



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: UNITY PLACE WAREHOUSE
PROJECT NO.: 21-29
PROJECT LOCATION: NORTHWEST CORNER OF OLD LITTLE BRITAIN RD. & UNITY WAY
SECTION 95, BLOCK 2, LOT 14.1 & 19.12
REVIEW DATE: 15 JULY 2022
MEETING DATE: 21 JULY 2022
PROJECT REPRESENTATIVE: BROOKER ENGINEERING

1. A lot consolidation is required prior to any approvals. Easement issue must be resolved prior to the Planning Board issuing any approvals.
2. Project was circulated to the Orange County Planning Department on 1 July 2022. Time frame for review has not expired.
3. The Newburgh Flow Acceptance letter is required. This office will process the Flow Acceptance letter having received the hydraulic loading from the applicants engineer.
4. Detail for the water line/ fire service is attached to these comments.
5. Standard notes for water and sewer are attached.
6. The applicants have requested to defer the sanitary sewer pump station design until the Planning Board completes its SEQRA review. This may delay any preliminary approvals by the Board.
7. Highway Superintendent's comments on the access drives should be received.
8. SWPPP comments will be provided under a separate memo.
9. Cost estimates for stormwater management and landscaping must be approved by the Town Board.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines
Principal

PJH/kbw

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TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

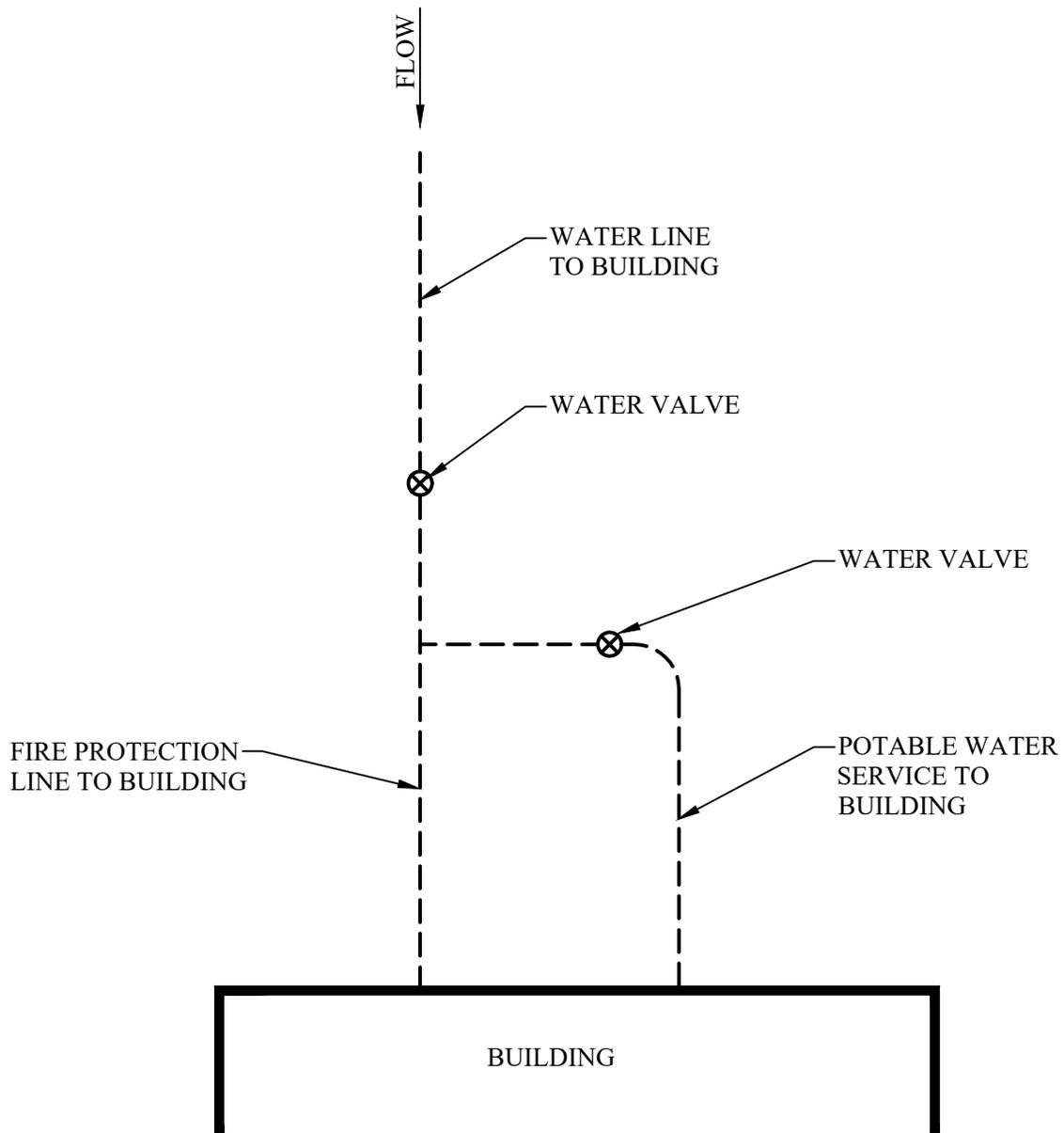
1. “Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh.”
2. All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI\AWWA C151\A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
3. Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
4. All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI\AWWA C110\A21.10 for Ductile and Gray Iron Fittings or ANSI\AWWA C153\A21.53 for Ductile Iron Compact Fittings, latest revision.
5. All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
6. Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

7. All hydrants shall be Clow-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5 ¼ inch main valve opening, two 2 ½ inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 ½ inch pentagon operating nut. All hydrants shall open left (counter-clockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.
8. All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for ¾ and 1 inch, Mueller H-15000N or B-25000N for 1 ½ and 2 inch sizes. Curb valves shall be Mueller H-1502-2N for ¾ and 1 inch and Mueller B-25204N for 1 ½ and 2 inch sizes. Curb boxes shall be Mueller H-10314N for ¾ and 1 inch and Mueller H-10310N for 1 ½ and 2 inch sizes.
9. All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
10. The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
11. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

Original 12-06-96
Revised 04-24-02
Revised 01-2015



NOTE:
 VALVING MUST BE ARRANGED SO THAT
 POTABLE WATER IS TERMINATED IF
 FIRE PROTECTION LINE IS TURNED OFF.

TOWN OF NEWBURGH FIRE PROTECTION
FLOW TO BLDG. CONNECTION DETAIL

X
 XXX

SCALE: N.T.S.



Unity Place Warehouse Site Plan Application, Town of Newburgh Planning Board
July 6, 2022
Responses to Review Comments
BE #21202

The following are Brooker Engineering's responses to the review letters received based upon our June 7, 2022 Site Plan Submission.

Patrick J. Hines, MHE Engineering, Technical Review Comments of 6/10/22

1. *COMMENT: Status of the utility easement which crosses the project site including the location of building should be addressed.*

Response: The subject easement is in the process of being extinguished. Once this occurs the easement will be removed from the survey and site plans.

2. *COMMENT: Ken Wersted's review of the dual exit lanes, the right and left out should be received.*

Response: Comment noted.

3. *COMMENT: A City of Newburgh Flow Acceptance letter is required. Applicants should provide narrative for hydraulic loading from the site.*

Response: A hydraulic loading narrative is attached.

4. *COMMENT: Orange County Planning referral is required.*

Response: Comment noted.

5. *COMMENT: The water line and fire service line must be installed per Town of Newburgh requirements, where if fire service line is terminated potable water to the building is terminated. Copy of a typical detail is attached.*

Response: Please provide copies of Newburgh typical details.

6. *COMMENT: Standard Town of Newburgh Water and Sewer Notes must be added to the plans. Copies attached.*

Response: Please provide copy of Standard Town of Newburgh Water and Sewer Notes.

7. *COMMENT: The SWPPP is under review.*

Response: Comment noted.

8. *COMMENT: Infiltration and permeability testing in compliance with NYSDEC Design Guidelines for infiltration practices must be documented for design of the infiltration practices.*

Response: Infiltration and permeability testing has been performed according to the NYSDEC Design Guidelines testing technique. However, the NYSDEC Design Guidelines require an inordinate number of tests that disturb a significant area of the infiltration area. We request that the number of tests performed be considered to be sufficient. We believe we have successfully captured the requisite soil characteristics and assured soil consistency to achieve a sound design basis.

9. *COMMENT: The applicant's representative is requested to identify a location where flared end section 15 discharges to a natural water course. Currently that discharge will be at a point along an adjoining property line.*

Response: The flared end section is followed by a level spreader that is intended to create a sheet runoff outflow that will tend to mimic existing runoff patterns. As requested, imagery of the adjacent property and watercourses is attached.

10. *COMMENT: Project site is identified as having potential habitat for protected Bat Species. Minimum tree clearing restrictions will be required.*

Response: Comment noted.

11. *COMMENT: The Sanitary Sewer Pump Station Design and Engineering Report should be submitted*

Response: We propose to submit the Sanitary Sewer Pump Station Design and Engineering Report after the Planning Board has performed SEQR.

12. *COMMENT: All structures within 200 feet of the property should be depicted on the plans*

Response: All structures within 200 feet of the property have been added to the plans based upon available imagery.

13. *COMMENT: Highway Superintendent's comments on the access drive should be provided*

Response: Comment noted.

14. *COMMENT: It is noted that based on previous comments the amount of parking on the site has been reduced from 160 passenger car parking lots to 92.*

Response: Comment noted.

15. *COMMENT: Parking Calculation Table should be updated for current warehouse size.*

Response: The parking calculation has been revised based upon reduced warehouse size and compared with the reduced number of spaces based upon the driveway entrance revisions.

16. *COMMENT: Applicant's representative are requested to confirm the height of the building. Zoning Bulk Table Chart identifies the building at 40 feet high.*

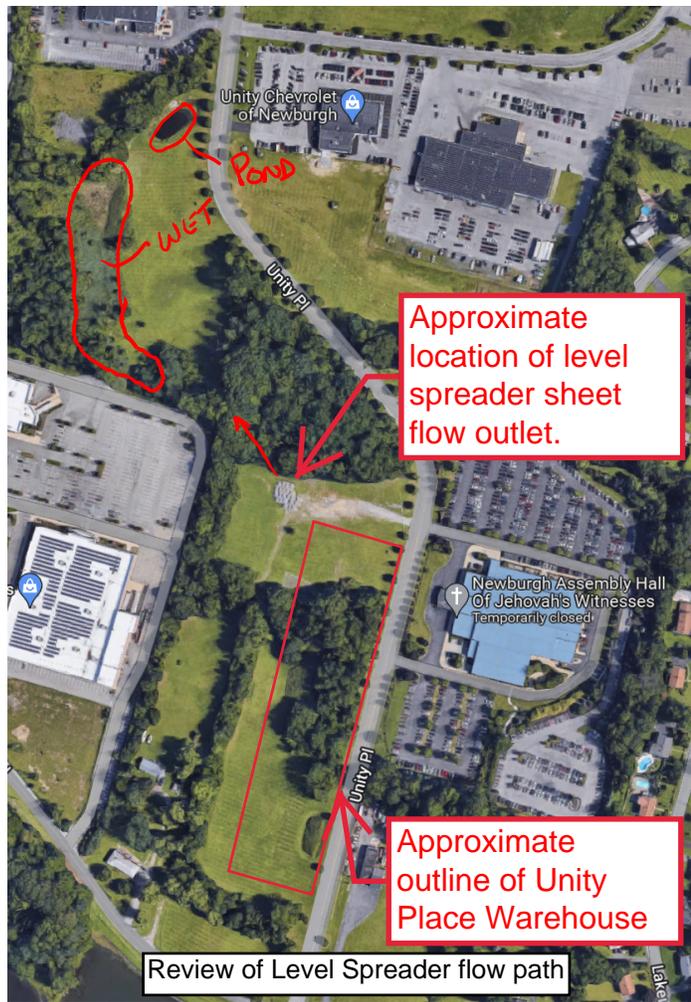
Response: The proposed building height is 40 feet.

17. *COMMENT: Landscaping Plans should be forwarded to the Town's Landscape Architect Consultant for review.*

Response: Comment noted.

18. *COMMENT: Landscape walls are proposed along the frontage in several locations to mitigate parking in front of the building as a mitigation for compliance to design guidelines.*

Response: Comment noted.



Unity Chevrolet of Newburgh

WET

Pond

Approximate location of level spreader sheet flow outlet.

Newburgh Assembly Hall Of Jehovah's Witnesses Temporarily closed

Approximate outline of Unity Place Warehouse

Review of Level Spreader flow path

Lake



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**Unity Place Warehouse Site Plan Application, Town of Newburgh Planning Board
July 6, 2022
Hydraulic Loading Narrative
BE #21202**

The following Hydraulic Loading Narrative is provided for a City of Newburgh Flow Acceptance letter.

154,700 square foot warehouse 1 employee = 103 employees/shift
1,500 sq. ft.

2 shifts x 103 employees/shift x 15 gallons/day = 3,090 gallons/day

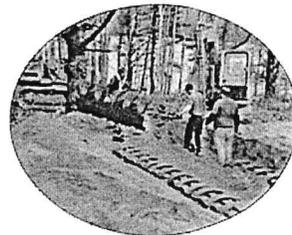
LAND DEVELOPMENT • MUNICIPAL • STRUCTURAL • WATER RESOURCES • LAND SURVEYING

Brian Brooker, P.E. Eve Mancuso, P.E., C.M.E. Ken DeGennaro, P.E., C.F.M. Stuart Strow, P.E., C.F.M.

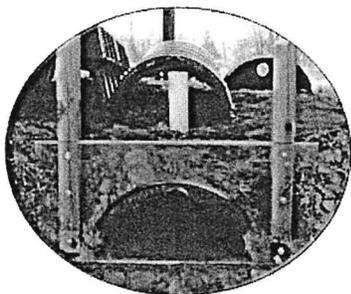
Anthony Riggi, P.E. Benjamin Levitz, P.E. Cheng-Yu Ku, P.L.S. Dennis Rocks, P.E., C.F.M. Elvia Baca, P.E. Hillary Chadwick, P.E. John Bezuyen, P.L.S.
Joseph J. Moran, P.E. Joseph Nyitray, P.E. Matthew Trainor, P.E. Nestor Celiz, P.E. Shardul Patel, P.E. Vincent Kane, P.E.

**NEW YORK STATE
DESIGN STANDARDS FOR
INTERMEDIATE SIZED
WASTEWATER TREATMENT SYSTEMS**

MARCH 5, 2014



**New York State
Department of Environmental Conservation
Division of Water
625 Broadway
Albany, New York 12233-3505**



**Department of
Environmental
Conservation**

Andrew M. Cuomo, Governor

Joe Martens, Commissioner

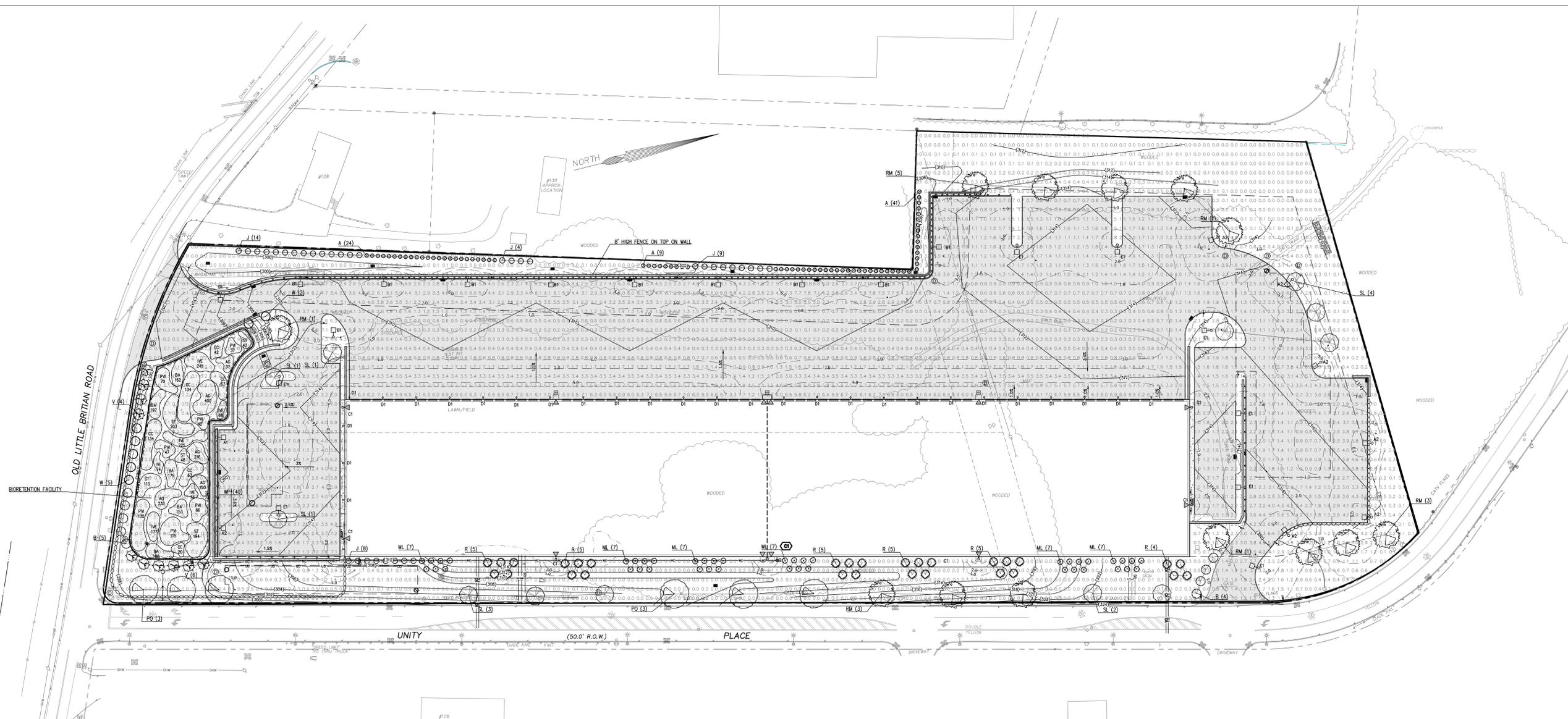
GPD

Drive-In Theater	Per Car Space ²⁵	5
Factory / Distribution	Per Employee/shift;	15
Warehouse	add for showers	10
Fairgrounds	Per Visitor ²⁵	5
Health Club	Per Patron	20
Highway Rest Area	Per Traveler ²⁵	5
	Per Dump Station Vehicle	7
Hotel	Per Sleeping Unit ²⁵ add for banquet hall, night club, pool/spa, theatre, etc.	110/130/150
Kennel	Per Kennel/Run/Cage	50
Laundromat	Per Machine	580
Marina	Per Slip ²⁵ with shore side restroom facilities including shower;	20
	add per slip for dump station	7
Migrant Worker Housing	Per Person	50
Motel	Per Sleeping Unit;	110/130/150
	add for in-room kitchen;	10
	add for in-room jacuzzi/spa	20
Office Building	Per Employee ²⁵ ;	15
	add for showers	5
Service station/Convenience store	Per Toilet ²⁵	400
Shopping Center / Grocery Store / Department Store	Per Sq. Ft. ^{25,26} ; add for deli, bakery, butcher	0.1
Swimming Pool / Bath House	Per Swimmer	10
Veterinary Office	Per Veterinarian	200

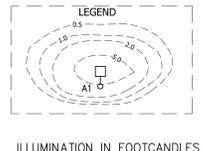
guidance referencing the 2002 law.

²⁵ Add for Food Service (e.g. 24-hour restaurant; refer to Food Service Operations Table)

²⁶ Add 15 gpd per employee/shift



LUMINAIRE SCHEDULE							
SYMBOL	TAG	QUANTITY	LABEL	DESCRIPTION	ARRANGEMENT	MANUFACTURER	COLOR TEMP. MOUNTED HEIGHT (FEET)
○	A1	1	DSQ2 LED Area Luminaire	DSQ2 LED P2 30K TSW MWLT	SINGLE	LITHONIA LIGHTING	3000K 20
○	A2	7	DSQ2 LED Area Luminaire	DSQ2 LED P2 30K TSW MWLT	SINGLE	LITHONIA LIGHTING	3000K 20
○	B1	9	DSQ2 LED Area Luminaire	DSQ2 LED P1 30K BLC MWLT	SINGLE	LITHONIA LIGHTING	3000K 20
○	B2	2	DSQ2 LED Area Luminaire	DSQ2 LED P1 30K BLC MWLT	SINGLE	LITHONIA LIGHTING	3000K 16
□	C1	6	WPX1 LED WALLPACK	WPX1 LED P2 30K MWLT	WALL MOUNTED	LITHONIA LIGHTING	3000K 9
○	D1	30	WPX3 LED WALLPACK	WPX3 LED 30K MWLT	WALL MOUNTED	LITHONIA LIGHTING	3000K 20
○	E1	8	DSQ2 LED Area Luminaire	DSQ2 LED P1 30K TSW MWLT	SINGLE	LITHONIA LIGHTING	3000K 20

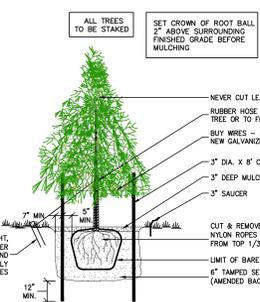


- NOTES:**
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF POLE MOUNTING BASE FOR APPROVAL OF OWNER. MOUNTING HEIGHT IS FROM FINISHED GRADE AND NOT FROM TOP OF BASE PEDESTAL.
 - ALL LIGHTING SHOWN IN THIS PLAN SHALL BE DIRECTED AWAY OR SHIELDED SO AS TO PRECLUDE OBSTRUCTIVE GLARE OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
 - POWER SUPPLY TO BE DESIGNED BY BUILDING ELECTRICAL ENGINEER.
 - LIGHTING CONTROLS TO BE SELECTED BY OWNER.

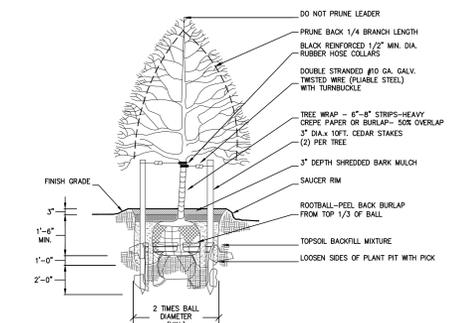
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
PO	QUERCUS PALustris	PIN OAK	3"-3 1/2" CAL.	6
B	MYRICA PENsylvANICA	NORTHERN BARBERRY	2 GAL.	9
W	ILEX VERTICILLATA	COMMON WINTERBERRY	2 GAL.	8 TOTAL, 1 MALE
V	VIBURNUM DENTATUM	ARROWWOOD	3 GAL.	10
J	JENIPERUS SCOPULORUM "GRAY GLEAM"	ROCKY MOUNTAIN JUNIPER	6"-7" FEET HIGH	35
ML	KALMA LATIFOLIA "SARAH"	MOUNTAIN LAUREL SARAH	30"-36" B&B	42
R	RHOXODENDRON MAXIMUM "ROSEM"	PINK ROSEBAY RHOXODENDRON	30"-36" B&B	29
SL	TILIA TOMENTOSA	SILVER LINDEN	2 1/2"-3" CAL.	12
RM	ACER RUBRUM	RED MAPLE	3"-3 1/2" CAL.	13
A	THUJA OCCIDENTALIS "EMERALD"	EMERALD ARBORVITAE	6"-7" FEET HIGH	74
BIORETENTION PLANTS				
IVE	IRIS VERSICOLOR	BLUE FLAG IRIS	DP-50	862
BA	SAGITTARIA LATIFOLIA	BROADLEAF ARROWHEAD	TUBERS	879
AG	ANDROPOGON GERARDI	BIG BLUE STEM	PL/72	1036
CC	CALAMAGROSTIS CANADENSIS	BLUEJOINT GRASS	PL/72	462
PV	PANICUM VIRGATUM	SWITCHGRASS	DP-50	512
ST	SCHENOPLECTIS TABERNAMONTANI (SORBUS VALDEUS)	SOFTSTEM BULRUSH	DP-50	600
WB	BUDIS MICRORRHIZA	WINTER GREEN BOWWOOD	3 GALLON	40

- PLANTING NOTES**
- *ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
 - MULCH ALL PLANT BEDS AND TREES WITH A 4" DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH.
 - GALVANIZED WIRE WITH 2 CEDAR STAKES, RUBBER HOSE AROUND TREE (6"-47" ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE.
 - CHANGEMAKE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
 - ALL PLANTING SHALL BE PLACED UNDER DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL, NOTIFY 48 HOURS PRIOR TO PLANTING.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
 - PLANT PITS SHALL BE 36" WIDER FOR TREES (MINIMUM OF TWO TIMES ROOT BALL DIAMETER) AND 24" WIDER FOR SHRUBS AND 6" DEEPER THAN THE ROOT BALL. SET PLANTS AT SAME LEVEL AS ORIGINALLY GROWN ON BASE OF UNDISTURBED SOIL. THE TRUNK FLARE AND ROOT COLLAR SHALL BE VISIBLE AT THE TOP OF THE PLANT BED AT THE TIME OF FINAL INSPECTION. REMOVE ALL EXISTING SOIL FROM PLANT PIT AND BACKFILL WITH A MIXTURE OF ONE PART PEAT HANGING, ONE PART GEPHROGATED COM MANURE, AND FOUR PART TOPSOIL. FERTILIZE ALL PLANTS WITH 2 TO 3 OZ. PER FOOT OF STEM HEIGHT AND 2 TO 3 LB. PER INCH OF TRUNK DIAMETER OF 30-5 FERTILIZER. FOR EVERGREEN PLANTING, ADD 1 LB. PER 100 SQUARE FEET OF PLANT BED EACH OF AMMONIUM SULFATE AND SUPERPHOSPHATE.
 - FERTILIZE AREAS BEFORE SEEDING OR SOODING WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS.
 - MULCH ALL PLANTS AND PLANTED AREAS WITH A 4" DEPTH OF SHREDDED PINE, OAK BARK OR OTHER SHREDDED BARK. DO NOT PLACE MULCH AGAINST TREE OR SHRUB TRUNK. THE TRUNK FLARE AND ROOT COLLAR SHALL BE VISIBLE AT THE TOP OF THE PLANT BED WITH NO MULCH AGAINST TRUNK. DO NOT CREATE MOUND OF MULCH AROUND TREE. FINISH GRADE TO BE SAME AS ORIGINALLY GROWN.
 - FERTILIZE AREAS BEFORE SEEDING OR SOODING WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS. LAWN AREAS SHALL BE SEEDED AT 5 LBS. PER 1000 SF. WITH THE FOLLOWING SEED MIX: 40% JAMESON TURFGRASS FESCUE, 40% BAHON CENTURY BLUEGRASS, AND 20% YORKTOWN PERENNIAL RYE OR APPROVED EQUIVALENT. MULCH NEARLY SEEDED LAWN AT 90 LBS.
 - FEED 1000 SQUARE FEET WITH HAY OR STRAW MULCH.
 - THE CONTRACTOR IS RESPONSIBLE TO PLANT THE TOTAL QUANTITIES OF ALL PLANTS SHOWN ON THE PLANTING PLAN. CHANGES TO THE SITE PLAN FROM THAT SHOWN ON THE PLANTING PLAN THAT CAUSE DIFFERENT SITE AREAS AVAILABLE FOR PLANTING SHALL HAVE PLANTING ADJUSTED ON SITE BY THE DESIGN PROFESSIONAL.

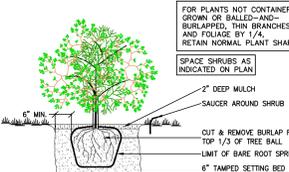
- BIORETENTION PLANTING SOIL BED CHARACTERISTICS:**
- THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER, BRUSH OF SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL IN LIFTS OF 12 TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).
 - PLANTING SOIL MIX (2.5 FEET DEEP) AS PER MOST RECENT NYSDEC RECOMMENDATIONS, THE PLANTING SOIL MIX SHALL BE AS FOLLOWS:
 85% - 80% COARSE / MEDIUM SAND
 15% - 12% SOIL FINES
 3% - 5% ORGANIC MATTER
 - BIORETENTION AREA SHALL BE CAPPED WITH 3" MULCH



EVERGREEN TREE PLANTING
N.T.S.



DECIDUOUS TREE PLANTING
N.T.S.



SHRUB PLANTING
N.T.S.

1	AS PER 6/16/2022 PLANNING BOARD COMMENTS	JO	07/11/2022
REV	DESCRIPTION	BY	DATE

DISCLAIMER:
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2209, SUBSECTION 2.

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PROJECT:
UNITY PLACE WAREHOUSE
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK

TITLE:
LIGHTING AND PLANTING PLAN

PROJECT NO: 21202
DRAWN: AP
CHECKED: DR
SCALE: 1" = 40'
GRAPHIC SCALE: 0' 40' 80'
DATE: 05/27/2022
DRAWING NO: 5

