



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: RT ORCHARDS SUBDIVISION
PROJECT NO.: 22-28
PROJECT LOCATION: SECTION 7, BLOCK 1, LOT 26.1/N. OF COLANDREA RD & E. OF FROZEN RIDGE RD
REVIEW DATE: 22 NOVEMBER 2022
MEETING DATE: 1 DECEMBER 2022
PROJECT REPRESENTATIVE: COLLIERS ENGINEERING & DESIGN CT, PC

1. The status of Colandrea Road as a private roadway should be addressed. Any extensions of private roadways require construction of the private roadway to current Town of Newburgh Private Road Specifications.
2. Information pertaining to the existing farm road, requirements for access through the existing farm road should be provided.
3. The Septic Note #11 should be modified that an As Built Map and certification must be submitted to the Town of Newburgh Building Department prior to issuance of a Certificate of Occupancy.
4. Orange County Planning submission is required as project is located within an AG District.
5. Notes pertaining to abandonment of an existing well should be identified in compliance with applicable standards.
6. Grading and silt fence extend off the site in the vicinity of the existing farm road.
7. The applicant's representative are requested to address whether the subdivision was previously utilized as an orchard. Health Department requirements for all former orchard use would apply.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

TOWN OF NEWBURGH PLANNING BOARD

**APPLICATION PACKAGE
for
SUBDIVISIONS,
SITE PLANS,
LOT LINE CHANGES
And
SPECIAL EXCEPTION USE PERMITS**

Procedures and Requirements

July 2013

**TOWN OF NEWBURGH PLANNING BOARD
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550
(845) 564-7804
fax: (845) 564-7802
planningboard@hvc.rr.com**

TO WHOM IT MAY CONCERN:

This package of information and forms is provided to assist the applicant in the preparation of a submission of a site plan, subdivision, lot line change or special exception use permit to the Town of Newburgh Planning Board. In most cases the application will be prepared initially by a licensed professional engineer, architect, surveyor or land planner. Since in almost every case such professional will be required for the process, they should be retained as early as possible.

Procedurally, the applicant should contact the Planning Board to discuss the potential project and obtain the necessary forms and regulations.

The Zoning and Subdivision Regulations of the Town of Newburgh require that the applicant must present plans to the Secretary of the Planning Board. When your application is complete, it will be placed on the next **AVAILABLE** agenda. Submittals must be handed in to the Planning Board Secretary at least 10 days prior to the next meeting, but the date of the appearance at a meeting will be determined by the next available time slot, not necessarily the next meeting. You will be notified of the date, time and place of your meeting.

A minimum of **FOURTEEN (14)** sets of **FOLDED PLANS** for a major or minor subdivision or a site plan must be submitted with a **COMPLETED** application, and **FIFTEEN (15)** sets of plans must be submitted if plans need to be submitted to the Town of Newburgh Traffic Consultant. This completed application must include a **LONG FORM OR FULL EAF** for every project except lot line changes, 2 lot subdivisions under 3 acres or site plans impacting less than one acre, along with a **NARRATIVE** of the proposed project. The narrative should include the action being taken, the size of the parcel, what zone the parcel is in, the water and sewer information, any Zoning Board of Appeals relief needed, and whether the parcel is on a private or town road. Complex or unusual projects should be discussed in greater detail.

Following the first meeting before the Planning Board the applicant is required to send an Adjoiner Notice to property owners within 500 feet of the parcels in question (please see final page of the package for full instructions).

Upon initial review of a Short Form, the Planning Board may require specific additional environmental information or the preparation of a Long Form. Long Form part 1 should be completed by the applicant. The Board will review and may modify Part 2 prior to making a decision on the SEQRA aspect of the project.

All fees for consulting and professional services that the Planning Board incurs during the review of the applications will be the responsibility of the applicant. An advance deposit for these fees will be required and will be placed in an escrow account with the Town. If the escrow account falls below the 40% of the initial deposit, the applicant will be required to immediately make an additional deposit to the escrow account prior to any further review of the project application by the Planning Board.

Very truly yours,

JOHN P. EWASUTYN, Chairman
Town of Newburgh Planning Board

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

RT Orchards Subdivision

2. Owner of Lands to be reviewed:

Name Richard Lawrence

Address 5 N End Road
Newburgh, NY 12550

Phone (914) 805-0396

3. Applicant Information (If different than owner):

Name Giovanna Ward and Tradelle Ward

Address 7 Vineyard Lane Apt 118
Newburgh, NY 12550

Phone (845) 742-6274

Representative Colliers Engineering & Design CT, PC

Phone (845) 564-4495

Fax NA

Email cory.robinson@collierseng.com

4. Subdivision/Site Plan prepared by:

Name Colliers Engineering & Design CT, PC

Address 555 Hudson Valley Avenue, Suite 101
New Windsor, NY 12553

Phone/Fax (845) 564-4495

5. Location of lands to be reviewed:

Section 7, Block 1, Lot 26.1, Town of Newburgh, North of Colandrea Rd and ±2100' East of Frozen Ridge Rd.

6. Zone AR

Fire District MiddleHope

Acreege 80.28

School District Marlboro Central

7. Tax Map: Section 7 **Block** 1 **Lot** 26.1

8. Project Description and Purpose of Review:

Number of existing lots 1 Number of proposed lots 2

Lot line change Minor subdivision to create a new 2 acre parcel from a parent 80.28 acre parcel

Site plan review Develop new 2-acre lot with a single family 4-bedroom residential dwelling

Clearing and grading Necessary grading to accommodate dwelling and driveway

Other Project to have on-site SSDS and reuse an existing on-site well

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) None Known

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature  Title Civil Engineer

Date: 11/14/22

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

RT Orchards Subdivision

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X **Surveyor,s Certification**
12. X **Surveyor’s seal and signature**
13. X **Name of adjoining owners**
14. X **Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements (None within 100' of proposed development)**
15. N/A **Flood plain boundaries**
16. X **Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989**
17. X **Metes and bounds of all lots**
18. X **Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street**
19. X **Show existing or proposed easements (note restrictions)**
20. X **Right-of-way width and Rights of Access and Utility Placement**
21. N/A **Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)**
22. X **Lot area (in sq. ft. for each lot less than 2 acres)**
23. X **Number of lots including residual lot**
24. X **Show any existing waterways**
25. N/A **A note stating a road maintenance agreement is to be filed in the County Clerk’s Office where applicable**
26. X **Applicable note pertaining to owners review and concurrence with plat together with owner’s signature**
27. X **Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.**
28. X **Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided**
29. X **Show topographical data with 2 or 5 ft. contours on initial submission**

- 30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32. X Number of acres to be cleared or timber harvested
- 33. X Estimated or known cubic yards of material to be excavated and removed from the site
- 34. X Estimated or known cubic yards of fill required
- 35. X The amount of grading expected or known to be required to bring the site to readiness
- 36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

- 37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

- 38. List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

Colliers Engineering & Design CT, PC
 By: (Cory D. Robinson, P.E.)
Licensed Professional

Date: 11/14/22

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Giovanna Ward

APPLICANT'S NAME (printed)



APPLICANTS SIGNATURE

11/10/2022

DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Richard Lawrence, **DEPOSES AND SAYS THAT HE/SHE**

RESIDES AT 5 N End Rd, Newburgh

IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF Section 7, Block 1, Lot 26.1

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Colliers Engineering & Design CT, PC IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

DATED: 11/10/22


OWNERS SIGNATURE

Giovanna Ward

Richard Lawrence
OWNERS NAME (printed)

Tradelle Ward

WITNESS' SIGNATURE

**NAMES OF ADDITIONAL
REPRESENTATIVES**

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

11/10/2022
DATED

Giovanna Ward
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (B) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: Giovanna Ward
7 Vineyard Lane Apt 118, Newburgh, NY 12550

Description of the proposed project: Project proposes a minor subdivision to create a new 2.0 acre parcel from a parent 80.28 acre parcel and development of a single family residential dwelling, along with the construction of an on-site septic system. Project to reuse existing well.

Location of the proposed project: _____
Section 7, Block 1, Lot 26.1, Town of Newburgh, North of Colandrea Rd and ±2100' East of Frozen Ridge Rd.

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: See attached.

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.



APPLICANT'S SIGNATURE

11/10/2022

DATE

Owners of land within the Orange County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:

Chadwick J Shao & Jeong Eun Um
373 Candlestick Hill Rd
Newburgh NY 12550
SBL 6-1-57

Raymond Bianco & Marjorie Bianco
37 Colandrea Rd
Newburgh NY 12550
SBL 6-1-66.21

Lawrence Realty Co Inc
39 Colandrea Rd
Newburgh NY 12550
SBL 6-1-66.32

Corey Rheal & Marci Rheal
345 Candlestick Hill Rd
Newburgh NY 12550
SBL 7-1-39.3

Genie Industrial Supply Inc.
117 South Clark St
Newburgh NY 12550
SBL 7-1-39.4

Salvatore Prestigiacoemo & Danielle Prestigiacoemo
1263 Allen Dr
Seaford NY 11783
SBL 7-1-49.2

Rita Alexander & Steven Alexander
7 Manzo Rd
Newburgh NY 12550
SBL 7-1-27

Marion E Sgro Asset Protection Trust
103 Lattintown Rd
Newburgh NY 12550
SBL 7-1-29

Edward J Mills, Jr & John A Mills
110 Merritt La
Newburgh NY 12550
SBL 7-1-28.1

Barbara M Alfano
103 Merritt Ln
Newburgh NY 12550
SBL 7-1-28.2

Teresa V Roberts & Glenroy Barrett
111 Merritt Ln
Newburgh NY 12550
SBL 7-1-26.2

Kathy A Cosman Qualified
132 Colandrea Rd Ext
Newburgh NY 12550
SBL 7-1-25.22

Amanda Lee Cosman
122 Colandrea Rd Ext
Newburgh NY 12550
SBL 7-1-25.1

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: _____

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

COLOR OF THE EXTERIOR OF BUILDING:

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:

Color: _____

Material: _____

Square footage of signage of site: _____

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Signature

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.** The applicant shall thereafter submit a duly executed, notarized affidavit of mailing to the Planning Board. Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

NARRATIVE SUMMARY
November 11, 2022
RT ORCHARDS SUBDIVISION
TAX LOT 7-1-26.1
TOWN OF NEWBURGH, ORANGE COUNTY, NY
CED PROJECT NO. 040007C

Colliers Engineering & Design CT, P.C. has developed the attached Preliminary Subdivision Plans for the above referenced tax lot.

The existing parcel is approximately 80.28 acres in size with frontage on Colandrea Road along its southern boundary. The site is located within the AR (Agricultural) Zoning District. Single-family dwellings, among others, are a permitted use within the district. The parcel is not located within the one-hundred year flood plain, nor any mapped NYSDEC wetlands. The ACOE National Wetlands Inventory shows several farm ponds near the project site.

The subdivision plan proposes a two (2) lot subdivision with the existing agricultural land remaining on the parent lot, proposed parcel A, and a proposed 4 bedroom single family dwelling on the new lot, proposed parcel B, which will be accessible through a new driveway to Colandrea Road ROW. Parcel A is 78.28 acres which exceeds the minimum required lot area in the AR district. Parcel B is 2.0 acres in size which exceeds the minimum required for single family dwellings and parcel B conforms to the zoning setback requirements for the AR zoning district. The proposed dwelling will be served by a new private on-site septic system and an existing on-site well will be connected to and reused to provide potable water.

At this time we are requesting to be put on the next available Planning Board agenda.

R:\Projects\2004\040007C\Correspondence\OUT\221111 Narrative Summary.docx

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)			
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? <i>Online mapping identifies farm ponds as ACOE wetlands on the parent parcel ±300' north from the area of proposed development.</i> b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: <u> <i>C. D. Roberts</i> </u> Title: _____		

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FLOOR LOAD SCHEDULE

DEAD LOAD	
PLYWOOD	1.5
CEILING	2.5
WOOD FRAMING	2.0
LIGHTING, PIPING & MISC.	2.0
	10.0
LIVE LOAD	
ALL AREAS EXCEPT SLEEPING SLEEPING AREAS	40.0
	30.0
DESIGN LOAD	
ALL AREAS EXCEPT SLEEPING SLEEPING AREAS	50.0 PSF
	40.0 PSF

ATTIC FLOOR SCHEDULE

DEAD LOAD	
PLYWOOD	1.5
CEILING	2.5
WOOD FRAMING	2.0
LIGHTING, PIPING & MISC.	2.0
	10.0
LIVE LOAD	
STORAGE	20.0
DESIGN LOAD	
	30.0 PSF

ROOF LOAD SCHEDULE

DEAD LOAD	
ROOFING	2.5
INSULATION	1.0
PLYWOOD	1.5
WOOD FRAMING	1.5
CEILING	2.5
LIGHTING, PIPING & MISC.	1.5
	10.0
LIVE LOAD	
SNOW LOADING	30.0
DESIGN LOAD	
	40.0 PSF

SQUARE FOOTAGE

FIRST FLOOR	1580 SF
SECOND FLOOR	1676 SF
TOTAL HABITABLE FLR. AREA	3006 SF

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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

LINDA J. ZWART
ARCHITECT

31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2464

LICENSED, NEW YORK STATE

RT ORCHARD
S/B/L 7/1/26.1

NEW RESIDENCE FOR:
JOHN FAVELLA AND GIOVANNA WARD

TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

FRONT ELEVATION AND GENERAL NOTES

DATE: 08 NOV 2022
JOB# 2224

1 OF 9



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DIMENSIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (RCNYS) AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS). SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE 2020 RCNYS AND THE 2020 ECCCNYS.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE 2020 RCNYS.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
A. IF ALTERED
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT/OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- THE BUILDER MUST VERIFY THAT THIS DWELLING IS NOT LOCATED IN FLOODWAY AS DEPICTED IN THE LATEST TOWN F.I.R.M. MAP.
- BUILDER SHALL FILE SEPARATE PLANS FOR WASTE WATER DISPOSAL AND DOMESTIC WATER SUPPLY.
- BUILDER SHALL FILE SEPARATELY PLOT PLAN INDICATED FRONT, SIDE AND REAR YARD DIMENSIONS, ELEVATIONS AT DRIVEWAY, GARAGE AND FINISHED FIRST FLOOR.
- ALL EXTERIOR WALLS AND COMMON TO UNHEATED SPACES SHALL BE 2X6 STUDS @ 16" O.C.
- ALL INTERIOR WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- PER 2020 RCNYS: STAIR TREAD MINIMUM WIDTH SHALL BE 4" PLUS 1-1/8" NOSING FOR A CLOSED STAIRWAY. MAXIMUM RISER HEIGHT SHALL BE 8-1/4". TOLERANCE ON TREAD AND RISER SHALL NOT EXCEED 1/8". MINIMUM HEADROOM OVER ANY PORTION OF THE FIXED STAIRWAY SHALL NOT BE LESS THAN 6'-8". ALL STAIRS SHALL HAVE CONTINUOUS RAILINGS 2'-10" TO 3'-2" ABOVE NOSING. ALL PORCHES, BALCONIES OR RAISED FLOOR AREAS GREATER THAN 30" ABOVE FLOOR SHALL HAVE GUARD RAILS NOT LESS THAN 36" HIGH. GUARDS SHALL NOT ALLOW A SPHERE GREATER THAN 4" PASS THRU INTERMEDIATE RAILS.
- HEATING DUCT DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE HEATING CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY EITHER ROUGH-IN TEST OR POST-CONSTRUCTION TEST PER 2020 ECCCNYS R403.3 UNLESS ALL DUCTS ARE WITHIN BUILDING THERMAL ENVELOPE.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR. COOKING EXHAUST HOOD TO COMPLY WITH 2020 RCNYS M503.
- UTILITY ROOM SHALL BE VENTED TO EXTERIOR TO PROVIDED SUFFICIENT COMBUSTION AIR PRESCRIBED BY HEATING UNIT MANUFACTURER.
- ATTIC SHALL BE VENTED USING EITHER EAWE, SOFFIT OR RIDGE VENTS.
- SMOKE DETECTORS SHALL BE INSTALLED BEFORE WIRING ELECTRICAL SWITCHES.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPETENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 2020 RCNYS & NFPA 70.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RCNYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.
- PROVIDE AT LEAST ONE PROGRAMMABLE THERMOSTAT.
- 110V SMOKE DETECTOR WITH BATTERY BACKUP (INTERCONNECTED TO ALL OTHER SMOKE DETECTORS) SHALL BE INSTALLED IN EACH EXISTING BEDROOM AND IMMEDIATELY OUTSIDE OF THE SLEEPING AREA. HARD WIRE A CARBON MONOXIDE DETECTOR SHALL ALSO BE INSTALLED OUTSIDE OF SLEEPING AREA. HEAT DETECTOR IS REQUIRED IN ATTACHED GARAGE AND INTERCONNECTED WITH RESIDENCE ALARM.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N5 GULK OR ACCEPTABLE EQUAL PER MANUFACTURERS RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RCNYS FOR TERTIARY PROTECTION (R310) BY REQUIRING PRESSURE PERSERVATIVELY TREATED WOOD AS PRESCRIBED IN SECTION R310.1 AND FOR PROTECTION AGAINST DECAY (R311).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH 2020 RCNYS. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
- TESTING SHALL BE PERFORMED TO VERIFY ACCEPTABLE AIR LEAKAGE RATE PER 2020 ECCCNYS R402.4.1.2. AIR LEAKAGE SHALL NOT EXCEED 3 AIR CHANGES PER HOUR.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEMS IS REQUIRED. DESIGN SHALL BE ESTABLISHED BY 2020 RCNYS M505 AND PROVIDED BY HVAC CONTRACTOR.
- FIREPLACE SHALL BE PROVIDED WITH TEMPERED GLASS DOORS.

ELEVATION NOTES

- TYPICAL HEADER HEIGHT SHALL BE 6'-10" UNLESS OTHERWISE NOTED.
- FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.
- ALL GRADES SHOWN ARE APPROXIMATE AND BUILDER IS TO FIELD DETERMINE FINAL GRADING.
- DESIGN INTENTIONS ARE ILLUSTRATED BY ELEVATIONS AND ARE TO BE FOLLOWED.
- FRONT PORCH IS SHOWN WITHOUT GUARD RAILINGS. PORCH FLOOR TO FINISHED GRADE SHALL BE NO GREATER THAN 30".

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ELEVATION NOTES

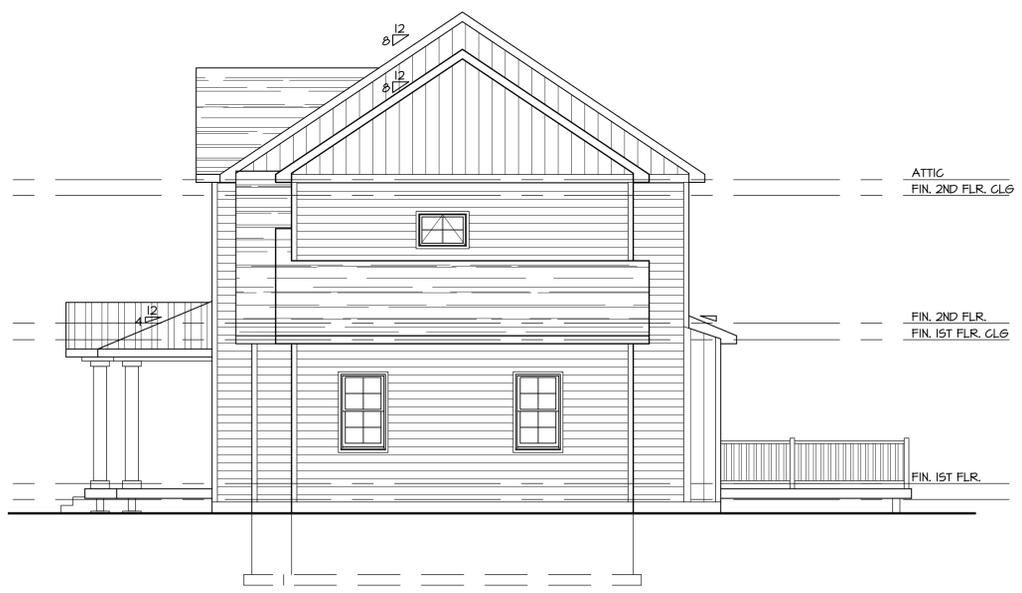
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REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

DOOR SCHEDULE

MARK	DESCRIPTION
1	6'-0" EXTERIOR 3/4 GLASS ENTRY DOOR
2	3'-0" FIRE RATED DOOR
3	2'-8" INTERIOR INSULATED DOOR
4	2'-8" INTERIOR DOOR
5	2'-6" INTERIOR DOOR
6	2'-0" INTERIOR DOOR
7	2'-10" BARN STYLE DOOR (2'-6" OPENING)
8	3'-0" BARN STYLE DOOR (2'-8" OPENING)
9	(2) 2'-8" BARN STYLE DOOR (4'-0" OPENING)
10	5'-0" INTERIOR SLIDING DOOR
11	5'-0" INTERIOR DOUBLE LEAF DOOR
12	6'-0" EXTERIOR FRENCH STYLE GLASS DOOR
13	11'-4" 4-PANEL GLIDING DOOR (TYP OF ANDERSEN FWS12068-4)
14	9' x 8' OVERHEAD DOOR
15	18' x 8' OVERHEAD DOOR

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NOT FOR CONSTRUCTION

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ARCHITECT
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MONTGOMERY, NY 12544
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LICENSED, NEW YORK STATE

WINDOW SCHEDULE

MARK	DESCRIPTION	SIZE/MODEL
A	DOUBLE HUNG	TW21052
B	DOUBLE HUNG	TW210410
C	DOUBLE HUNG (MULLED)	(2)TW210410
D	DOUBLE HUNG	TW2846
E	DOUBLE HUNG	TW28310
F	CASEMENT	C345
G	CASEMENT	C335
H	CASEMENT	CX235
I	AWNING	A31

WINDOWS ARE TYPICAL OF ANDERSEN WINDOWS, WITH LOW-E GLAZING (U-VALUE OF 0.3 OR BETTER) TO MEET ENERGY CODE COMPLIANCE.
* TEMPERED GLASS

LIGHT & VENT SCHEDULE

ROOM	REQUIRED		PROVIDED	
	LIGHT	VENT	LIGHT	VENT
LIVING/ DINING ROOM (374 SF)	29.42	14.96	70.05	42.26
OFFICE (160 SF)	12.8	6.4	22.5	12.56
MASTER BEDROOM (230 SF)	18.4	4.2	20.9	11.6
BEDROOM #2 (188 SF)	15.04	7.52	20.9	11.6
BEDROOM #3 (152 SF)	12.16	6.08	20.9	11.6
BEDROOM #4 (149 SF)	11.92	5.96	20.9	11.6
STUDY (108 SF)	8.64	4.32	20.9	11.6

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
40	115	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	NO	YES	REFER TO FIRM MAP	1000	PER JURISDICTION

BUILDING ENVELOPE THERMAL COMPONENT CRITERIA

BUILDING COMPONENT	MIN. R-VALUE	REMARKS
CEILING	R-30	
SLOPED CEILINGS	R-30	
EXTERIOR WALLS	R-21	
2x4 WALLS AROUND STAIRS TO BASEMENT	R-15	
2x6 WALL BETWEEN HEATED SPACE AND GARAGE	R-21	
FLOOR OVER BASEMENT	R-36	

MANUAL J DESIGN CRITERIA

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
581	42	PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	68	78	PER JURISDICTION
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT NET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	72	PER JURISDICTION	PER JURISDICTION	PER JURISDICTION	

*COMPLIANCE WITH THE 2020 NYS ENERGY CONSERVATION CODE HAS BEEN ESTABLISHED THROUGH USE OF THE APPROVED RESCHECK SOFTWARE. COMPLIANCE REPORT SHALL BE SUBMITTED WITH CONSTRUCTION DOCUMENTS. I, LINDA ZWART, CONFIRM TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS COMPLY WITH THE ENERGY CODE. MINIMUM REQUIREMENTS ARE LISTED ABOVE. IT IS RECOMMENDED BY THE ARCHITECT THAT INSULATION BE MAXIMIZED WHERE EVER POSSIBLE DURING CONSTRUCTION. ALL DUCTS LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED. R-8 FOR ALL SUPPLY DUCTS, R-6 FOR ALL RETURN DUCTS

RT ORCHARD
S/B/L 7/1/26.1

NEW RESIDENCE FOR:
JOHN FAVELLA AND GIOVANNA WARD
TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

ELEVATIONS AND SCHEDULES

DATE: 08 NOV 2022
JOB# 2224

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYCRR 24.5b

FOUNDATION NOTES

1. 4" CONCRETE SLAB WITH 6X6X10/10 W/M 6 MIL POLY VAPOR BARRIER.
2. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
3. 8" POURED CONCRETE WALLS ON 10"X20" FOOTINGS.
4. DOUBLE JOISTS UNDER PARALLEL WALLS ABOVE.
5. BASEMENT IS UNHEATED.
6. FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE. STEP FOOTINGS AS REQUIRED BY GRADE.
7. ALL INTERIOR COLUMNS SHALL BE 3" Ø STEEL COLUMN WITH COLUMN CAP/BEAM SADDLE ON 24" x 24" x 12" CONCRETE FOOTING. FOOTING SIZE TYPICAL UNLESS OTHERWISE NOTED.

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NOT FOR CONSTRUCTION

**LINDA J. ZWART
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31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
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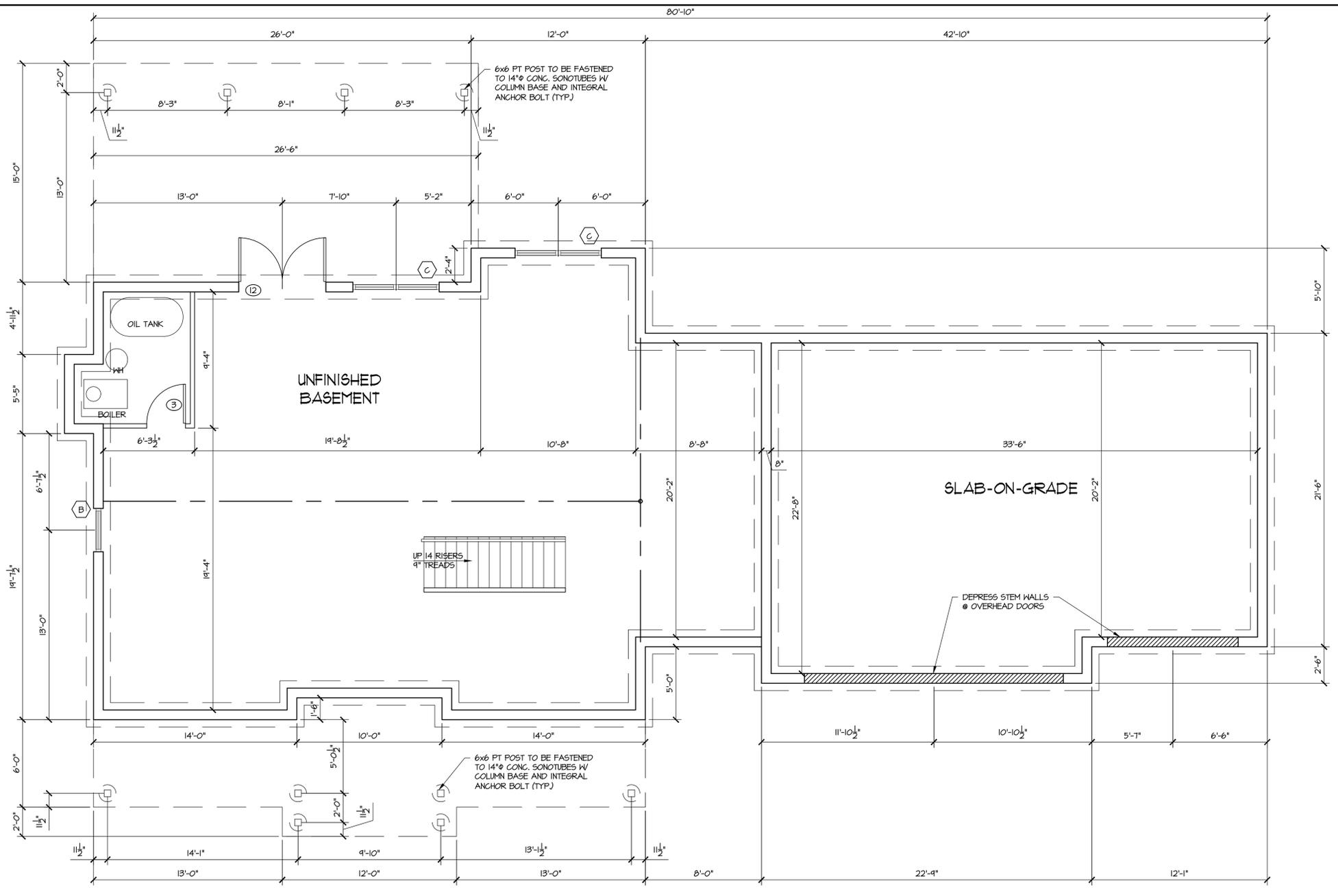
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TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

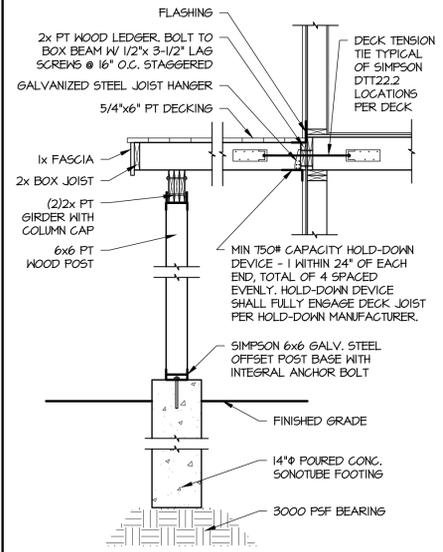
**FOUNDATION PLAN
AND DETAILS**

DATE: 08 NOV 2022
JOB# 2224

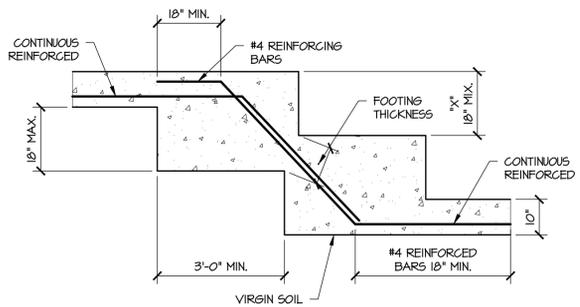
3 OF 9



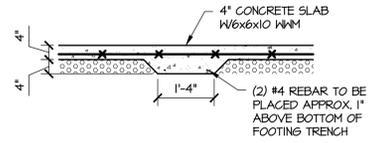
FOUNDATION/ BASEMENT PLAN
SCALE: 1/4" = 1'-0"



DECK POST DETAIL
SCALE: 1/2"=1'-0"



STEP FOOTING DETAIL
SCALE: 1/2"=1'-0"



HAUNCH FOOTING DETAIL
SCALE: 1/2"=1'-0"

FOLLOW MANUFACTURERS RECOMMENDATIONS FOR CONNECTORS

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PLAN NOTES

1. HEADERS SHALL BE (2)2x10 UNLESS OTHERWISE NOTED. WINDOW HEAD HEIGHT SHALL BE 6'-10".
2. CEILING HEIGHT SHALL BE 9'-0" UNLESS OTHERWISE NOTED.
3. FRONT PORCH IS SHOWN WITHOUT GUARD RAILINGS. PORCH FLOOR TO FINISHED GRADE SHALL BE NO GREATER THAN 30".

GARAGE NOTES

1. 5/8" TYPE 'X' GMB THROUGHOUT GARAGE & 1/2" TYPE 'X' GMB ON OPPOSITE SIDE OF COMMON WALL.
2. SELF CLOSING TYPE 'X' FIRE RATED DOOR BETWEEN GARAGE AND LIVING AREA.
3. MINIMUM 2" PITCH IN GARAGE FLOOR TOWARD GARAGE DOORS.

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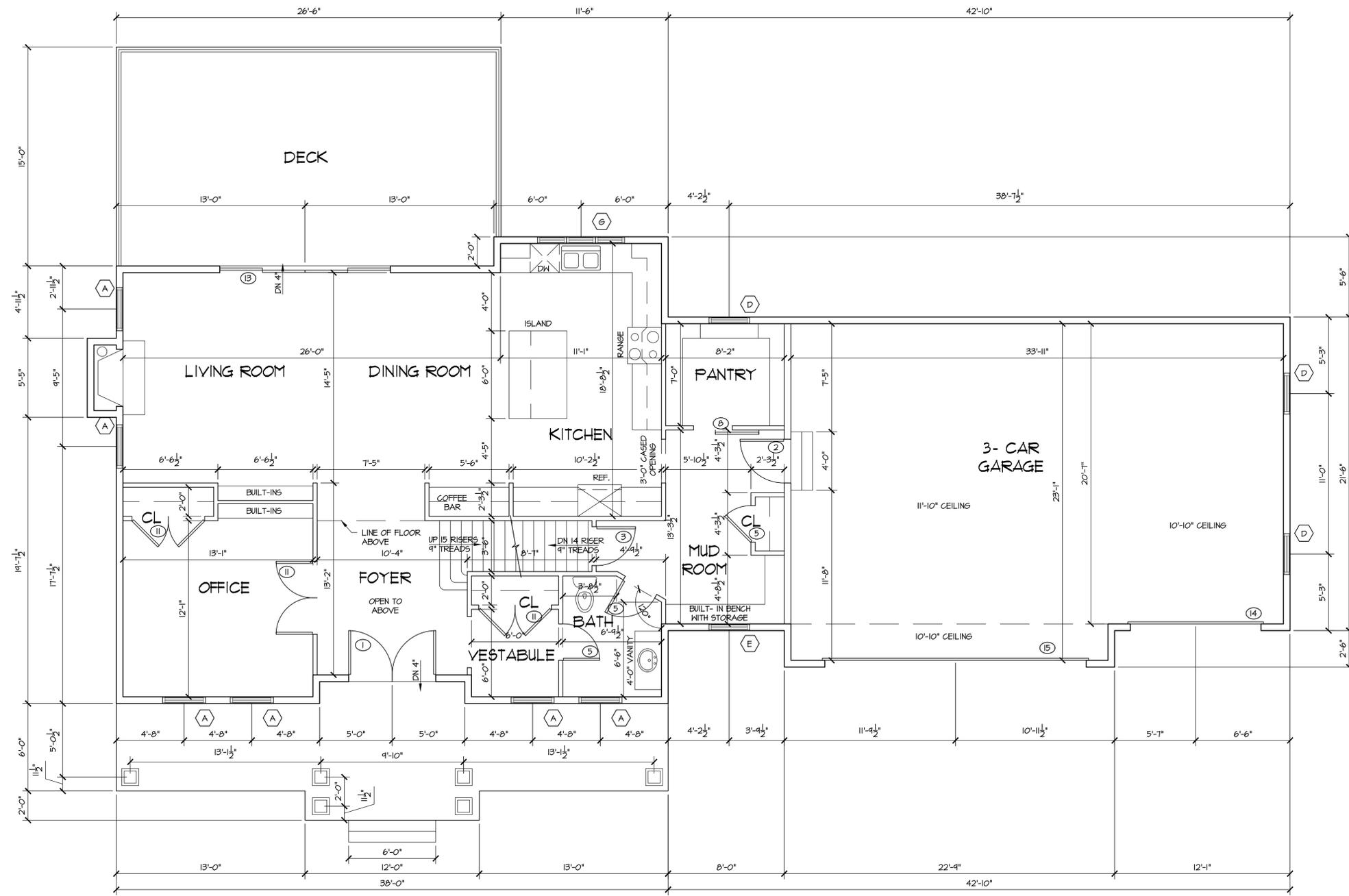
NEW RESIDENCE FOR:
JOHN FAVELLA AND GIOVANNA WARD

TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

FIRST FLOOR PLAN

DATE: 08 NOV 2022
JOB# 2224

4 OF 9



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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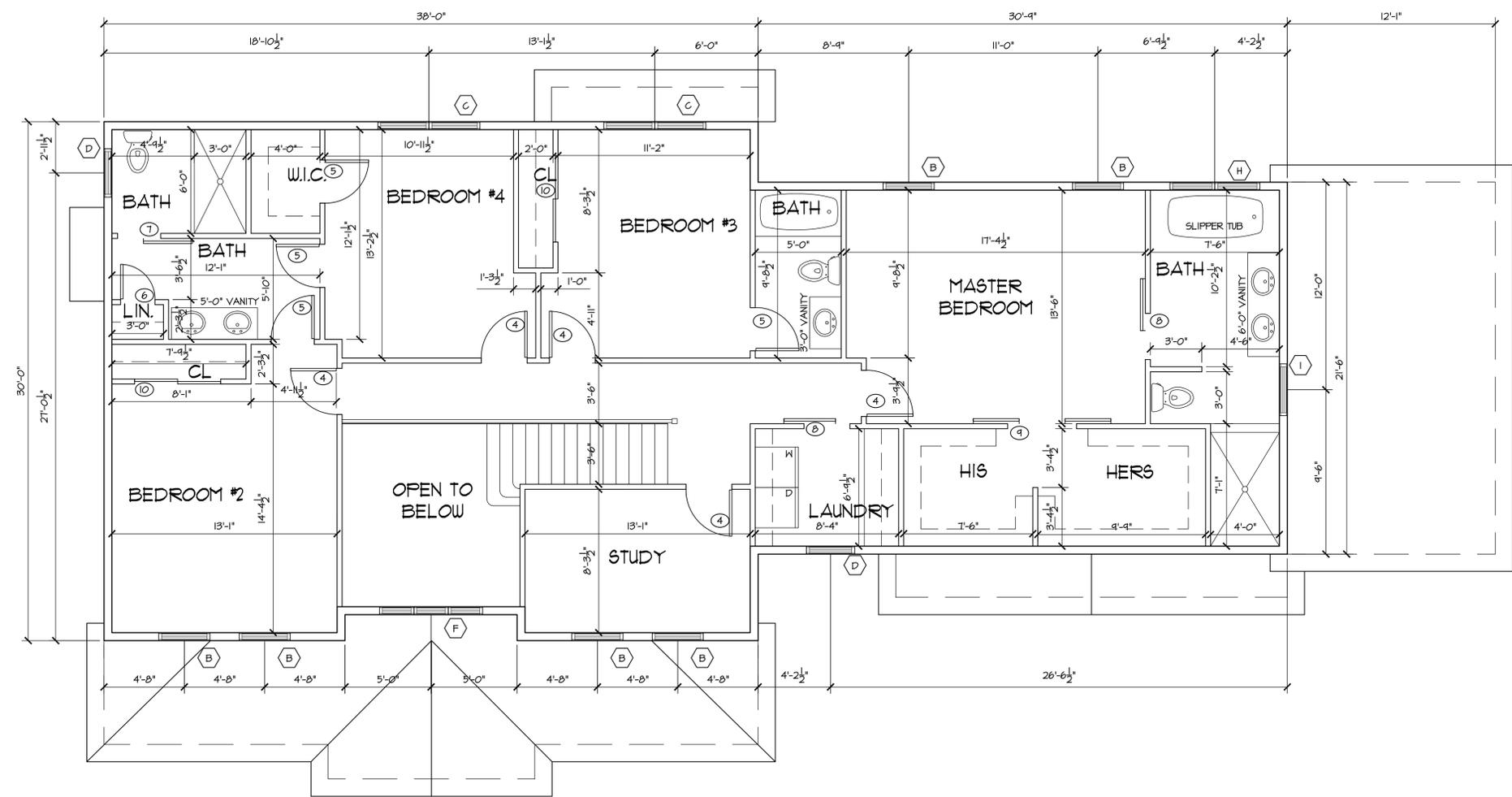
NEW RESIDENCE FOR:
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TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

SECOND FLOOR PLAN

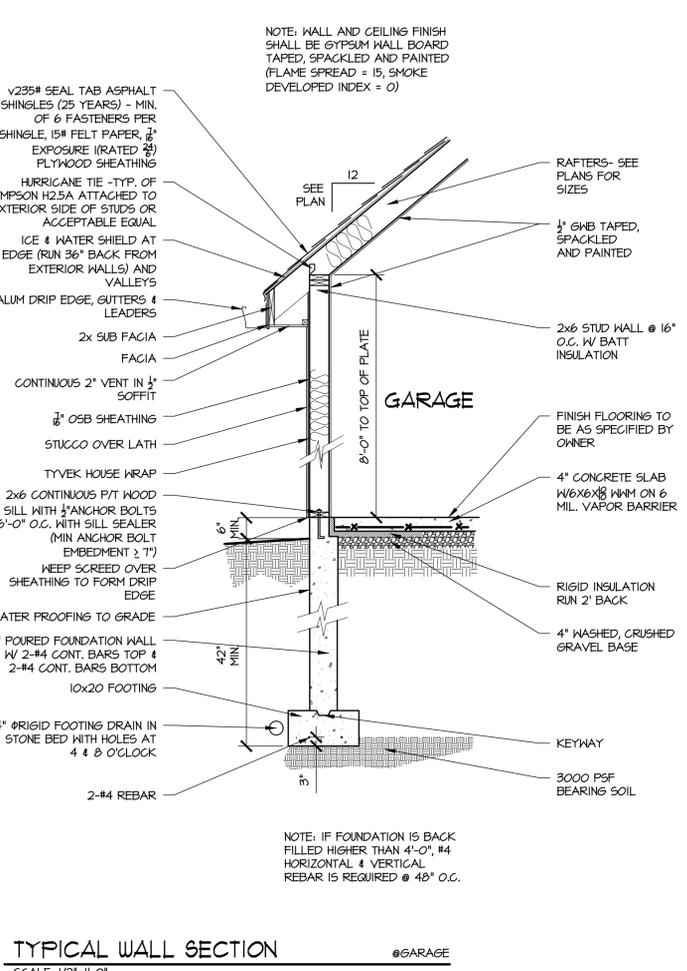
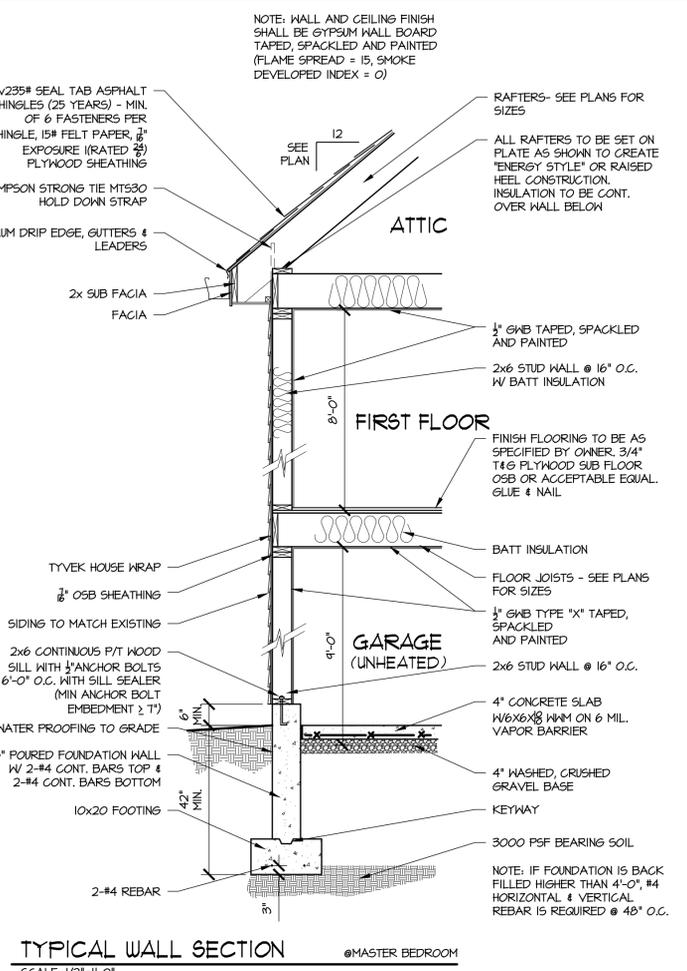
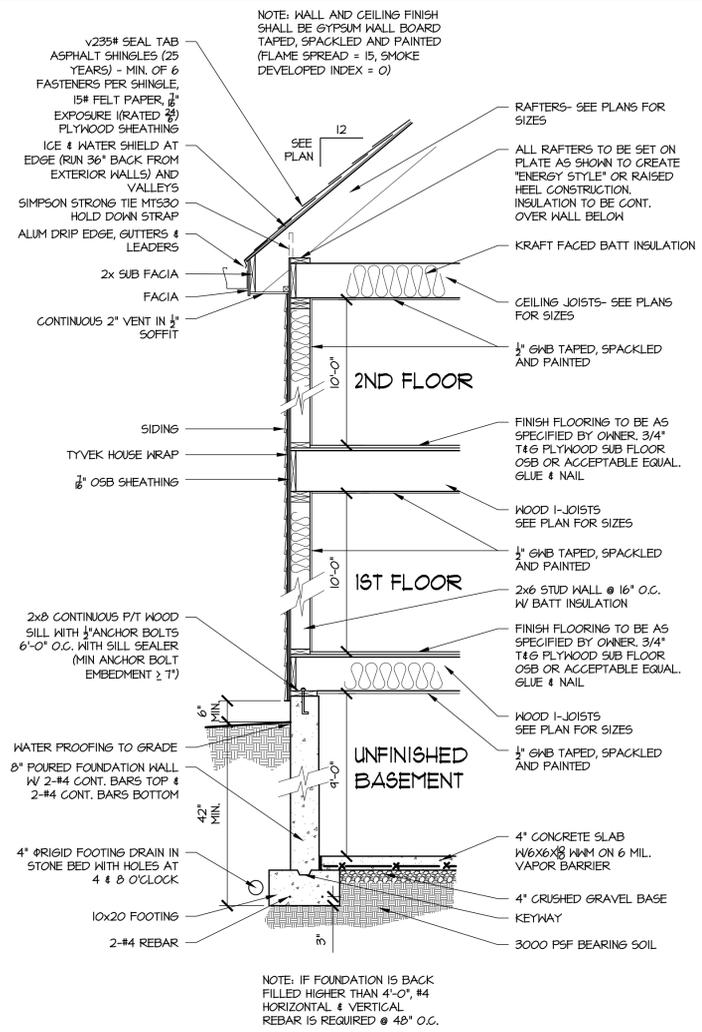
DATE: 08 NOV 2022
JOB# 2224

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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

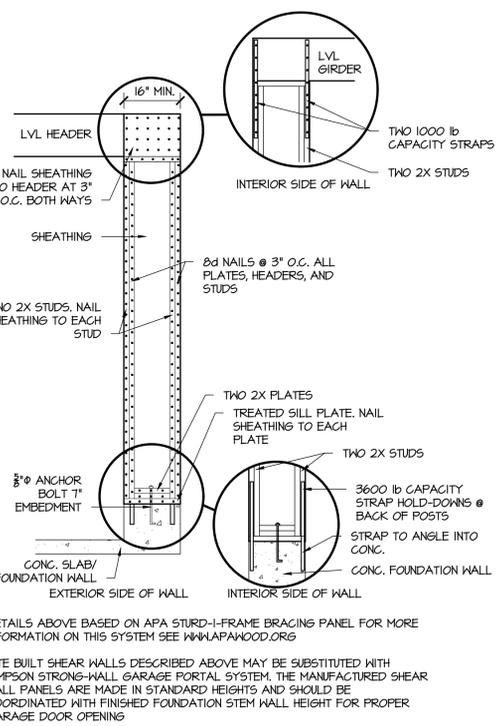
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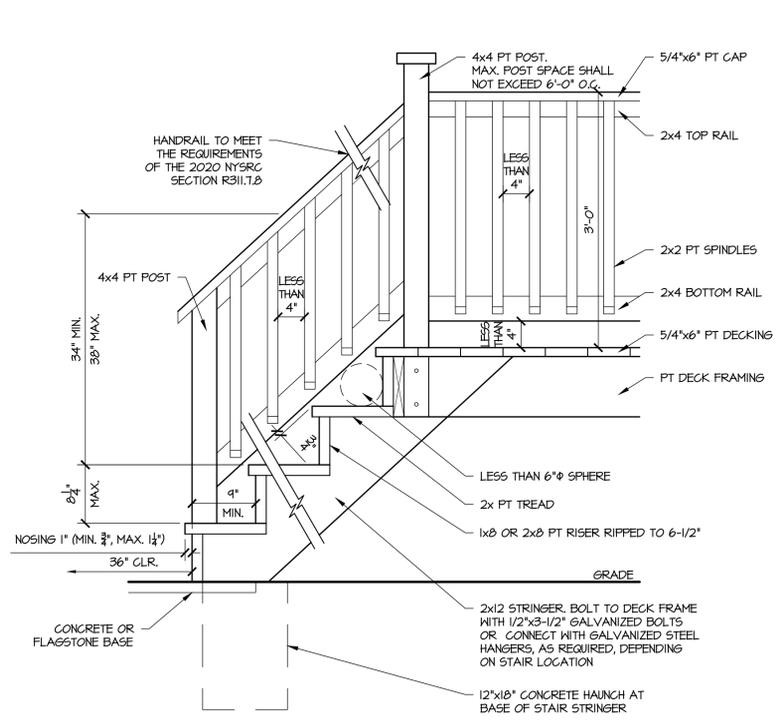
TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"

TYPICAL WALL SECTION @MASTER BEDROOM
SCALE: 1/2"=1'-0"

TYPICAL WALL SECTION @GARAGE
SCALE: 1/2"=1'-0"



NARROW WALL DETAIL
SCALE: NOT TO SCALE



PORCH STAIR DETAIL
SCALE: 1"=1'-0"

DECK AND LEDGER CONNECTION TO BAND JOIST
(DECK LIVE LOAD = 40 PSF, DECK DEAD LOAD = 10 PSF, SNOW LOAD ≤ 40 PSF)

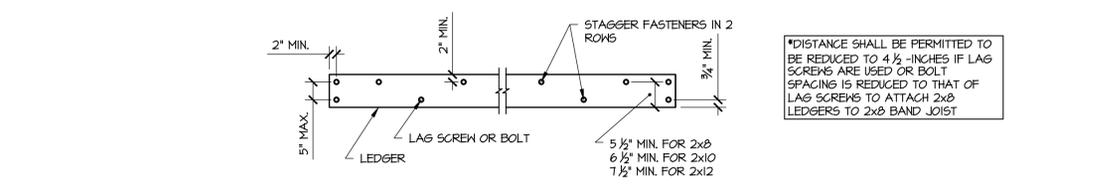
CONNECTION DETAILS	JOIST SPAN						
	6'-0" AND LESS	6'-1" TO 8'-0"	8'-1" TO 10'-0"	10'-1" TO 12'-0"	12'-1" TO 14'-0"	14'-1" TO 16'-0"	16'-1" TO 18'-0"
1/2" INCH DIAMETER LAG SCREW WITH 1/2" INCH MAXIMUM SHEATHING c, d	30	23	18	15	13	11	10
1/2" INCH DIAMETER BOLT WITH 1/2" INCH MAXIMUM SHEATHING d	36	36	34	29	24	21	19
1/2" INCH DIAMETER BOLT WITH 1" INCH MAXIMUM SHEATHING e	36	36	29	24	21	18	16

FOR S1: 1- INCH = 25.4 MM, 1 FOOT = 304.8MM, 1 POUND PER SQUARE FOOT = 0.0479 kPa.
a. LEDGER SHALL BE FLASHED IN ACCORDANCE WITH SECTION E103.4 TO PREVENT WATER FROM CONTACTING THE HOUSE BAND JOIST
b. SNOW LOAD SHALL NOT BE ASSUMED TO ACT CONCURRENTLY WITH LIVE LOAD.
c. THE TIP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST.
d. SHEATHING SHALL BE WOOD STRUCTURAL PANEL OR SOLID SAUN LUMBER.
e. SHEATHING SHALL BE PERMITTED TO BE WOOD STRUCTURAL PANEL, GYPSUM BOARD, FIBERBOARD, LUMBER OR FOAM SHEATHING. UP TO 1/2" INCH THICKNESS OF STACKED WASHERS SHALL BE PERMITTED TO SUBSTITUTE FOR UP TO 1/2" INCH OF ALLOWABLE SHEATHING THICKNESS WHERE COMBINED WITH WOOD STRUCTURAL PANEL OR LUMBER SHEATHING.

PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGER AND BAND JOIST

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEDGER a	2 INCHES d	3/4 INCHES	2 INCHES b	1 3/8 INCHES b
BAND JOIST c	3/4 INCHES	2 INCHES	2 INCHES b	1 3/8 INCHES b

FOR S1: 1- INCH = 25.4 MM
a. LAG SCREW OR BOLTS SHALL BE STAGGERED FROM TOP TO THE BOTTOM ALONG THE HORIZONTAL RUN OF THE DECK LEDGER IN ACCORDANCE WITH DETAIL BELOW
b. MAXIMUM 5 INCH
c. FOR ENGINEERED RIM JOIST, THE MANUFACTURERS RECOMMENDATIONS SHALL GOVERN.
d. THE MINIMUM DISTANCE FROM THE BOTTOM ROW OF LAG SCREWS OR BOLTS TO THE TOP EDGE OF THE LEDGER SHALL BE IN ACCORDANCE WITH THE DETAIL BELOW.



DECK LEDGER DETAIL
SCALE: NOT TO SCALE

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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

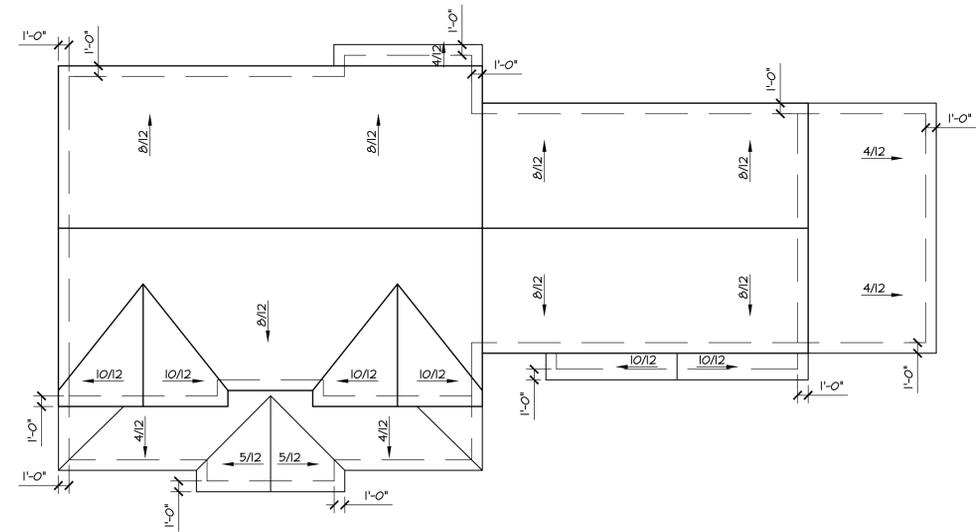
LINDA J. ZWART
ARCHITECT
31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
845-361-2464
LICENSED, NEW YORK STATE

RT ORCHARD
S/B/L 7/1/26.1
NEW RESIDENCE FOR:
JOHN FAVELLA AND GIOVANNA WARD
TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

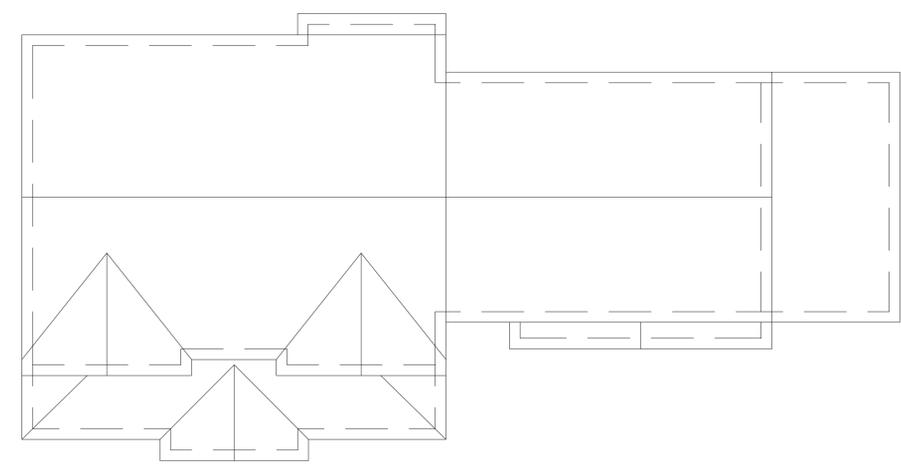
DETAILS

DATE: 08 NOV 2022
JOB#: 2224
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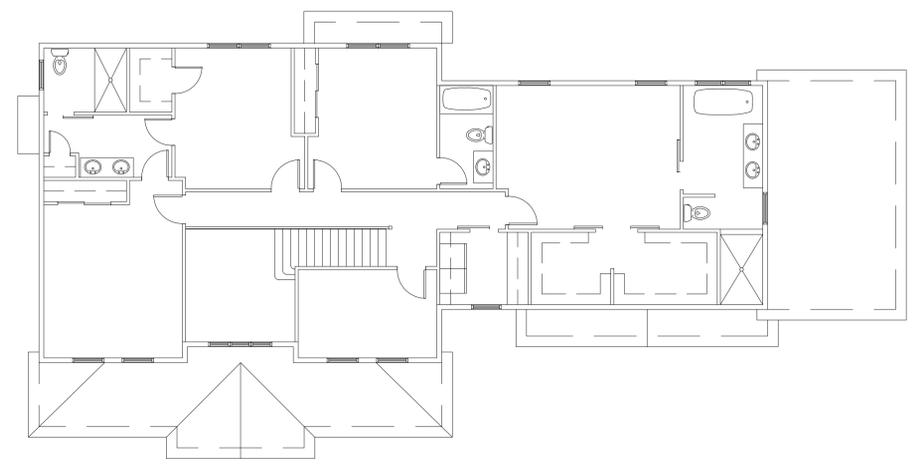
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO THIS PLAN IN ANY WAY PER § NYCRR 24.5b



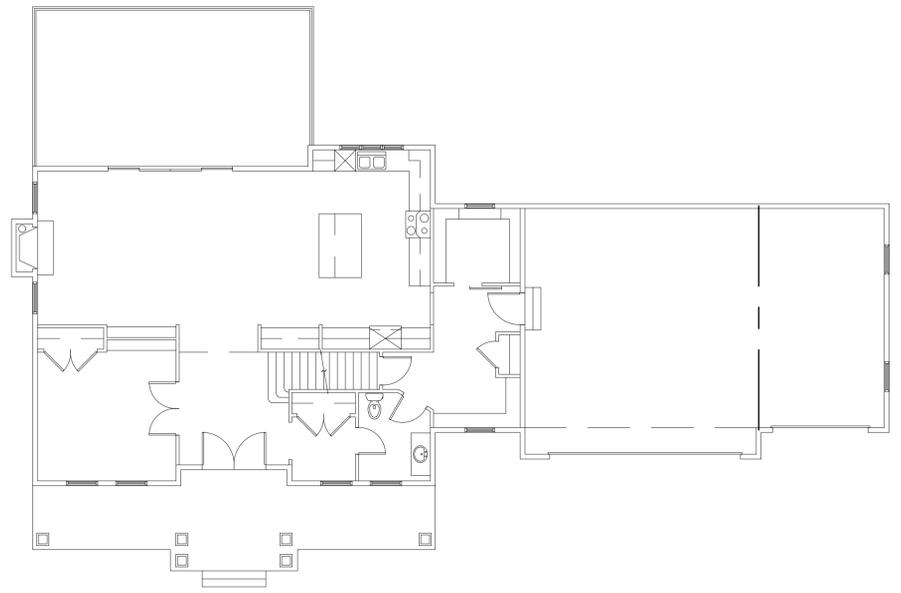
ROOF PLAN
SCALE: 1/8" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



ATTIC FRAMING PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

FRAMING NOTES

1. FRAMING PLAN FOR ILLUSTRATIVE PURPOSES & MEMBER SIZING ONLY. NOT ALL MEMBERS OR COMPONENTS SHOWN.
2. HEADERS SHALL BE (2)2X10, UNLESS OTHERWISE NOTED.
3. ALL STRUCTURAL CALCULATIONS REQUIRING LVL MEMBERS ARE BASED ON TRUSS JOIST MICROLAM 1.9E LVL.
4. ALL BUILT-UP COLUMN SUPPORTING STRUCTURAL BEAMS SHALL RUN CONTINUOUS FROM ROOF/CEILING TO ESTABLISH A CONTINUOUS LOAD PATH TO FOUNDATION.
5. ALL RIDGES, HIP RIDGES, AND VALLEYS SHALL BE 2X12 UNLESS OTHERWISE NOTED.
6. PROVIDE SQUASH BLOCKING AT LOCATIONS OF POINT LOADS.
7. ALL BUILT UP COLUMNS SHALL BE MINIMUM (4)2x UNLESS OTHERWISE NOTED.

FRAMING PLAN LEGEND

- ////// BEARING WALL
- > SLOPED CEILING

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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

LINDA J. ZWART
ARCHITECT

31 MEADOWOOD ROAD
MONTGOMERY, NY 12544
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LICENSED, NEW YORK STATE

RT ORCHARD
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NEW RESIDENCE FOR:
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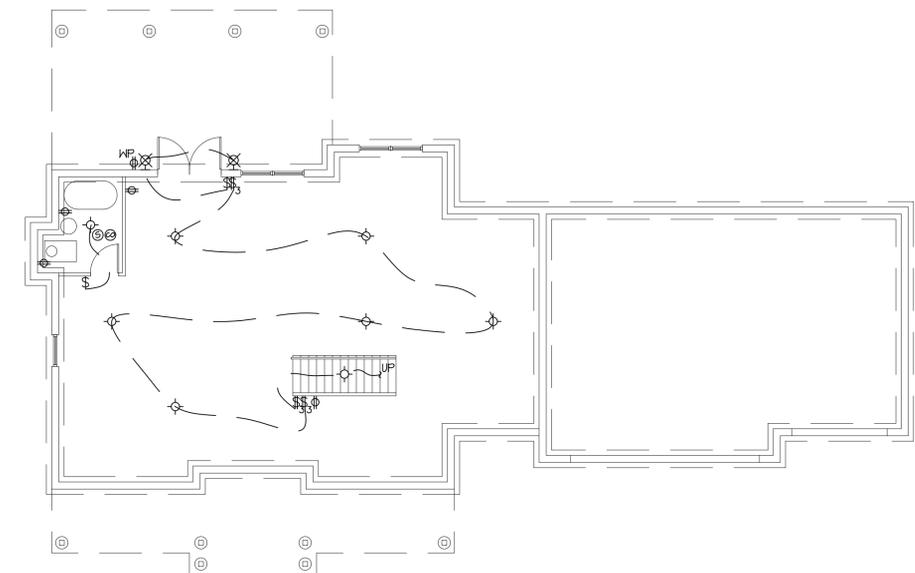
TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

ROOF PLAN
AND FRAMING PLANS

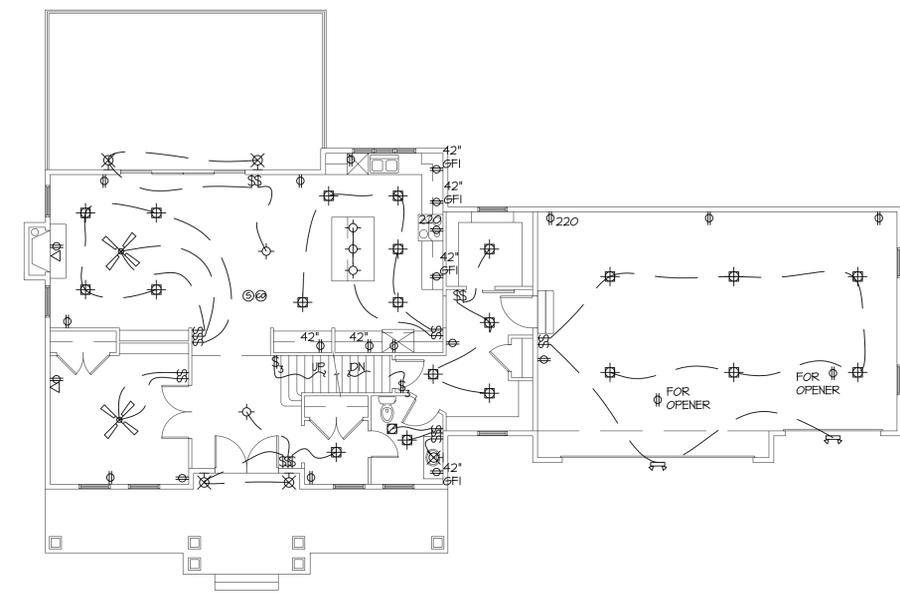
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BASEMENT ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND

- ⊕ RECESSED FIXTURE
- ⊗ WALL MOUNTED
- SURFACE MOUNTED
- ⊠ RECESSED EXHAUST FAN/LIGHT VENTED TO THE EXTERIOR
- ⊗ CEILING FAN WITH LIGHT
- ⊕ DUPLEX OUTLET
- △ ETHERNET OUTLET
- GFI GROUND FAULT INTERRUPTER
- WP WATER PROOF
- ⋈ THREE WAY SWITCH
- ⋈ SINGLE POLE SWITCH
- ⊙ SMOKE DETECTOR
- ⊙ CARBON MONOXIDE DETECTOR
- ⊕ HEAT DETECTOR
- ⬇ MOTION ACTIVATED LIGHT

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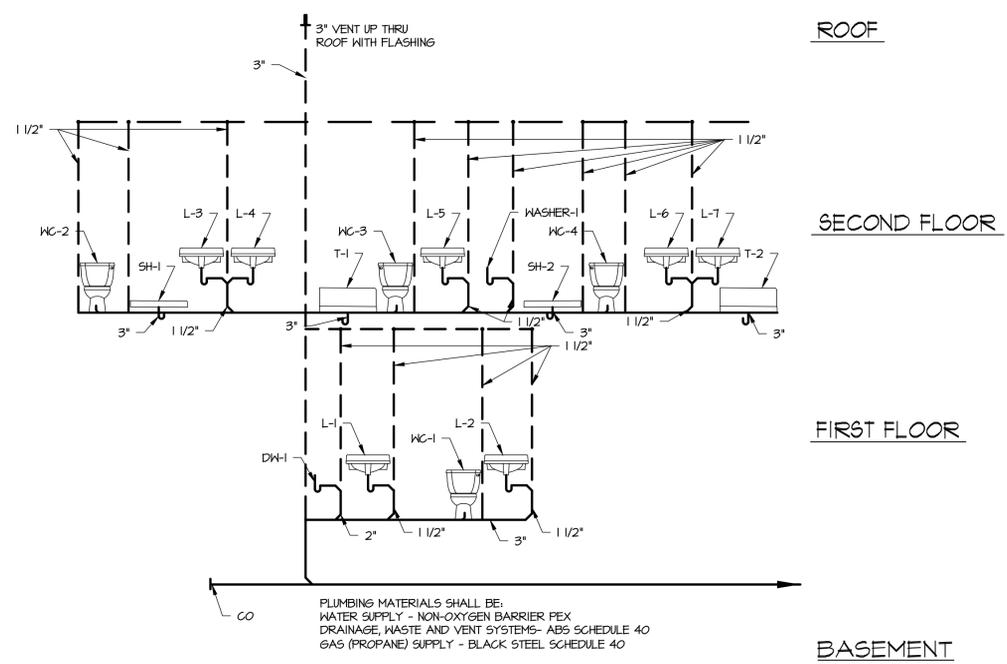
NEW RESIDENCE FOR:
JOHN FAVELLA AND GIOVANNA WARD

TOWN OF NEWBURGH
COUNTY OF ORANGE, NY

**ELECTRICAL PLANS
AND DETAILS**

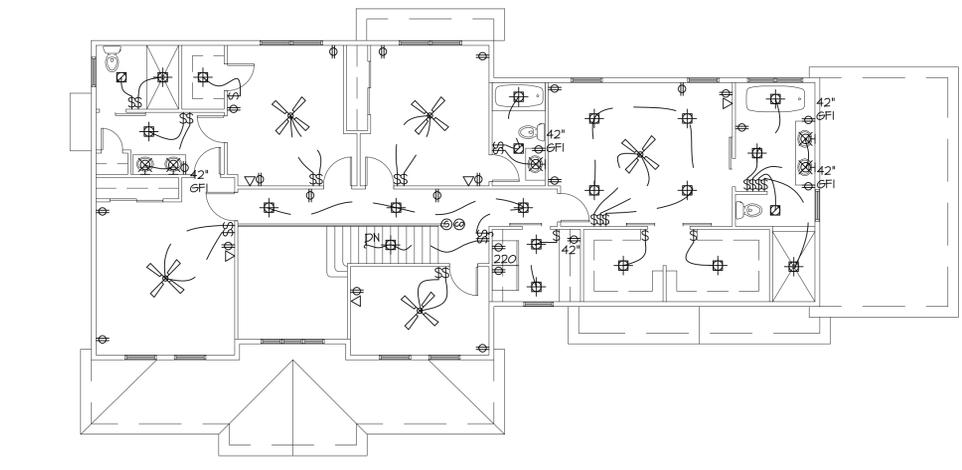
DATE: 08 NOV 2022
JOB# 2224

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PLUMBING RISER DIAGRAM
SCALE: 1/4" = 1'-0"

PLUMBING MATERIALS SHALL BE:
WATER SUPPLY - NON-OXYGEN BARRIER PEX
DRAINAGE, WASTE AND VENT SYSTEMS- ABS SCHEDULE 40
GAS (PROPANE) SUPPLY - BLACK STEEL SCHEDULE 40



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

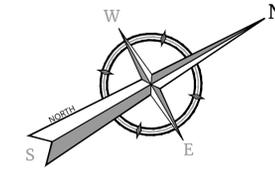
ELECTRICAL NOTES

1. INTERCONNECTED 110V SMOKE DETECTORS WITH BATTERY BACKUP SHALL BE INSTALLED IN RESIDENCE IN EACH BEDROOM & IN CORRIDOR IN VICINITY OF BEDROOMS. SEE FLOOR PLANS FOR SMOKE DETECTOR LOCATIONS. THERE SHALL BE A CARBON MONOXIDE DETECTOR INSTALLED ON EACH FLOOR. HEAT DETECTOR IS REQUIRED IN ATTACHED GARAGE AND INTERCONNECTED WITH RESIDENCE ALARM.
2. LIGHTING FIXTURE AND ELECTRICAL RECEPTACLE REQUIREMENTS PER OWNERS REQUEST SHOWN. EXACT LOCATION TO BE FIELD VERIFIED.
3. 15- AND 20- AMPERE RECEPTACLES IN WET LOCATIONS: WHERE INSTALLED IN A WET LOCATION, 15- AND 20- AMPERE, 125- AND 250- VOLT RECEPTACLES SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG IS INSERTED. AN OUTLET BOX HOOD INSTALLED FOR THIS PURPOSE SHALL BE LISTED AND IDENTIFIED AS "EXTRA-DUTY." 15- AND 20- AMPERE, 125- AND 250- VOLT NON-LOCKING RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE LISTED WEATHER-RESISTANT TYPE.
4. LOCATIONS OF ARC-FAULT CIRCUIT-INTERRUPTERS: ARC-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
5. 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES THAT ARE LOCATED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A SINK, BATH OR SHOWER SHALL HAVE GFCI PROTECTION FOR PERSONNEL. RECEPTACLES OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS.
6. 125-VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN LAUNDRY AREAS SHALL HAVE GFCI PROTECTION FOR PERSONNEL.
7. KITCHEN AND DISHWASHER BRANCH CIRCUIT, GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS IN A DWELLING UNIT LOCATION.
8. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION: BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AFCI.
9. NOT LESS THAN 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

BULK TABLE

ZONING DISTRICT: AR
 PERMITTED USE: SINGLE FAMILY DWELLING NOT TO EXCEED 1 DWELLING UNIT PER LOT

MINIMUM	REQUIRED	PROPOSED LOT A	PROPOSED LOT B	REMARKS
LOT AREA	40,000 S.F.	3,409,877 S.F. (78.28 ACRES)	87,120 S.F. (2.00 ACRES)	OK
FRONT YARD SETBACK	50 FEET	N/A	65.0 FEET	OK
REAR YARD SETBACK	50 FEET	N/A	261.6 FEET	OK
SIDE YARD SETBACK				
ONE	30 FEET	N/A	51.7 FEET	OK
BOTH	80 FEET	N/A	126.1 FEET	OK
LOT WIDTH	150 FEET	N/A	199.7 FEET	OK
MAXIMUM				
BUILDING HEIGHT	35 FEET	N/A	<35'	OK
LOT COVERAGE	20%	N/A	6%	OK
BUILDING COVERAGE	10%	N/A	3%	OK



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NOTES:

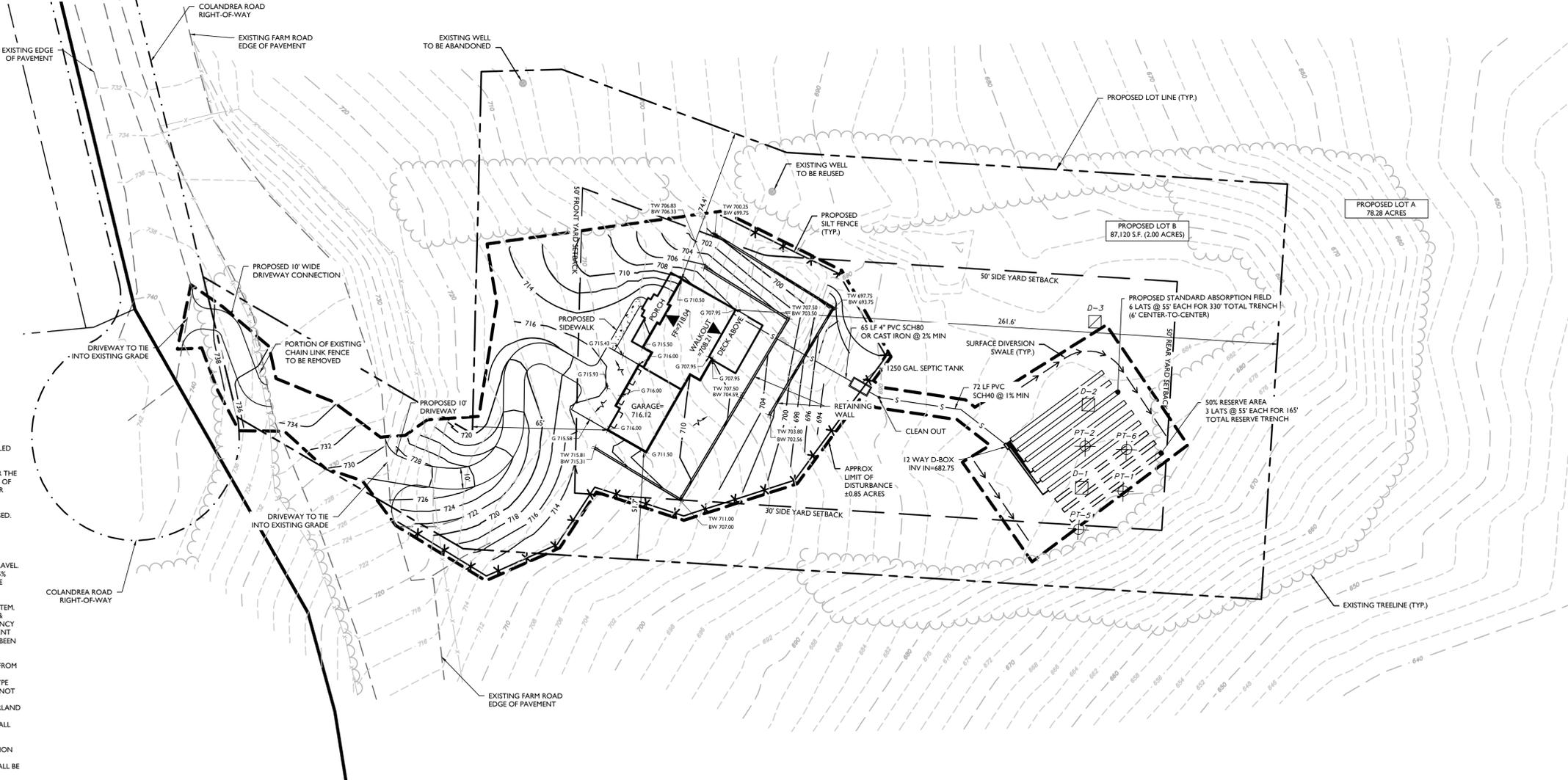
1. SURVEY TITLED "MINOR SUBDIVISION PLAT" PREPARED BY COLLIER'S ENGINEERING & DESIGN, DATED 11/14/22.
2. ARCHITECTURAL PLANS FOR RT ORCHARD PROVIDED BY LINDA J ZWART ARCHITECT VIA EMAIL ON NOV. 8, 2022.
3. PROPERTY ADJACENT TO PROPOSED LOT B IS IN AN ACTIVE AGRICULTURAL OPERATION AND PRODUCTION AND RESIDENTS MUST BE AWARE THAT SUCH PROPERTY IS PROTECTED BY NEW YORK STATE "RIGHT TO FARM LAWS" AS REGULATED BY THE DEPARTMENT OF AGRICULTURE AND MARKETS. FROM TIME TO TIME DURING AND PRIOR TO THE NORMAL GROWING SEASON LAND AND CROPS MAY BE SPRAYED FROM THE GROUND OR BY AIR, MANURE MAY BE APPLIED, AND PERIODIC NOISE MAY OCCUR FROM MACHINERY OPERATION AT VARIOUS TIMES THROUGHOUT THE DAY. RESIDENTS SHOULD BE AWARE OF THIS ACTION BY THE ADJACENT PROPERTY OWNERS.
4. EARTHWORK CALCULATIONS: TOTAL CUT: 16 CY TOTAL FILL: 3839 CY NET EARTHWORK: 3823 CY
5. CROSS ACCESS EASEMENTS ARE REQUIRED BETWEEN PARENT LOT A AND NEW LOT B FOR CROSSING OF THE "FARM ROAD" THROUGH LOT A AND LOT B'S ACCESS TO THE RIGHT-OF-WAY.

SEPTIC NOTES:

1. LOW FLOW PLUMBING FIXTURES MUST BE USED IN THE HOME.
2. SEPTIC TANK TO HAVE MAXIMUM EARTH COVER OF 12" OR WATER PROOF RISER INSTALLED TO WITHIN 12" OF EXISTING GRADE. ANY COVERS AT GRADE MUST BE LOCKABLE AND WATER TIGHT.
3. HEAVY EQUIPMENT MUST BE KEPT OFF THE AREA OF THE ABSORPTION FIELD EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF THE PROPOSED FIELD BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION AS TO AVOID ANY UNDUCE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
4. THE ABSORPTION FIELD AREA MUST BE STAKED OUT AND PROTECTED WITH ORANGE CONSTRUCTION FENCE THROUGHOUT THE DEVELOPMENT OF THE LOT.
5. TRENCHES MUST NOT BE CONSTRUCTED IN WET SOIL.
6. TRENCH BOTTOMS MUST BE DUG LEVEL IN THE LONGITUDINAL AND TRANSVERSE DIRECTIONS.
7. SIDES AND BOTTOM OF TRENCHES MUST BE RAKED IMMEDIATELY PRIOR TO PLACING GRAVEL.
8. THE FIRST LENGTH OF SOLID PIPE LEAVING THE D-BOX MUST BE AT THE SAME SLOPE (0.25% MIN) FOR ALL OUTLETS FOR A MINIMUM OF 30' TOWARDS LATERALS. DISTRIBUTION PIPE SHALL BE PVC SDR 35.
9. 90 DEGREE BENDS ARE PROHIBITED IN THE EFFLUENT LINE LEADING TO THE D-BOX.
10. NO ROOF, CELLAR, OR FOOTING DRAINS TO BE DISCHARGED TO SEWAGE DISPOSAL SYSTEM.
11. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY & SEWAGE DISPOSAL FACILITIES AT THE TIME OF CONSTRUCTION, PRIOR TO THE OCCUPANCY OF THE DWELLING. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.
12. RESULTS INDICATED FOR SEPTIC DESIGN (PERCOLATION AND DEEP TESTS) ARE RESULTS FROM ACTUAL FIELD TESTING PERFORMED ON 9/30/22.
13. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS OR SOFTENER BACKLOGS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
14. SURFACE WATER DIVERSION SWALES MUST BE INSTALLED AS REQUIRED TO DIRECT OVERLAND SHEET FLOW AWAY FROM THE ABSORPTION FIELD.
15. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL NOT BE CHANGED WITHOUT REVIEW AND APPROVAL OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK.
16. THERE SHALL BE NO RE-GRADING IN THE AREA OF THE ABSORPTION FIELD AND EXPANSION AREA.
17. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD OR EXPANSION AREA.
18. THERE MUST BE UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING, ALLOWING SEPTIC GASSES TO DISCHARGE THROUGH THE VENT STACK.
19. SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
20. DISTRIBUTION BOXES SHOULD BE INSPECTED ANNUALLY TO ASSURE THEY ARE LEVEL AND OPERATING PROPERLY.
21. UNAUTHORIZED REPRODUCTION OR ALTERATION TO THIS DRAWING IS PROHIBITED.
22. DIG SAFELY NEW YORK MUST BE CONTACTED PRIOR TO ANY EXCAVATION OF DEMOLITION (DIAL 811 OR WWW.DIGSAFELYNEWYORK.COM)

SEPTIC SYSTEM DESIGN TABLE

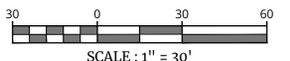
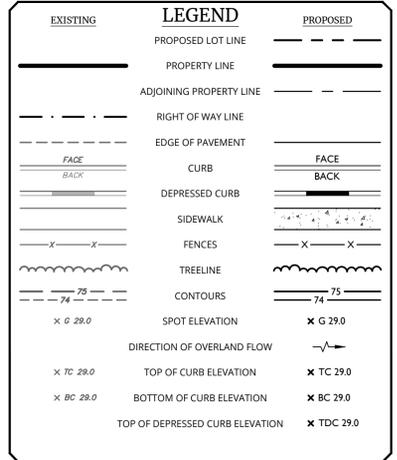
STABILIZED PERC RATE (MIN/INCH)	DESIGN PERC RATE (MIN/INCH)	DEEP TEST INFORMATION	TRENCH LENGTH REQUIRED (FEET)	DESIGN TRENCH LENGTH (FEET)	DESIGN 50% RESERVE LENGTH (FEET)
		D-1 (DATE: 9/30/22) 0 - 12" DARK BROWN TOPSOIL 12" - 77" SANDY LOAM WITH COBBLES AND SHALE SHALE AT 44" NO WATER, REFUSAL, OR MOTTLING			
DATE 9/30/22 TEST P-1 (24" DEPTH) RATE = 8.56	16-20	D-2 (DATE: 9/30/22) 0 - 12" DARK BROWN TOPSOIL 12" - 68" SANDY LOAM WITH COBBLES AND SHALE SHALE AT 26" NO WATER, REFUSAL, OR MOTTLING	4 BEDROOMS = 440 GPD DESIGN FLOW = 440 GPD DESIGN RATE = 16-20 MIN/IN APP. RATE = 0.7 GPD/SF REQ. AREA = 440/7 = 630 SF	6 LATS @ 55' EA = 330 LF	REQUIRED RESERVE LENGTH: 315' * 0.5 = 157.5 LF DESIGN RESERVE: 3 LATS @ 55' EA = 165 LF
DATE 9/30/22 TEST P-2 (24" DEPTH) RATE = 9.24		D-3 (DATE: 9/30/22) 0 - 12" DARK BROWN TOPSOIL 13" - 76" SANDY LOAM WITH COBBLES AND SHALE SHALE AT 41" NO WATER, REFUSAL, OR MOTTLING	REQUIRED TRENCH LENGTH = 630' = 315 FEET 2		
DATE 9/30/22 TEST P-3 (24" DEPTH) RATE = 2.22					
DATE 9/30/22 TEST P-4 (24" DEPTH) RATE = 11.32					



MINIMUM HORIZONTAL SEPARATION DISTANCE (in FEET)

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
REQUIRED MINIMUM HORIZONTAL SEPARATION DISTANCES PER PUBLIC HEALTH LAW				
DRILLED WELL - PUBLIC WATER SYSTEM	100	50	200	>100, >50, >200
WATER LINE (PRESSURE)	10	10	10	>10
RECOMMENDED MINIMUM HORIZONTAL SEPARATION DISTANCES				
SURFACE WATER	50	25	100	>100
INTERCEPTOR DRAIN / OPEN DRAINAGE DIVERSION TO GROUNDWATER	25	25	50	>25, >25, >50
STORMWATER MANAGEMENT PRACTICE DISCHARGING TO SURFACE WATER	50	25	100	>50, >25, >100
CULVERT (TIGHT PIPE)	25	10	35	>25, >10, >35
CULVERT OPENING	25	25	50	>25, >25, >50
CATCH BASIN	25	N/A	50	>25, >50
FOUNDATION	10	N/A	20	10, >25
PROPERTY LINE	10	10	10	>10
WETLAND (NYSDEC)	100	100	100	>100

1. WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.
2. SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USABLE AREA (RESERVE AREA), WHEN AVAILABLE.



PRELIMINARY SUBDIVISION PLAN

FOR GIOVANNA WARD - RT ORCHARDS SUBDIVISION

SECTION 7
 BLOCK 1
 LOT 26.1

TOWN OF NEWBURGH
 ORANGE COUNTY
 NEW YORK STATE

Colliers Engineering & Design
 555 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 845.564.4495
 COLLIER'S ENGINEERING & DESIGN CT, P.C.
 DOING BUSINESS AS MASER CONSULTING ENGINEERING & LAND SURVEYING

SCALE: AS SHOWN	DATE: 11/15/2022	DRAWN BY: TPS	CHECKED BY: CDR
PROJECT NUMBER: 040007C	DRAWING NAME: C-GRAD		

DIMENSION & GRADING PLAN

SHEET NUMBER:
3 of 4

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

