



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: UNITY PLACE WAREHOUSE – AMENDED SITE PLAN
PROJECT NO.: 21-29
PROJECT LOCATION: SECTION 97, BLOCK 2, LOT 14.1 & 19.12 & 37.2
REVIEW DATE: 31 JULY 2025
MEETING DATE: 7 AUGUST 2025
PROJECT REPRESENTATIVE: BROOKER ENGINEERING – DENNIS ROCKS, PE

1. The project is before the Board for an amended site plan application. The project was previously approved in December of 2024 for a 154,700 square foot warehouse facility. The project now proposes a 240,083 square foot facility. An additional 2.6 +/- acres have been added to the site.
2. Demolition permits will be required to remove the 2 structures located on the lands to the west of the site. These residential parcels are now proposed to be added to create the current lot configuration. The project access point on Little Britain Road is proposed to be moved to the west towards the City of Newburgh parcel and Home Depot while the access point on Unity Place remains the same.
3. Revised Adjoiners Notices must be sent based on the Town Code.
4. Revised Long Form EAF should be submitted for the application.
5. A revised Lead Agency circulation will need to be undertaken.
6. Any impacts regarding federal jurisdictional wetlands on the site should be addressed with NYSDEC as wetland regulations have been modified since the previous Planning Board approval.
7. Updated Traffic Study should be provided based on increased warehouse size.
8. Revised SWPPP must be prepared.
9. Further review will be undertaken upon receipt of detailed design plans.
10. The Planning Board should evaluate the concept plan with regard to Code Chapter 85-57 B(2) regarding a favorable or unfavorable report.

Respectfully submitted,
MHE Engineering, D.P.C.

Patrick J. Hines
Principal

Michael W. Weeks, P.E.
Principal

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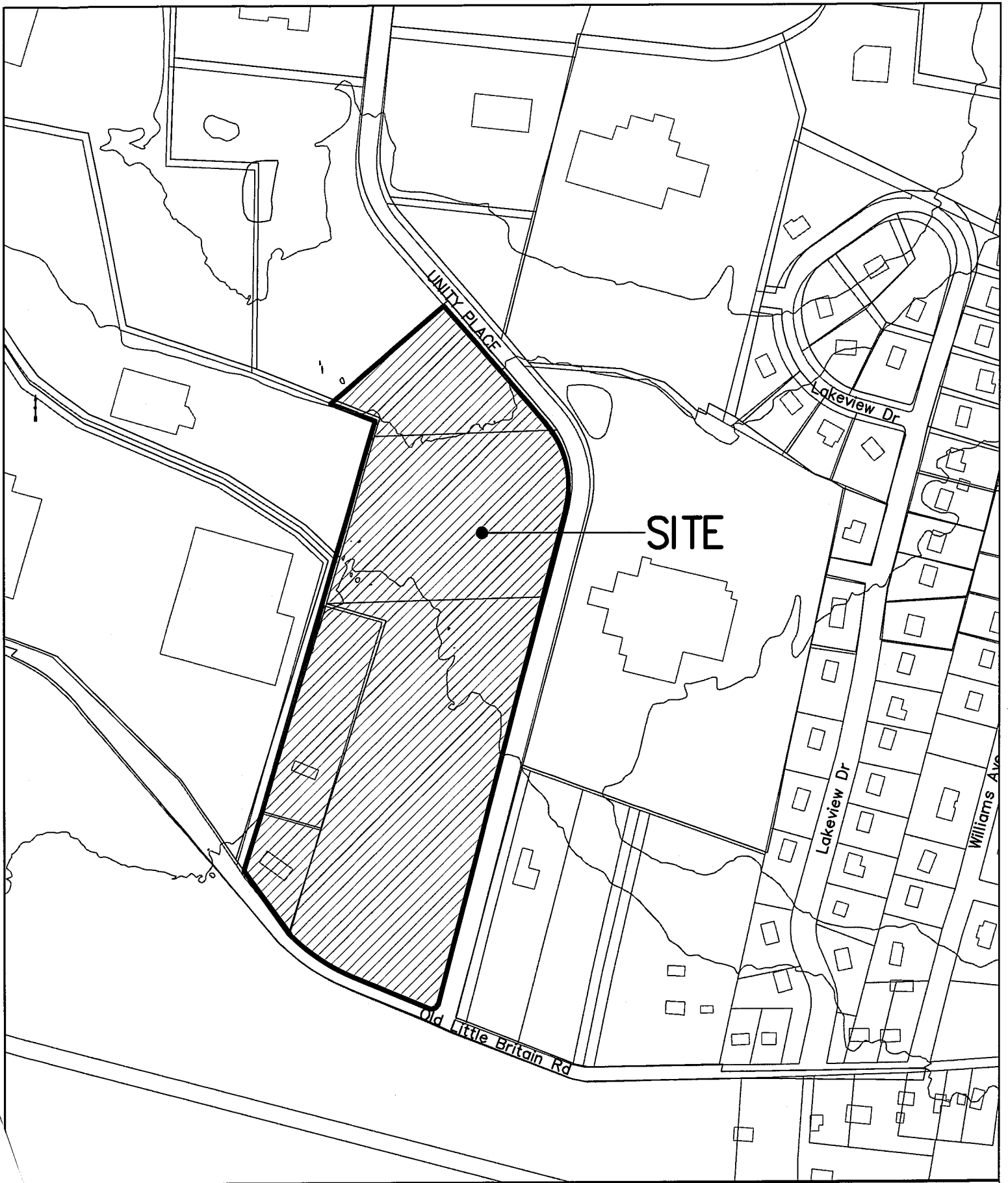
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NARRATIVE SUMMARY
 prepared for Unity Warehouse
Conceptual Application for Revised Site Plan Approval
 Newburgh Project No.: 21-29
 SECTION 97, BLOCK 2, LOTS 97-2-14.12, 20, 21
 July 22, 2025

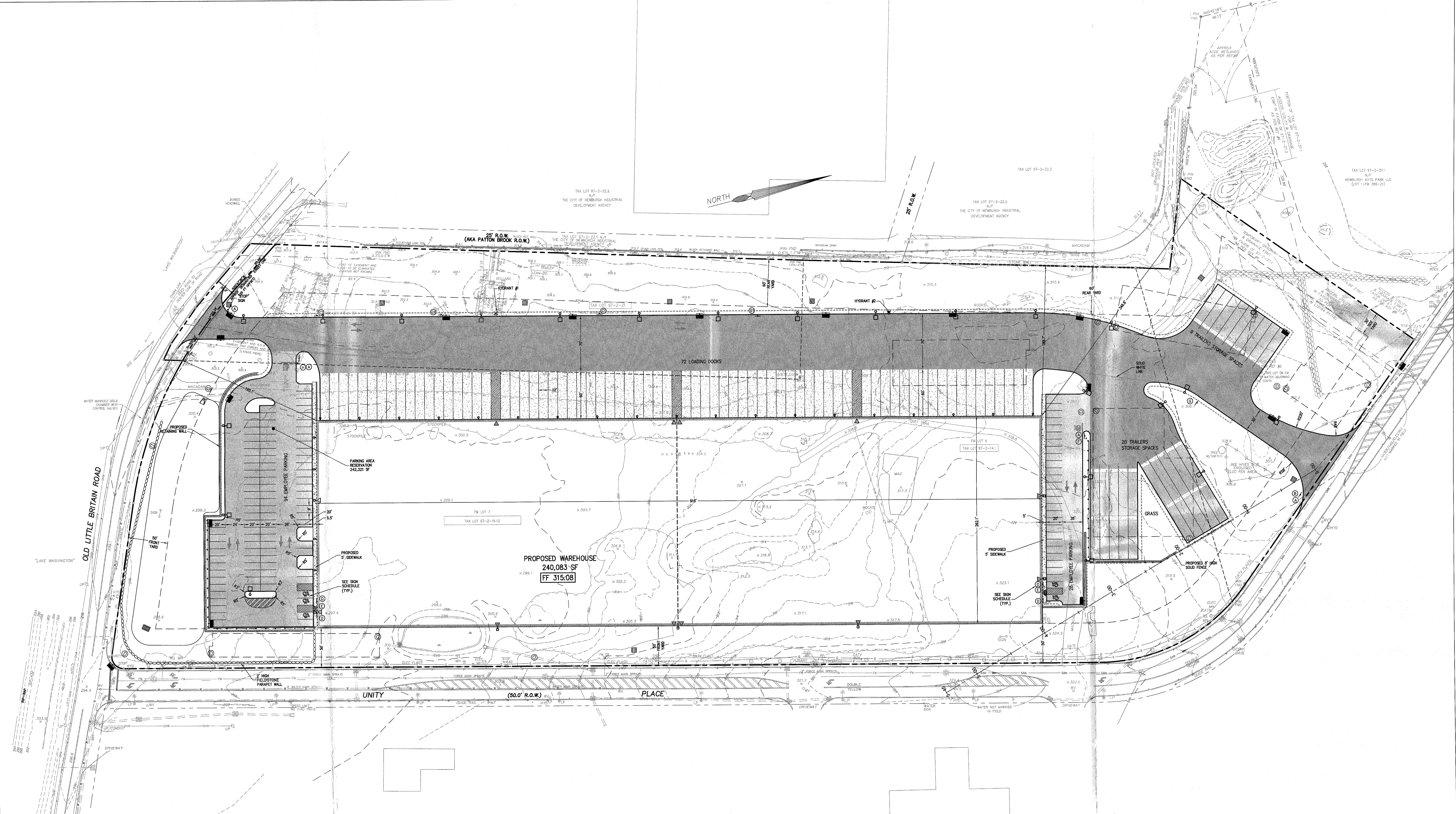
The Unity Warehouse Application for Site Plan Approval was approved by the Planning Board on July 20, 2023. Those approved plans were filed with the Town and remain valid. The Applicant has since purchased two existing tax lots (97-2-20 & 21) located immediately west of the approved site and wish to incorporate those properties into an Application for Revised Site Plan approval for an expansion of the site plan. Note that the two additional tax lots are also located in the IB zoning district. The Applicant wishes to build upon the Planning Board review that was conducted for the 2023 Approval and to supplement that review with submission of additional information as required. Attached please find a copy of the proposed Concept Expansion Plan dated 7/18/25 plus a copy of the approved layout plan dated 5/24/24. Currently the project engineers are evaluating soil conditions to determine if a revised stormwater management system can be developed to provide appropriate mitigation to support the expansion plan. Following please find a summary of the Proposed Expansion Plan vs the Approved Plan. We looked forward to meeting with the PB to review this proposal.

	Proposed Expansion Concept Plan	Approved Plan
Warehouse Area	240,083 sf	154,700 sf
Site Area	17.5 acres	14.9 acres
Site Tax Lots	97-2-14.12, 20, 21	97-2-14.1, 19.12, 37.2 (note that 3 tax lots were merged and became 97-2-14.12)
Loading Docks	72	72

RECEIVED
 JUL 23 2025
 MHE Engineering, D.P.C.



VICINITY MAP
SCALE 1"=300'



BULK TABLE
 ZONE: B DISTRICT
 USE SUBJECT TO SITE PLAN REVIEW BY THE PLANNING BOARD: WAREHOUSE, STORAGE AND TRANSPORTATION FACILITIES INCLUDING TRUCK AND BUS TERMINALS.
 USE GROUP: #

	MIN. LOT AREA (SF)	MIN. LOT WIDTH (FEET)	MIN. LOT DEPTH (FEET)	MIN. FRONT YARD (FEET)	MIN. REAR YARD (FEET)	MIN. 1 SIDE YARD (FEET)	MIN. BOTH SIDE YARD (FEET)	MAX. PERMITTED LOT BUILDING COVERAGE (%)	MAX. PERMITTED LOT SURFACE COVERAGE (%)	MAX. PERMITTED LOT SURFACE COVERAGE (%)
REQUIRED	40,000	150	150	50	60	30	80	40	40	80
PROPOSED	762,223	1,729	305.3	50	166.7	346.6	N/A	31.5	38.82	61.8

LOT BUILDING COVERAGE

BUILDING AREA =	240,083 SF
LOT AREA =	762,223 SF
=	(240,083 SF / 762,223 SF) x 100% = 31.5%

MAX. PERMITTED LOT SURFACE COVERAGE

PAVEMENT AREA =	227,800 SF
BUILDING AREA =	240,083 SF
SIDEWALK AREA =	2,940 SF
TOTAL IMPROVED AREA =	470,723 SF
SURFACE COVERAGE =	(470,723 SF / 762,223 SF) x 100% = 61.8%

PARKING CALCULATION:
 A) AS PER ZONING CODE § 185-13:
 1 EMPLOYEE/1,000 SF
 240,083 SF / 1,000 SF = 240 EMPLOYEES
 REQUIRED 2 SPACES/3 EMPLOYEES = 107 SPACES
 B) AS PER ZONING CODE ATTACHMENT 2, CHART 1
 1 PARKING GENERATION RATES
 REQUIRED: 0.50 SPACES/1,000 SF GROSS BUILDING AREA (240,083 SF) = 120 SPACES
 PROVIDED: 122 SPACES (5407 + 3120) (K)
 REQUIRED ADA PARKING: 5
 PROVIDED ADA PARKING: 5

SITE PLAN NOTES

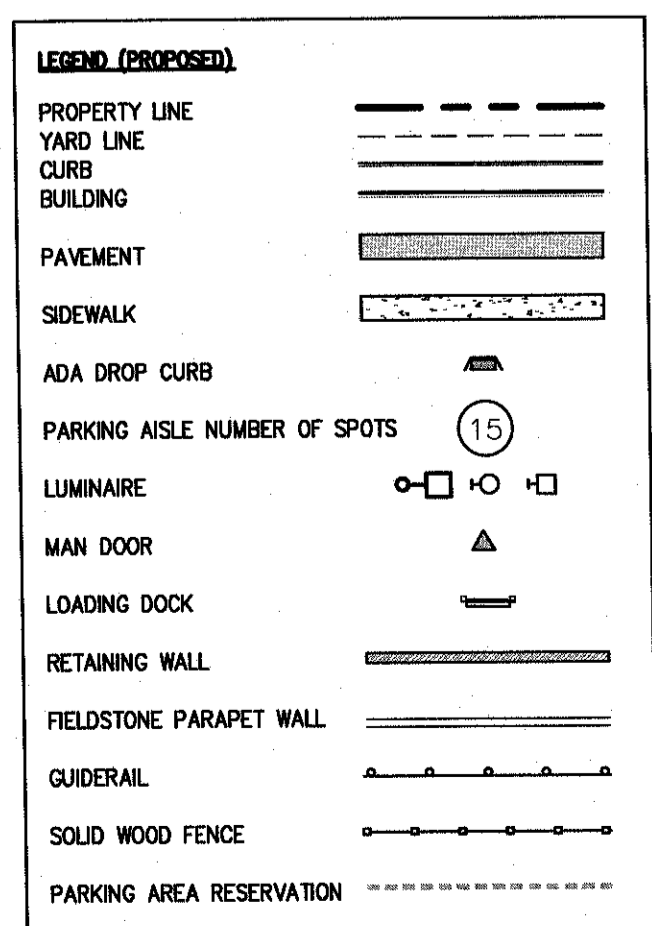
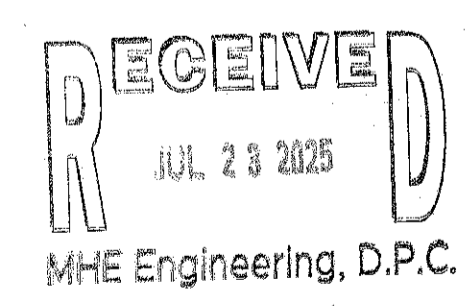
- TAX LOTS 97-2-1412, 97-2-20 & 97-2-21
- AREA OF TRACT: 762,223 SF (17,4882 AC)
- ZONING: B
- USE: WAREHOUSE, STORAGE AND TRANSPORTATION FACILITIES INCLUDING TRUCK AND BUS TERMINALS.
- PLANNING BOARD SITE PLAN REVIEW USE GROUP: 9
- APPLICANT: UNITY PLACE NEWBURGH LLC
 93 CHESTNUT RIDGE ROAD,
 MONTVALE, NJ 07645
 (212) 798 5449

SIGN SCHEDULE

SYMBOL	SIGN PANEL	QUANTITY
(A)	STOP SIGN MUTED R1-1 (30"x30")	4
(B)	"NO RIGHT TURN FOR TRUCKS"	1
(C)	"ALL TRUCKS" ONE WAY SIGN R6-1R (24"x32")	4
(D)	ADA PARKING MUTED R7-8	4
(E)	NO PARKING ANYTIME MUTED R7-1	2
(F)	NO RIGHT TURN MUTED R3-1	1
(G)	EXIT	1
(H)	"TRUCKS NO EXIT"	1

NOTE: REFER TO SIGN DETAILS SHEET #0

NOTES:
 ALL PAVEMENT STRIPING REMOVAL AND NEW PAVEMENT MARKINGS SHALL CONFORM WITH THE NYSDOT STANDARD SPECIFICATIONS AS FOLLOWS:
PAVEMENT STRIPING REMOVAL SCHEDULE:
 ITEM 635.0303 - CLEANING AND PREPARATION OF PAVEMENT SURFACE - LETTERS
 ITEM 635.0303 - CLEANING AND PREPARATION OF PAVEMENT SURFACE - SYMBOLS
NEW PAVEMENT MARKING SCHEDULE:
 ITEM 665.11 - WHITE EPOXY REFLECTORIZED PAVEMENT STRIPING - 20 MILS
 ITEM 665.11 - YELLOW EPOXY REFLECTORIZED PAVEMENT STRIPING - 20 MILS
 ITEM 665.11 - WHITE EPOXY REFLECTORIZED PAVEMENT STRIPING - LETTERS
 ITEM 665.11 - WHITE EPOXY REFLECTORIZED PAVEMENT STRIPING - SYMBOLS



REV	DESCRIPTION	BY	DATE

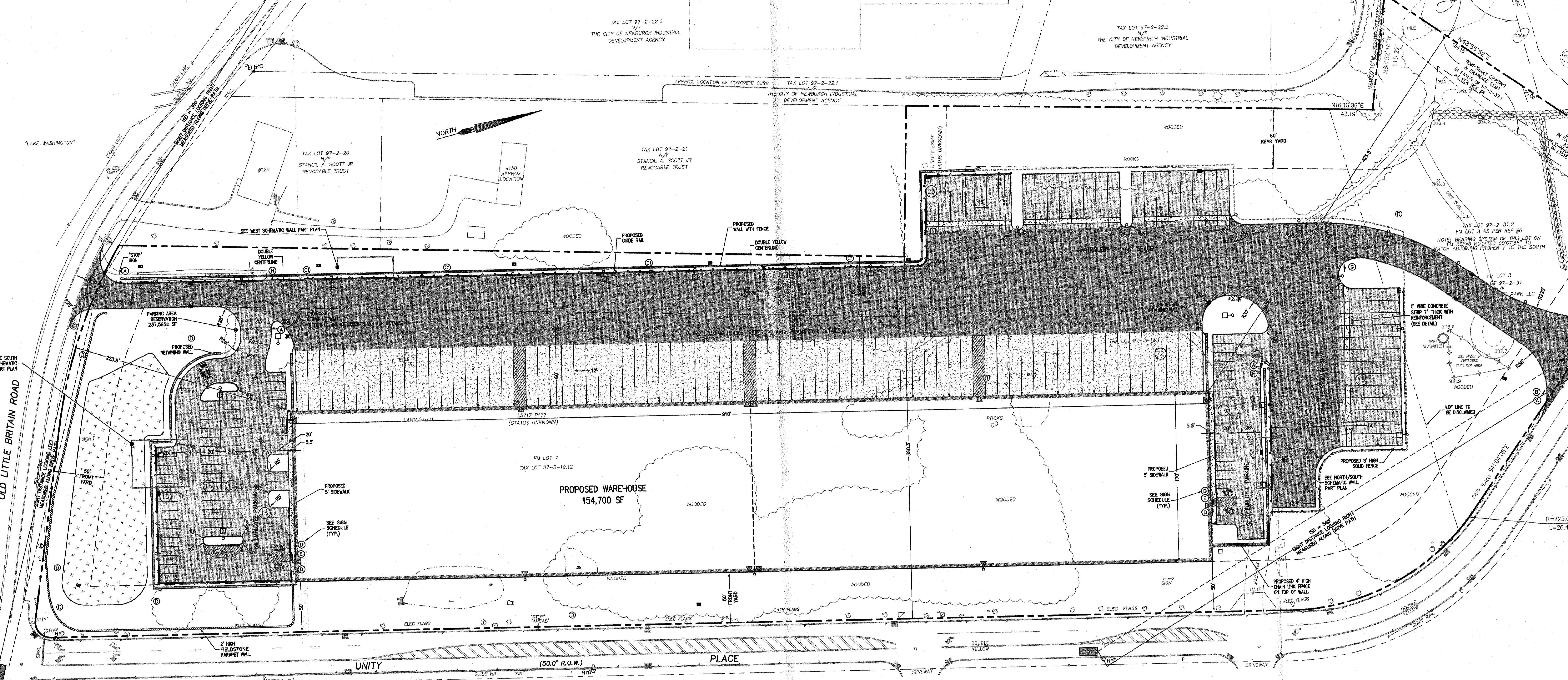
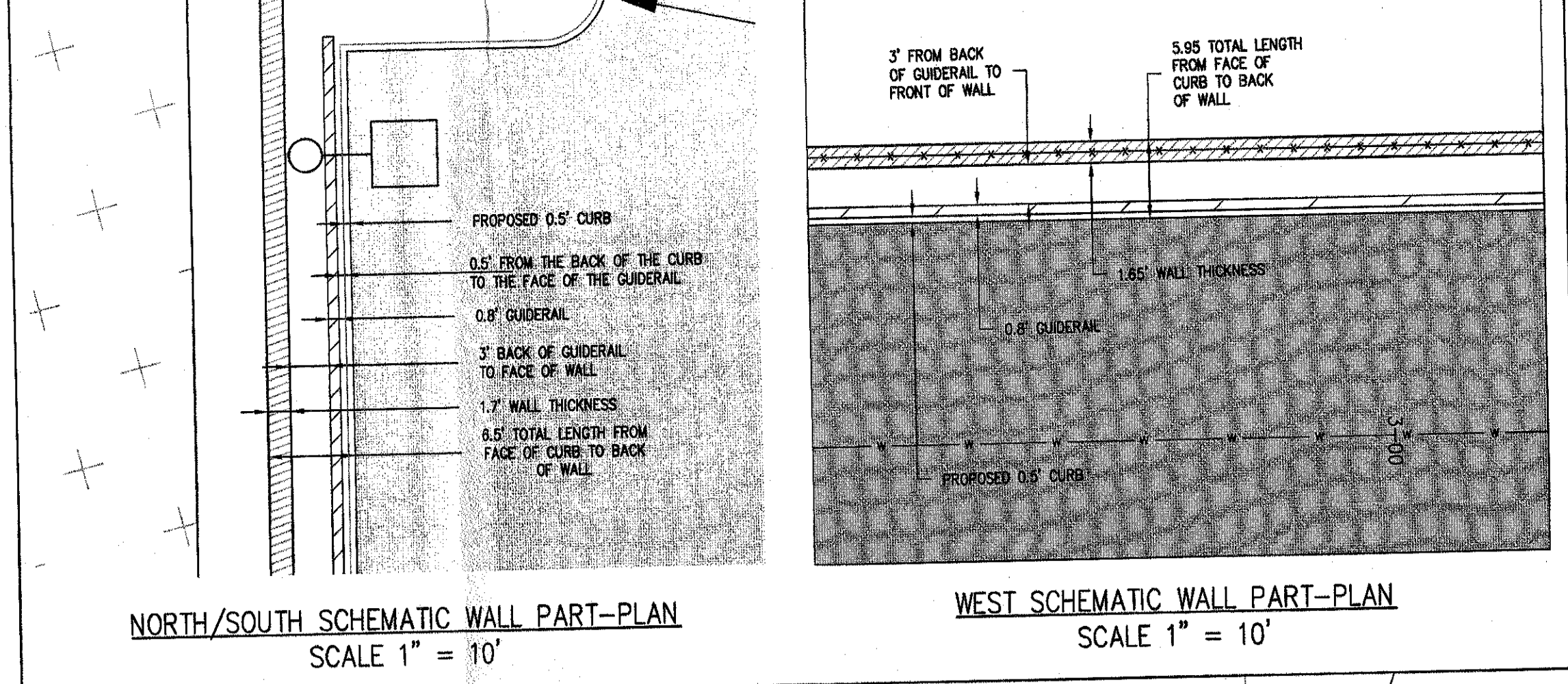
DISCLAIMER: UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 2209, SUBSECTION 2.

BROOKER ENGINEERING
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 WESTONANDSAMPSON.COM

PROJECT: **UNITY PLACE WAREHOUSE**
 TOWN OF NEWBURGH
 ORANGE COUNTY
 NEW YORK

TITLE: **CONCEPT PLAN**

PROJECT NO: 21202 DRAWN: AP CHECKED: DR
 SCALE: 1" = 40'
 GRAPHIC SCALE: 40' 80'
 DATE: 7/18/25 DRAWING NO: 2



SITE PLAN APPROVED
Planning Board, Town of Newburgh
12/12/2024
Chairman

PARKING CALCULATIONS
A) AS PER ZONING CODE § 185-13:
1 EMPLOYEE/7,000 SF
154,700 SF / 7,000 SF = 104 EMPLOYEES
REQUIRED 2 SPACES/EMPLOYEE = 208 SPACES
B) AS PER ZONING CODE ATTACHMENT A, CHART
1 PARKING GENERATION RATES
REQUIRED: 625 SPACES/1,000 SF GROSS BUILDING AREA (154,700 SF) = 78 SPACES
PROVIDED: 84 SPACES (70 & 14 SPACES)
REQUIRED ADA PARKING: 4
PROVIDED ADA PARKING: 4

SITE PLAN NOTES

- TAX LOTS 97-2-141, 97-2-19.12 & 97-2-37.2
- AREA OF TRACT: 648,630 SF ± (14.89 AC ± 3)
- ZONE: I9
- USE: WAREHOUSE, STORAGE AND TRANSPORTATION FACILITIES INCLUDING TRUCK AND BUS TERMINALS
- PLANNING BOARD SITE PLAN REVIEW USE GROUP: 9
- RECORD OWNERS: 1) TAX LOT 97-2-141: LARGO NEW REALTY HOLDING LLC, RONALD K. BARTON, C/O BARTON CHEVROLET, INC., 800 AUTO PART PLACE, NEWBURGH, NEW YORK, 12550
- TAX LOT 97-2-141: UNITY PLACE PROPERTIES LLC, RONALD K. BARTON, C/O BARTON CHEVROLET, INC., 800 AUTO PART PLACE, NEWBURGH, NEW YORK, 12550
- TAX LOT 97-2-37.2: NEWBURGH AUTO PARK, LLC, RONALD K. BARTON, C/O BARTON CHEVROLET, INC., 800 AUTO PART PLACE, NEWBURGH, NEW YORK, 12550

7. APPLICANT:
UNITY PLACE NEWBURGH LLC
50 CHESTNUT RIDGE ROAD,
MONTICELLO, NY 07645
(212) 798 5449

SIGN SCHEDULE

SYMBOL	SIGN PANEL	QUANTITY
(A)	STOP SIGN MUTED R-1 (30"x30")	4
(B)	"NO RIGHT TURN FOR TRUCKS"	1
(C)	"ALL TRUCKS" ONE WAY SIGN R8-R (30"x12")	4
(D)	ADA PARKING MUTED R7-S	4
(E)	NO PARKING ANYTIME MUTED R7-1	2
(F)	NO RIGHT TURN MUTED R3-1	1
(G)	EXIT	1
(H)	"TRUCKS NO EXIT"	1

NOTE: REFER TO SIGN DETAILS SHEET #

NOTES:

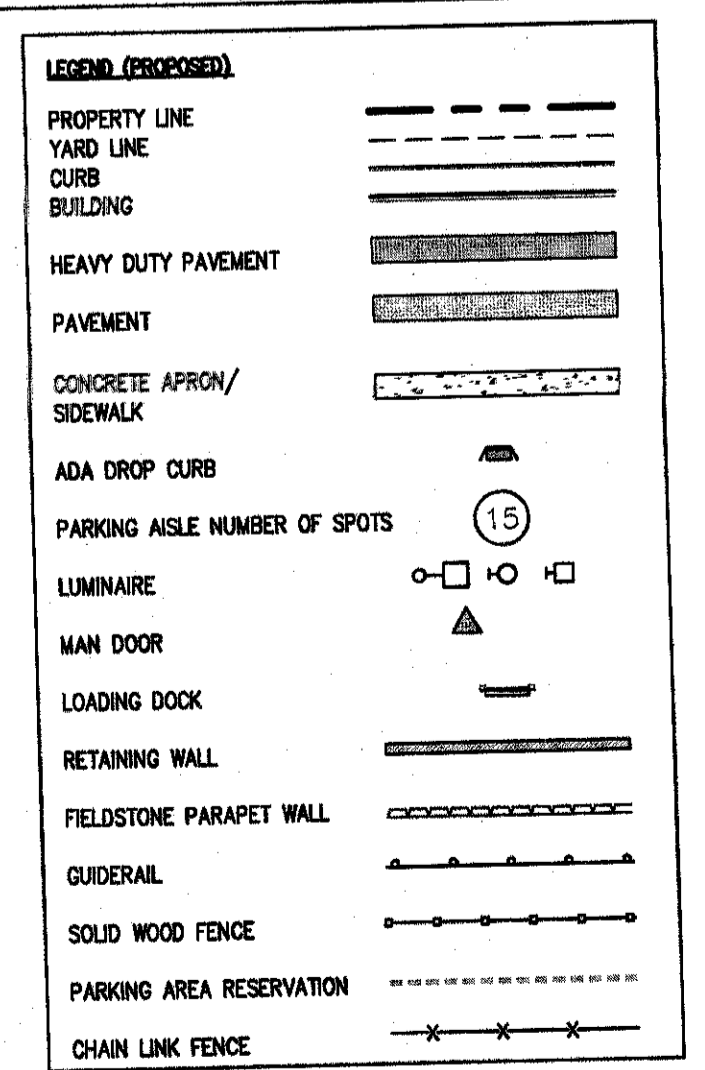
ALL PAVEMENT STRIPING REMOVAL AND NEW PAVEMENT MARKINGS SHALL CONFORM WITH THE NYSDOT STANDARD SPECIFICATIONS AS FOLLOWS:

PAVEMENT STRIPING REMOVAL SCHEDULE:

ITEM 635.0103 - CLEANING AND PREPARATION OF PAVEMENT SURFACE - LINES
ITEM 635.0303 - CLEANING AND PREPARATION OF PAVEMENT SURFACE - LETTERS
ITEM 635.0303 - CLEANING AND PREPARATION OF PAVEMENT SURFACE - SYMBOLS

NEW PAVEMENT MARKING SCHEDULE:

ITEM 685.11 - WHITE EPOXY REFLECTORIZED PAVEMENT STRIPING - 20 MILS
ITEM 685.11 - YELLOW EPOXY REFLECTORIZED PAVEMENT STRIPING - 30 MILS
ITEM 685.11 - WHITE EPOXY REFLECTORIZED PAVEMENT STRIPING - LETTERS
ITEM 685.11 - WHITE EPOXY REFLECTORIZED PAVEMENT STRIPING - SYMBOLS



LOT BUILDING COVERAGE

BUILDING AREA = 154,700 SF
LOT AREA = 648,630 SF
= (154,700/648,630) = 0.238 X 100 = 23.8%

MAX. PERMITTED LOT SURFACE COVERAGE

PAVEMENT AREA = 227,330 SF
BUILDING AREA = 154,700 SF
SEWALK AREA = 1,419 SF
TOTAL IMPERVIOUS AREA = 383,449 SF
SURFACE COVERAGE = (383,449/648,630) = 0.591 X 100 = 59%

BUCK TABLE
ZONE: I9 DISTRICT
USE SUBJECT TO SITE PLAN REVIEW BY THE PLANNING BOARD: WAREHOUSE, STORAGE AND TRANSPORTATION FACILITIES INCLUDING TRUCK AND BUS TERMINALS.

MIN. LOT AREA (SQ FT)	MIN. LOT WIDTH (FEET)	MIN. LOT DEPTH (FEET)	MIN. FRONT YARD (FEET)	MIN. REAR YARD (FEET)	MIN. 1 SIDE YARD (FEET)	MIN. 2ND SIDE YARD (FEET)	MAX. PERMITTED LOT SURFACE COVERAGE (%)	MAX. PERMITTED LOT SURFACE COVERAGE (SQ FT)	MAX. PERMITTED LOT SURFACE COVERAGE (SQ FT)
REQUIRED	40,000	150	150	60	30	80	40	60	80
PROPOSED	648,630	1,725	360.3	50	140.29	195.9	N/A	23.8	99

REV	DESCRIPTION	BY	DATE
8	GENERAL REVISIONS	AP	05/24/24
6	AS PER REVIEW COMMENTS	AP	03/19/23
5	GENERAL REVISIONS	XC	05/04/23
1	AS PER 6/16/2022 PLANNING BOARD COMMENTS	JO	07/11/2022

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PROJECT: **UNITY PLACE WAREHOUSE**
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK

TITLE: **LAYOUT PLAN**

PROJECT NO. 21202
SCALE: 1" = 40'
GRAPHIC SCALE: 40' 80'
DATE: 05/27/2022
DRAWING NO. 2

