



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** TARBEN II SUBDIVISION  
**PROJECT NO.:** 21-18  
**PROJECT LOCATION:** SECTION 127, BLOCK 1, LOT 12  
**REVIEW DATE:** 15 SEPTEMBER 2023  
**MEETING DATE:** 21 SEPTEMBER 2023  
**PROJECT REPRESENTATIVE:** ZEN CONSULTANTS

1. Status of the Orange County Health Department approval for the subsurface sanitary sewer disposal systems should be addressed.
2. Notes on the plan regarding the 50 ft. wide easement should be reviewed by the Planning Board Attorney's office. Easement would not permit a future Town road.
3. A Grading Plan for the driveway serving proposed Lot 12 should be provided.
4. The comment letter identifies that a culvert has been added to the plans at the driveway connections to the cul-de-sac. This culvert is not depicted on the plans. Driveways should show negative slope from the Town roadway. Appropriate grading should be depicted.
5. The 25 ft. area at the cul-de-sac between the easement and the access to Lot 12 should be identified.
6. Limits of disturbance should be calculated to determine if coverage under the NYSDEC Stormwater SPDES Permit is required.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines', written in a cursive style.

Patrick J. Hines  
Principal  
PJH/kbw

**NEW YORK OFFICE**

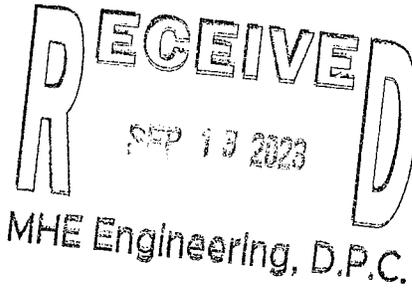
33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

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**ZEN Consultants, Inc.**

1662 ROUTE 300, SUITE 138  
NEWBURGH, NY 12550  
(845) 629-1567 (phone)  
20-082



August 2, 2023

Town of Newburgh  
Planning Board  
21 Professional Plaza  
Newburgh, New York 12550

Tarben II Subdivision - Lot #12  
SBL: 127-1-12

Dear Board Members,

Since our last time in front of you we have been to the OCHD made some changes to the plan based on their comments and MH&E comments.

**Comments addressed from MH&E plan review letter (dated July 27, 2021)**

1. *The wetland delineation identified as being performed on February 26, 2004 has expired. Wetland delineations are only valid for 10 years.* - The wetlands have been re-delineated by ERS Consultants, Inc - 08/11/21.
2. *It appears that additional percolation testing has been performed on Lot #12. Has the location of the subsurface sanitary sewer system changed since the original subdivision approval* - The location has not changed. The OCHD asked for additional tests on that lot.
3. *The subsurface sanitary sewer disposal system and well on lot #10 should be depicted* - This information has been added to the plans.
4. *Plans should show a building envelope based on the underlying zoning and restrictions based on the easement identified to provide a future Town roadway. The lot size should be calculated with the future Town roadway easement removed and any setbacks should be taken from the right-of-way line.* - The building envelope has been adjusted and the lot size re-calculated.
5. *Front yard would be measured for the flag lot where the lot has minimum lot width. Lot size calculation should be provided with and without the easement area.* - Front yard setback has been adjusted and the lot size re-calculated.
6. *Provisions for drainage at the Town roadway/driveway connection should be evaluated* - A driveway culvert has been added to the plan.

**REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS  
(AS SHOWN IN NYS DEPARTMENT OF HEALTH DESIGN HANDBOOK FOR  
INDIVIDUAL RESIDENTIAL WASTEWATER TREATMENT SYSTEMS, ed. 2012)**

SYSTEM COMPONENTS	WELL OR SUCTION LINE	STREAM, LAKE, WATERCOURSE OR WETLAND	PROPERTY DWELLING	PROPERTY LINE	DRAINAGE DITCH
HOUSE SEWER	50' (25' FOR CAST OR PVC W/ O-RING)	25'	3'	10'	---
(WATERTIGHT JOINTS) SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	20'
DISTRIBUTION BOX	100'	100'	20'	10'	50'
ABSORPTION FIELD	100'	100'	20'	10'	50'
SEEPAGE PIT	150'	100'	20'	10'	50'
DRY WELL (ROOF AND FOOTING)	50'	25'	20'	10'	10'
RAISED OR MOUND SYSTEM	100'	100'	20'	10'	50'
INTERMITTENT SAND FILTER	100'	100'	20'	10'	20'
EVAPOTRANSPIRATION-ABSORPTION SYSTEM	100'	50'	20'	10'	50'
COMPOSTER	50'	50'	20'	10'	10'
SANITARY PRIVY PIT	100'	50'	20'	10'	20'
PRIVY, WATERTIGHT VAULT	50'	50'	20'	10'	10'

**ADDITIONAL SEPARATIONS APPENDIX 75-A, ADDENDUM**

1. SEPARATION: WELL TO SWALE, STREAM OR WATERCOURSE - 25'
2. SEPARATION: ABSORPTION FIELD TO HIGH WATER LINE OF A WET POND - 100'
3. SEPARATION: ABSORPTION FIELD TO INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN - 50'
4. SEPARATION: ABSORPTION FIELD TO CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE) - 35'
5. SEPARATION: ABSORPTION FIELD TO CURTAIN DRAIN - 15'
6. SEPARATION: ABSORPTION FIELD, PITS, EXPANSION AREA, TO TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE - 25'
7. SEPARATION: ABSORPTION FIELD TO SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE EASEMENT - 10'
8. DRAINAGE PIPES WITHIN 25' OF ANY WELL MUST BE WATERTIGHT
9. SEPARATION: WELL TO SUBDIVISION PROPERTY LINE - 100'
10. SEPARATION: WELL TO SUBDIVISION BOUNDARY - 50'

**AGRICULTURAL NOTES:**

THIS SUBDIVISION IS LOCATED IN AN AGRICULTURALLY ZONED DISTRICT. IT DOES HAVE ACTIVE FARMING OPERATIONS IN THE VICINITY. BE ADVISED OF THE FOLLOWING:

1. THAT FARMING DOES NOT OCCUR ONLY BETWEEN 8:00am AND 5:00pm AND IS DEPENDENT ON MOTHER NATURE; RESIDENTS SHOULD BE AWARE OF NOISE FROM AGRICULTURAL MACHINERY BEING OPERATED IN NEARBY FIELDS IN EARLY MORNING AND EVENING HOURS AND NOISE FROM CROP DRYING FANS WHICH ARE ON 24 HOURS A DAY DURING THE HARVESTING SEASON.
2. THAT THE ROADS LEADING TO AND FROM THE SUBDIVISION ARE FREQUENTLY TRAVELED BY FARMERS AND THEIR SLOW MOVING FARM VEHICLES AND EQUIPMENT.
3. THAT FARM NEIGHBORS VERY OFTEN SPRAY THEIR CROPS WITH PESTICIDES IN ACCORDANCE WITH ACCEPTED PRACTICES REGULATED BY THE NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC NOTIFICATION No. 325, OCTOBER 1988).
4. THAT EXISTING AGRICULTURAL OPERATIONS MAY CREATE BOTH UNAVOIDABLE ODORS AND UNSIGHTLINESS COMMONLY ASSOCIATED WITH FARMING OPERATIONS IN THE AREA.
5. THAT THERE ARE DANGERS IN LETTING CHILDREN AND PETS ROAM INTO ANY ADJACENT FIELD, WHICH IS PRIVATE PROPERTY.

**ORANGE COUNTY DEPARTMENT OF HEALTH NOTES:**

1. A NEW YORK STATE LICENCED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY, ANY WATER TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE HOUSE, THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATER TIGHTNESS. A COPY OF THE NYSDEC WELL COMPLETION REPORT MUST ALSO BE PROVIDED.
2. THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS IN THE AREA OF THE ABSORPTION FIELDS.
3. ALL WELLS AND SEPTIC SYSTEMS WITHIN 300 FT. OF THIS PROJECT HAVE BEEN LOCATED AND SHOWN ON THE PLANS.
4. INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN ONE (1) YEAR OF AVAILABILITY.
5. ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO FIVE (5) YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
6. THE APPROVED PLANS MUST BE FILED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE LAST APPROVAL OF FINAL PLANS.
7. DIG SAFELY NEW YORK MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION (DIAL 811 OR WWW.DIGSAFELYNEWYORK.COM).

TOWN: NEWBURGH  
ZONE: AR  
TOTAL ACREAGE: 9.44±

	REQUIRED	LOT #11	LOT #12
MINIMUM LOT AREA	0.92 AC.	2.31 AC.	7.13 AC.
MINIMUM YARDS			
FRONT	50'	50'+	50'+
REAR	50'	50'+	50'+
SIDE 1	30'	30'+	30'+
SIDE BOTH	80'	80'+	80'+
MINIMUM LOT WIDTH	150'	150'+	150'+
DEPTH	150'	150'+	150'+
MAXIMUM BUILD. COVERAGE	10%	<10%	<10%
MAXIMUM HEIGHT	35'	<35'	<35'

**LEGEND**

- PROPOSED CONTOURS
- EXISTING CONTOURS
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- PROPOSED SWALE
- STONE WALL
- PROPOSED WELL
- PROPOSED BUILDING
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PECOLATION TEST HOLE
- DEEP SOIL TEST HOLE



SCALE 1"=2000'

**ZEN** CONSULTANTS, INC.  
1662 ROUTE 300, SUITE 138  
NEWBURGH, NEW YORK 12550  
(845)-629-1567 (phone)

**OWNER'S CONSENT NOTE:**  
THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

SIGNATURE, TARBEN, INC.

**APPLICANT/OWNER**

TARBEN, INC.  
225 STONEYWOOD DRIVE  
NEWBURGH, NY 12550

**CERTIFICATION:**

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON FEBRUARY 25, 2004. BY ANTHONY D. VALDINA, LAND SURVEYOR.

**TOWN CERTIFICATION:**

I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAT HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER.

**TOPOGRAPHY NOTE**

TOPOGRAPHY PROVIDED BY ROBINSON AERIAL SURVEYS, INC., 1 EDGEVIEW DRIVE, HACKETTSTOWN, NJ 07840, FLOWN ON 12/03/03.

**WETLANDS NOTES:**

WETLANDS DELINEATED ON 02/26/04 AND UPDATED 8/11/21 BY ERS CONSULTANTS, INC., P.O. BOX 214, BELLVALE, NEW YORK 10912

**WELL NOTE:**

1. INDIVIDUAL WELLS ARE PROPOSED FOR EACH LOT.
2. NO WELLS WITHIN 200' DOWNHILL OR 100' UPHILL OF PROPOSED SEPTIC SYSTEMS.

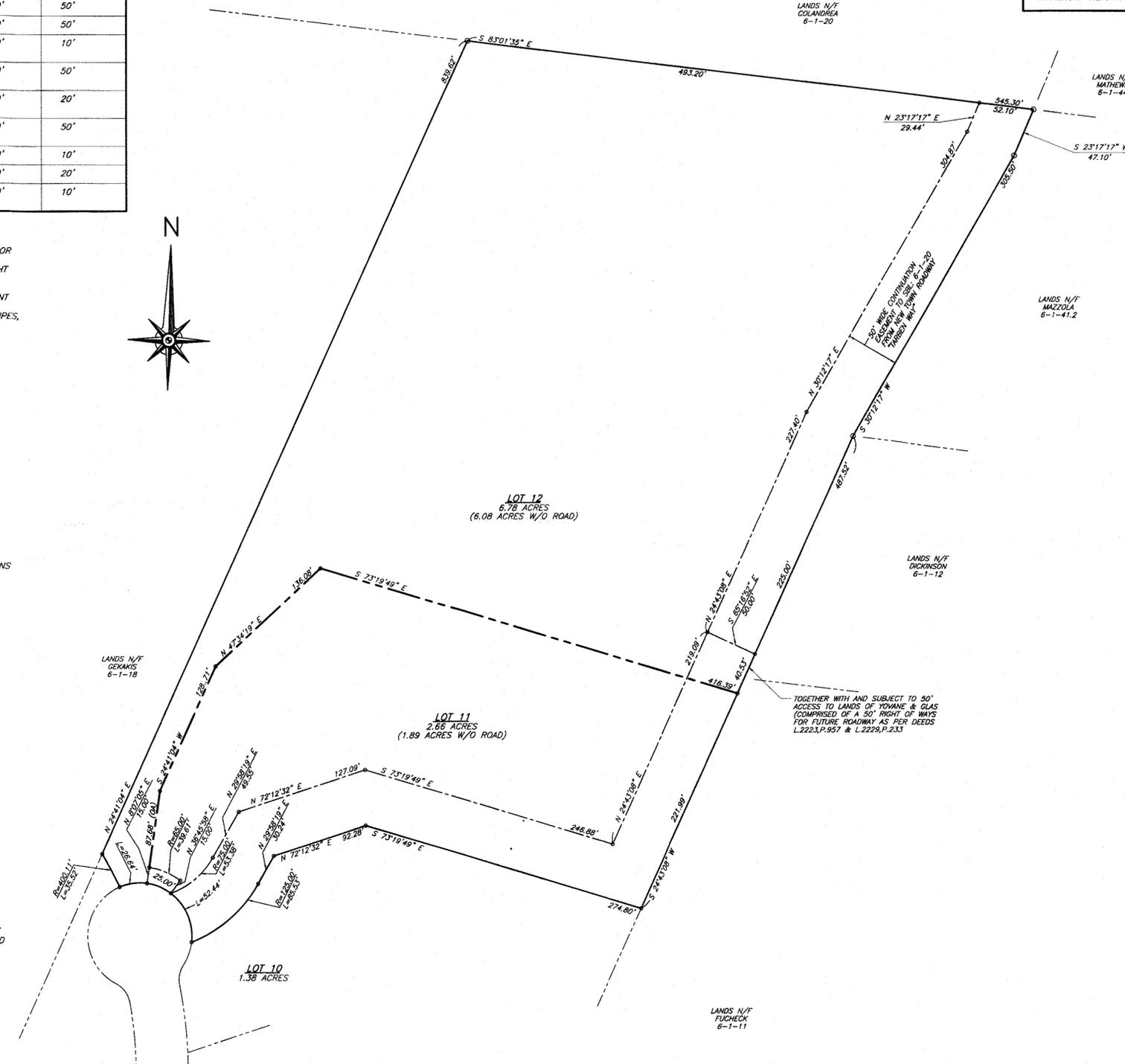
**SEWER NOTE:**

INDIVIDUAL SEPTIC SYSTEMS

**SURVEY NOTES:**

1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE N.Y. STATE EDUCATION LAW.
2. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. SURVEYED IN ACCORDANCE WITH FILED MAPS, DEEDS, AND PHYSICAL MONUMENTATION FOUND AT THE TIME OF SURVEY.
5. SUBJECT TO ANY STATE OF FACTS REVEALED BY A TITLE REPORT ISSUED BY COMMONWEALTH F.I.C. LAND TITLE INSURANCE COMPANY, TITLE # 031614, DATED AUGUST 10, 2003.
6. FILED MAP REFERENCES:  
MAP ENTITLED "LANDS OF TARBEN", FILED IN THE ORANGE COUNTY CLERK'S OFFICE 10/05/2016, AS MAP #274-16

2. REVISED AS PER OCHD COMMENTS
1. REVISED AS PER OCHD COMMENTS AND FIELD TESTS



**PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-3)**

**SURVEYOR**  
ANTHONY D. VALDINA

**LANDS OF TARBEN, INC.**  
LOT 12 - 2 LOT SUBDIVISION  
SURVEY PLAT  
SBL: 127-1-12  
TOWN OF NEWBURGH, ORANGE CNTY.

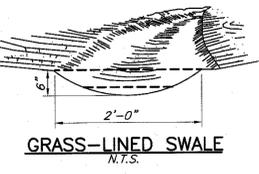
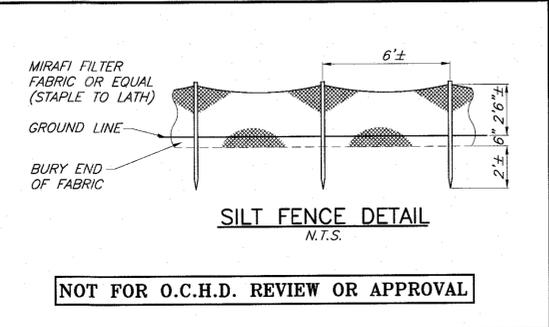
DATE: 01/05/21 SCALE: 1" = 60' JOB NUMBER: 20-082-TAR SHEET NUMBER: 1 OF 3

**EROSION CONTROL STANDARD NOTES**

1. EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH A MANNER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
2. SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
3. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
4. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
5. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
6. MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
7. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
8. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCROACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
9. ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL.
10. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF ONE HUNDRED PERCENT (100%) OF STANDARD PROCTOR TEST METHOD OR 95% MODIFIED PROCTOR TEST METHOD WITH PROPER MOISTURE CONTROL.
11. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEEDED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
12. PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
13. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
14. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
15. SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
16. THERE SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
17. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.

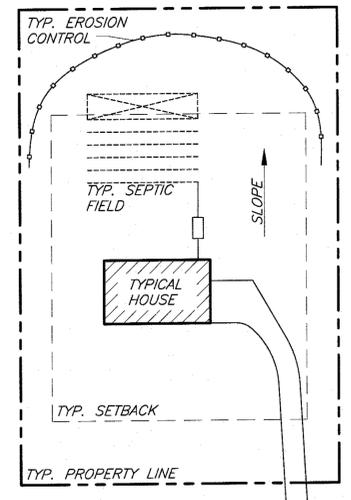
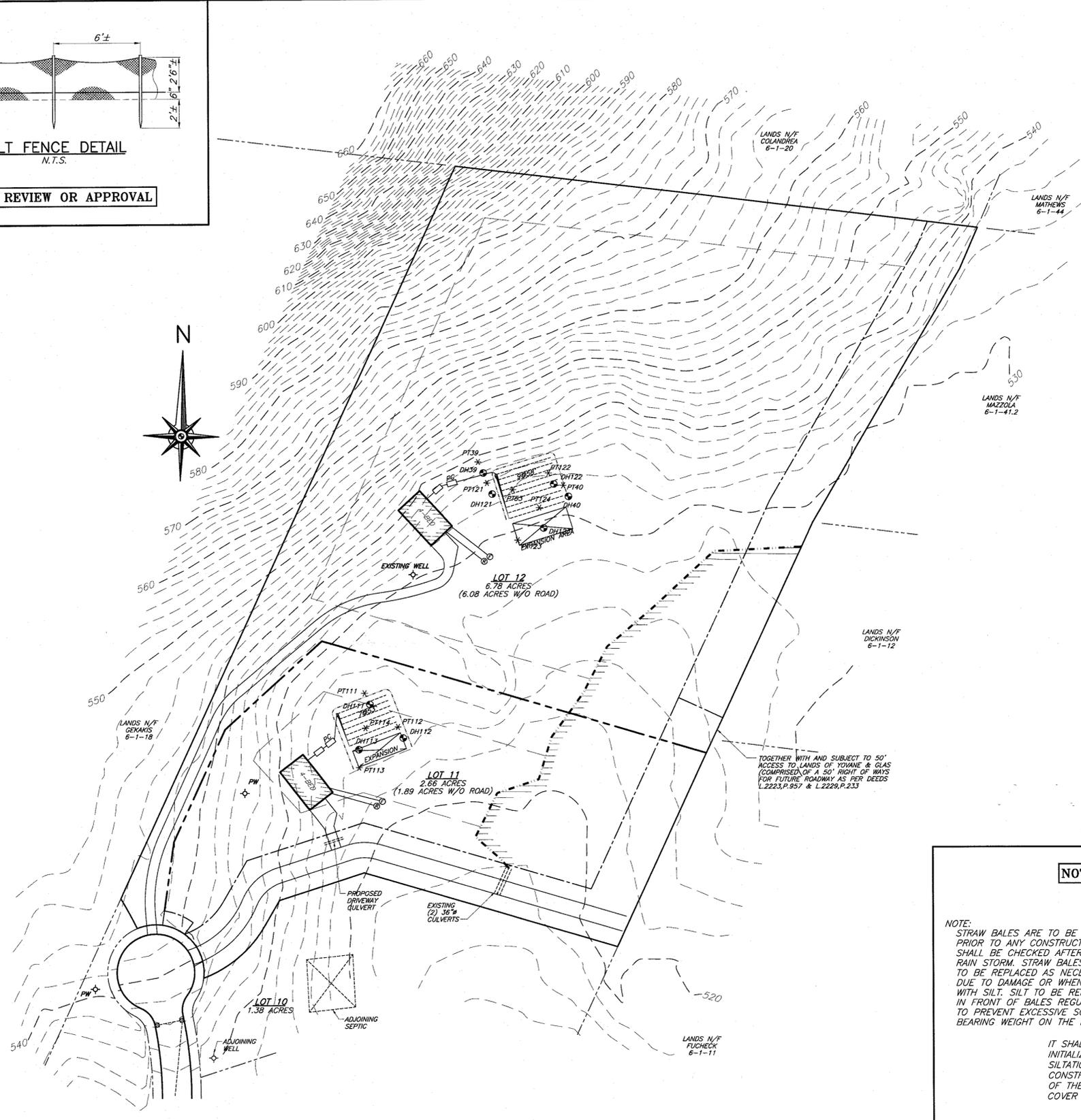
**LEGEND**

- PROPOSED CONTOURS
- CONTOURS
- PROPOSED DRAINAGE SWALE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- FEDERAL WETLANDS
- PROPOSED WELL
- EXISTING WELL
- PROPOSED HOUSE
- PROPOSED CLEANOUT
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PROP. ROOF DRAIN OUTLET
- PROP. FOOTING DRAIN OUTLET



**CONSTRUCTION SPECIFICATIONS**

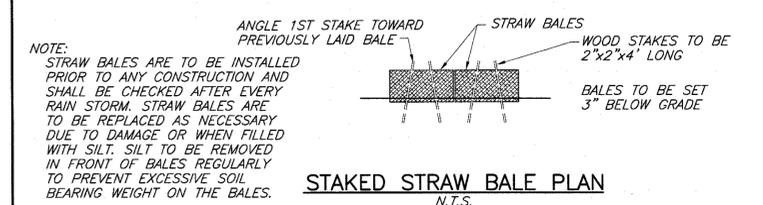
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY.
4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
  - A. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER SEC., SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT, WHEN CONDITIONS PERMIT, TEMPORARY WATERWAYS OR OTHER MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE WATERWAY DURING THE ESTABLISHMENT OF THE VEGETATION.
  - B. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE WATERWAY SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELISIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.
  - C. STRUCTURAL VEGETATIVE PROTECTION
6. A SURFACE WATER DIVERSION SWALE MUST BE INSTALLED ABOVE THE ABSORPTION AREA AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
  - A. THERE MUST BE SUFFICIENT GRADE TO DRAIN ALL SURFACE WATER AWAY FROM ABSORPTION AREA.
  - B. THE SWALE MUST NOT CROSS OVER ANY ABSORPTION LATERAL.
7. THIS SWALE SHALL BE INSTALLED ABOVE THE ABSORPTION AREA ON ALL LOTS.



**TYPICAL EROSION CONTROL DETAIL**  
N.T.S.

NOTE:  
 1. STRAW BALES OR SILT FENCING ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. EROSION CONTROL TO BE LOCATED ON THE DOWNHILL SIDE OF DISTURBED LAND. EROSION CONTROL LOCATIONS WILL VARY DEPENDING ON THE DIRECTION OF SLOPE FOR THE INDIVIDUAL LOTS. SEE DETAILS FOR INSTALLATION INSTRUCTIONS.

**NOT FOR O.C.H.D. REVIEW OR APPROVAL**



IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES, STRAW BALES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION, STRAW BALES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS RE-ESTABLISHED.

2. REVISED AS PER OCHD COMMENTS  
 1. REVISED AS PER OCHD COMMENTS AND FIELD TESTS

**PLANS ARE INCOMPLETE AND INVALID UNLESS ACCOMPANIED BY ENTIRE SET (SHEETS 1-3)**

**ENGINEER**  
 WILLIAM J. MORREAU, P.E.

**LANDS OF TARBEN INC.**  
 LOT 12 - 2 LOT SUBDIVISION  
**LAYOUT PLAN**  
 SBL: 127-1-12  
 TOWN OF NEWBURGH, ORANGE CNTY.

DATE	SCALE	JOB NUMBER	SHEET NUMBER
01/05/21	1" = 60'	20-082-TAR	2 OF 3

