

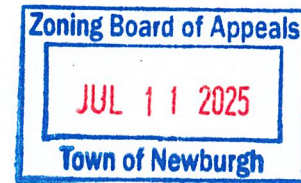
# TOWN OF NEWBURGH

*Crossroads of the Northeast*

ZONING BOARD OF APPEALS  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

OFFICE OF ZONING BOARD  
DARRIN SCALZO, CHAIRMAN  
SIOBHAN JABLESNIK, SECRETARY

TELEPHONE 845-566-4901  
FAX LINE 845-564-7802



## APPLICATION

DATED: 04/16/2025

TO: **THE ZONING BOARD OF APPEALS**  
**THE TOWN OF NEWBURGH, NEW YORK 12550**

I (WE), **JOSE TIPAN AND NICOLAS TIPAN** PRESENTLY

RESIDING AT NUMBER **1 EAST PARK CT., GARNERVILLE NY 10923**

TELEPHONE NUMBER **845-422-3942**

HEREBY MAKE APPLICATION TO THE ZONING BOARD OF APPEALS FOR THE FOLLOWING:

\_\_\_\_\_ USE VARIANCE  
  **X**   AREA VARIANCE (S)  
\_\_\_\_\_ INTERPRETATION OF THE ORDINANCE  
\_\_\_\_\_ SPECIAL PERMIT

1. LOCATION OF THE PROPERTY:

  **77-3-1**   (TAX MAP DESIGNATION)

  **5 ROY PLACE, NEWBURGH NY 12550**   (STREET ADDRESS)

  **R3**   (ZONING DISTRICT)

2. PROVISION OF THE ZONING LAW APPLICABLE, (INDICATE THE SECTION AND SUB-SECTION OF THE ZONING LAW APPLICABLE BY NUMBER; DO NOT QUOTE THE LAW).

  **185-19-C-1**

3. IF VARIANCE TO THE ZONING LAW IS REQUESTED:

a) APPEAL IS MADE FROM DISAPPROVAL BY THE TOWN BUILDING INSPECTOR OR BUILDING PERMIT APPLICATION. SEE ACCOMPANYING NOTICE DATED:

01/28/2025

b) OR DENIAL (REFERRAL) BY THE PLANNING BOARD OF THE TOWN OF NEWBURGH OF AN APPLICATION TO THE BOARD, SEE ACCOMPANYING NOTICE DATED:

N/A

4. DESCRIPTION OF VARIANCE SOUGHT: **1) FRONT YARD SET BACK (ROY PLACE)**  
**2) FRONT YARD SET BACK (STANLEY PLACE)**

5. IF A USE VARIANCE IS REQUESTED: STRICT APPLICATION OF THE ZONING LAW WOULD PRODUCE UNNECESSARY HARDSHIP IN THAT:

a) UNDER APPLICABLE ZONING REGULATIONS THE APPLICANT IS DEPRIVED OF ALL ECONOMIC USE OR BENEFIT FROM THE PROPERTY IN QUESTION BECAUSE:

N/A

**(ATTACH WITH THIS APPLICATION COMPETENT FINANCIAL EVIDENCE ESTABLISHING SUCH DEPRIVATION)**

b) THE HARDSHIP IS UNIQUE AND DOES NOT APPLY TO A SUBSTANTIAL PORTION OF THE DISTRICT OR NEIGHBORHOOD BECAUSE:

N/A

c) THE VARIANCE WOULD NOT ALTER THE ESSENTIAL CHARACTER OF THE NEIGHBORHOOD BECAUSE:

N/A

d) THE HARDSHIP HAS NOT BEEN SELF-CREATED BECAUSE:

N/A

6. IF AN AREA VARIANCE IS REQUESTED:

- a) THE VARIANCE WILL NOT PRODUCE AN UNDESIRABLE CHANGE IN THE CHARACTER OF THE NEIGHBORHOOD OR A DETRIMENT TO NEARBY PROPERTIES BECAUSE:

**The house will remain a single-family residence and retain an architectural style consistent with neighboring properties. The proposed addition and alterations will not only enhance the façade but also contribute positively to the overall appearance of the neighborhood.**

- b) THE BENEFIT SOUGHT BY THE APPLICANT CAN NOT BE ACHIEVED BY SOME METHOD, FEASIBLE FOR THE APPLICANT TO PURSUE, OTHER THAN AN AREA VARIANCE, BECAUSE:

**The existing, non-conforming 1 ½ story house is very small for our clients' large family. They need a full height second floor for bedroom and bathroom space to accommodate all the members of their family.**

- c) THE REQUESTED AREA VARIANCE IS NOT SUBSTANTIAL BECAUSE:

**It is only the 2 front yard variances that are being requested.**

---

---

- d) THE PROPOSED VARIANCE WILL NOT HAVE AN ADVERSE EFFECT OR IMPACT ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS IN THE NEIGHBORHOOD OR DISTRICT BECAUSE:

**The existing infrastructure can support the variance without causing strain on resources such as traffic flow, drainage, or public utilities. Additionally, the design respects local environmental features and adheres to sustainable development practices, ensuring that water runoff will be mitigated for.**

- e) THE HARDSHIP HAS NOT BEEN SELF-CREATED BECAUSE:

**It is a Pre-Existing Nonconforming house, with 2 very small bedrooms on the Attic, which are not suitable for our clients' family, therefore causing the need for a full second-floor addition**

7. ADDITIONAL REASONS (IF PERTINENT):

---

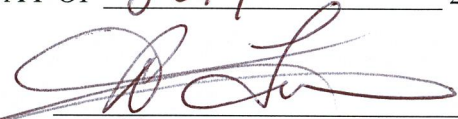
---


---

  
PETITIONER (S) SIGNATURE

STATE OF NEW YORK: COUNTY OF ~~ORANGE~~ <sup>Rockland</sup>

SWORN TO THIS 10<sup>th</sup> DAY OF July 2025

  
NOTARY PUBLIC



NOTE: NYS GML Section 239-m (3) for proposed actions that are within 500 feet of the properties or thresholds listed in the statute the Zoning Board of Appeals is required to send a copy of the complete application to the Orange County Department of Planning to be reviewed prior to Zoning Board of Appeals decision. And also NYS GML Section 239-NN requires notification for any proposed actions, to the Municipal Clerk, within 500 feet of the Border of that adjoining County, Town or City.

**(ALL MATERIALS REGARDING THE APPLICATION MUST BE SUBMITTED TO THE ZONING BOARD OFFICE FOR REVIEW NO LATER THAN 13 DAYS PRIOR TO THE HEARING DATE OR THEY MAY NOT BE CONSIDERED THE NIGHT OF THE MEETING).**

(NOTE: BOARD MEMBERS MAKE SITE VISITS TO ALL THE PROPERTIES)



TOWN OF NEWBURGH  
ZONING BOARD OF APPEALS

PROXY

Jose O. Tipan Naula & Segundo Nicolas DEPOSES AND SAYS THAT  
Tipan Naula  
HE/SHE RESIDES AT 1 East Park Ct. Garnerville NY  
IN THE COUNTY OF Rockland AND STATE OF New York  
AND THAT HE/SHE IS THE OWNER IN FEE OF 5 Roy Pl.  
Newburgh NY. 12550

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING APPLICA-  
TION AND THAT HE/SHE HAS AUTHORIZED Carmen DeLacruz  
TO MAKE THE FOREGOING APPLICATION AS DESCRIBED THEREIN.

DATED: June 25, 2025

[Signature]  
OWNER'S SIGNATURE

\_\_\_\_\_  
WITNESS' SIGNATURE

STATE OF NEW YORK: COUNTY OF ORANGE:

SWORN TO THIS 25<sup>th</sup> DAY OF June 2025

Manuela Gomez  
NOTARY PUBLIC

MANUELA GÓMEZ  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01GO6322216  
Qualified in Rockland County  
My Commission Expires March 30, 2027

# Short Environmental Assessment Form

## Part 1 - Project Information

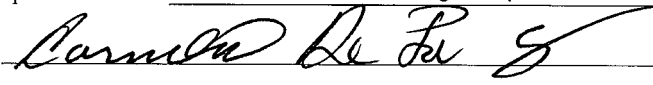
### Instructions for Completing

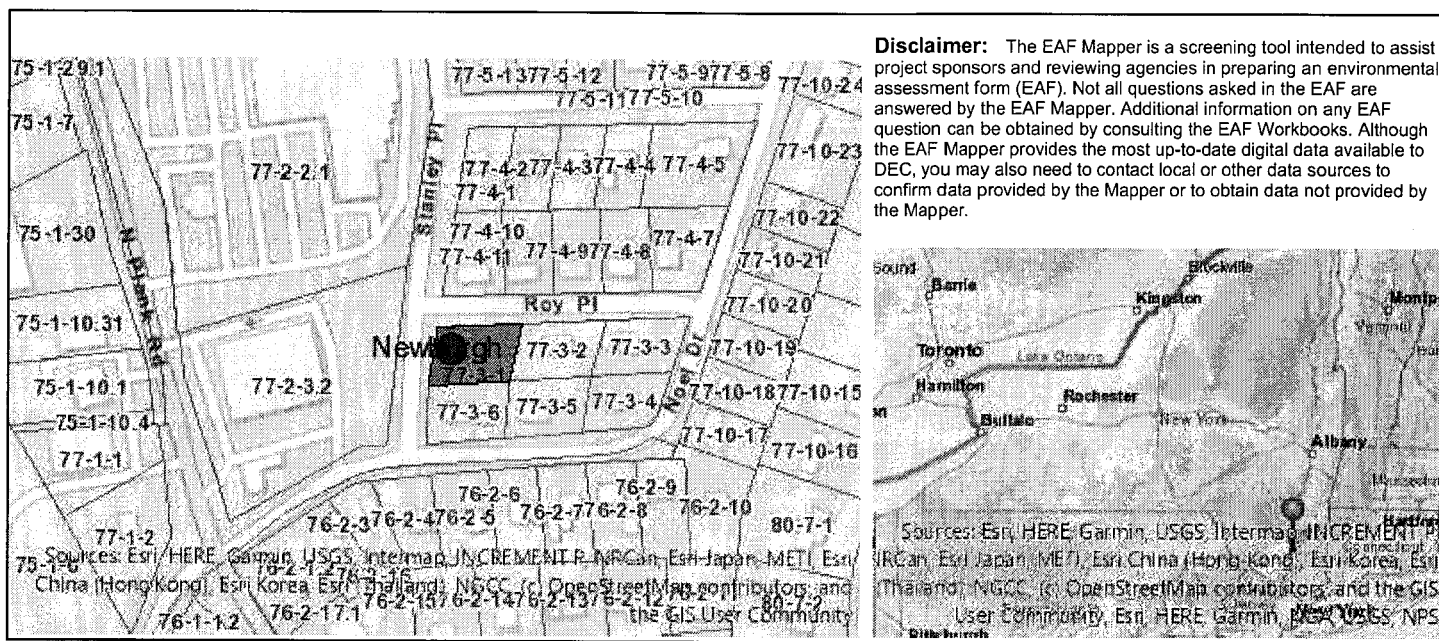
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>							
Name of Action or Project: PROPOSED ADDITION AND ALTERATIONS FOR MR. JOSE TIPAN AND MR. NICOLAS TIPAN							
Project Location (describe, and attach a location map): 5 ROY PLACE, NEWBURGH NY 12550							
Brief Description of Proposed Action: PROPOSED ADDITION AND ALTERATIONS TO AN EXISTING 1-FAMILY HOUSE ON A CORNER LOT. THE SECOND FLOOR ADDITION OVER THE EXISTING, NON-CONFORMING HOUSE REQUIRES 2 AREA VARIANCES: FRONT YARD AT ROY PLACE AND FRONT YARD AT STANLEY PLACE.							
Name of Applicant or Sponsor: CARMEN DE LA CRUZ FROM JORGE L. ARCHITECT PC		Telephone: 845-638-4038 E-Mail: CARMEN@JORGELARCHITECT.COM					
Address: 146 SOUTH LIBERTY DRIVE, SUITE 2B,							
City/PO: STONY POINT		State: NEW YORK	Zip Code: 10980				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NEEDS 2 AREA VARIANCES FROM THE TOWN OF NEWBURGH ZBA			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.   a. Total acreage of the site of the proposed action? <span style="float: right;">0.288 acres</span> b. Total acreage to be physically disturbed? <span style="float: right;">0.015 acres</span> c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">0.288 acres</span>							
4. Check all land uses that occur on, are adjoining or near the proposed action:							
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO  <input type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input checked="" type="checkbox"/>  <input type="checkbox"/>	N/A  <input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO  <input checked="" type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO  <input type="checkbox"/>  <input checked="" type="checkbox"/>	YES  <input checked="" type="checkbox"/>  <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px;">           a. Will storm water discharges flow to adjacent properties?            b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?         </div> If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The storm water discharges will be directed to established conveyance systems as per the Town of Newburgh Engineering Dept. requirements		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Carmen De La Cruz from Jorge L Lopez Architect PC</u> Date: <u>04-16-25</u> Signature: <u></u> Title: <u>Project Manager</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 4<sup>th</sup> day of March, in the year 2024

BETWEEN

Nova3 LLC, having an address at 303 South Broadway, Suite 480, Tarrytown, NY 10591

party of the first part, and

Jose O. Tipan Naula and Segundo Nicolas Tipan Naula having an address at 1 Eastpark CT Garnerville, NY 10923-1004

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten (\$10.00) dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

All that certain plot, piece or parcel of land, situate, lying and being in the Town of Newburgh, County of Orange, State of New York bounded and described as follows:

SEE SCHEDULE 'A' ANNEXED HERETO.

Said Premises being known as: 5 Roy Place, Newburgh, NY 12550  
and by Section: 77 Block: 3 Lot: 1

Being and intended to be the same premises acquired by Nova3 LLC by Deed dated 04/29/2021 and recorded in Orange County Clerk's Office on 07/16/2021 in Book 15005 page 1371 from Angela Solomon.


TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

  
Nova3 LLC

by JAKE DERAFF  
Member



**ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE**

State of NEW YORK, County of Bronx, ss:

On the 3 day of April in the year 2024,  
before me, the undersigned, personally appeared

Jake Deiaff

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

NOTARY PUBLIC SIGNATURE Jessica Ramos  
Notary Public, State of New York  
No. 01RA6107499  
Qualified in Bronx County  
My Commission Expires April 5, 2028

**ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS  
TAKEN IN NEW YORK STATE**

State of New York, County of \_\_\_\_\_, ss:

On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_,  
before me, the undersigned, a Notary Public in and for said State,  
personally appeared

the subscribing witness to the foregoing instrument, with whom I  
am personally acquainted, who, being by me duly sworn, did  
depose and say that he/she/they reside(s) in

(if the place of residence is in a city, include the street and street  
number if any, thereof); that he/she/they know(s)

to be the individual described in and who executed the foregoing  
instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time  
subscribed his/her/their name(s) as a witness thereto.

NOTARY PUBLIC SIGNATURE



**BARGAIN AND SALE DEED  
WITH COVENANT AGAINST GRANTOR'S ACTS**

Title No. NYAA-17768

Nova3 LLC

TO

Jose O. Tipan Naula and Segundo Nicolas  
Tipan Naula



**ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE**

State of New York, County of \_\_\_\_\_, ss:

On the \_\_\_\_\_ day of \_\_\_\_\_ in the year 2024,  
before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

NOTARY PUBLIC SIGNATURE



**ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK  
STATE**

State of \_\_\_\_\_, County of \_\_\_\_\_, ss:

On the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_,  
before me, the undersigned personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual makes such appearance before the undersigned in the

(add the city or political subdivision and the state or country or  
other place the acknowledgement was taken).

NOTARY PUBLIC SIGNATURE



COUNTY: Orange

SECTION: 77

BLOCK: 3

LOT: 1

PREMISES: 5 Roy Place, Newburgh, NY 12550

RETURN TO:

Peter A. Hurwitz, Esq.  
120 N Main Street, Suite 203  
New City, NY 10956  
(845) 634-4966  
hurwitzlawfirm@gmail.com



## TOWN OF NEWBURGH

*~Crossroads of the Northeast~*

**CODE COMPLIANCE DEPARTMENT**  
21 HUDSON VALLEY PROFESSIONAL PLAZA  
NEWBURGH, NEW YORK 12550

TELEPHONE 845-564-7801  
FAX LINE 845-564-7802

± 2025-06

### NOTICE OF DISAPPROVAL OF BUILDING PERMIT APPLICATION

**Date: 01/28/2025**

**Application No. 25-0060**

**To: Jose Tipan Naula**  
**1 Eastpark Court**  
**Garnerville, NY 10923**

**SBL: 77-3-1**  
**ADDRESS: 5 Roy PI**

**ZONE: R3**

PLEASE TAKE NOTICE that your application dated 01/23/2025 for permit to add a second story to the existing dwelling and a 2 story side yard addition on the premises located at 5 Roy PI is returned herewith and disapproved on the following grounds:

Town of Newburgh municipal code:

- 1) 185-19-C-1: Shall not increase the degree of non-conformity. (Front yard Roy Place)
- 2) 185-19-C-1: Shall not increase the degree of non-conformity. (Front yard Stanley Place)

  
Joseph Mattina

Cc: Town Clerk & Assessor (500')  
File



















**AFFIDAVIT OF POSTING(S) OF  
NOTICE OF PUBLIC HEARING  
AT THE PROPERTY**

STATE OF NEW YORK: COUNTY OF ORANGE:

I CARMEN DE LA CRUZ, being duly sworn, depose and say that I did on or before

September 11, 2025, post and will thereafter maintain at

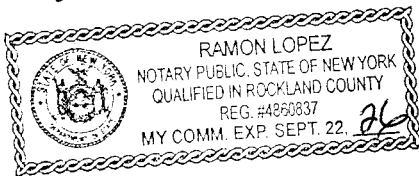
5 Roy Pl 77-3-1 R3 Zone in the Town of Newburgh, New York, at or near the front

property line(s) and within view of each fronting street a copy(ies) of the Notice of Public Hearing, which notice was in the form attached hereto.

The applicant shall maintain and update notice(s) (with amended information if there is any change to the information contained in the original Notice of Hearing) until after the Public Hearing is closed. The Notice must then be removed and property disposed of within ten (10) days of the close of the Public Hearing. Failure to follow the required procedure may result in the Public Hearing being held open for additional time.

Sworn to before me this 24<sup>th</sup>

day of July, 2025.



A handwritten signature in black ink, appearing to be "Ramon Lopez", written over a horizontal line.







