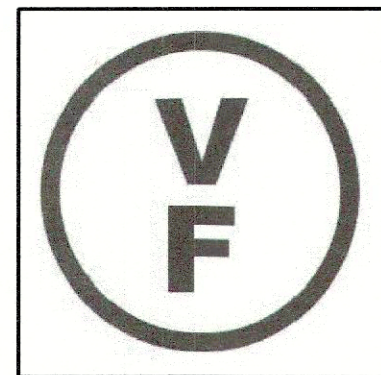


PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ALL WINDOWS TO BE ANDERSEN 200 SERIES, DUAL PANEL LOW-E GLAZING OR APPROVED EQUAL. U-FACTOR: 0.30. SOLAR HEAT GAIN: 0.34. VISIBLE TRANSMITTANCE: 0.55.



NOTES:

1. TO BE PLACED NEAR ELECT. METER OUTSIDE.
2. SIGN IDENTIFYING THE EXISTENCE OF TRUSS CONSTRUCTION SHALL CONSIST OF A CIRCLE 6 INCHES (152.4 MM) IN DIAMETER, WITH A STROKE WIDTH OF 1/4 INCH (2.7 MM). THE SIGN BACKGROUND SHALL BE REFLECTIVE WHITE IN COLOR.

NYS TRUSS ID SIGN
SCALE: N.T.S.

NOTE:

I, I CERTIFY TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THAT ALL APPLICABLE SECTIONS OF THE STATE ENERGY CODE HAVE BEEN MET OR EXCEEDED BY THESE PLANS.

George J. Lopez

APPLICABLE CODES: THE 2020 RCNYS, TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC CRITERIA

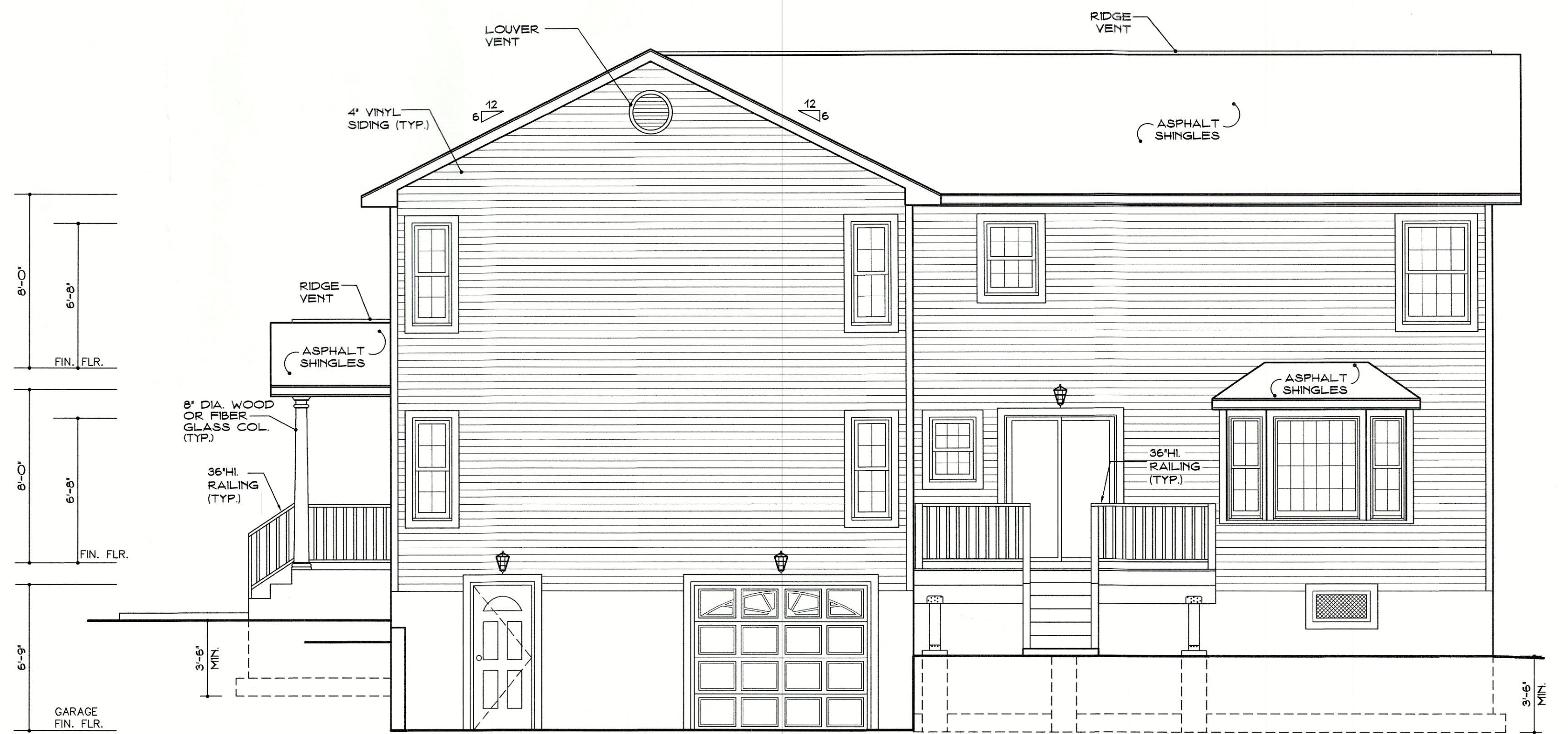
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
WEATHERING	FROST LINE DEPT	TERMITES								
SEVERE	42"	MODERATE TO HEAVY	10	YES	NA	1000	53 °F			

ZONING INFORMATION

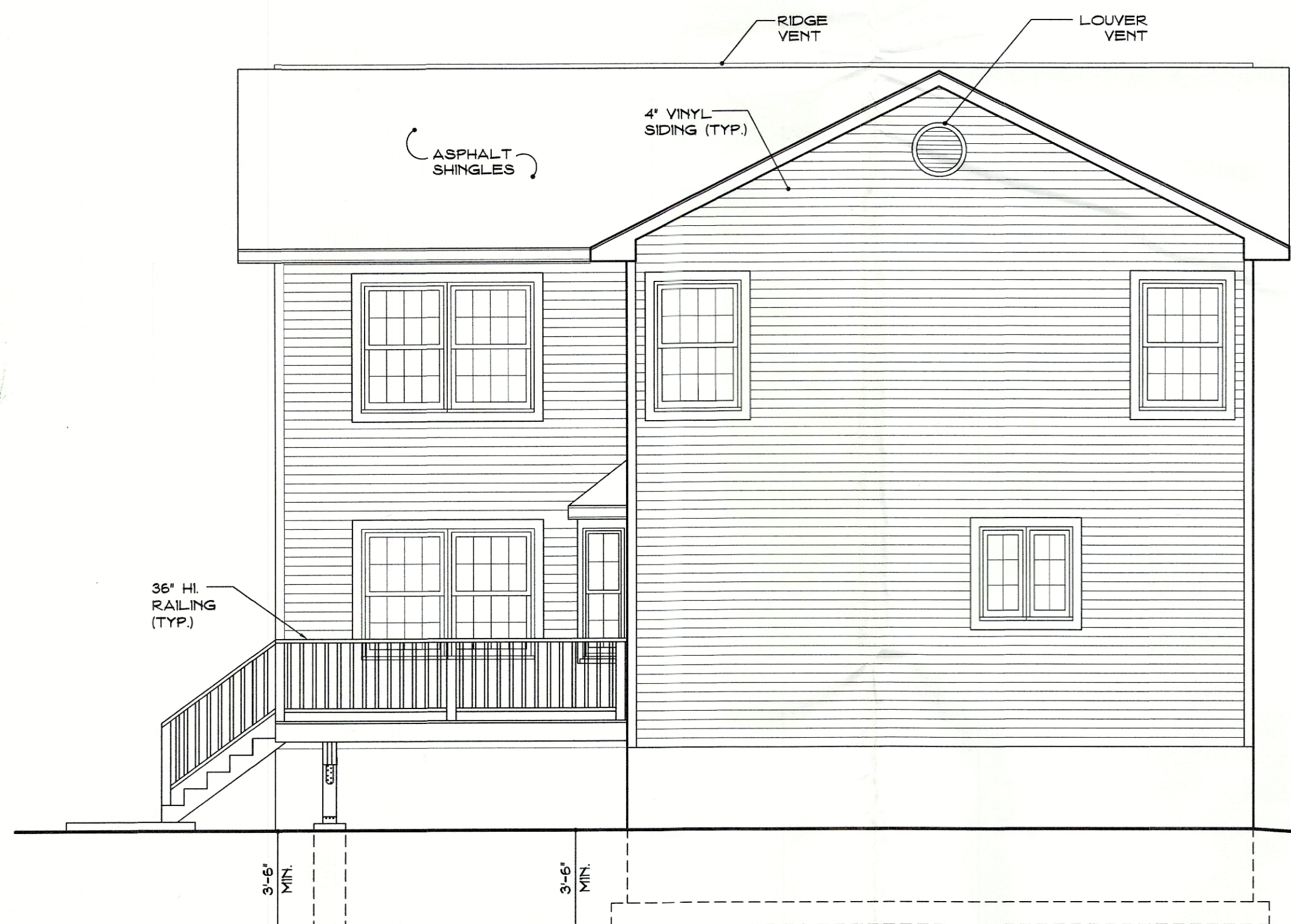
TPN (77-3-1)

ZONE R-3	USE SINGLE FAMILY		
	REQUIRED	EXISTING	PROPOSED
LOT AREA	15,000 SF	X 12,560 SF	NO CHANGE
MIN. LOT WIDTH	100 FT.	137.37 FT.	NO CHANGE
LOT DEPTH	125 FT.	X 95.42 FT.	NO CHANGE
FRONT YARD	40 FT.	X 24.7 FT. & 24.7 FT. E	X 24.7 FT. & 24.7 FT. E
REAR YARD	40 FT.	66.0 FT.	59.5 FT.
ONE SIDE YARD	15 FT.	47.2 FT.	21.0 FT.
BOTH SIDE YARD	30 FT.	N/A	N/A
HABITABLE FLR. AREA	900 FT.	MORE THAN	MORE THAN
LOT BUILDING COVERAGE	15%	7%	12%
BUILDING HEIGHT	35 FT.	LESS THAN	LESS THAN
LOT SURFACE COVERAGE	30%	24%	29%

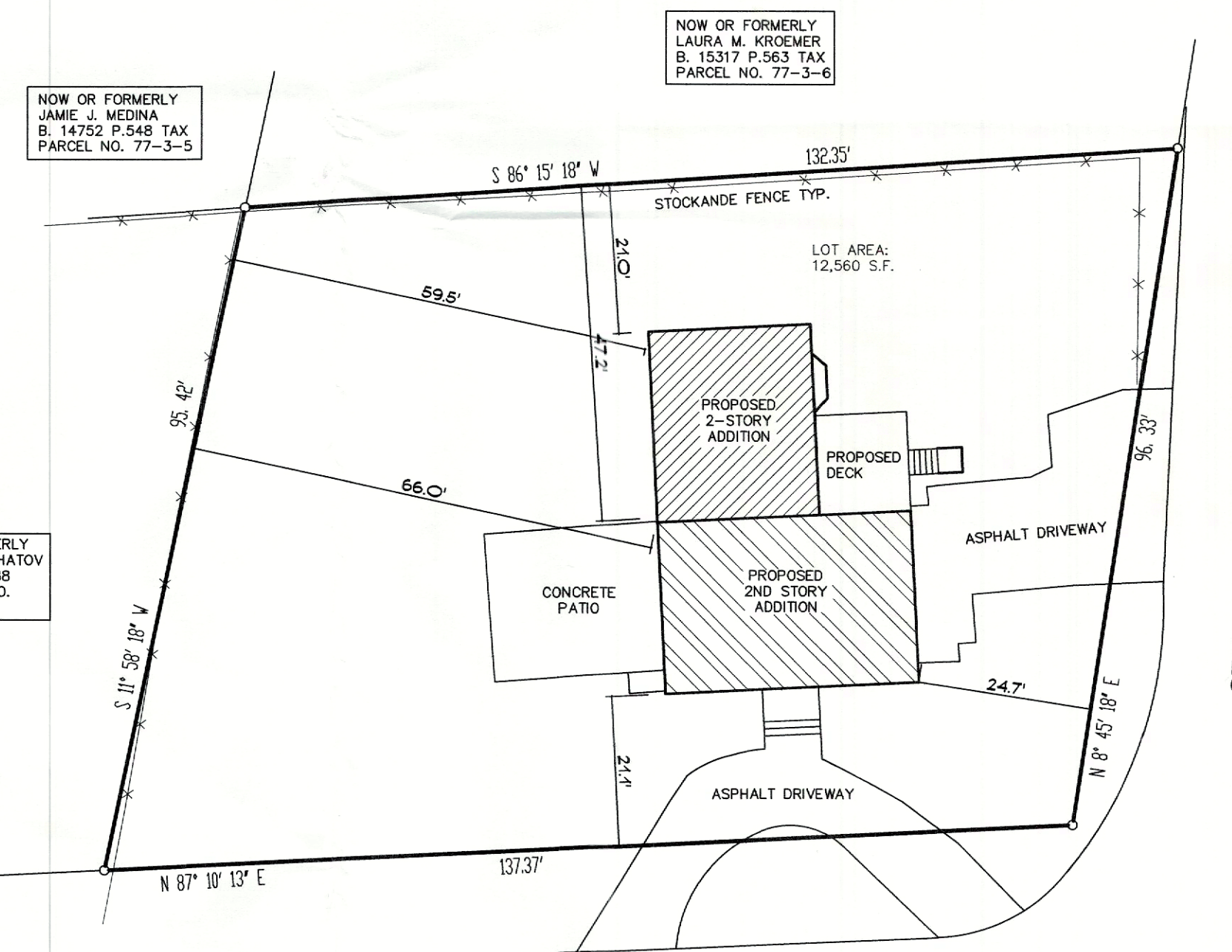
X DENOTES PRE-EXIST. NON-CONFORMING
XX DENOTES VARIANCE REQUIRED



PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



INFORMATION TAKEN FROM A SURVEY PREPARED BY BOUNDARY SURVEY DATED 6-12-24

PLOT PLAN
SCALE: 1" = 20'



PROPOSED ADDITION & ALTERATIONS FOR
MR. JOSE TIPAN & MR. NICOLAS TIPAN
5 ROY PLACE
NEWBURGH, NY 12550

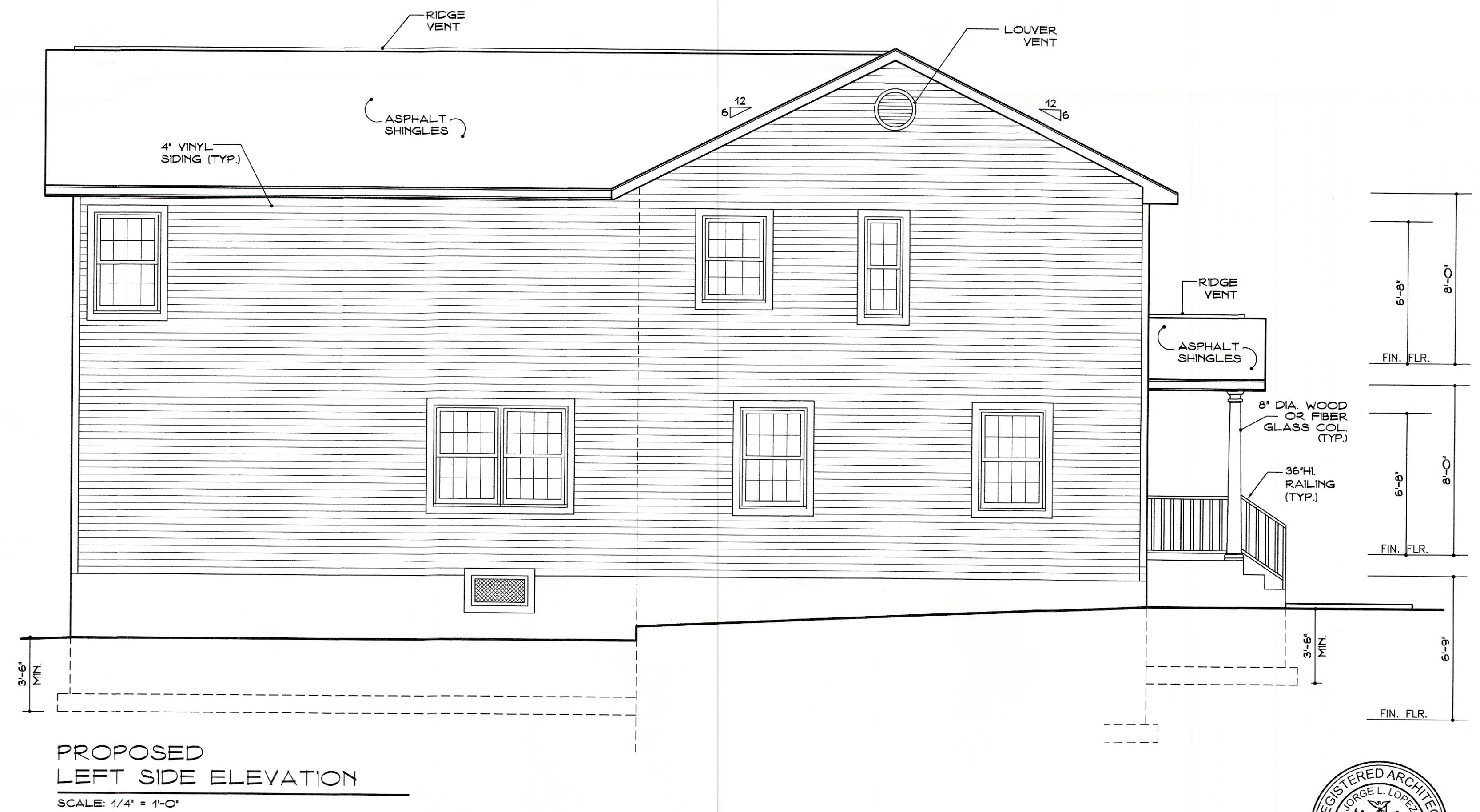
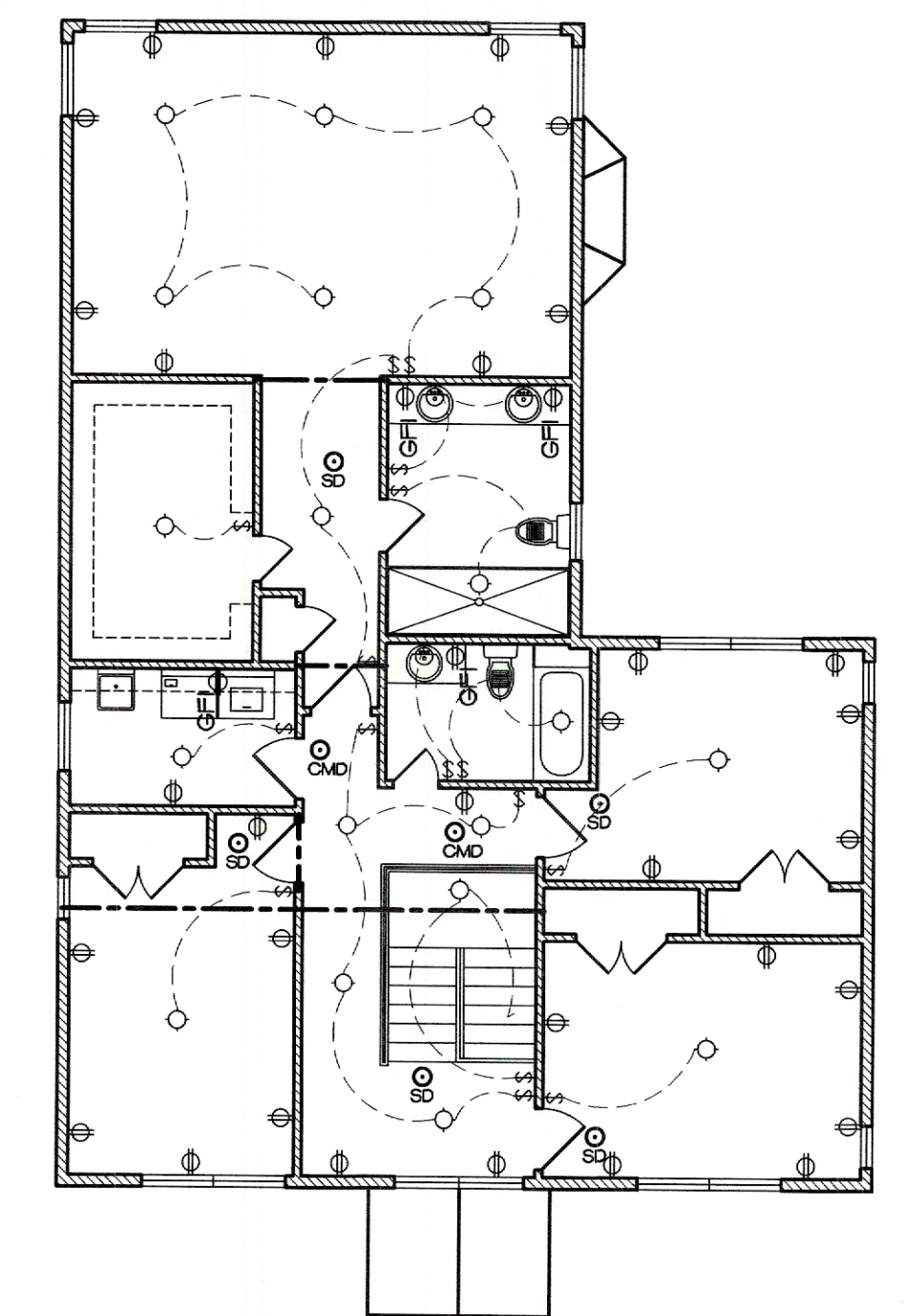
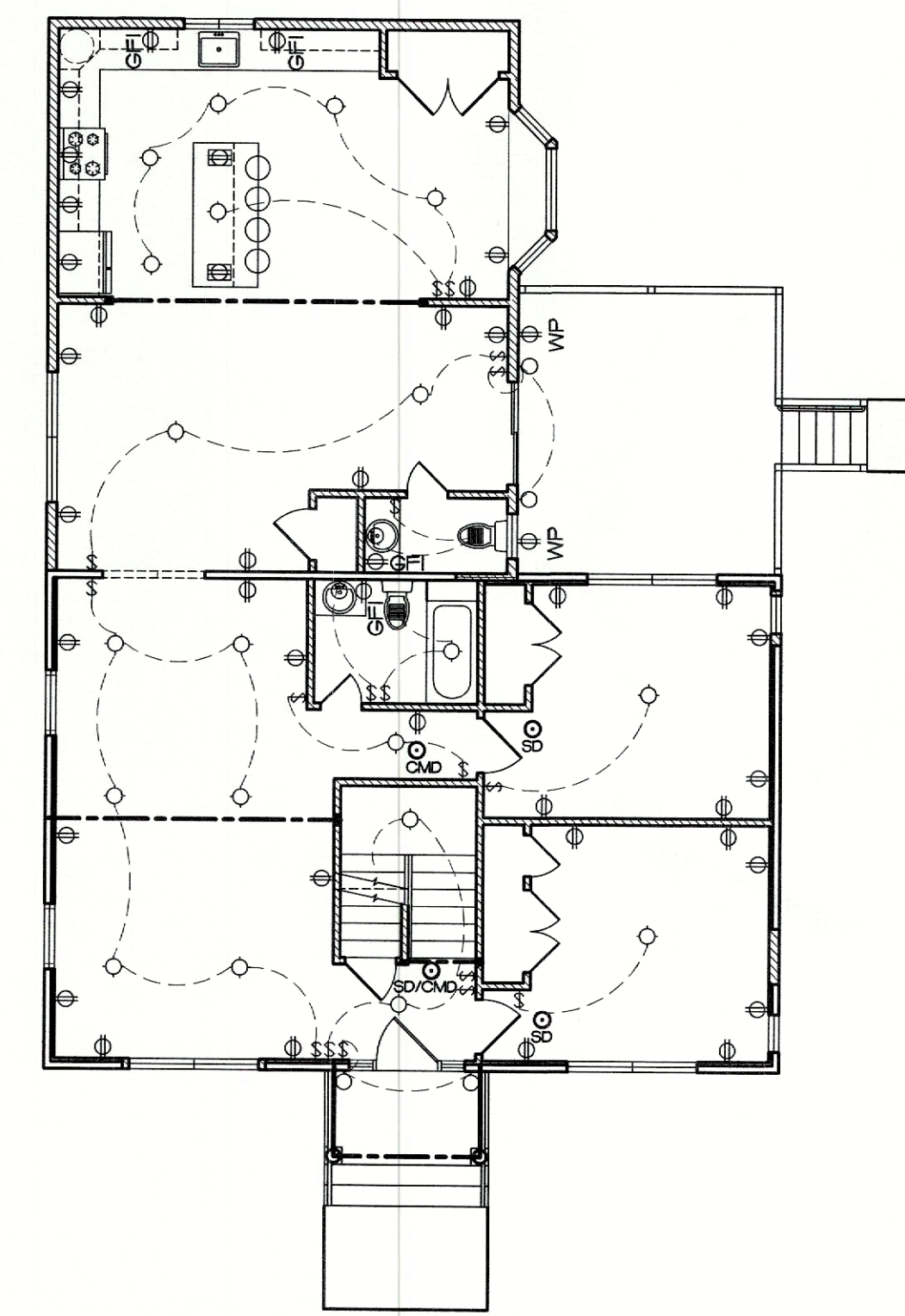
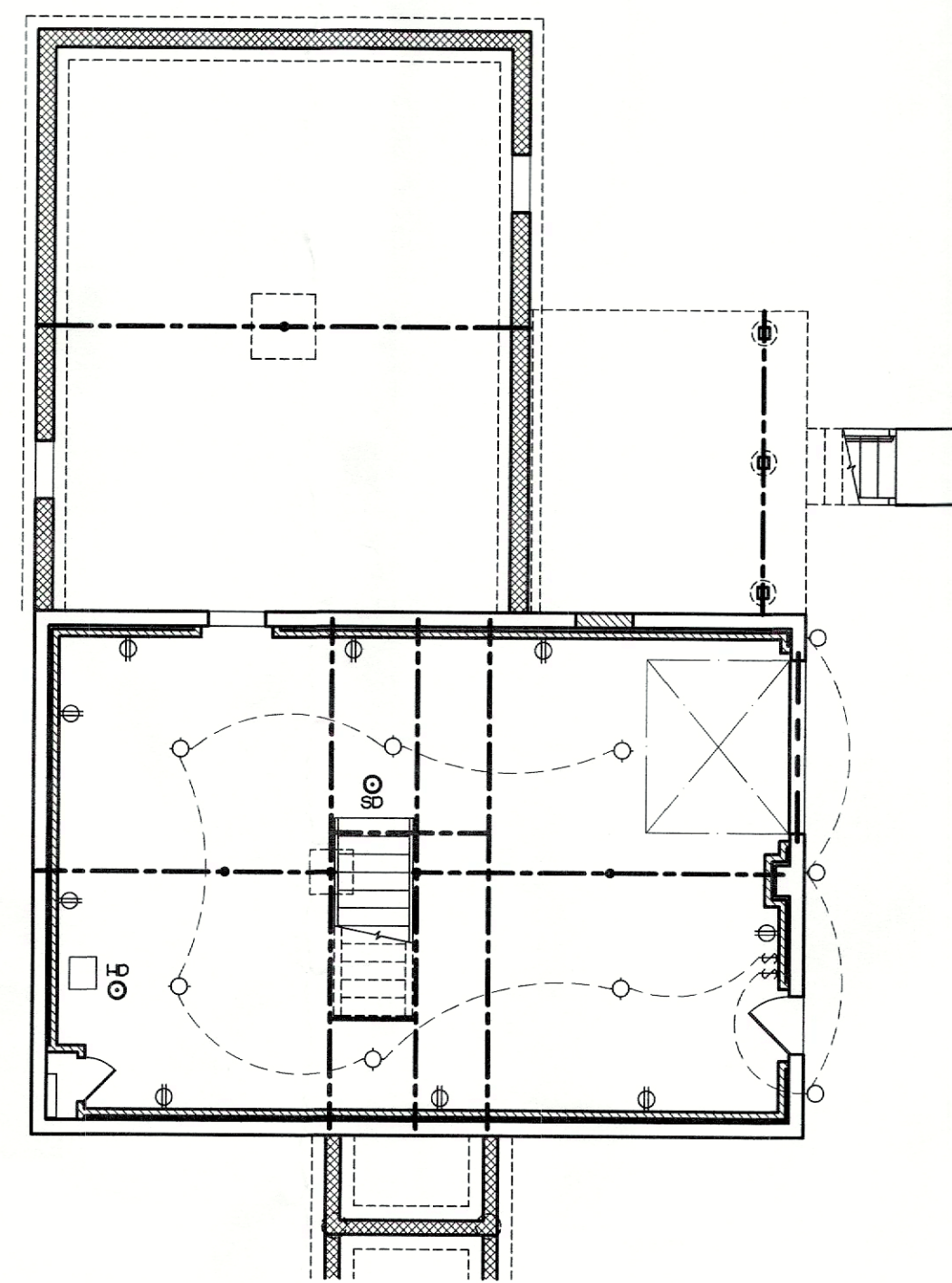
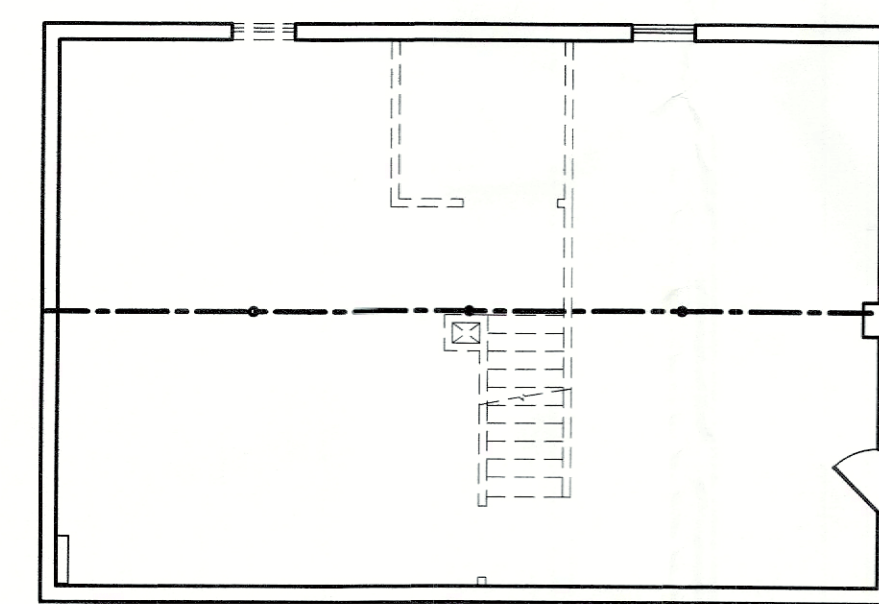
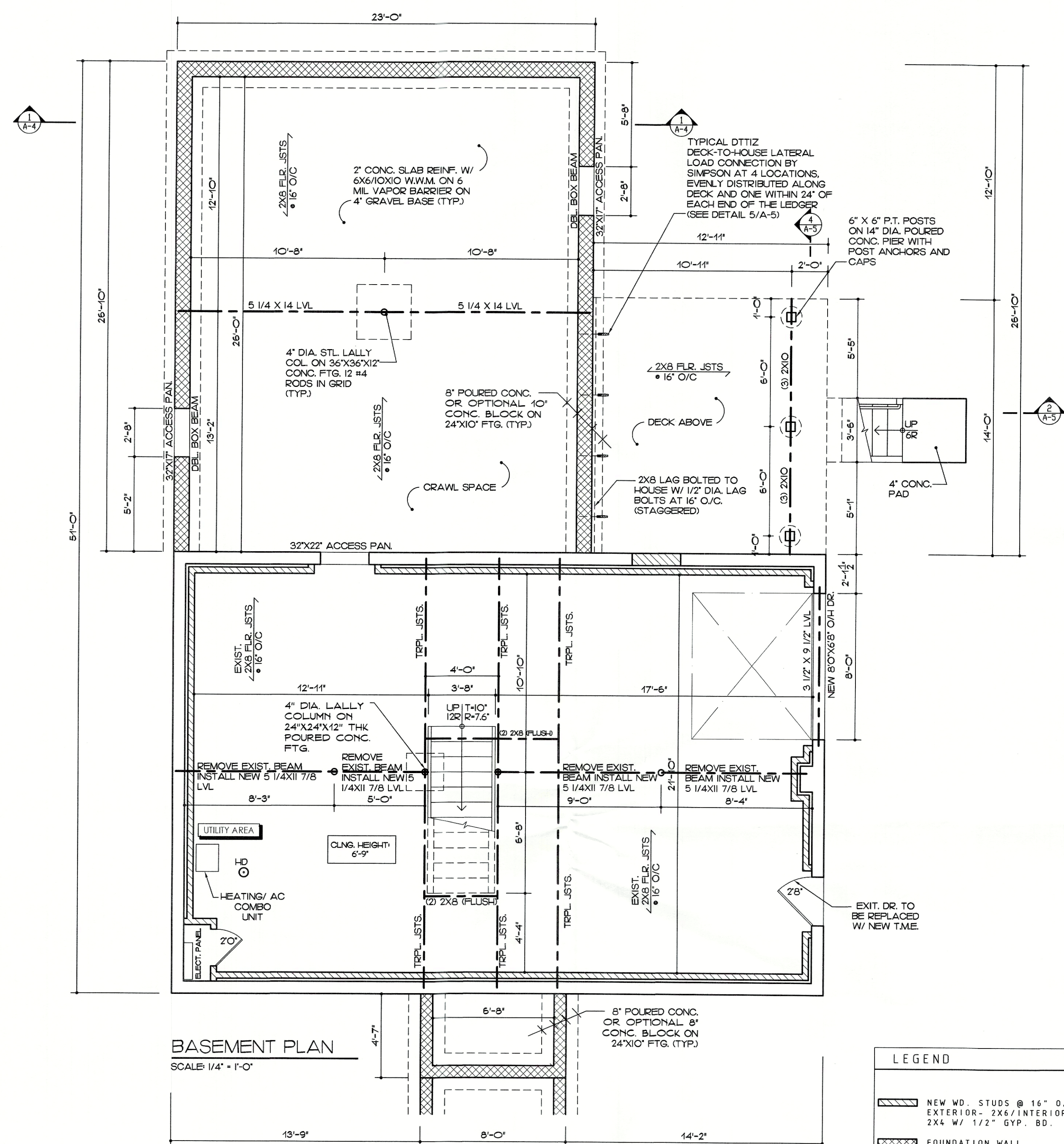
DATE	DRN BY	CHK
09/16/24	CP	
REV		

JORGE L. LOPEZ, ARCHITECT, P.C.
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AREA:	
EXIST. FIRST & 2ND FLR.	- 1,307 S.F.
NEW FIRST FLR.	- 654 S.F.
NEW 2ND FLR.	- 1,003 S.F.
TOTAL (NEW)	- 1,657 S.F.
TOTAL	- 2,964 S.F.
EXIST. BASEMENT	- 868 S.F.

PROJECT NO
24-062
SHEET 1 OF 5
A-1


DO NOT SCALE PRINTS



DO NOT SCALE PRINTS

PROPOSED ADDITION & ALTERATIONS FOR
MR. JOSE TIPAN & MR. NICOLAS TIPAN
5 ROY PLACE
NEWBURGH, NY 12550

DATE	DRN BY:	CHK.
09/16/24	CP	
REV.		

 JORGE L. LOPEZ, ARCHITECT, PC

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PROJECT NO.
24-062

2409TIP2

SHEET 2 OF 5

A-2

PROPOSED
FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

PROPOSED
ATTIC DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

EGRESS WINDOW SCHEDULE

LOCATION	SIZE	DESCRIPTION	FIRE EGRESS
M. BEDROOM	(4) 38'X57'	ANDERSEN #3046 WINDOW	<input checked="" type="checkbox"/>
BEDROOM #2	(2) 38'X57'	ANDERSEN #3046 WINDOW	<input checked="" type="checkbox"/>
BEDROOM #3	(2) 38'X57'	ANDERSEN #3046 WINDOW	<input checked="" type="checkbox"/>
BEDROOM #4	(2) 38'X57'	ANDERSEN #3046 WINDOW	<input checked="" type="checkbox"/>
BEDROOM #5	(2) 38'X57'	ANDERSEN #3046 WINDOW	<input checked="" type="checkbox"/>

LIGHTING AND VENTILATION SCHEDULE

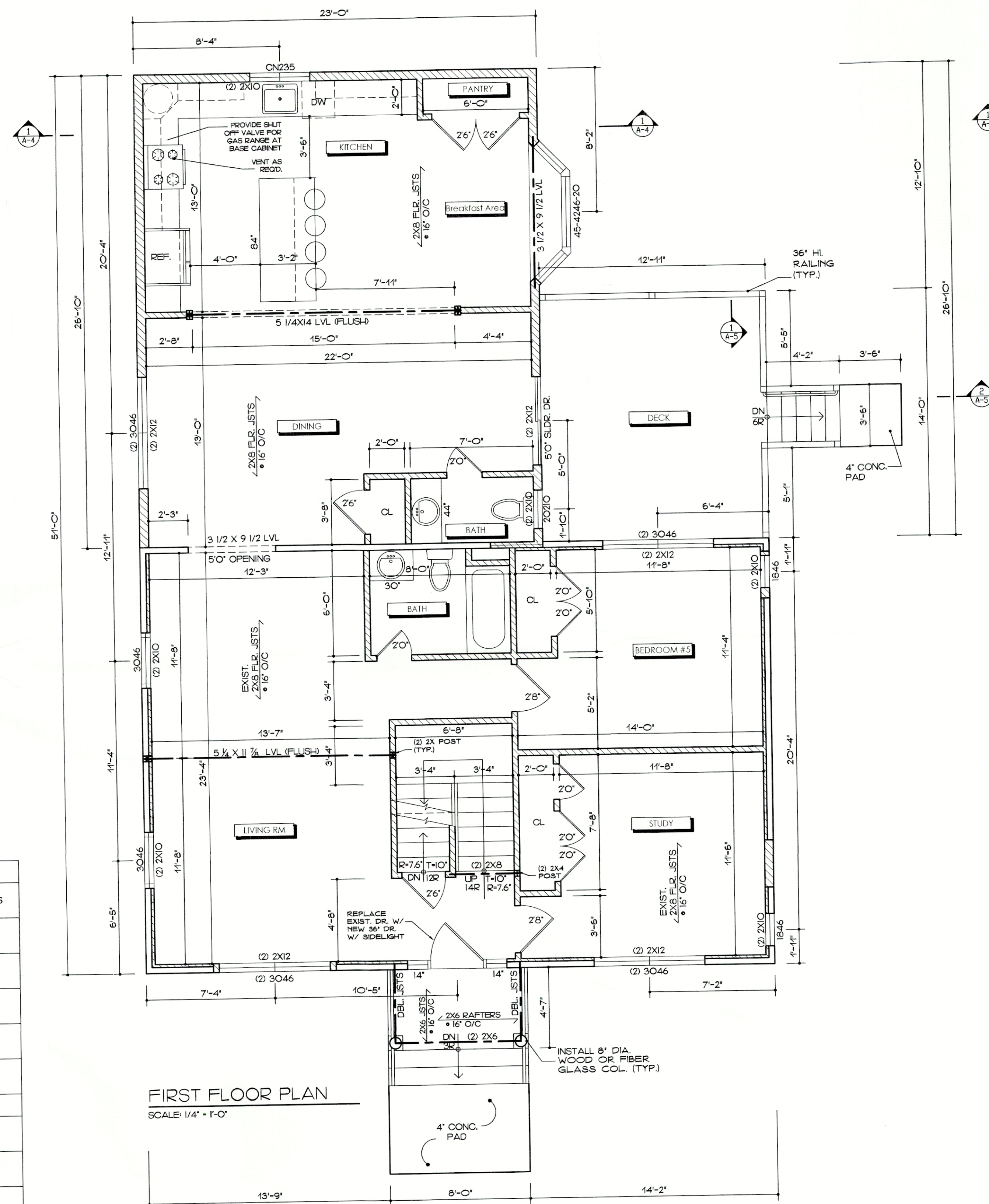
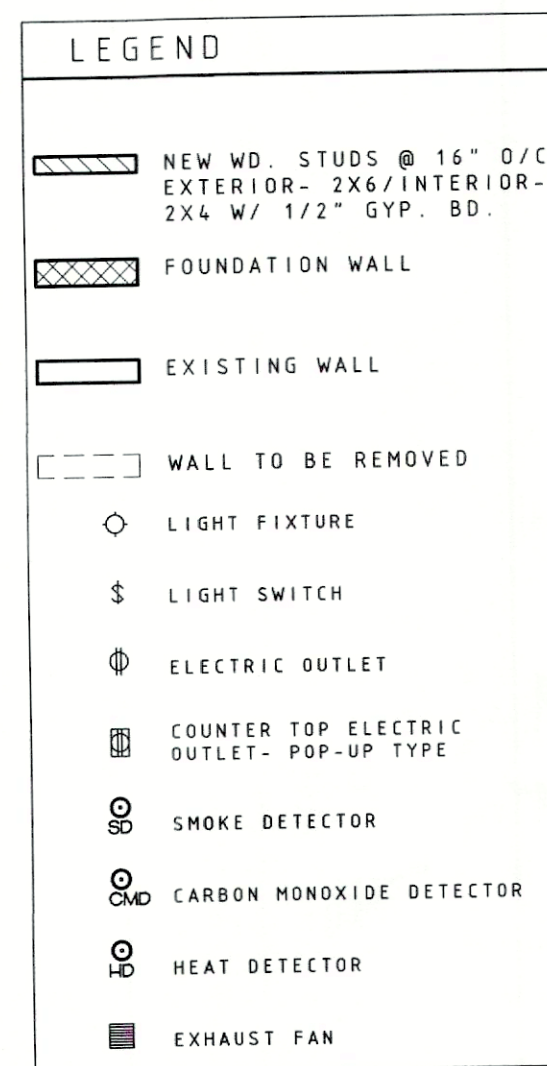
FIRST FLOOR

LOCATION	ROOM AREA	WINDOW/DOOR	REQUIRED • 8%	REQUIRED • 4%	COMPLIES
KITCHEN	286 SF	36.5 S.F.	22.9 S.F.	11.4 S.F.	<input checked="" type="checkbox"/>
DINING ROOM	247 SF	44.9 S.F.	19.8 S.F.	9.9 S.F.	<input checked="" type="checkbox"/>
LIVING ROOM	308 SF	41.2 S.F.	24.6 S.F.	12.3 S.F.	<input checked="" type="checkbox"/>
BEDROOM #5	144 SF	25.6 S.F.	11.5 S.F.	5.8 S.F.	<input checked="" type="checkbox"/>
STUDY	142 SF	25.6 S.F.	11.4 S.F.	5.7 S.F.	<input checked="" type="checkbox"/>

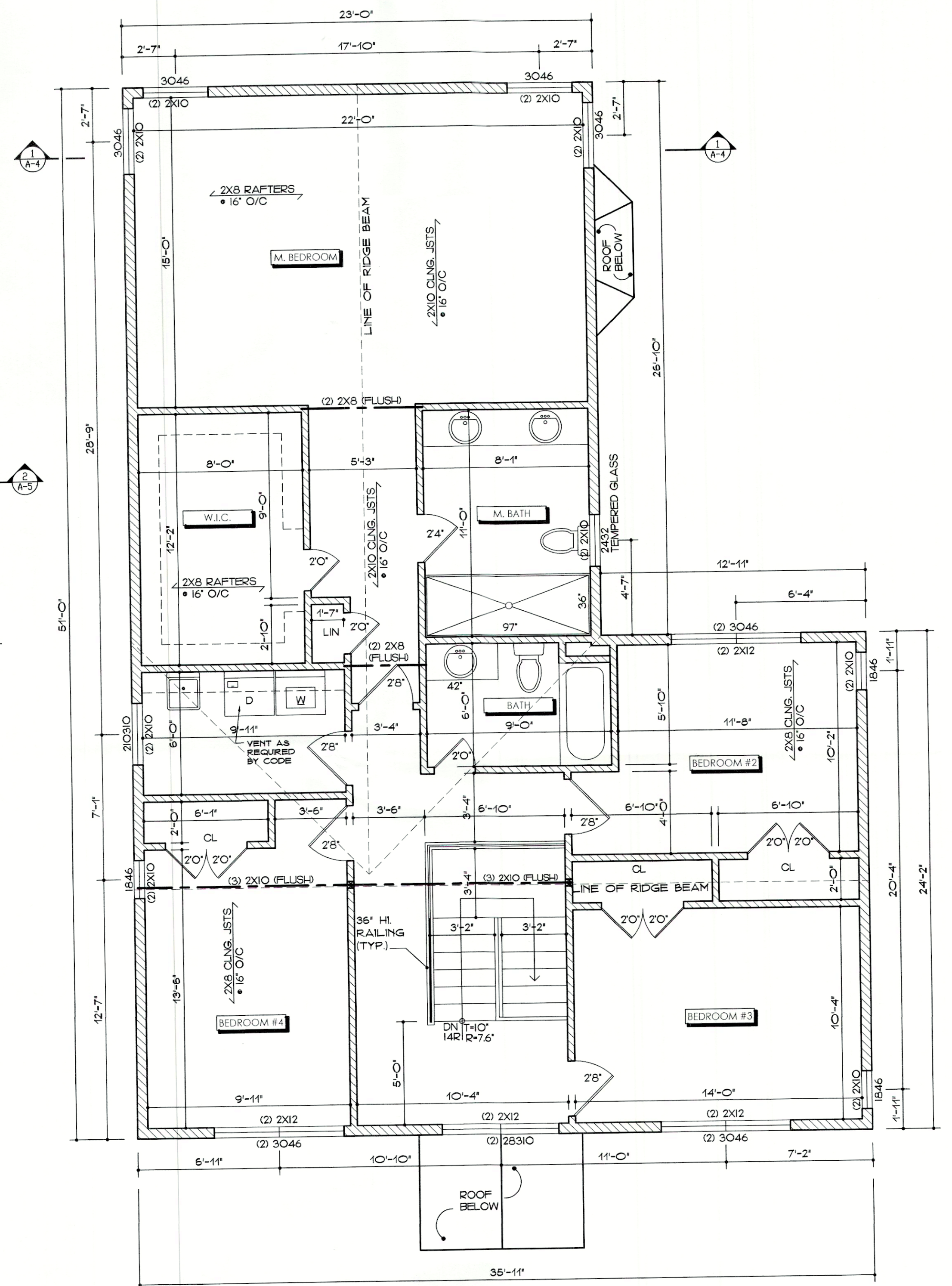
SECOND FLOOR

MASTER BEDROOM	330 SF	412 SF.	26.4 SF.	13.2 SF.	<input checked="" type="checkbox"/>
BEDROOM #2	128 SF	25.6 SF.	10.2 SF.	5.1 SF.	<input checked="" type="checkbox"/>
BEDROOM #3	145 SF	25.6 SF.	11.6 SF.	5.8 SF.	<input checked="" type="checkbox"/>
BEDROOM #4	142 SF	25.6 SF.	11.4 SF.	5.7 SF.	<input checked="" type="checkbox"/>

DOUBLE FRAMING UNDER
PARALLEL PARTITION



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"


DO NOT SCALE PRINTING



PROPOSED ADDITION & ALTERATIONS FOR
MR. JOSE TIPAN & MR. NICOLAS TIPAN
5 ROY PLACE
NEWBURGH, NY 12550

DATE	DRN. BY	CHK.
09/16/24	CP	
REV.		



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PROJECT NO.
4-062

2409TIP3

A-3

A-3

PROJECT SPECIFICATIONS
GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORDINANCES OF THE TOWN OF NEWBURGH, ORANGE CTY., N.Y., THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CODES, AND ANY OTHER LOCAL, STATE AND FEDERAL APPLICABLE CODES & LAWS.
 - CONTRACTOR(S) TO SUPPLY ALL MATERIALS, FIXTURES, EQUIPMENT AND LABOR NECESSARY TO PERFORM & COMPLETE WORK NOTED ON PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS TO BE NEW AND FREE FROM DEFECTS UNLESS OTHERWISE NOTED. ALL WORK TO BE PERFORMED IN A COMPETENT WORKMANLIKE FASHION ACCEPTABLE W/ MODERN PRACTICES. DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS WITHOUT WRITTEN APPROVAL FROM THIS OFFICE OR THE OWNER.
 - ALL CONTRACTORS TO BE RESPONSIBLE FOR ALL APPLICABLE LAWS AND CODES RELATING TO THEIR TRADE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.
 - CONTRACTOR OR ANY SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT OR UNDER THIS CONTRACT SHALL CARRY LIABILITY & PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL PROVIDE OWNER WITH CERTIFICATES OF SAID INSURANCE. ALL CONTRACTORS TO CARRY P.L.P. INSURANCE. ARCHITECT IS NOT RESPONSIBLE FOR ANY INJURIES ON PROJECT SITE. NOR IS LIABLE FOR ANY LABOR LAWS OF SECTION 240 & 241.
 - CONTRACTOR TO BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT.
 - ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES AND/OR FOR APPROVAL OF SHOP DWGS. ARCHITECTURAL SUPERVISION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP CODE AND/OR PLAN COMPLIANCE. THE ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THE DESIGN OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INJURIES ON PROJECT SITE. NOR IS LIABLE FOR ANY LABOR LAWS OF SECTION 240 & 241.
 - CONTRACTOR(S) TO COMPLY WITH ALL OSHA AND ALL OTHER SAFETY REQUIREMENTS. CONTRACTORS TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS. ALL DIMENSIONS & CONDITIONS TO BE FIELD VERIFIED. MATCH ALL EXISTING MATERIALS, DIMENSIONS AND CONDITIONS AS THEY MAY APPLY. DIMENSIONS ARE REASONABLE CORRECT WITH A TOLERANCE PLUS OR MINUS OF ONE INCH.
 - ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT TO BE PERFORMED BY CAPABLE AND REPUTABLE LICENSED CONTRACTORS, LICENSED BY GOVERNING AGENCIES HAVING SAID JURISDICTION.
 - GENERAL CONTRACTOR TO USE ADEQUATE NUMBERS OF SKILLED HEALTHY & SOBER PERSONS THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK IN ACCORDANCE WITH ALL LOCAL, NEW YORK STATE AND FEDERAL CODE REQUIREMENTS.
- PROJECT SITE TO BE LEFT HAZARD FREE AT END OF EACH WORK DAY. PRIOR TO COMPLETION OF EACH TRADE AND PROJECT COMPLETION, REMOVE FROM SITE ALL TOOLS EXCESS MATERIAL AND DEBRIS RESULTING FROM THIS CONSTRUCTION. REMOVAL OF DEBRIS TO BE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL LAWS. YARD TO BE RAKED AND SEED.
- PRIOR TO SIGNING OF CONTRACTS WITH OWNERS AND CONTRACTOR(S) CONTRACTOR(S) TO INFORM OWNER OF ANY OPTIONS, EXTRAS AND THEIR RELATED COSTS. CONTRACTOR(S) TO INDICATE TIME & EXPENSE COSTS DUE TO CHANGE ORDERS. CONTRACTOR(S) TO NOTIFY ARCHITECT TWENTY-FOUR (24) HOURS IN ADVANCE OF ANY STRUCTURAL OR CODE RELATED REVISIONS PRIOR TO INSTALLATION. SAID CHANGE ORDERS AND REVISIONS ARE ALSO BILLABLE BY ARCHITECT.
 - ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS AND/OR ASSEMBLIES, ETC. TO BE HANDLED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE INDICATED, NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN NOTICE FROM OWNER AND ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION.

SITE NOTES

- CONTRACTOR AND/OR OWNER ARE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES TO VERIFY LOCATIONS OF ALL UTILITY LINES, SERVICES AND EQUIPMENT PRIOR TO START OF WORK.
 - ALL EXISTING CONDITIONS AS INDICATED ON THESE PLANS TO BE REMOVED TO BE REPLACED IN THE SAME LOCATION AND TO BE ADJOINING AREAS AND CONDITIONS THAT ARE TO REMAIN. IN THE EVENT THESE EXISTING AREAS ARE DISTURBED, IT'S THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE AFFECTED AREAS TO A LIKE NEW CONDITION AS REQUIRED.
 - EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. OBSERVE ANY VARIATIONS AND/OR ANY UNFORESEEN DISCREPANCIES WITH THE PLANS, AND REPORT THESE IMMEDIATELY TO THE ARCHITECT AND OWNER.
 - CONTRACTOR AND/OR EXCAVATING CONTRACTOR TO BE RESPONSIBLE FOR, SHORING, BRACING AND ALL TEMPORARY SUPPORTS OF EMBANKMENTS AND EXCAVATIONS AS PER LOCAL AND OSHA REGULATIONS. PROVIDE SILT FENCING AND OTHER EROSION CONTROL AS REQUIRED.
 - PREPARATION OF SITE TO INCLUDE PROTECTION OF ALL ROADS, CURBS, TREES, AND OTHER CONDITIONS NOT TO BE REMOVED, TO PREVENT EROSION AND TO INSURE PUBLIC SAFETY AT ALL TIMES.
 - EXCAVATED SOIL AND TOPSOIL TO BE USED FOR REGRADING. TOP 4 INCHES OF NEWLY GRADED AREAS TO BE TOP SOIL, RAKED FREE OF DEBRIS AND STONES OVER 2" IN SIZE. THESE AREAS TO RECEIVE SEED AND HAY AND/OR OTHER METHODS TO PREVENT EROSION.
 - ALL FOOTINGS TO REST ON VIRGIN SOIL, HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PSF AT A MIN. OF 3'-6" FEET BELOW FINISH GRADE. A SOIL ENGINEER MAY BE RETAINED AT OWNERS EXPENSE TO PERFORM SOIL BEARING AND/OR SOIL COMPACTION TESTS, OBSERVE SITE EXCAVATION AND BACKFILLING PROCEDURES.
 - FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED. THEY SHALL BE LAID IN AN APPROVED MANNER SUCH AS A GRAVEL BED & COVERED WITH FILTER FABRIC. SAID DRAINS TO HAVE A POSITIVE OUTFALL TO STORM DRAINAGE, DRYWELL OR DAYLIGHT.
 - FINISHED GRADE AND DRIVEWAY TO PITCH AWAY FROM BUILDING SO THAT SURFACE WATER FLOWS AWAY FROM IT. PROVIDE GUTTERS & LEADERS AS REQUIRED BY CODE AND CONNECT TO STORM DRAINAGE SYSTEM AS REQUIRED.
- CONTRACTOR(S) SHALL KEEP SITE CLEAN AND HAZARD FREE, TO INSURE PUBLIC SAFETY AT ALL TIMES.
- EARTH UNDER CONCRETE SLABS TO BE THOROUGHLY COMPACTED AND FREE OF DEBRIS, WATER AND OTHER MATTER. SUBGRADE TO BE BROUGHT TO A TRUE PLANE OF 95% DENSE COMPACTED SUBGRADE. SLABS TO REST ON 6 MIL VAPOR BARRIER 2'-4" OF 3/4" GRAVEL BASE.

DOUBLE FRAMING UNDER
PARALLEL PARTITIONS

CONCRETE NOTES

- CONCRETE DESIGN, MATERIALS AND METHODS OF PLACEMENT TO COMPLY WITH THE ACI STANDARD 318 AS IT APPLIES. ALL ANCHORS AND FASTENERS TO BE GALVANIZED OR ZINC COATED.
- ALL POURED CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI, WITH THE EXCEPTION OF PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE SLABS WHICH SHOULD BE 3,500 PSI UNLESS OTHERWISE NOTED. AT 28 DAYS CURED TIME. CONCRETE FOR FOOTING TO BE 124 STONE CONCRETE. SLABS TO BE A MINIMUM OF 4 INCHES THICK OF 135 CONCRETE, REINFORCED W/ 6X6 BY 10X10 WELDED WIRE MESH. SLABS TO BE ON A 6 MIL VAPOR BARRIER OVER A MINIMUM OF 4" THICK GRAVEL BASE.
- FOUNDATION WALLS TO BE 8" POURED CONCRETE OR 10" CMU UP TO UNDERSIDE OF SLAB WITH REINFORCING AS INDICATED. WALLS ABOVE SLAB TO BE 8" CMU'S. ALL CONC. MASS UNIT WALLS TO RECEIVE #4 VERTICAL REBARS 32" O.C. FILLED SOLID W/ CONC. AND "OUR-O-WALL" TIES AT EVERY COURSE.
- WALL OPENINGS TO RECEIVE REINFORCED CONCRETE LINTELS LINTELS TO BE A MINIMUM OF (2) #4 REBARS FOR UP TO 4 FOOT WIDE OPENINGS, (4) #6 REBARS FOR UP TO 10 FOOT WIDE OPENINGS.

MASONRY NOTES

- ALL MORTAR USED SHALL BE TYPE 'S' MEETING ASTM C 270 MORTAR MIX USING 1 PART OF PORTLAND CEMENT TYPE 1 AND OVER 4 TO 1/2 HYDRATED LIME TYPE S, A 2' CUBE OF MORTAR SHALL HAVE A MINIMUM BREAKING STRENGTH OF 1,800 PSI AT 28 DAY CURE TIME.
- ALL HORIZONTAL REINFORCING SHALL BE 9 GAUGE HOT DIPPED GALVANIZED LADDER TYPE FOR CAVITY WALL OF 4". REINFORCING SHALL BE SPACED 16" O.C.
- CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT, TYPE 1, MOISTURE CONTROLLED, MANUFACTURED TO CONFORM TO C-33, C-400-150, C-426, C-595, C-618, C-963.

REINFORCING STEEL

- ALL REINFORCING STEEL, MANUFACTURED AS ROUND RODS WITH RAISED DEFORMATIONS, FOR ADHESION AND RESISTANCE, TO SLIP IN THE CONCRETE REINFORCING SHALL HAVE A YIELD STRENGTH OF 40,000 PSI ASTM A-615 GRADE 40.
- ALL STRUCTURAL STEEL TO BE 36KSI THE LATEST AISC EDITION. ALL STEEL MEMBERS TO BY PRIMED PRIOR TO DELIVERY.

LINTEL SCHEDULE

ALL STEEL LINTELS FOR BUCKS OR STONE OR MASONRY WALLS SHOULD BE GALVANIZED AND FLASHED WITH NERVASTRAL OR EQUAL CONTINUOUS FLASHING WITH WEEP HOLES.

STEEL ANGLE	CLEAR MASONRY OPENING	WEEP HOLES
5" X 3-1/2" X 5/16"	M.O. < 4'-0"	12" O.C.
5" X 3-1/2" X 3/8"	4'-0" < M.O. < 7'-0"	12" O.C.
5" X 3-1/2" X 1/2"	7'-0" < M.O. < 10'-0"	12" O.C.

CARPENTRY NOTES

- CARPENTRY TO INCLUDE ALL WOOD FRAMING SILLS, WEASLER, JOISTS, STUDS, HEADERS, TRIMMERS, BEAMS, GIRDERS, PLATES, RAFTERS, BLOCKING, BRIDGING, SHEATHING, DECKING AS INDICATED ON PLANS. CARPENTER SHALL ALSO INSTALL EXTERIOR WINDOWS & DOORS.
- ALL FRAMING MEMBERS INSTALLED ON THIS PROJECT TO BE GOOD GRADE, SOUND DRY MATERIAL. FRAMING MEMBERS TO BE FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED.
- FRAMING MEMBERS TO BE OF THE SIZE AND TYPE INDICATED ON PLANS. PLATES (P), HEADERS, BEAMS, GIRDERS, CEILING JOISTS, RAFTERS TO BE A MINIMUM OF HEM-FIR (MAX 19% MOISTURE) W/PER STRESS-1400PSI. STUDS MAY BE SPRUCE-PINE-FIR (MAX 18% MOISTURE) W/PER STRESS OF 1500PSI, UNLESS OTHERWISE NOTED. FLOOR JOISTS TO BE OF THE I (EYE-BEAM) STYLE AS MANUFACTURED BY, "BOISE CASCADE", "NASCOOR", "TRUSJOIST/MAXIMUM" OR EQUAL. GIRDERS TO BE LVL TYPE, (LAMINATED VENEER LUMBER) OR EQUAL. CALCULATED DESIGN LOADS (10PSF DEAD LOAD/ALL SPANS) ROOF 30 PSF (40PSF) FLOORS 40 PSF (60PSF) ATTIC 20 PSF (30PSF) DECK 40 PSF (60PSF)
- FLOOR TRUSSES (LPTS ETC) AND LVL'S TO BE INSTALLED IN STRICT COMPLIANCE W/ MANUFACTURERS SPECIFICATIONS. CONTRACTOR(S) SHALL NOT CUT ANY FRAMING MEMBERS WITHOUT FOLLOWING MFGRS. SPECIFICATIONS, NYS CODES AND/OR ARCHITECTS APPROVAL.
- ROOF TRUSSES TO BE DESIGNED AND ENGINEERED BY MANUFACTURER. MFGS. TO SUBMIT SHOP DRAWINGS TO THIS OFFICE AND/OR LOCAL BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
- STEEL FRAMING MAY BE SUBSTITUTED FOR WOOD FRAMING LUMBER. 14 GAGE STUDS ETC. TO BE USED FOR STRUCTURAL MEMBERS, AND 20 GAGE STUDS MAY BE USED FOR NONBEARING WALLS.
- SHEATHING SUBFLOOR TO BE 1/2" EXTERIOR GRADE OSB, OR PLYWOOD GLED AND NAILED TO JOISTS. WALLS TO BE 1/2" EXTERIOR GRADE OSB, OR PLYWOOD. ROOF TO BE 1/2" (5/8" IF TRUSSES 24" O/C) EXTERIOR GRADE PLYWOOD. WALL AND ROOF SHEATHING TO BE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED AT 4 FEET, UNLESS OTHERWISE NOTED.
- INSTALL SIMPSON STRONGTIE H25 HURRICANE TIE 18 GA. UPLIFT ULTIMATE 2400 LBS. ALLOWABLE LOADS 620 LBS. FASTENED TO RAFTER (S) 10D TO PLATES (S) 10D NAILS (TYP)
- MINIMUM BEARING FOR JOIST FRAMING TO BE 1 1/2" ON WOOD AND 3" FOR CONC./MASONRY. BLOCK AT ENDS AND BRIDGING AT 8'.

WINDOWS & DOORS

- WINDOWS AND SLIDING DOORS TO BE OF THE SIZE, TYPE AS NOTED ON PLANS AS MANUFACTURED BY "ANDERSEN", "PELLA" OR EQUAL. PROVIDED WITH NECESSARY HARDWARE, SCREENS, GRILLES AS SHOWN AND HIGH PERFORMANCE INSULATED GLAZING. HEADERS ABOVE FLOOR TO BE SIX FEET NINE INCHES UNLESS NOTED OTHERWISE.
- DOORS TO BE OF SIZE AND TYPE AS NOTED ON PLANS AS MANUFACTURED BY "THERM-TRU" OR- EQUAL. CONTRACTOR TO PROVIDE STANDARD LOCKSETS AS MFGS. BY "Kwik-SET" OR EQUAL. ALL EXTERIOR DOORS TO BE PROVIDED WITH A SADDLE AND SEALED AS PER NYS ENERGY CODES.
- GLAZING LESS THAN 18" ABOVE FLOOR TO BE TEMPERED. OPTIONS TO BE DISCUSSED WITH BUILDER & OWNERS PRIOR TO ORDERING. ARCHITECT IS NOT RESPONSIBLE FOR ANY MATERIAL ORDERS.
- OVERHEAD GARAGE DOORS TO BE OF THE SIZE INDICATED ON PLANS.
- PASSAGE DOOR & FRAME FROM GARAGE TO LIVING AREA SHALL HAVE A "B" LABEL, WITH AN ALUMINUM SADDLE AND A SELF CLOSING HINGE.
- INTERIOR DOORS TO BE OF THE WIDTH INDICATED ON PLANS WITH A STANDARD HEIGHT OF 6'-8" (OPTIONAL 6'-0" IF PERMITTED). SAID DOORS TO BE 6-PANEL TYPE AS MANUFACTURED BY "MASONITE" OR EQUAL.

ROOFING & SIDING

- MATERIAL FOR ROOFS TO BE 25 YEAR WARRANTED ASPHALT SHINGLES MANUFACTURED BY "OWENS CORNING" OR EQUAL. ALL EXTERIOR WALLS A 15# ROOFING FELT. COLORS TO BE SELECTED BY OWNER FROM BUILDERS SELECTION.
- APPROPRIATE FLASHING TO BE PROVIDED AS REQUIRED. "WR GRACE" OR EQUAL "ICE & WATER SHIELD" TO BE INSTALLED AS PER MFGS. SPECIFICATIONS, UNDER ROOFING AT ALL ROOF JUNCTIONS INCLUDING BUT NOT LIMITED TO, VALLEYS, ROOF JUNCTIONS & INTERSECTIONS. EXTENDED FROM THE EAVES EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- SIDING TO BE AS INDICATED ON PLANS AND TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS SPECIFICATIONS.

THERMAL & MOISTURE PROTECTION

- ALL EXTERIOR OPENINGS TO BE PROPERLY FLASHED, CALKED OR OTHERWISE SEALED IN ACCORDANCE WITH THE IECC. INSULATION SHALL BE OF THE R-VALUES INDICATED ON PLANS WITH A VAPOR BARRIER FACING TOWARD THE HEATED SIDE OF BUILDING.
- FOUNDATION WALLS TO RECEIVE DAMPROOFING AS MANUFACTURED BY "TUFF-N-DRY" OR EQUAL AND INSTALLED BY DEALER, INSTALLED IN AN APPROVED MANNER BY INDUSTRY STANDARDS.

ELECTRICAL

- ALL ELECTRICAL WORK PERFORMED SHALL BE APPROVED BY THE LOCAL AGENCY HAVING JURISDICTION AND CONFORM TO THE LATEST EDITION OF THE "NATIONAL ELECTRIC CODE" AND LOCAL UTILITY COMPANY.
- ELECTRICAL CONTRACTOR TO PROVIDE ADEQUATE SERVICE, CIRCUITS, OUTLETS, FIXTURES AND EQUIPMENT AS REQUIRED BY CODES AND APPLIANCES INDICATED ON PLANS.
- ELECTRICAL CONTRACTOR TO PROVIDE FIXTURE BOXES AND RELATED SWITCHES AS PER PLAN OR CONTRACT W/ OWNERS. INSTALL SMOKE DETECTORS AS REQUIRED BY N.E.C. AND N.Y.S. CODES.

PLUMBING NOTES

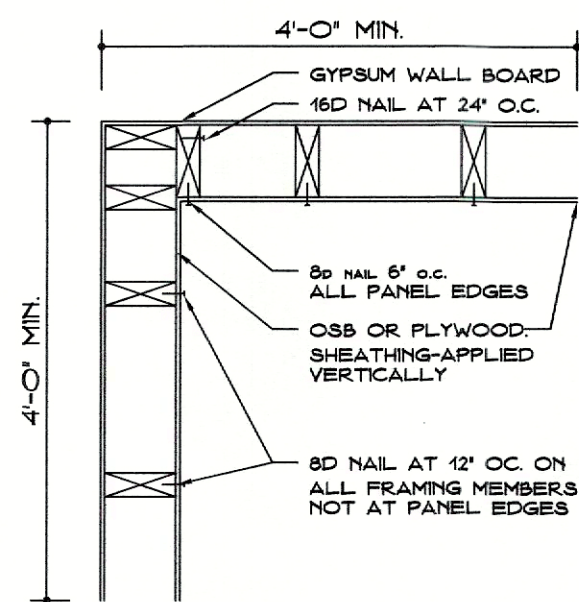
- ALL PLUMBING WORK PERFORMED SHALL BE APPROVED BY LOCAL BOARD OF HEALTH OR BUILDING DEPT.

INTERIOR NOTES

- ALL GYPSUM WALL BOARD TO BE SCREWED AND TO RECEIVE (3) THICK COATS OF SPACKLE. FINISH TO RECEIVE (2) COATS OF PAINT OVER ONE COAT OF PRIMER. COLORS MAY BE SELECTED BY OWNER.
- FLOORING, TRIM, CABINETRY, APPLIANCES, FIXTURES & ETC. SHALL BE SELECTED BY OWNERS WITH BUILDERS APPROVAL. BUILDER TO INSTALL SAID ITEMS IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND PROVEN CONSTRUCTION METHODS.

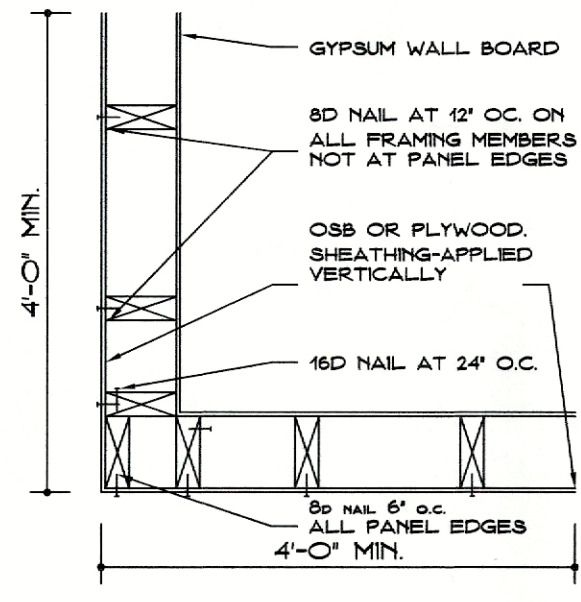
PART FOUR - ENERGY CONSERVATION

2020 RCYS-CHAPTER II & CHAPTER 4 OF 2020 ECCCNS AND ASHRAE 90.1-2016, AS AMENDED BY 19 NYCRR PART 1240 SIMPLIFIED PRESCRIPTIVE REQUIREMENTS FOR DETACHED ONE AND TWO FAMILY DWELLINGS AND TYPE R-2, R-4 OR TOWN-HOUSE RESIDENTIAL BUILDINGS. NOTE: BUILDER AND/OR GENERAL CONTRACTOR TO COMPLY WITH ALL THE REQUIREMENTS OF THESE CHAPTERS AND ENERGY CODES. SECTION 8401



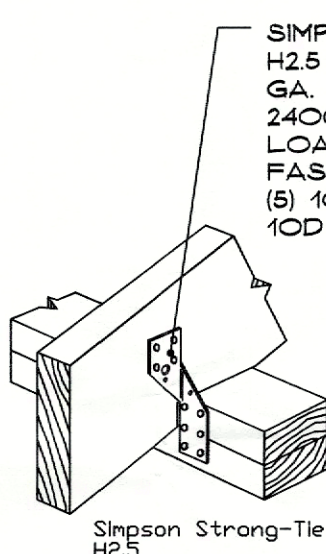
INSIDE CORNER

N.T.S.



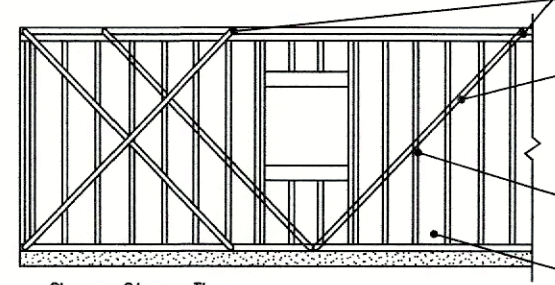
OUTSIDE CORNER

N.T.S.



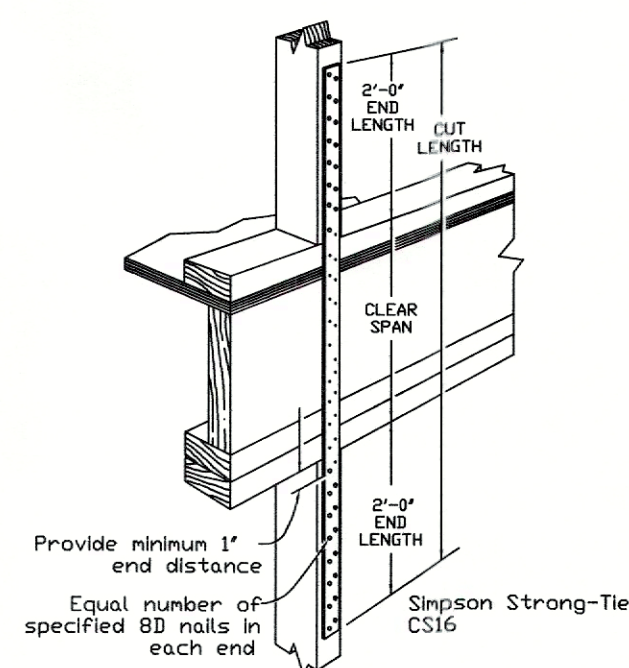
HURRICANE TIE DETAIL

N.T.S.



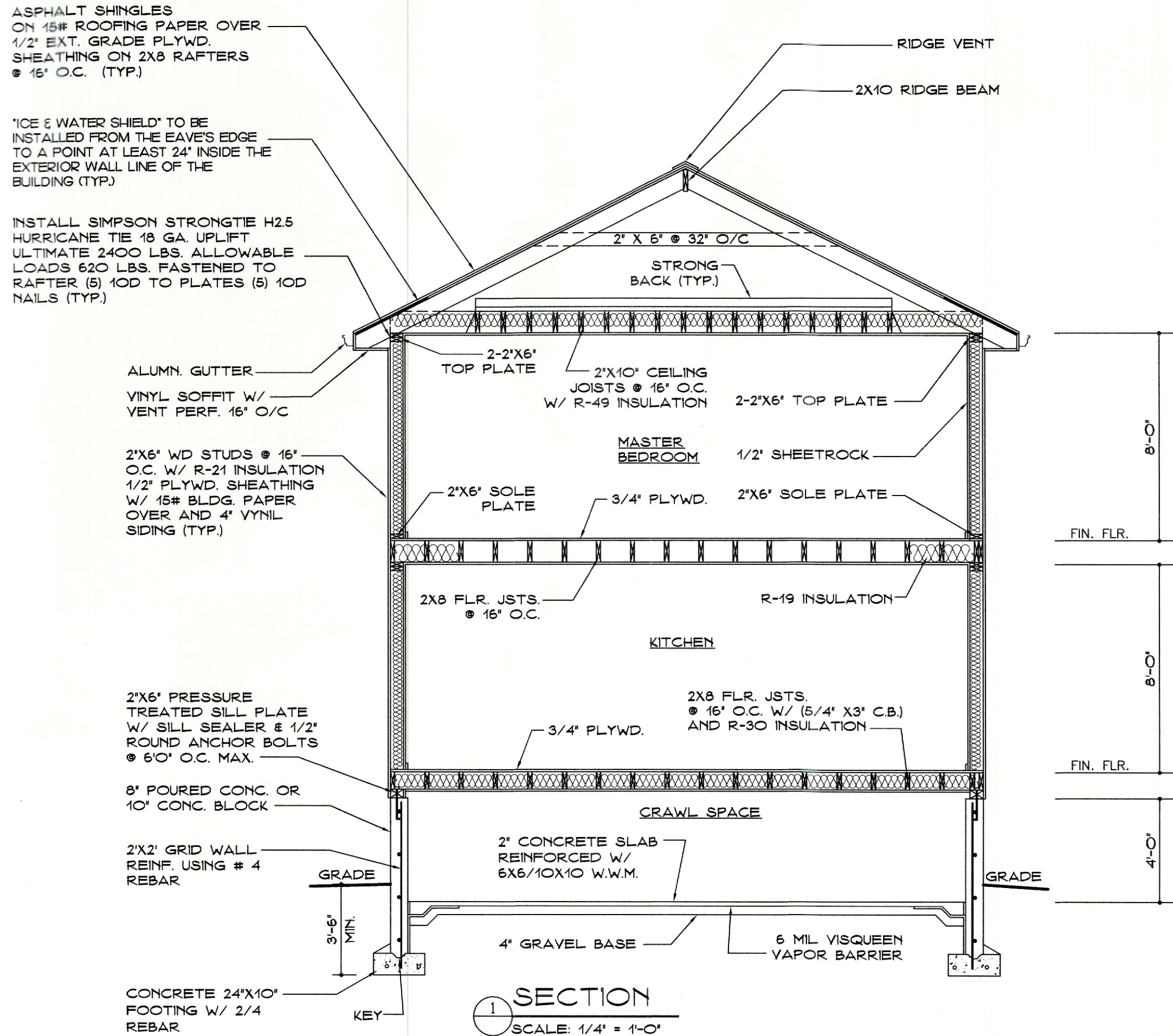
WALL BRACING

NOT TO SCALE

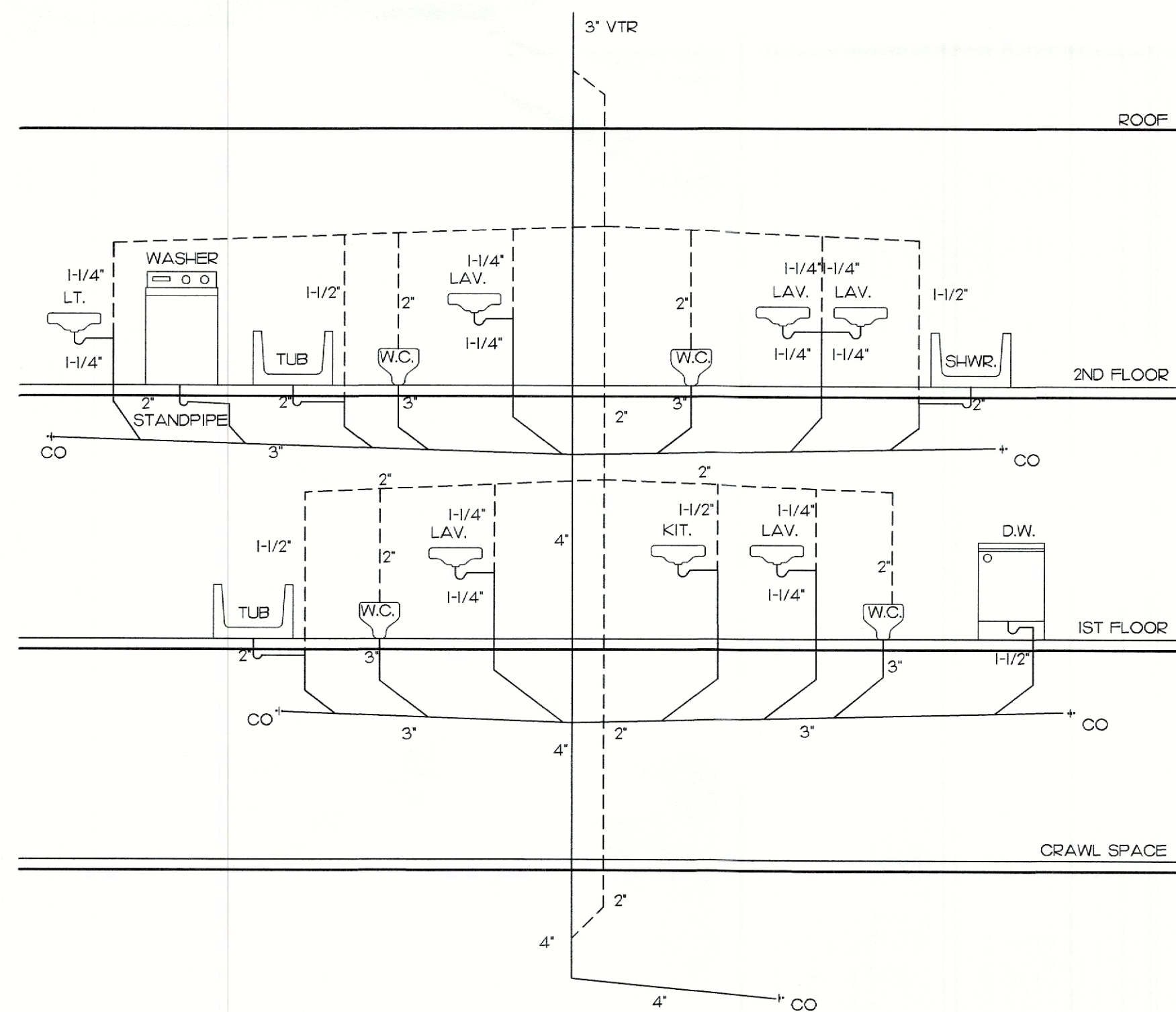


SEISMIC DETAIL
FOR WIND REGIONS EXCEEDING 90 MPH

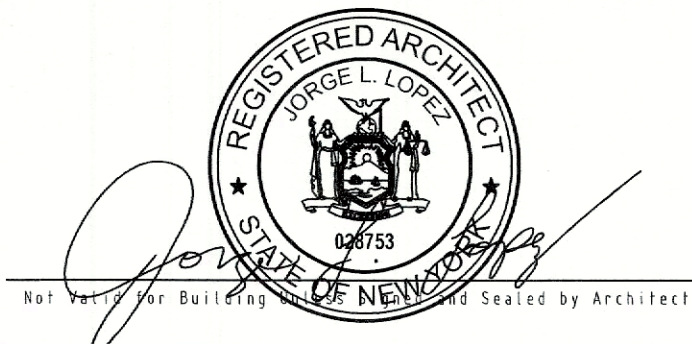
NOT TO SCALE



SECTION
SCALE: 1/4" = 1'-0"



PLUMBING DIAGRAM
SCALE N.T.S.



PROPOSED ADDITION & ALTERATIONS FOR

MR. JOSE TIPAN & MR. NICOLAS TIPAN
5 ROY PLACE
NEWBURGH, NY 12550

DATE	DRN. BY	CHK.
09/16/24	CP	
REV.		



JORGE L. LOPEZ, ARCHITECT, P.C.
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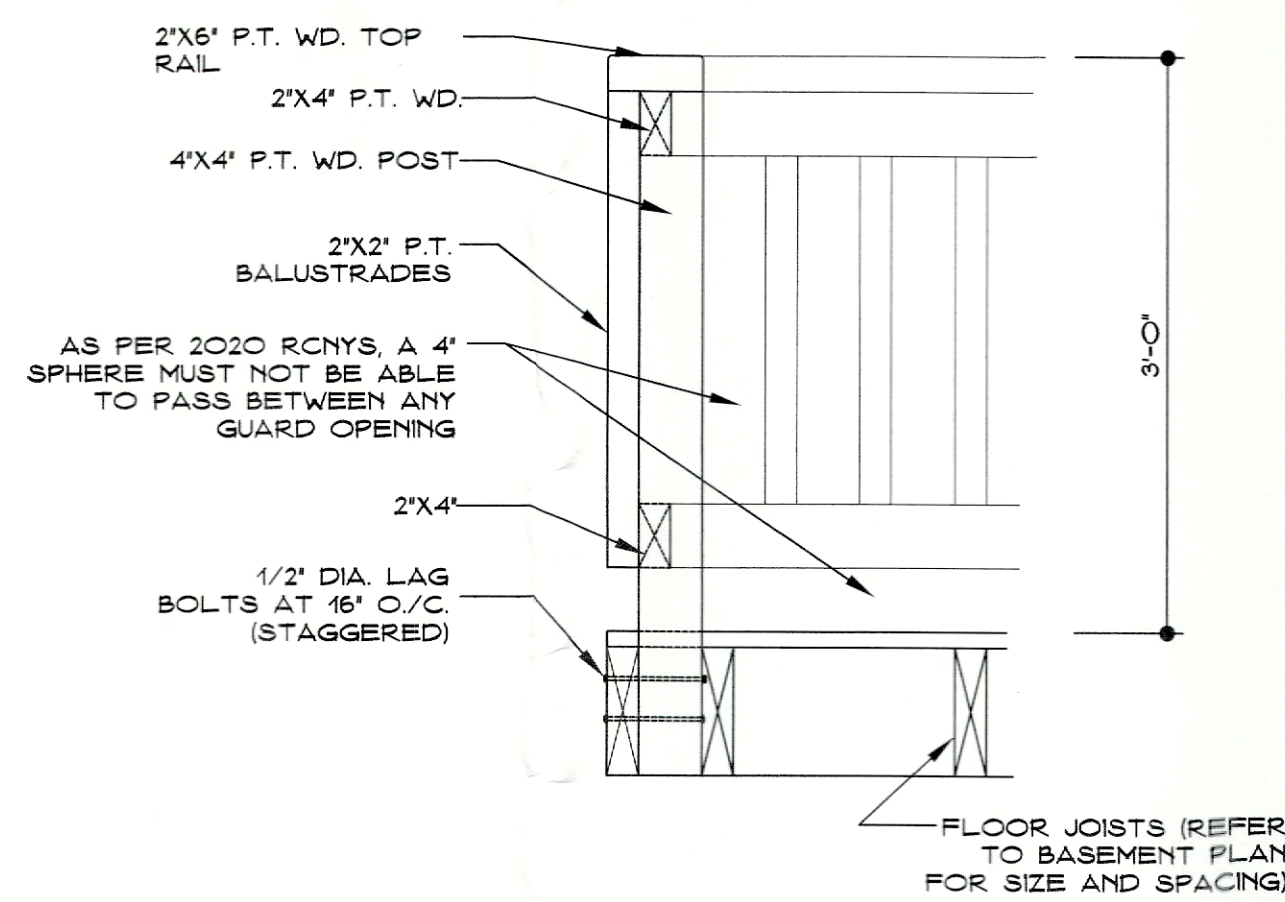
PROJECT NO
24-062

SHEET 4 OF 5

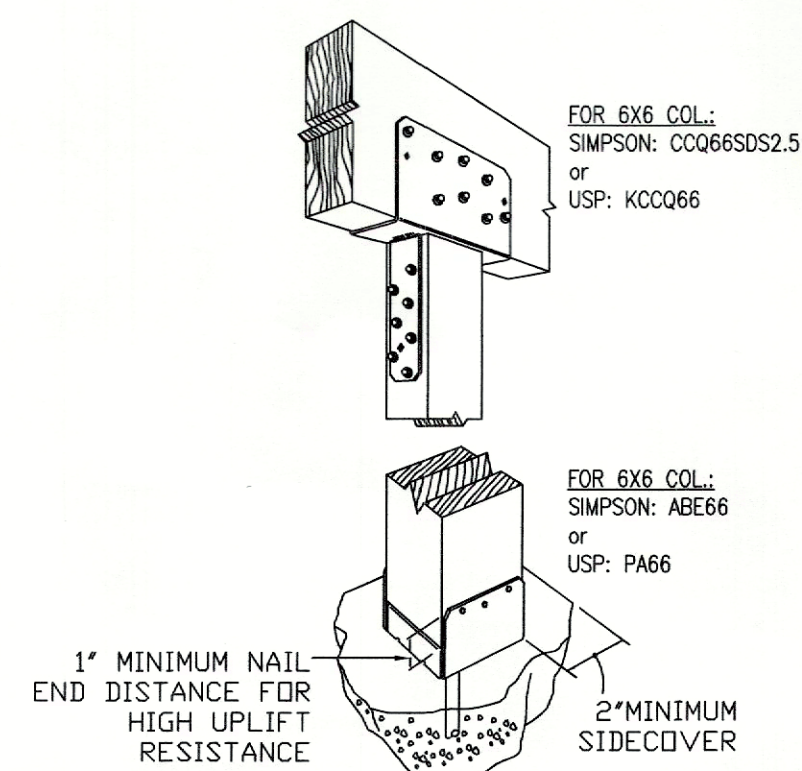
A-4

EXTERIOR LUMBER NOTES:

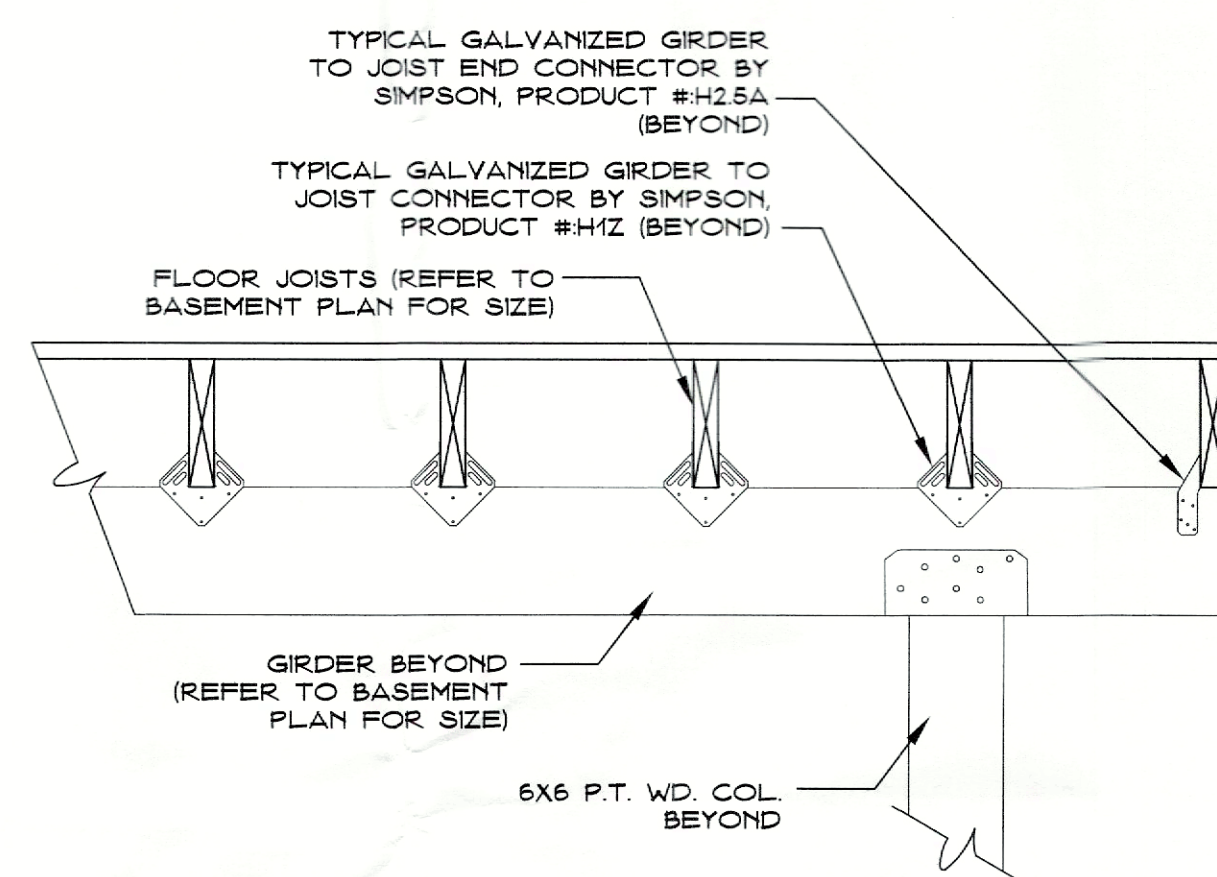
1. ALL LUMBER EXPOSED TO EXTERIOR TO BE ACQ PRESSURE TREATED LUMBER.
2. ALL FASTENERS TO BE HOT DIP GALVANIZED.
3. ALL FLASHING USED WITH ACQ LUMBER TO BE COPPER.



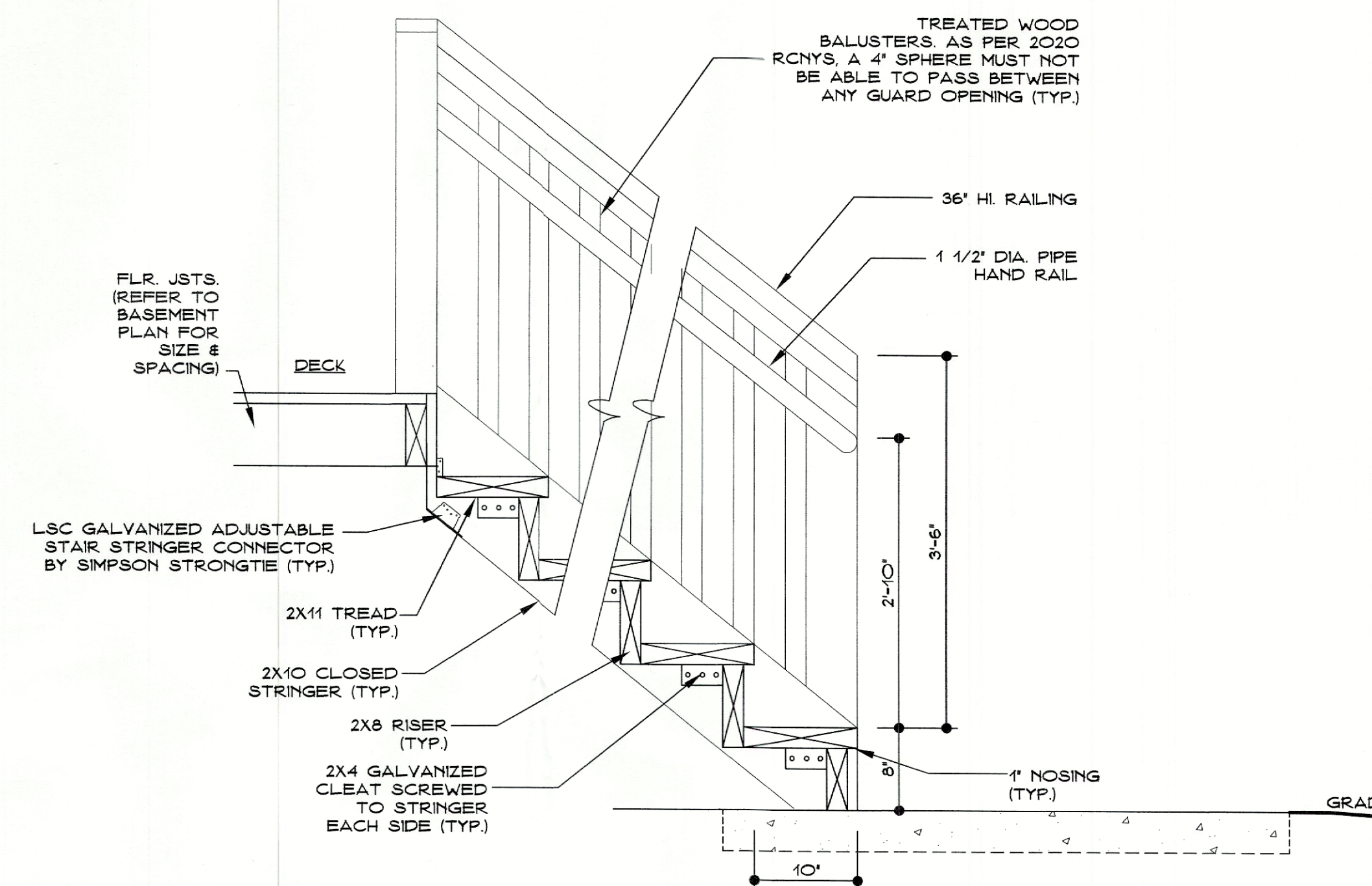
PARTIAL GARD RAIL & POST DETAIL
SCALE: 1" = 1'-0"



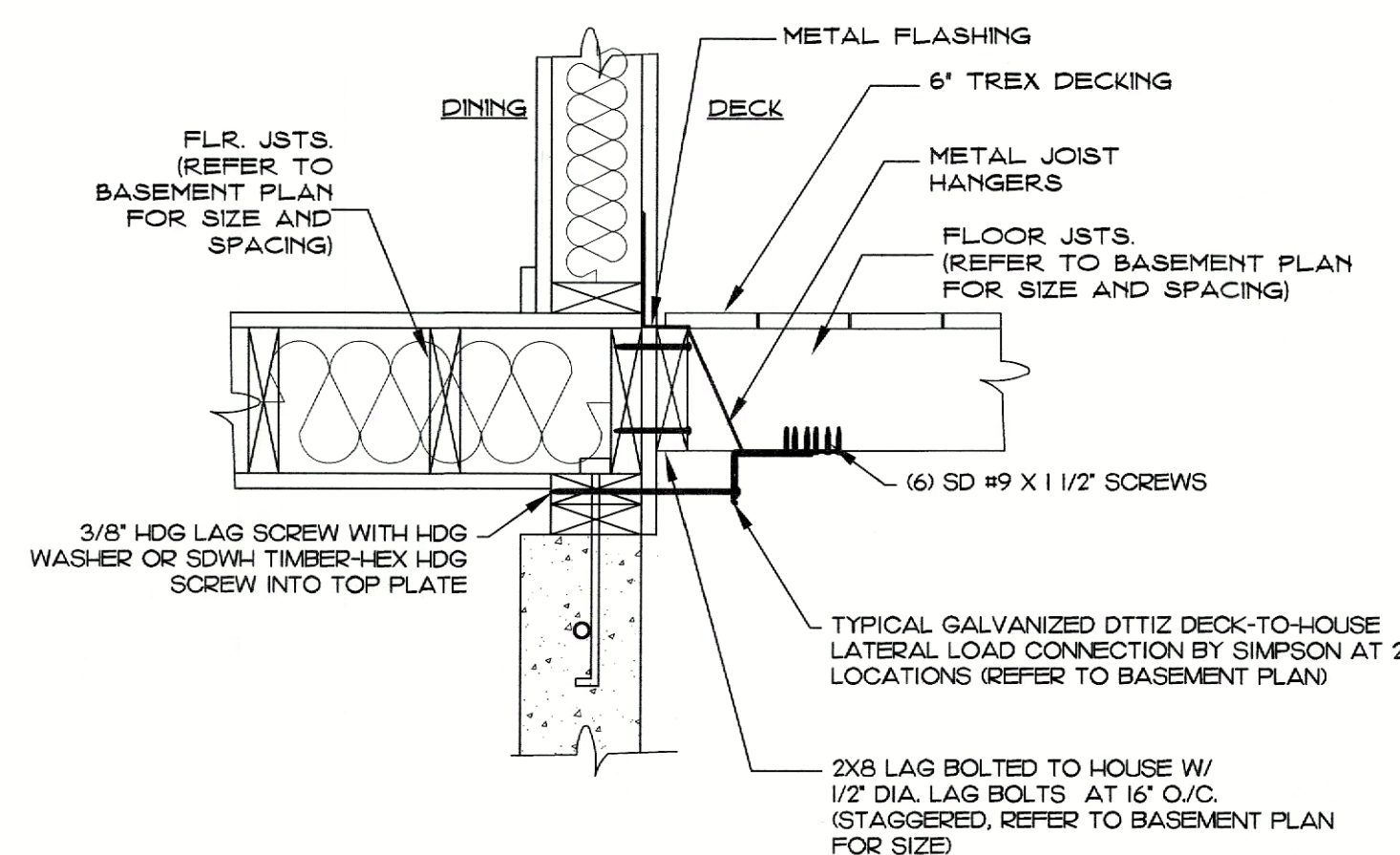
6X6 WOOD COLUMN CAP & BASE DETAILS
SCALE: N.T.S.



TYPICAL GIRDER-TO-JOIST CONNECTION DETAIL
SCALE: 1" = 1'-0"



PARTIAL STAIR HAND RAIL DETAIL
SCALE: 1" = 1'-0"



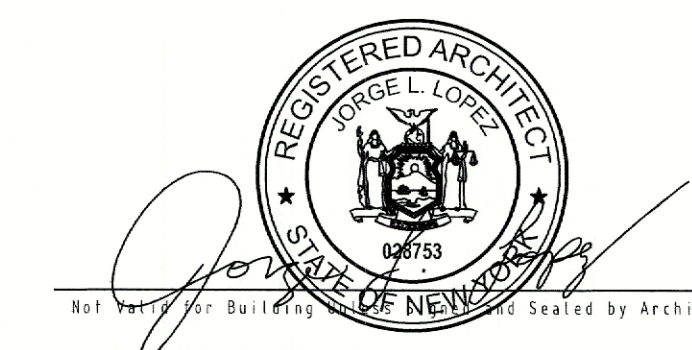
TYPICAL LATERAL LOAD DECK/HOUSE CONNECTION DETAIL
SCALE: 1" = 1'-0"

DOUBLE FRAMING UNDER PARALLEL PARTITION

PROPOSED ADDITION & ALTERATIONS FOR
MR. JOSE TIPAN & MR. NICOLAS TIPAN
5 ROY PLACE
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PROJECT NO.
24-062
SHEET 5 OF 5
2409TIP2
A-5

DO NOT SCALE PRINTS