The driveways have been combined with two lots off each driveway. The driveway serving proposed Lot #1 & #2 is located within the 50 foot strip providing access to the balance parcel. These driveways will then be off of any future potential roadway should one be developed.
2. Common Driveway Access Maintenance Agreements and appropriate easements must be filed. Easements should have a clause requiring the driveways to access off any future roadway into the parent parcel.
3. One significant tree is proposed to be removed for the subdivision. The majority of the site, 83.28 +/- acres will remain in its current state.
4. On the subdivision sheet the lots should be numbered. Only Lots #4 & 5 are numbered on Sheet 106.
5. Project requires coverage under the NYSDOT Stormwater SPDES for residential subdivisions 1-5 acres disturbance. An Erosion and Sediment Control Plan is provided. Permit coverage will also be required to be obtained prior to signing of the plans.
6. The project is located adjacent to the municipal boundary for the Town of Montgomery. Town of Montgomery will be included in any Public Hearing Notice mailings.
7. Highway Superintendent has reviewed the revised driveway locations and found them acceptable.
8. Orange County Planning 239 Referral was made on 21 June 2023.
9. This office would recommend a Negative Declaration under SEQRA for the proposed residential subdivision.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhempa@mhepc.com

10. A Public Hearing is required for this project.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines

Principal

PJH/kbw

NOSEK ENGINEERING

2245 ALBANY POST ROAD

WALDEN, NY 12586

(845) 926-7790

nosekengineering@hotmail.com

August 8, 2023

Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

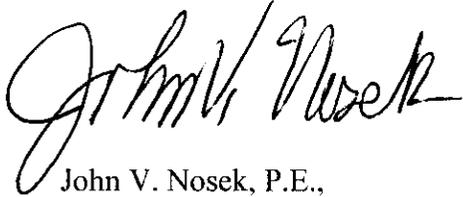
Re: Vantage Construction 4-Lot Subdivision
Kings Hill Road
Town of Newburgh, Orange County, N.Y.

Dear Mr. Ewasutyn,

Pursuant to the technical review comments from MHE, Town Engineer dated June 9, 2023, attached please find revised plans to depict the following changes per their review:

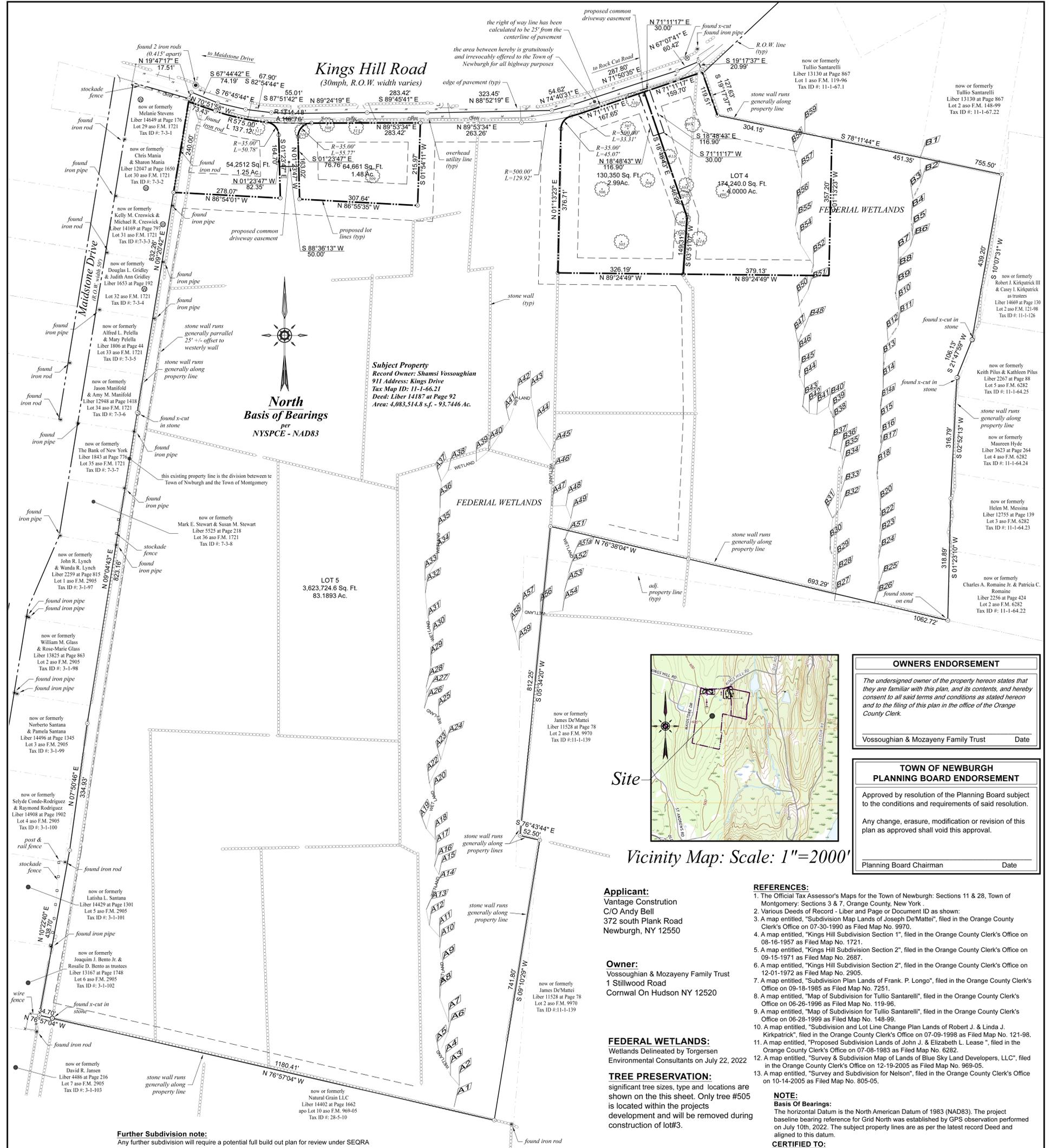
1. The plans have been revised to relocate the driveways for lots 1 and 2 and combine to the 50 wide strip. We have included an easement with metes and bounds for both lots.
2. The maintenance agreement shall be submitted by the attorney for the applicant. If the town has a "standard type of agreement" to use as a protocol, we would like to receive a copy and modify accordingly.
3. We will submit the eNOI for storm water coverage. The town will need to sign off on the MS4 letter of acceptance.
4. Plans were hand delivered to the highway superintendent on July 11, 2023.
5. The Tree Preservation note has been added to the plans. All identified trees will remain except for tree number 505 will be removed for the SDS on Lot 3.
6. The plans have been revised to show sheets 1 of 6 thru 6 of 6 accordingly.
7. The board has declared itself intent to be lead agency.
8. The plans were submitted electronically to OCPD approximately 6 weeks ago (in excess of 30 days).
9. So noted.

Sincerely,

A handwritten signature in black ink, appearing to read "John V. Nosek". The signature is written in a cursive, flowing style with a large initial "J".

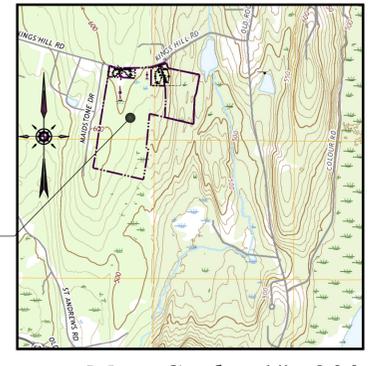
John V. Nosek, P.E.,
Nosek Engineering

Cc: Vantage Construction



North
Basis of Bearings
per
NYS PCE - NAD83

Subject Property
Record Owner: Shamsi Vossoughian
911 Address: Kings Drive
Tax Map ID: 11-1-66.21
Deed: Liber 14187 at Page 92
Area: 4,083,514.8 s.f. - 93.7446 Ac.



Vicinity Map: Scale: 1"=2000'

OWNERS ENDORSEMENT
The undersigned owner of the property hereon states that they are familiar with this plan, and its contents, and hereby consent to all said terms and conditions as stated hereon and to the filing of this plan in the office of the Orange County Clerk.
Vossoughian & Mozayeny Family Trust Date

TOWN OF NEWBURGH PLANNING BOARD ENDORSEMENT
Approved by resolution of the Planning Board subject to the conditions and requirements of said resolution.
Any change, erasure, modification or revision of this plan as approved shall void this approval.
Planning Board Chairman Date

Applicant:
Vantage Construction
C/O Andy Bell
372 south Plank Road
Newburgh, NY 12550

Owner:
Vossoughian & Mozayeny Family Trust
1 Stillwood Road
Cornwall On Hudson NY 12520

FEDERAL WETLANDS:
Wetlands Delineated by Torgersen Environmental Consultants on July 22, 2022

TREE PRESERVATION:
significant tree sizes, type and locations are shown on the sub sheet. Only tree #505 is located within the projects development and will be removed during construction of lot#3.

- REFERENCES:**
- The Official Tax Assessor's Maps for the Town of Newburgh: Sections 11 & 28, Town of Montgomery, Sections 3 & 7, Orange County, New York.
 - Various Deeds of Record - Liber and Page of Document ID as shown:
 - A map entitled, "Subdivision Map Lands of Joseph DeMatter", filed in the Orange County Clerk's Office on 07-30-1990 as Filed Map No. 9970.
 - A map entitled, "Kings Hill Subdivision Section 1", filed in the Orange County Clerk's Office on 08-16-1957 as Filed Map No. 1721.
 - A map entitled, "Kings Hill Subdivision Section 2", filed in the Orange County Clerk's Office on 09-15-1971 as Filed Map No. 2687.
 - A map entitled, "Kings Hill Subdivision Section 2", filed in the Orange County Clerk's Office on 12-01-1972 as Filed Map No. 2905.
 - A map entitled, "Subdivision Plan Lands of Frank P. Longo", filed in the Orange County Clerk's Office on 09-18-1985 as Filed Map No. 7251.
 - A map entitled, "Map of Subdivision for Tullio Santarelli", filed in the Orange County Clerk's Office on 06-26-1996 as Filed Map No. 119-96.
 - A map entitled, "Map of Subdivision for Tullio Santarelli", filed in the Orange County Clerk's Office on 06-28-1999 as Filed Map No. 148-99.
 - A map entitled, "Subdivision and Lot Line Change Plan Lands of Robert J. & Linda J. Kirkpatrick", filed in the Orange County Clerk's Office on 07-09-1998 as Filed Map No. 121-98.
 - A map entitled, "Proposed Subdivision Lands of John J. & Elizabeth L. Lease", filed in the Orange County Clerk's Office on 07-08-1983 as Filed Map No. 6282.
 - A map entitled, "Survey & Subdivision Map of Lands of Blue Sky Land Developers, LLC", filed in the Orange County Clerk's Office on 12-19-2005 as Filed Map No. 969-05.
 - A map entitled, "Survey and Subdivision for Nelson", filed in the Orange County Clerk's Office on 10-14-2005 as Filed Map No. 805-05.

NOTE:
Basis of Bearings:
The Horizontal Datum is the North American Datum of 1983 (NAD83). The project baseline bearing reference for Grid North was established by GPS observation performed on July 10th, 2022. The subject property lines are as per the latest record Deed and aligned to this datum.
CERTIFIED TO:
I hereby certify to:
Shamsi Vossoughian
The Town of Newburgh

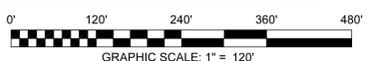
- SURVEYOR'S NOTES:**
- Copyright © 2022, Jonathan N. Millen, L.L.S. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and/or copyright holders obtained.
 - Unauthorized alteration of an item in any way, or addition to a survey map for any person, unless acting under the direction of a licensed land surveyor, is a violation of section 7209, subdivision 2, of the New York State Education Law.
 - Only maps bearing the surveyor's signature overlaid with embossed seal are genuine true and correct copies of the surveyor's original work and opinion. Anything other than copies with an embossed seal and signature may contain unauthorized and undetectable modifications, deletions, additions, and changes, and are not to be relied upon. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.
 - Certifications on this map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this map.
 - The certifications herein are not transferable.
 - The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
 - This survey is subject to the findings of a Title Report and or Title Search.
 - Surveyed as per deeds, prior survey maps, filed maps, physical evidence and existing monumentation found at the site.
 - Subject to any conditions, restrictions, covenants and/or right-of-ways/easements of record, if any.

CERTIFICATION NOTES:
This certification is made only to named parties for purchase and/or mortgage of herein delineated property by named purchaser. No responsibility or liability is assumed by surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey affidavit, resale of property, or to any other person not listed in certification, either directly or indirectly, the setting of fences and/or any other structures in or near the property lines. Unless indicated otherwise, property corners were not set.

SURVEYOR'S CERTIFICATION:
I hereby certify to the hereon listed parties that this survey was performed in accordance with the NYS Minimum Technical Standards Section 6 Rural class and represents the results of an actual on the ground field survey, per record description, of the land shown hereon, located at Kings Drive in the Town of Newburgh, County of Orange, State of New York. Completed on August 16th, 2022, performed in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc., and is to the best of my knowledge, belief and information, accurate and correct. Except as shown hereon: "there are no encroachments either way across property lines; title lines and lines of actual possession are the same".

Signature _____ Date _____ Jonathan N. Millen, L.L.S.
1229 Route 300 - Suite 3
Newburgh, NY 12550

DATE	REVISION
08/19/23	Revisions per Town/Planning Board comments
08/07/23	Revisions per Town/Planning Board comments



Jonathan N. Millen, L.L.S.
PROFESSIONAL LAND SURVEYOR
CERTIFIED TO BE CORRECT AND ACCURATE
N.Y. LIC. No. 050746



ZONING SCHEDULE

ZONE: R-1

REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4	PROPOSED LOT 5
MINIMUM LOT AREA	40,000 s.f. 0.92 Ac.	54,2512 s.f. 1.25 Ac.	64,861 s.f. 1.48 Ac.	130,350 s.f. 2.99Ac.	174,240 s.f. 4.00 Ac.
MINIMUM YARDS (feet)					
FRONT	50'	50'	54'	231'	207'
REAR	40'	115'	119'	180'	1,037sf
SIDE					
ONE	30'	50'	103'	98'	75'
BOTH	80'	199'	265'	251'	168'
MINIMUM LOT WIDTH (feet)	150'	258'	314'	301'	161'
MINIMUM LOT DEPTH (feet)	150'	203'	208'	441'	416'
MAXIMUM SURFACE COVERAGE (%)	20%	20%max	20%max	20%max	20%max
MAXIMUM BUILDING HEIGHT	35'	35%max	35%max	35%max	35%max
MAXIMUM BUILDING COVERAGE (%)	10%	10%max	10%max	10%max	10%max
MINIMUM BUILDABLE AREA	10,000sf	18,830sf	24,186sf	77,676sf	65,680sf

Further Subdivision note:
Any further subdivision will require a potential full build out plan for review under SEQRA

Tree Reference Table

#	Dia	Type
490	36"	Shagbark Hickory
497	16", 18", 8", 6"	Quad Maple
500	12" & 16"	Twin Maple
501	16"	Maple
502	16"	Maple
503	12"	Maple
504	8" & 12"	Maple
505	9"	Butternut
506	9"	Butternut
507	9"	Butternut
508	12"	White ash
509	9" & 12"	Twim Butternut
510	12"	Sweetgum
513	14"	White Ash
514	11"	Maple
516	12"	Maple
517	10"	White Poplar

- LEGEND**
- SF - SF silt fencing
 - W proposed well
 - DT deep test
 - PT percolation test
 - BS buiding setbacks
 - BL buiding setbalimits
 - ET existing trees

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE SURVEYOR'S AND/OR ENGINEER'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 6 OF 6.

PLAN REVISIONS

JOHN V. NOSEK, P.E.
LICENSE NO. 069497

NOSEK ENGINEERING
2245 ALBANY POST ROAD,
WALDEN, NEW YORK 12586
TEL: 845.926.7790

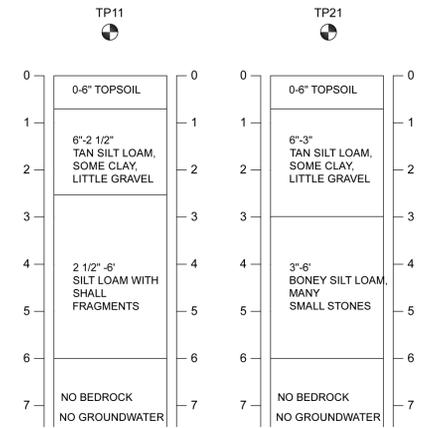
Minor Subdivision Plan
of the lands of
Vantage Construction
Automated Construction Enhanced Solutions, Inc.
Professional Land Surveying
1229 Route 300 - Suite 4 - Newburgh, NY 12550
Office: 845-943-5198 Field: 914-906-8830 E-Mail: jmillenlls@acessurveying.com
Prepared For Tax Map Parcel
11 - C-21
aka Kings Drive
situated in the
Town of Newburgh
County of Orange, New York 12550
DATE: 08-16-2022 SCALE: 1"=120' JOB No.: 22070VAN DRAWN BY: jnm

PROPOSED DRIVEWAY SIGHT DISTANCES:
Lot #1 & lot #2 : left 500' - right 500'

Kings Hill Road

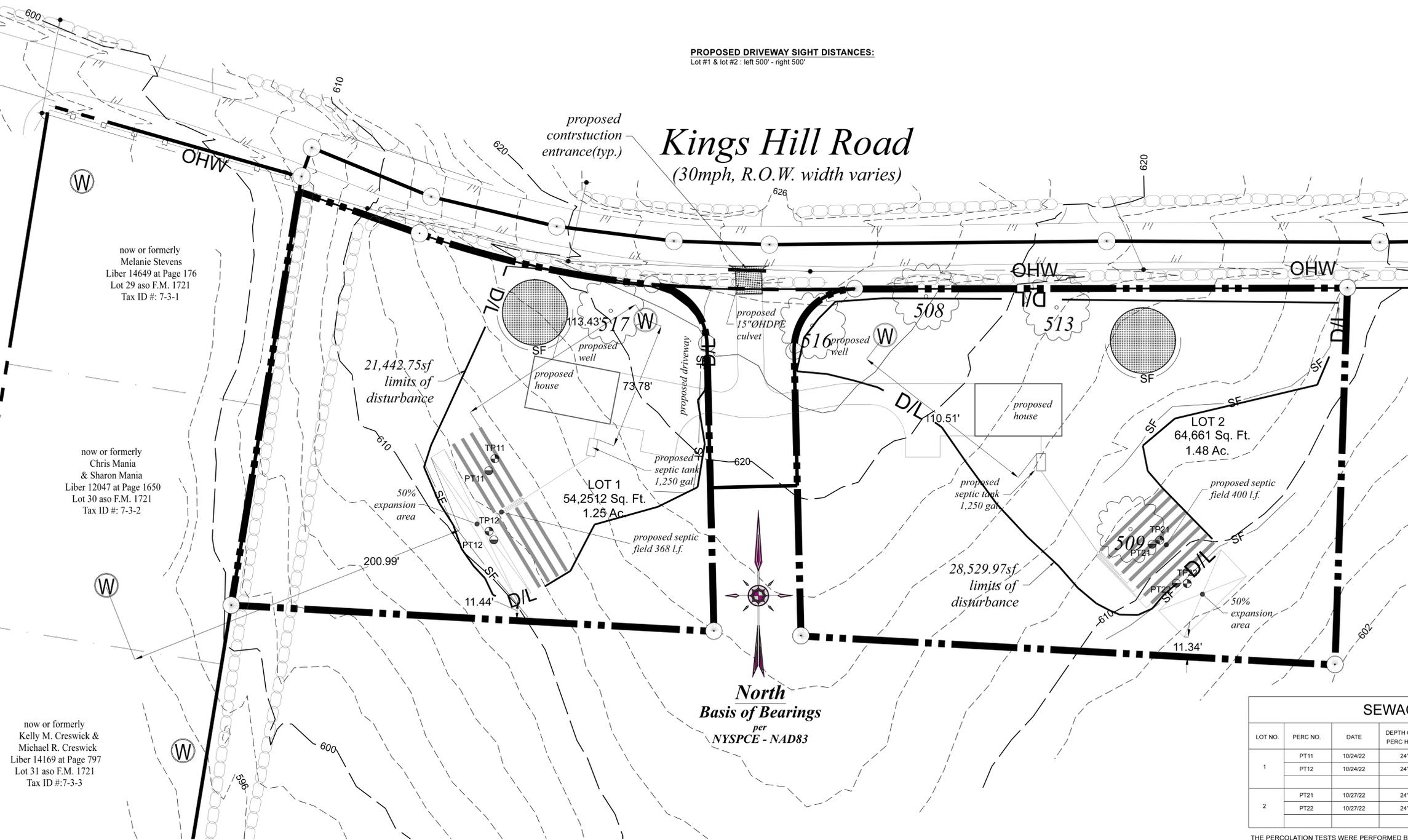
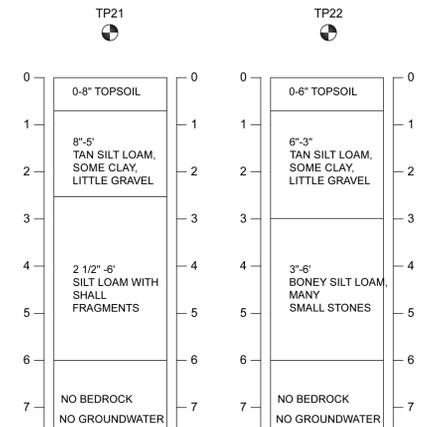
(30mph, R.O.W. width varies)

DEEP SOIL TEST LOT 1



ALL DEEP SOIL TEST OCT. 18, 2022.

DEEP SOIL TEST LOT 2



now or formerly
Melanie Stevens
Liber 14649 at Page 176
Lot 29 aso F.M. 1721
Tax ID #: 7-3-1

now or formerly
Chris Mania
& Sharon Mania
Liber 12047 at Page 1650
Lot 30 aso F.M. 1721
Tax ID #: 7-3-2

now or formerly
Kelly M. Creswick &
Michael R. Creswick
Liber 14169 at Page 797
Lot 31 aso F.M. 1721
Tax ID #: 7-3-3

LEGEND

- SF — SF — SF — silt fencing
- ⊙ proposed well
- ⊙ deep test
- ⊙ percolation test
- - - - - buiding setbacks
- - - - - buiding setbalimits
- D/L — — — — —

SEWAGE DISPOSAL DESIGN CRITERIA

LOT NO.	PERC NO.	DATE	DEPTH OF PERC HOLE	STABILIZED PERC RATE	DESIGN PERC RATE	DESIGN MINIMUM TRENCH LENGTH	
						4 BEDROOM HOUSE REQUIRED	PROVIDED
1	PT11	10/24/22	24"	17 MIN	21-30 MINUTES	367 LF	368 LF (8 LINES AT 46 L.F.)
	PT12	10/24/22	24"	24 MIN			
2	PT21	10/27/22	24"	16 MIN	21-30 MINUTES	367 LF	400 LF (8 LINES AT 50 L.F.)
	PT22	10/27/22	24"	21 MIN			

THE PERCOLATION TESTS WERE PERFORMED BY STOPWATCH. THE DAILY FLOW = 4 BEDROOMS @ 110 GPD EACH = 440 GPD



ENGINEERS' CERTIFICATION:

I hereby certify to the hereon listed parties that the sewage disposal system depicted on this plan has been designed in accordance with the New York State Public Health Law and all promulgated thereunder.

Signature _____ Date _____

SEAL

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE SURVEYOR'S AND/OR ENGINEER'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 6 OF 6

PLAN REVISIONS

DATE	REVISION
05/19/23	Revisions per Town/Planning Board comments
08/07/23	Revisions per Town/Planning Board comments
-	-
-	-
-	-
-	-

JOHN V. NOSEK P.E.
LICENSE NO. 069497

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Minor Subdivision Plan
of the lands of
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1229 Route 300 - Suite 4 - Newburgh, NY 12550
Office: 845-943-5198 Field: 914-906-8830 E-Mail: jmillenls@acesurveying.com
Prepared For: Tax Map Parcel
11-1-66.21
aka Kings Drive
situated in the
Town of Newburgh
County of Orange, New York 12550

DATE: 01-06-2023 SCALE: 1"=30' JOB No.: 22070VAN DRAWN BY: jmm

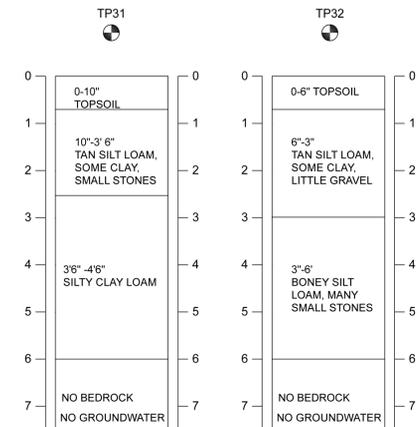
PROPOSED DRIVEWAY SIGHT DISTANCES:
Lot #3&4 common: left 380' - right 300'

Kings Hill Road
(30mph, R.O.W. width varies)

now or formerly
Tullio Santarelli
Liber 13130 at Page 867
Lot 1 aso F.M. 119-96
Tax ID #: 11-1-67.1

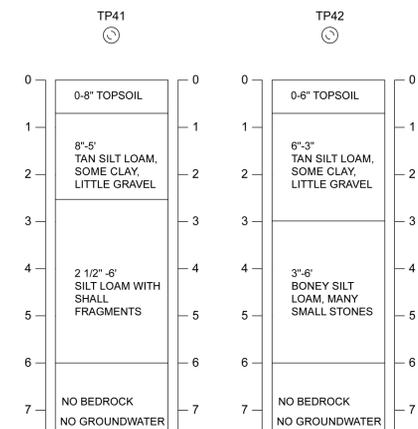
Libe
Lot
Tax

DEEP SOIL TEST LOT 3



ALL DEEP SOIL TEST OCT. 18, 2022.

DEEP SOIL TEST LOT 4



SEWAGE DISPOSAL DESIGN CRITERIA

LOT NO.	PERC NO.	DATE	DEPTH OF PERC HOLE	STABILIZED PERC RATE	DESIGN PERC RATE	DESIGN MINIMUM TRENCH LENGTH	
						REQUIRED	PROVIDED
3	PT31	10/27/22	24"	40 MIN	31-45 MINUTES	440 LF	480 LF (8 LINES AT 60 L.F.)
	PT32	10/27/22	24"	8 MIN			
4	PT41	10/28/22	24"	6 MIN	31-45 MINUTES	440 LF	480 LF (8 LINES AT 60 L.F.) W/ CURBATIN DRAIN
	PT42	10/28/22	24"	34 MIN			

THE PERCOLATION TESTS WERE PERFORMED BY STOPWATCH. THE DAILY FLOW = 4 BEDROOMS @ 110 GPD EACH = 440 GPD

FEDERAL WETLANDS

LEGEND

- SF - silt fencing
- ⊙ - proposed well
- ⊙ - deep test
- ⊙ - percolation test
- - - - - building setbacks
- - - - - building setback limits
- # - existing trees

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Signature _____ Date _____

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PLAN REVISIONS

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08/07/23	Revisions per Town/Planning Board comments
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JOHN V. NOSEK, P.E.
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2245 ALBANY POST ROAD,
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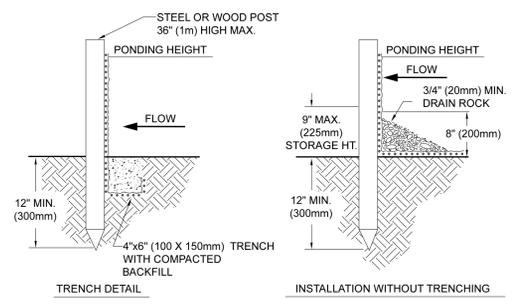
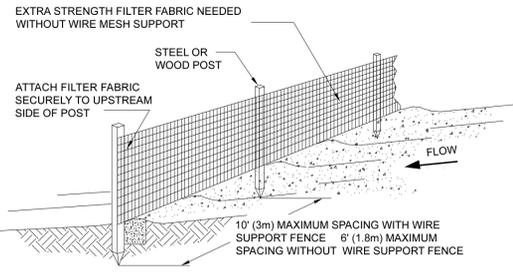
Sheet
3
of
6

Minor Subdivision Plan
of the lands of
Vantage Construction

Automated Construction Enhanced Solutions, Inc.
Professional Land Surveying
1229 Route 300 - Suite 4 - Newburgh, NY 12550
Office: 845-943-5198 Field: 914-906-8830 E-Mail: jmillett@acesurveying.com

Prepared For Tax Map Parcel
11-1-66.21
aka Kings Drive
situated in the
Town of Newburgh
County of Orange, New York 12550

DATE: 08-17-2022 SCALE: 1"=40' JOB No.: 22070VAN DRAWN BY: jmm



- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

SILT FENCE DETAILS
NOT TO SCALE

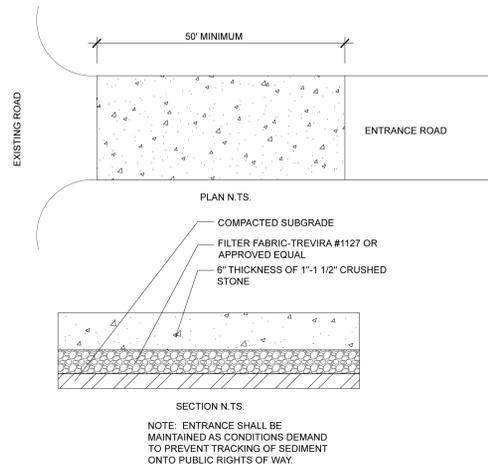
EROSION CONTROL NOTES

SITE DISTURBANCE TO BE LIMITED ONLY TO NECESSARY GRADING ON ROADS, BUILDING LOCATIONS, PARKING AREAS, DRIVEWAYS AND AREAS AS CALLED FOR ON THE PLAN.

TEMPORARY SEEDING WITH ANNUAL RYE GRASS AT 12 LB. PER 1,000 S.F. AND MULCHING 100-140 LBS. HAY OR STRAW PER 1,000 S.F. TO BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN ONE MONTH.

AFTER GRADING, BERMS AND SWALES WILL BE CREATED TO DIVERT RUNOFF FROM NEWLY GRADED AREAS TO PREVENT EROSION UNTIL GROUND COVER HAS DEVELOPED.

HAY BALES SHALL BE PLACED AS SHOWN BELOW AT BOTTOM EDGE OF CUT AND FILL SLOPES TO PREVENT SILTATION ON LANDS OF OTHERS, AND IN DRAINAGEWAYS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.



ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.

A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1"-1 1/2" CRUSHED STONE, WILL BE AT LEAST 15' X 50' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.

ALL DRIVEWAYS MUST BE STABILIZED WITH 1"-1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

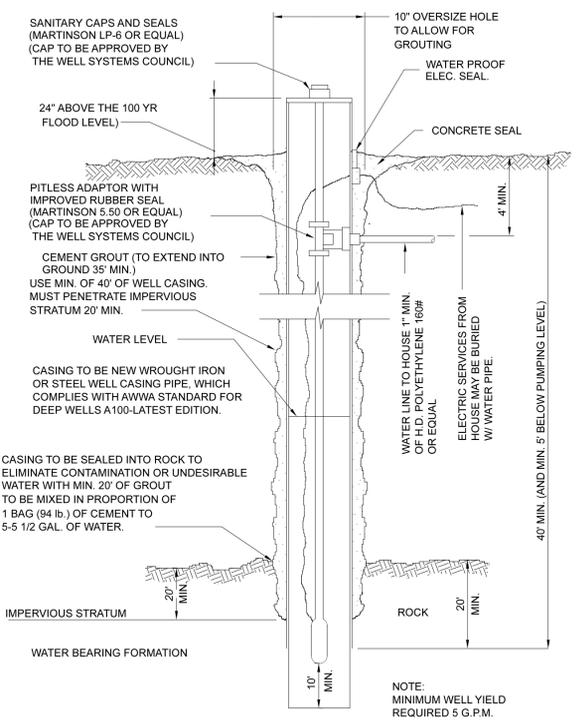
PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER.

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

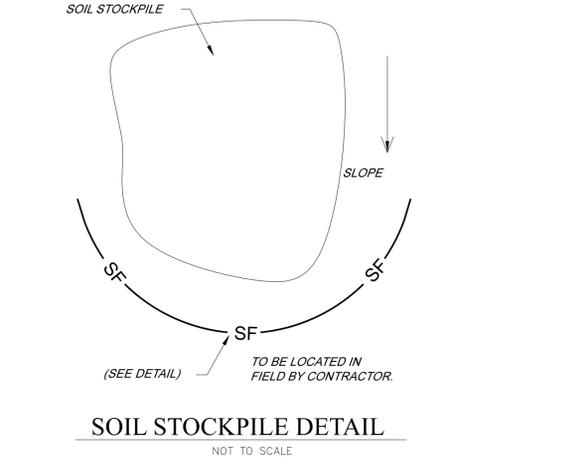
ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES ARE DETAILED ON THE PLAN.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



TYPICAL 6" WELL NO SCALE
FOR SUBMERSIBLE PUMP (5 G.P.M. MIN.)

- NOTE:
- THE OVERSIZE DRILL HOLE FOR GROUT SHALL BE THE CASING SIZE PLUS 4"
 - USE OF UNDERGROUND CABLE FROM THE WELL TO THE HOUSE, WHICH CAN BE BURIED DIRECTLY IN THE GROUND, AND BE PROTECTED AT THE WELL HEAD WITH EITHER METAL CONDUIT OR PLASTIC PIPE (PVC OR POLYETHYLENE) TO A MINIMUM DEPTH OF 24" BELOW GRADE.
 - IF THE DEPTH AT WHICH WATER ENTERS THE WELL IS LESS THAN 50' THEN THERE SHALL BE 50' OF PROPERLY GROUTED CASING INSTALLED OR SEPARATIONS MUST BE INCREASED BY 50% IN ACCORDANCE WITH APPENDIX 5-B, TABLE 1, NOTE 1.



SOIL STOCKPILE DETAIL
NOT TO SCALE

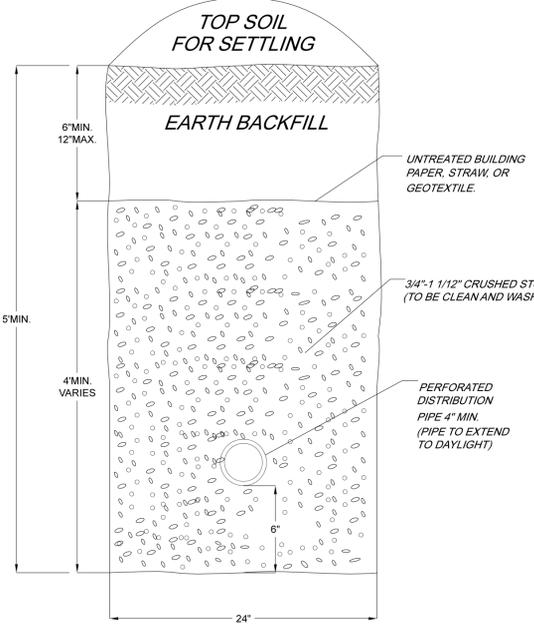
TABLE 2
SEPARATION DISTANCES FROM WASTEWATER SOURCES

SYSTEM COMPONENTS	WELL OR SUCTION LINE(a)	TO STREAM, LAKE OR WATER COURSE (c) (b)	DWELLING	PROPERTY LINE	DRAINAGE DITCH OR RAIN GARDENS (H)
HOUSE SEWER (WATERTIGHT JOINTS)	25' IF CAST IRON PIPE 50' OTHERWISE	25'	3'	10'	10'
SEPTIC TANK, DOSING TANK OR WATERTIGHT ETU	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION/DROP BOX	50'	50'	10'	10'	10'
DISTRIBUTION/DROP BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD (C)(D)	100' (A)	100'	20'	10'	50'
SEEPAGE PIT (D)	150' (A)	100'	20'	10'	20'
RAISED SYSTEM OR MOUND (C)(D)	100' (a)	100'	20'	10'	20'
INTERMITTENT SAND FILTER (D)	100' (A)(F)	100' (F)	20'	10'	20'
NON-WATERBORNE SYSTEMS WITH OFF-SITE RESIDUAL DISPOSAL	50'	50'	20'	10'	10'
NON-WATERBORNE SYSTEMS WITH OFF-SITE DISCHARGE	100'	50'	20'	10'	20'

- WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UPGRADE AND IN DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST (200) FEET AWAY FROM THE WELL.
- MEAN HIGH WATER MARK, WETLAND OR WATERCOURSE DETERMINATIONS SHOULD BE ADDRESSED WITH THE LHD OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYSDEC REGIONAL OFFICE.
- FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE SLOPE OF FILL, EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN SECTION 9.12.2 OF THIS HANDBOOK.
- SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USABLE AREA (I.E. RESERVE AREA), WHEN AVAILABLE.
- THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (E.G., PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE OR RESIDENTIAL WELL SERVICE LINE).
- WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO FIFTY (50) FEET.
- THE LISTED WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER ACQUIFER WATER ENTERS THE WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.
- RECOMMENDED: USE SITE EVALUATION TO AVOID OWT'S SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWT'S FUNCTIONALITY.

EMBANKMENT OR VERY STEEP SLOPE: IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED TWENTY FIVE (25) FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF FIFTY (50) FEET FROM AN EMBANKMENT OR STEEP SLOPE. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO AVOID SHORT-CIRCUITING TO SURFACE (BREAKOUT OR SEEPAGE).

SWIMMING POOLS (ABOVE OR BELOW GROUND): IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF TWENTY (20) FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF THIRTY FIVE (35) FEET FROM SWIMMING POOLS. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO MINIMIZE IMPACTS ON THE OWT'S ACCESSIBILITY AND FUNCTIONALITY.



CURTAIN DRAIN
NOT TO SCALE

DATE	REVISION
05/19/23	Revisions per Town/Planning Board comments
08/07/23	Revisions per Town/Planning Board comments
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SEAL:

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE SURVEYOR'S AND/OR ENGINEER'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 6 OF 6.

PLAN REVISIONS

JOHN V. NOSEK, P.E.
LICENSE NO. 069497

NOSEK ENGINEERING
2245 ALBANY POST ROAD,
WALDEN, NEW YORK 12586
TEL: 845.926.7790

GENERAL SEPTIC SYSTEM NOTES:

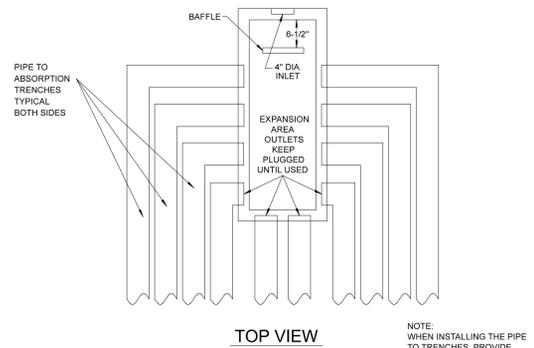
- THERE WILL BE NO REGRADING OR COMPACTING IN THE AREA OF THE PROPOSED TILE FIELD. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE TILE FIELD EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE TILE FIELD AREA BEFORE, DURING OR AFTER CONSTRUCTION.
- SANITARY FACILITIES ARE NOT TO BE RELOCATED OR REDESIGNED WITHOUT REVIEW BY THE COUNTY HEALTH DEPARTMENT.
- CELLAR, ROOF AND FOOTING DRAINS SHALL NOT BE DISCHARGED INTO THE SEPTIC SYSTEM OR IN THE VICINITY OF THE TILE FIELD.
- CONSTRUCTION OF THE SANITARY FACILITIES SHALL BE PERFORMED UNDER THE GUIDANCE OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN NEW YORK STATE. CERTIFICATION THAT THE INSTALLATION WAS MADE IN ACCORDANCE WITH APPROVED PLANS WILL BE MADE TO THE LOCAL CODE ENFORCEMENT OFFICER. THE CERTIFICATION SHALL INCLUDE THAT THE SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS AND THAT THE TANK WAS INSTALLED IN ACCORDANCE WITH APPENDIX 75-A.
- NO SWIMMING POOLS, DRIVEWAYS OR OTHER STRUCTURES THAT MAY COMPACT THE GROUND SHALL BE PLACED OVER ANY PORTION OF THE TILE FIELD.
- TOILETS OR SINKS IN THE BASEMENT MAY REQUIRE SPECIAL DESIGN AND APPROVAL.
- THE SEPTIC TANK SHALL BE A 1,000 GALLON CONCRETE TANK AS SHOWN ON PLANS. BY WOODARDS CONCRETE PRODUCTS, BULLVILLE, NEW YORK OR AN APPROVED EQUAL. A CERTIFICATION SHALL BE INCLUDED THAT THE SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS AND THAT THE TANK WAS INSTALLED IN ACCORDANCE WITH APPENDIX 75-A.
- ANY CHANGE IN DIRECTION OF SOLID TILE SEWAGE PIPE WILL REQUIRE A CLEANOUT.
- THE SEWAGE DISPOSAL SYSTEM HAS NOT BEEN DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE TUB OVER 100 GALLONS OR WATER SOFTENERS, AS SUCH, THESE ITEMS SHOULD NOT BE INSTALLED UNLESS THE SEWAGE DISPOSAL SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
- THE TOWN BUILDING DEPARTMENT MUST BE CONTACTED 48 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION TO SCHEDULE A REVIEW OF THE INSTALLATION.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND ELEVATIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL VERIFY INVERTS OF ALL NEW UNITS INSTALLED BY THIS CONTRACT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER SHOWING INVERT ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
- ALL PLUMBING SHALL CONFORM TO THE NEW YORK STATE PLUMBING CODE, LATEST EDITION.
- ANY MODIFICATIONS OR ADDITIONS TO THIS DESIGN MUST RECEIVE APPROVAL BY THE COUNTY HEALTH DEPARTMENT AND THE DESIGN ENGINEER PRIOR TO EXECUTION BY CONTRACTOR.
- ALL JOINTS BETWEEN PIPING AND SEPTIC SYSTEM COMPONENTS (i.e. SEPTIC TANK, & DISTRIBUTION BOXES) SHALL BE SEALED WATERTIGHT WITH NONSHRINK GROUT.
- EXISTING WELLS AND SEWAGE DISPOSAL SYSTEMS SHOWN ARE NOT PART OF THIS APPROVAL.
- BACKFILL INTO ANY TRENCH SHALL NOT HAVE ANY DIMENSION EXCEEDING 4 INCHES. FILL TO BE ACCEPTABLE BY THE ENGINEER.
- SEWAGE DISPOSAL SYSTEM SHALL ONLY RECEIVE SANITARY WASTES.
- PRIOR TO CERTIFICATE OF OCCUPANCY, A LETTER AND A AS-BUILT PLAN MUST BE SUBMITTED TO THE TOWN BY A N.Y.S. LICENSED PROFESSIONAL ENGINEER CERTIFYING THAT THE SEWAGE DISPOSAL SYSTEM IS INSTALLED IN ACCORDANCE WITH THESE PLANS.
- UTILIZATION OF THE EXPANSION AREA REQUIRES A NEW DESIGN BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND THE PERMISSION OF THE ORANGE COUNTY HEALTH DEPARTMENT.
- IF DURING CONSTRUCTION EXISTING FOOTING DRAINS TO REMAIN ARE EXPOSED, THESE DRAINS SHALL BE RE-ROUTED TO ENSURE THAT THEY ARE NOT DISCHARGING INTO THE SEPTIC SYSTEM OR INTO THE VICINITY OF THE TILE FIELD.
- MINIMUM DISTANCE FROM ANY WELL TO ANY SEPTIC SYSTEM AT A HIGHER ELEVATION SHALL BE 200 FT. NO KNOWN WELLS EXIST WITHIN 200 FT. OF S.D.S. NOT SHOWN ON PLAN.
- THE MINIMUM DISTANCE FROM ANY SEPTIC SYSTEM TO ANY PRIVATE WELL IS 100 FT. WHEN THE WELL IS AT A HIGHER ELEVATION.
- MINIMUM DISTANCE FROM SEPTIC SYSTEM TO ANY PUBLIC WELL SHALL BE 200 FT.
- THE FIRST 10' OF ALL OUTLET PIPES FROM THE DISTRIBUTION BOX MUST HAVE THE SAME INVERT AND THE SAME EXISTING SLOPE. SPEED LEVELERS SHALL BE USED IN EACH LATERAL TO ENSURE ALL INVERTS ARE THE SAME WITHIN THE DISTRIBUTION BOX.
- THE TOPS OF THE SEPTIC TANK AND THE DISTRIBUTION BOX SHALL BE NO MORE THAN 12" BELOW THE FINISHED GRADE WHEN ALL WORK IS COMPLETE. ORIGINAL GRADE SHALL BE MODIFIED ACCORDINGLY TO PROVIDE 12" OF COVER AT ALL INVERT ELEVATIONS.
- ALL OUTLET PIPES FROM DISTRIBUTOR BOX MUST HAVE THE SAME INVERT "USING FLOW LEVELERS" AND THE SAME EXISTING SLOPE FOR AT LEAST THE FIRST 10 FEET.

Minor Subdivision Plan
of the lands of
Vantage Construction

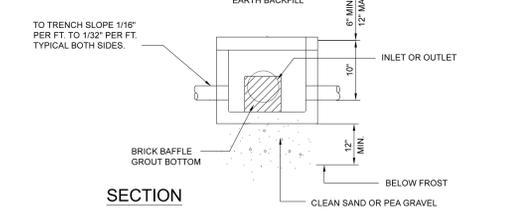
Automated Construction Enhanced Solutions, Inc.
Professional Land Surveying
1229 Route 300 - Suite 4 - Newburgh, NY 12550
Office: 845-943-5198 Field: 914-906-8830 E-Mail: jmiltenlls@accessurveying.com

Prepared For Tax Map Parcel
11-1-66.21
aka Kings Drive
situated in the
Town of Newburgh
County of Orange, New York 12550

DATE: 01-06-2023 SCALE: NTS JOB No.: 22070VAN DRAWN BY: jmm

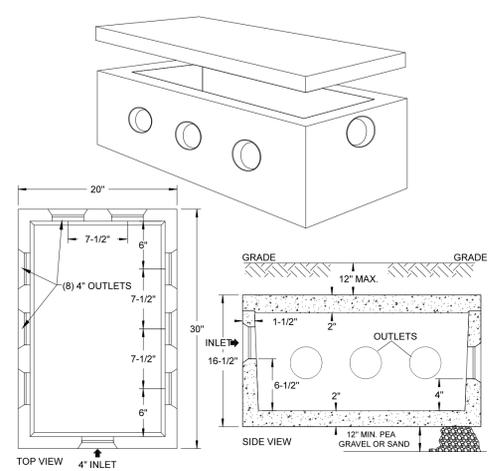


NOTE:
WHEN INSTALLING THE PIPE TO TRENCHES, PROVIDE SUFFICIENT ROOM TO INSURE THAT IF AND WHEN NEEDED THE EXPANSION AREA OUTLETS ARE ACCESSIBLE WITHOUT DISTURBING THE EXISTING PIPING, AND ARE CAPABLE OF BEING CONNECTED TO THE EXPANSION AREA TRENCHES



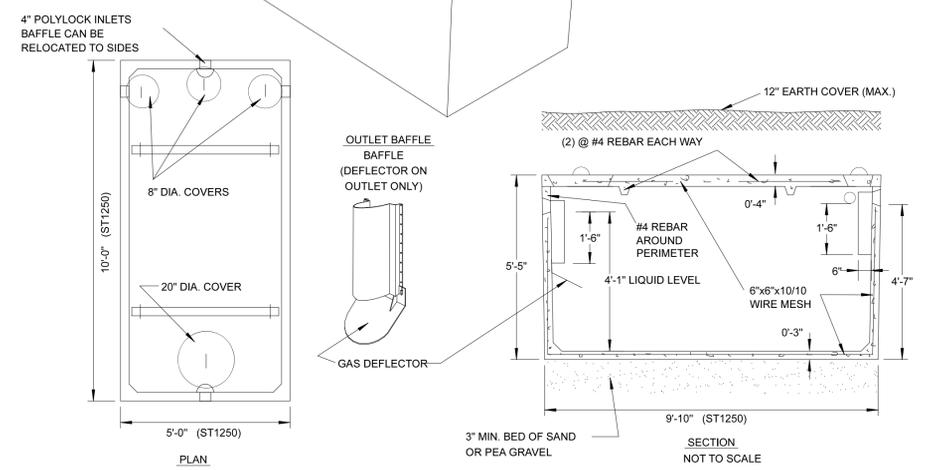
DISTRIBUTION BOX DB-9 INSTALLATION DETAIL
NO SCALE

NOTE: ALL UNUSED OUTLETS TO BE PLUGGED AND SEALED. PIPE JOINTS TO THE DISTRIBUTION BOX TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.



SPECIFICATIONS	
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS	REINFORCEMENT: FIBER, 10GA. WIRE MESH
AIR ENTRAINMENT: 5%	PIPE CONNECTION: POLYLOK SEAL (PATENTED)
LOAD RATING: 300 PSF	WEIGHT = 290 LBS

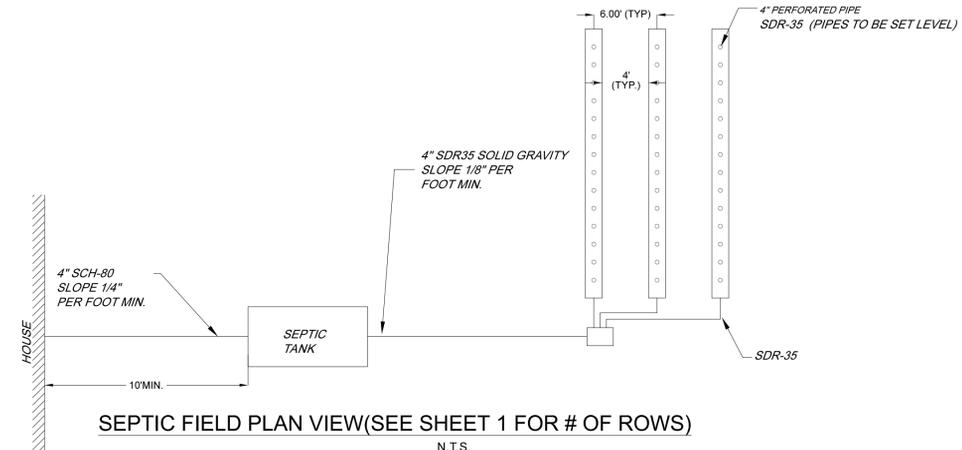
DISTRIBUTION BOX DETAIL - DB-9
NOT TO SCALE



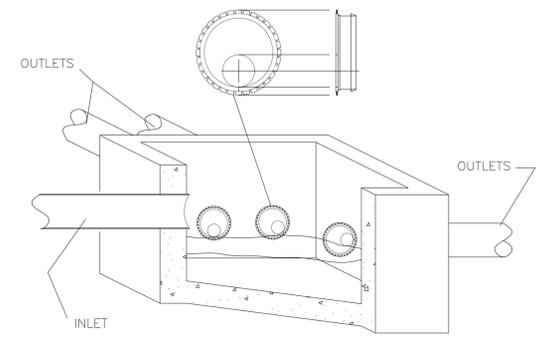
TYPICAL CONCRETE SEPTIC TANK
SECTION NOT TO SCALE

- NOTES:**
1. TYPICAL PRECAST CONCRETE SEPTIC TANKS, WOODARD CONCRETE PRODUCTS, INC. (PROVIDE WATER TIGHT SEAL AT ANY CONSTRUCTION JOINT.)
 2. INLET AND OUTLET JOINTS TO SEPTIC TANK ARE TO BE SEALED WITH A NON-SHRINK MORTAR.
 3. TO BE USED FOR A FOUR BEDROOM DWELLING.

SPECIFICATIONS	PRECAST SEPTIC TANKS
Concrete Minimum Strength: 4,000 psi at 28 days	MODEL ST-1250
Reinforcement: 6"x6"x10ga. Wire Mesh, #4 Rebar	1250 GALLONS
Air Entrainment: 5%	
Construction Joint: Butyl Rubber Sealant	
Pipe Connection: Polylok Seal (patented)	WOODARD'S CONCRETE PRODUCTS, INC.
Load Rating: 300 psf	629 LYBOLT ROAD, BULLVILLE, NY 10915
Weight = 8,700 lbs for Model ST-1000	(845) 361-3471 / FAX 361-1050
Weight = 9,500 lbs for Model ST-1250	WWW.WOODARDSCONCRETE.COM

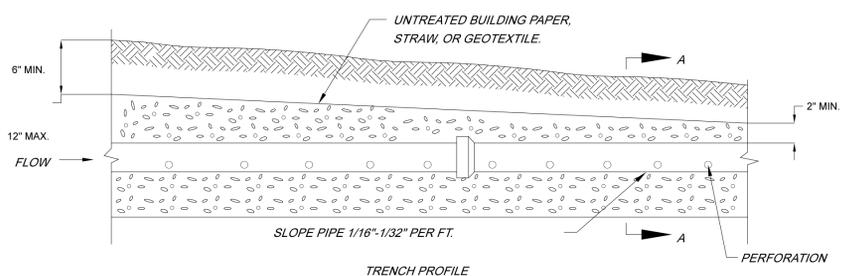


SEPTIC FIELD PLAN VIEW(SEE SHEET 1 FOR # OF ROWS)
N.T.S.



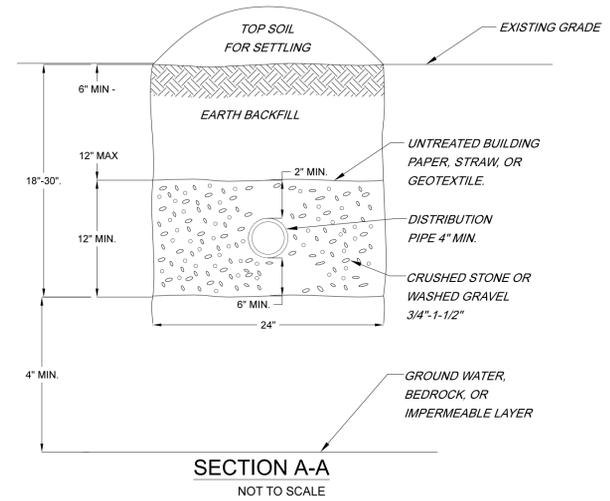
- NOTES:**
1. FLOW EQUALIZATION DEVICES ARE TO BE USED ON AT THE OUTLET PIPES OF THE DISTRIBUTION BOX, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 2. DISTRIBUTION BOXES SHOULD BE EXAMINED BETWEEN 6 TO 12 MONTHS AFTER THEY ARE INSTALLED TO DETERMINE IF THEY REMAIN LEVEL AND, IF NECESSARY, TO MAKE ADJUSTMENTS.
 3. FLOW LEVELERS SHALL NOT COMPENSATE FOR MORE THAN 1-1/4 INCH DIFFERENCE IN PIPE ELEVATIONS. IN THIS CASE, THE CAUSE OF ELEVATION DIFFERENCES IS TO BE CORRECTED AND THE FLOW LEVELERS AGAIN INSTALLED AND ADJUSTED.

FLOW LEVELER DETAIL
NOT TO SCALE

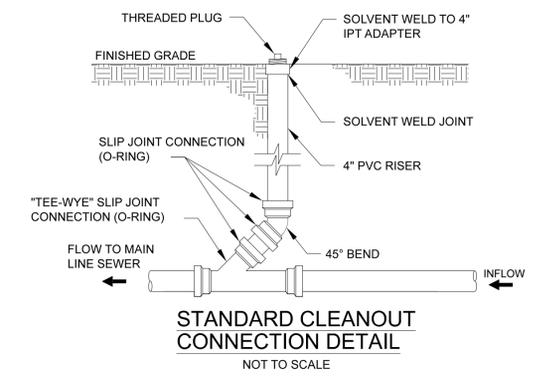


NOTES
DO NOT INSTALL TRENCHES IN WET SOIL.
RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL.
END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED UNLESS INTERCONNECTED.
BOTTOM OF TRENCH TO BE LEVEL.

ABSORPTION TRENCH DETAIL
NOT TO SCALE



SECTION A-A
NOT TO SCALE



STANDARD CLEANOUT CONNECTION DETAIL
NOT TO SCALE

DATE	REVISION
05/19/23	Revisions per Town/Planning Board comments
08/07/23	Revisions per Town/Planning Board comments
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SEAL: _____

THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE SURVEYOR'S AND/OR ENGINEER'S SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 6 OF 6.

PLAN REVISIONS

JOHN V. NOSEK, P.E.
LICENSE NO. 069497

NOSEK ENGINEERING
2245 ALBANY POST ROAD,
WALDEN, NEW YORK 12586
TEL: 845.926.7790

Minor Subdivision Plan
of the lands of
Vantage Construction
Automated Construction Enhanced Solutions, Inc.
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Office: 845-943-5198 Field: 914-906-8830 E-Mail: jmillenlls@acessurveying.com

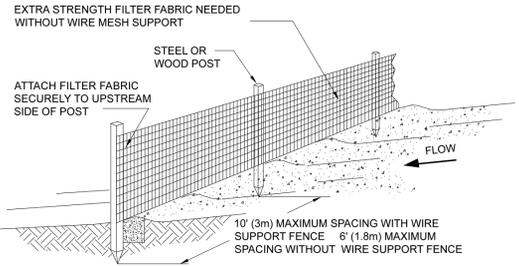
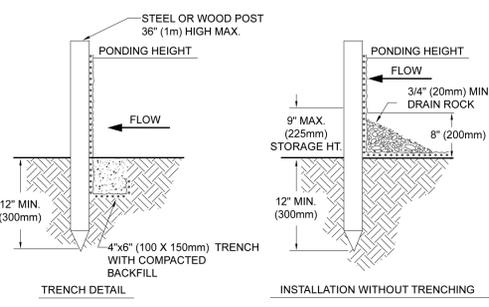
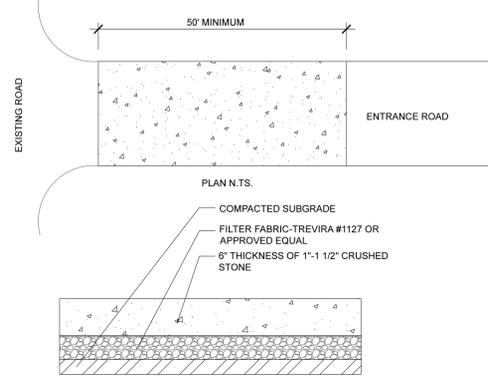
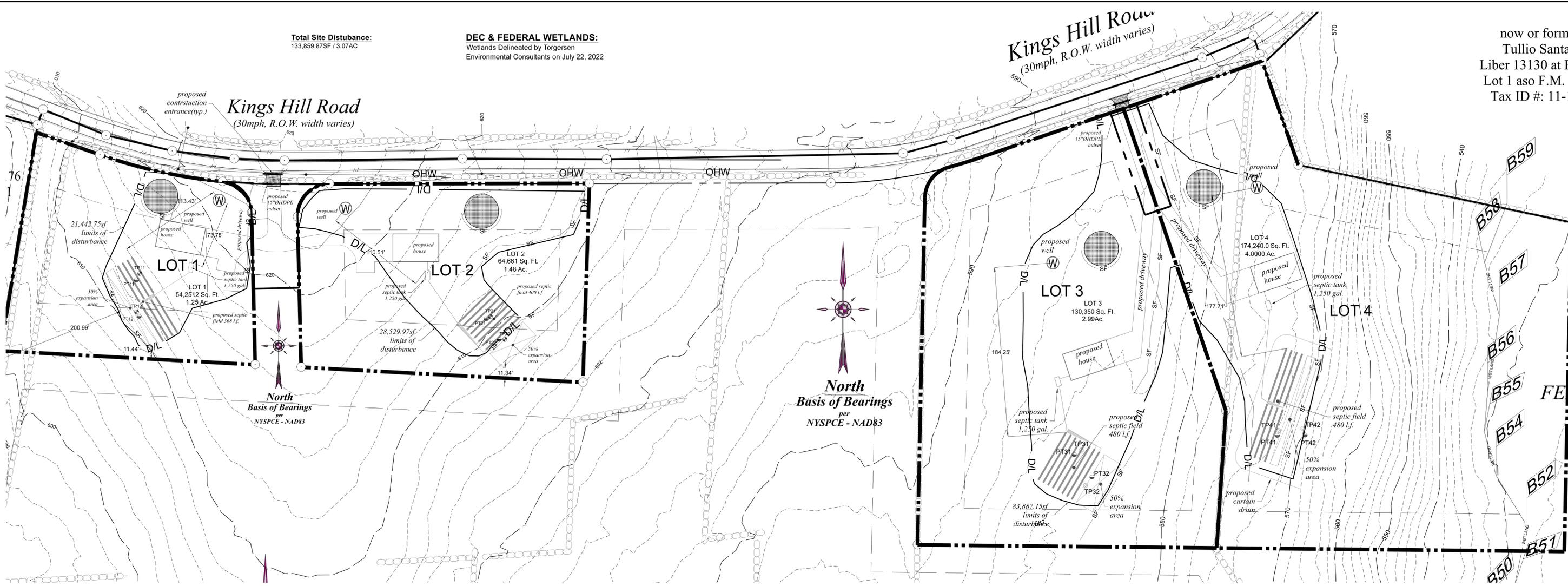
Prepared For Tax Map Parcel
11-1-66.21
aka Kings Drive
situated in the
Town of Newburgh
County of Orange, New York 12550

DATE: 01-06-2023 SCALE: NTS' JOB No.: 22070VAN DRAWN BY: jnm

Total Site Disturbance:
133,859.87SF / 3.07AC

DEC & FEDERAL WETLANDS:
Wetlands Delineated by Torgersen
Environmental Consultants on July 22, 2022

now or former
Tullio Santar
Liber 13130 at Pa
Lot 1 aso F.M. 1
Tax ID #: 11-1



- NOTES:**
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

SILT FENCE DETAILS
NOT TO SCALE

EROSION CONTROL NOTES

SITE DISTURBANCE TO BE LIMITED ONLY TO NECESSARY GRADING ON ROADS, BUILDING LOCATIONS, PARKING AREAS, DRIVEWAYS AND AREAS AS CALLED FOR ON THE PLAN.

TEMPORARY SEEDING WITH ANNUAL RYE GRASS AT 1/2 LB. PER 1,000 S.F. AND MULCHING 100-140 LBS. HAY OR STRAW PER 1,000 S.F. TO BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN ONE MONTH.

AFTER GRADING, BERMS AND SWALES WILL BE CREATED TO DIVERT RUNOFF FROM NEWLY GRADED AREAS TO PREVENT EROSION UNTIL GROUND COVER HAS DEVELOPED.

HAY BALES SHALL BE PLACED AS SHOWN BELOW, AT BOTTOM EDGE OF CUT AND FILL SLOPES TO PREVENT SILTATION ON LANDS OF OTHERS, AND IN DRAINAGEWAYS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.

LEGEND

- SF silt fencing
- W proposed well
- deep test
- percolation test
- - - building setbacks
- - - building setback limits of disturbance
- # existing trees

DATE	REVISION
05/19/23	Revisions per Town/Planning Board comments
08/07/23	Revisions per Town/Planning Board comments

Simple SWPPP Plan
for
Vantage Construction

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Prepared For: Tax Map Parcel
11-1-66-21
aka Kings Drive
situated in the
Town of Newburgh
County of Orange, New York 12550

DATE: 08-17-2022 SCALE: 1"=40' JOB No.: 22070VAN DRAWN BY: jmm

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

SEAL

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