

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: LANDS OF TILSON LOT LINE CHANGE
PROJECT NO.: 17-27
PROJECT LOCATION: SECTION 42, BLOCK 1, LOT 2.22 & 3
REVIEW DATE: 26 FEBRUARY 2018
MEETING DATE: 01 MARCH 2018
PROJECT REPRESENTATIVE: VINCENT DOCE ASSOCIATES dcoce12@hotmail.com

1. The Applicants have revised the map showing that Sheet 2 of 2 with notes identifying the parcels are to be conveyed to the County of Orange and added to Section 39, Block 1, Lot 4.
2. A representative of the County of Orange must sign the lot line change map prior to stamping final approval.
3. Standard lot line change resolution requirements should be part of the approval.

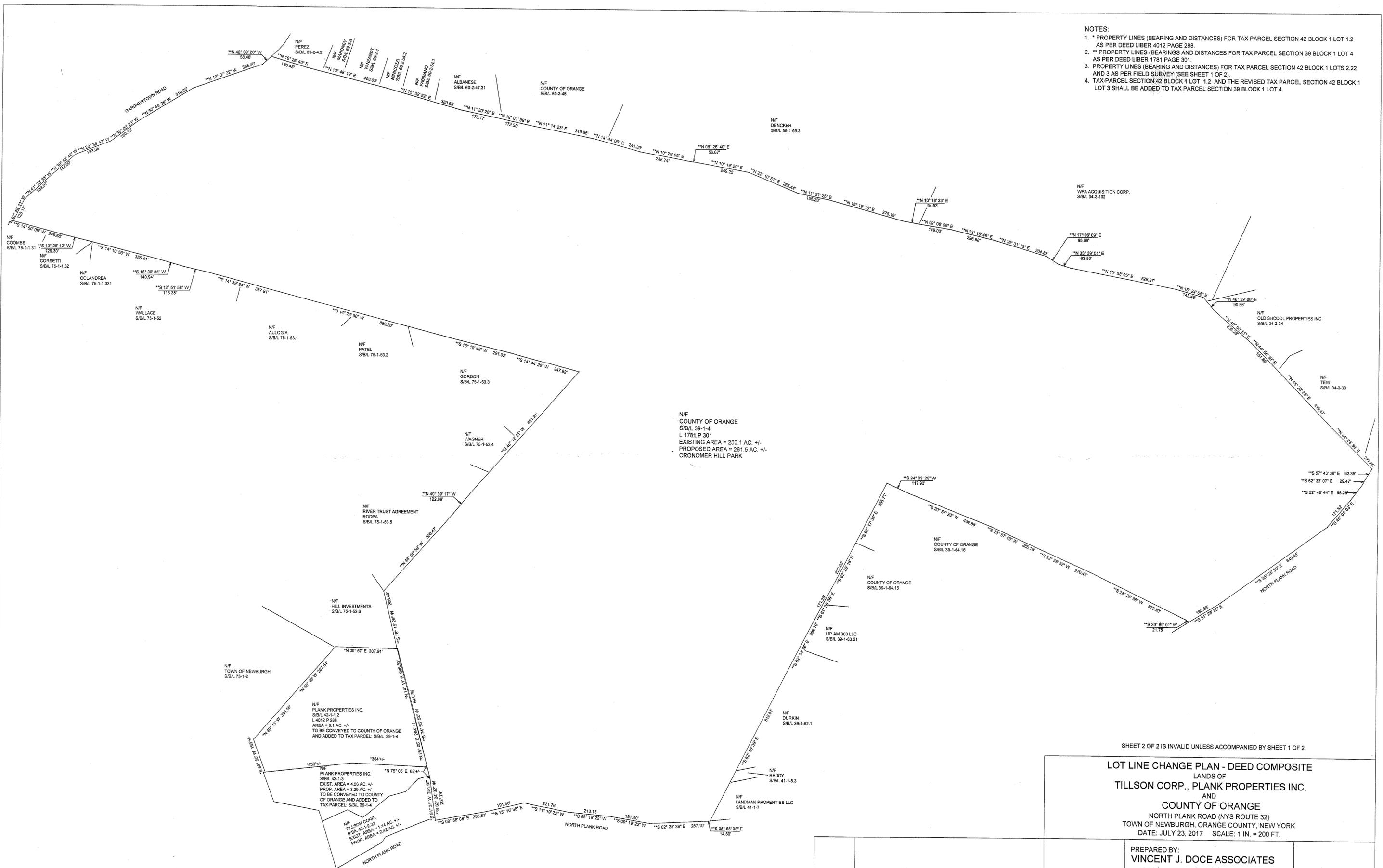
Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw

- NOTES:
- * PROPERTY LINES (BEARING AND DISTANCES) FOR TAX PARCEL SECTION 42 BLOCK 1 LOT 1.2 AS PER DEED LIBER 4012 PAGE 288.
 - ** PROPERTY LINES (BEARINGS AND DISTANCES) FOR TAX PARCEL SECTION 39 BLOCK 1 LOT 4 AS PER DEED LIBER 1781 PAGE 301.
 - PROPERTY LINES (BEARING AND DISTANCES) FOR TAX PARCEL SECTION 42 BLOCK 1 LOTS 2.22 AND 3 AS PER FIELD SURVEY (SEE SHEET 1 OF 2).
 - TAX PARCEL SECTION 42 BLOCK 1 LOT 1.2 AND THE REVISED TAX PARCEL SECTION 42 BLOCK 1 LOT 3 SHALL BE ADDED TO TAX PARCEL SECTION 39 BLOCK 1 LOT 4.



N/F
COUNTY OF ORANGE
S/B/L 39-1-4
L 1781 P 301
EXISTING AREA = 250.1 AC. +/-
PROPOSED AREA = 251.5 AC. +/-
CRONOMER HILL PARK

SHEET 2 OF 2 IS INVALID UNLESS ACCOMPANIED BY SHEET 1 OF 2.

LOT LINE CHANGE PLAN - DEED COMPOSITE
LANDS OF
TILLSON CORP., PLANK PROPERTIES INC.
AND
COUNTY OF ORANGE
NORTH PLANK ROAD (NYS ROUTE 32)
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK
DATE: JULY 23, 2017 SCALE: 1 IN. = 200 FT.

PREPARED BY:
VINCENT J. DOCE ASSOCIATES
SURVEYORS - ENGINEERS - PLANNERS
242 SOUTH PLANK ROAD, NEWBURGH, NY 12550
TEL. 845 561-1170 FAX 845 561-7739

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|------------|----------|
| 02/15/2018 | NOTE 4 |
| DATE | REVISION |

SHEET 2 OF 2