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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: ROCK CUT ESTATES
PROJECT NO.: 19-19
PROJECT LOCATION: SECTION 47, BLOCK 2, LOT 11,12,13.2,14.2,15.2
REVIEW DATE: 13 SEPTEMBER 2019
MEETING DATE: 19 SEPTEMBER 2019
PROJECT REPRESENTATIVE: ARDEN CONSULTING ENGINEERS

1. The project is before the Board for a lot consolidation and re-subdivision of a parcel of property originally subdivided in 2007. The original subdivision included the construction of a proposed private roadway and required stormwater Management Facilities. The revised proposal is for a total of four lots with three of the lots served by a common driveway. The elimination of the private roadway and one of the lots reduces the amount of disturbance to less than five acres, eliminating the need for the implementation of Stormwater Management improvements due to less disturbance and less impervious surfaces proposed.
2. Access to the three lots via the common driveway will require approval from the Town Board. Access and Maintenance Agreements must be prepared for the common driveway.
3. Orange County DPW approval for the driveway locations will be required. Proposed Lot #1 will have its own access point on the County road, while the common driveway is located at the location of the previous private roadway.
4. The removal of the existing structures located on proposed Lot #2 will require a demolition permit from the Town of Newburgh.
5. Sheet #3 of 10 identifies a proposed 16 foot paved private road "Mangano Court". The common driveway will not be considered a private roadway. The Applicant should coordinate with Code Enforcement office regarding the requirement to name the common driveway.
6. Each of the proposed parcels has fee ownership to the County roadway providing access to each of the lots via the common driveway.

• Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •

7. The project requires coverage under the NYSDEC Stormwater Program for a residential project less than five acres disturbance less than 25% impervious. Soil Erosion Sediment Control Plan has been provided for compliance with the design requirements.
8. Show grading for proposed common driveway. once grading is provided the Applicant should evaluate whether open swales can be provided to convey runoff to the required drainage improvements within the County roadway. Open swales are a more favorable way of treating stormwater from small residential subdivisions.
9. The Planning Board should declare its intent for Lead Agency for the project. The EAF for the project now identifies potential habitat for Bald Eagles which was not the case during the 2007 review. The Applicants representative is requested to contact the Natural Heritage Program at Region III to identify any potential impacts to Bald Eagles.
10. Orange County Planning Department referral is required.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw

PAT

JPE

AUG 27 2019

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: 8/27/19 TOWN FILE NO: 2019-19
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
Amended Subdivision Plan for Rock Cut Estates

2. Owner of Lands to be reviewed:
Name: Alexandra Development Inc.
Address: P.O. Box 100
Washingtonville, NY 10992
Phone: 845-496-4444

3. Applicant Information (If different than owner):
Name _____
Address _____

Representative _____
Phone _____
Fax _____
Email _____

4. Subdivision/Site Plan prepared by:
Name: Arden Consulting Engineers, PLLC
Address: P.O. Box 340
Monroe, NY 10950
Phone/Fax: 845-782-8114

5. Location of lands to be reviewed:
Rock Cut Road

6. Zone R-1 Fire District Coldenham
Acreage 12.66 School District Valley Central

7. Tax Map: Section 47 Block 2 Lot 11, 12, 13.2, 14.2, 15.2

8. Project Description and Purpose of Review:

Number of existing lots 5 Number of proposed lots 4
Lot line change yes
Site plan review yes no
Clearing and grading yes
Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:
(Describe generally) _____

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [Handwritten Signature] Title Vice-Pres.

Date: 8/26/19

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

August 22, 2019

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Amended Subdivision Plan
Rock Cut Estates
Rock Cut Road (Orange County Route 23)
Newburgh, NY 12550
Project # 2019-19

Project Narrative

Hon. John P. Ewasutyn & Planning Board Members:

The existing 12.66-acre parent parcel located off of Rock Cut Road currently has a single family dwelling situated on the parcel. A five (5) lot subdivision was previously completed for the site as depicted on Filed Map 699-07. The Applicant is seeking to amend the subdivision as discussed below.

The site is located in the R-1 Zone where subdivision of land is permitted. The previously approved private road design has been modified and is now proposed as private driveways for each lot with access onto Rock Cut Road.

It is proposed to reduce the number of lots from five to four, eliminate the stormwater management facility and thereby reduce the limits of disturbance. Disturbance to the Army Corp. of Engineers wetland that is located on-site will be avoided. Each lot will be served by a septic system and individual drilled well.

We look forward to being placed on the September 19, 2019 Planning Board agenda to discuss this matter.

Please do not hesitate to contact me if you have questions or concerns.

Sincerely,

Arden Consulting Engineers, PLLC



Michael A. Morgante, P.E.

C:\JOBS\19-023 Rock Cut Road\Application\Project Narrative 8-18-19.doc

ARDEN CONSULTING ENGINEERS, PLLC

August 22, 2019

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Amended Subdivision Plan
Rock Cut Estates
Rock Cut Road (Orange County Route 23)
Newburgh, NY 12550
Project # 2019-19

Fee Schedule

Hon. John P. Ewasutyn & Planning Board Members:

The information shown below summarizes the project fees according to the Town of Newburgh Planning Board Fee Schedule.

Planning Board Fees

2. Minor Subdivision of four lots or less (payable at application): \$550 plus \$200 per lot.

Check #1: $\$550 + (\$200/\text{lot} \times 4 \text{ lots}) = \$1,350.00$

Escrow Fee for Professional Services

1. Residential Subdivision

\$500 per lot for each lot up to 5 lots and \$300 per lot for each lot over 5

Check #2: $\$500/\text{lot} \times 4 \text{ lots} = \$2,000.00$

State Environmental Quality Review Act (SEQRA):

- b. Long environmental assessment form: (\$2000)

Check #3: \$2,000.00

Public Hearing Fee:

Check #4 in the amount of \$150.00

TOWN OF NEWBURGH PLANNING BOARD

Amended Subdivision Plan for Rock Cut Estates

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees
4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. X Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X Surveyor,s Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. X Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. X Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. N/A Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. X Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. X Lot area (in sq. ft. for each lot less than 2 acres)
23. X Number of lots including residual lot
24. N/A Show any existing waterways
25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 or 5 ft. contours on initial submission

30. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. X Number of acres to be cleared or timber harvested
33. X Estimated or known cubic yards of material to be excavated and removed from the site
34. X Estimated or known cubic yards of fill required
35. X The amount of grading expected or known to be required to bring the site to readiness
36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
-
-
37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
-
-
38. List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: Arden Consulting Engineers, PLLC [Michael A. Morgante, P.E.]

Licensed Professional

Date: 8/26/19

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

PROXY

(OWNER) Alexandra Development, Inc., **DEPOSES AND SAYS THAT HE/SHE**

RESIDES AT 2100 State Route 94, Salisbury Mills, NY 12577

IN THE COUNTY OF Orange

AND STATE OF New York

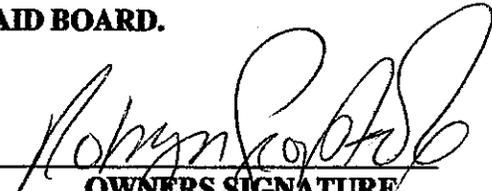
AND THAT HE/SHE IS THE OWNER IN FEE OF Rock Cut Estates

Section 47 Block 2 Lots 11, 12, 13.2, 14.2, 15.2

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND** Arden Consulting Engineers, PLLC **IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

DATED: 8/26/19

**NAMES OF ADDITIONAL
REPRESENTATIVES**



OWNERS SIGNATURE

Robyn Scopetulo, Alexandra Development

OWNERS NAME (printed)



WITNESS' SIGNATURE

Matthew Scopetulo

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

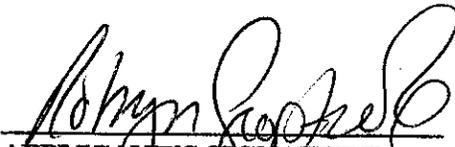
The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

8/26/19
DATED

Alexandra Development, Inc.
APPLICANT'S NAME (printed)


APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

 X **NONE**

 NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

 TOWN BOARD
 X **PLANNING BOARD**
 ZONING BOARD OF APPEALS
 ZONING ENFORCEMENT OFFICER
 BUILDING INSPECTOR
 OTHER

8/26/19
DATED


INDIVIDUAL APPLICANT

Alexandra Development, Inc.

CORPORATE OR PARTNERSHIP APPLICANT

BY: Vice - Pres.
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Robyn Scopelluto
APPLICANT'S NAME (printed)

Robyn Scopelluto
APPLICANTS SIGNATURE

8/26/19
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: Alexandra Development, Inc.

Name of owner on premises: Alexandra Development, Inc.

Address of owner: 2100 State Route 94, Salisbury Mills, NY 12577

Telephone number of owner: 845-497-4444

Telephone number of applicant: 845-497-4444

State whether applicant is owner, lessee, agent, architect, engineer or contractor:
Owner

Location of land on which proposed work will be done: Rock Cut Road

Section: 47 **Block:** 2 **Lot:** 11, 12, 13.2, 14.2, 15.2 **Sub. Div.:** _____

Zoning District of Property: R-1 **Size of Lot:** 1.48 ac, 1.81 ac, 5.91 ac, 1.57 ac, 1.89 ac

Area of lot to be cleared or graded: 5 acres **Total area:** 12.66 acres

Proposed completion of date: Fall 2020

Name of contractor/agent, if different than owner: _____

Address: _____

Telephone number: _____

Date of Planning Board Approval: _____ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner:  **Date:** 8/26/19

Signature of applicant (if different than owner): _____

TOWN ACTION:

Examined: _____ **20** _____

Approved: _____ **20** _____

Disapproved: _____ **20** _____

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: Amended Subdivision Plan for Rock Cut Estates

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Wood

COLOR OF THE EXTERIOR OF BUILDING:

Natural earth tone colors

ACCENT TRIM:

Location: Windows, doors

Color: White

Type (material): Vinyl

PARAPET (all roof top mechanicals are to be screened on all four sides):

Not applicable

ROOF:

Type (gabled, flat, etc.): Gabled

Material (shingles, metal, tar & sand, etc.): Shingles

Color: Slate Grey/Black

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots (1) is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

(1) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: _____

Description of the proposed project: _____

Location of the proposed project: _____

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

APPLICANT'S SIGNATURE

DATE

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

| | | |
|---|-------------------------------|-----------------|
| Name of Action or Project: Amended Subdivision Plan for Rock Cut Estates | | |
| Project Location (describe, and attach a general location map): Rock Cut Road | | |
| Brief Description of Proposed Action (include purpose or need): 4 lot subdivision to be served by individual residential wells, septic systems and private driveways onto Rock Cut Road. | | |
| Name of Applicant/Sponsor: Alexandra Development, Inc. | Telephone: 845-496-4444 | |
| | E-Mail: rscopteuolo@yahoo.com | |
| Address: 2100 State Route 94 | | |
| City/PO: Salisbury Mills | State: NY | Zip Code: 12577 |
| Project Contact (if not same as sponsor; give name and title/role): | Telephone: | |
| | E-Mail: | |
| Address: | | |
| City/PO: | State: | Zip Code: |
| Property Owner (if not same as sponsor): | Telephone: | |
| | E-Mail: | |
| Address: | | |
| City/PO: | State: | Zip Code: |

B. Government Approvals

| B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.) | | |
|---|---|---|
| Government Entity | If Yes: Identify Agency and Approval(s) Required | Application Date (Actual or projected) |
| a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees | | |
| b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission | Town Planning Board Subdivision Approval | September 2019 |
| c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals | | |
| d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Orange County DPW Driveway Entrance Permit | |
| f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| i. Coastal Resources. <ul style="list-style-type: none"> i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |

C. Planning and Zoning

| | |
|---|--|
| C.1. Planning and zoning actions. | |
| Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| C.2. Adopted land use plans. | |
| a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) If Yes, identify the plan(s): _____ _____ _____ | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? If Yes, identify the plan(s): _____ _____ _____ | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

R-1 Zone

b. Is the use permitted or allowed by a special or conditional use permit? Not applicable Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Valley Central School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?
Orange Lake Fire Department

d. What parks serve the project site?
Chadwick Lake Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?
Residential Subdivision

b. a. Total acreage of the site of the proposed action? 12.66 acres
b. Total acreage to be physically disturbed? 3.27 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 12.66 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

Residential

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? 4

iv. Minimum and maximum proposed lot sizes? Minimum 1.2 ac. Maximum 6.06 ac.

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: 18 months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No

If Yes, show numbers of units proposed.

| | <u>One Family</u> | <u>Two Family</u> | <u>Three Family</u> | <u>Multiple Family (four or more)</u> |
|-----------------------------|-------------------|-------------------|---------------------|---------------------------------------|
| Initial Phase | 4 | | | |
| At completion of all phases | 4 | | | |

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

- i. Total number of structures _____
- ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
- iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____
- iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
- v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

If Yes:

- i. What is the purpose of the excavation or dredging? Excavation for dwelling foundations, driveways and lot grading
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): 750 CY
 - Over what duration of time? 18 months
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No

If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 1,760 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: Individual drilled wells

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: 5 gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):
 Individual subsurface septic absorption fields _____

 vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 31,000 Square feet or 0.71 acres (impervious surface)
 551,469.6 Square feet or 12.66 acres (parcel size)
 ii. Describe types of new point sources. Roof leaders and driveway culverts/piping

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
On-site stormwater catchbasins and piping

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Rock Cut Road Drainage Swales Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: 16,000 kw/hrs

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
 grid/local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 7am-7pm _____
- Saturday: _____ 7am-7pm _____
- Sunday: _____ 8am-6pm _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____ Not applicable _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
 Excavators, dozers, dump trucks during construction 7am-7pm Monday-Saturday, 8am-6pm Sunday

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Existing trees will be removed

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Existing trees will be removed

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ 5 tons per _____ 18 months (unit of time)
 • Operation: _____ 10 tons per _____ 1 year (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: Plastics and papers will be recycled where possible.

 • Operation: Plastics and papers will be recycled.

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: Dumpsters and construction waste carts

 • Operation: Dumpsters

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

| Land use or Covertypes | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
|--|-----------------|----------------------------------|--------------------|
| • Roads, buildings, and other paved or impervious surfaces | 0.1 | 0.71 | +0.61 |
| • Forested | 11 | 7 | -4 |
| • Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | 1 | 5 | +4 |
| • Agricultural (includes active orchards, field, greenhouse etc.) | 0 | 0 | 0 |
| • Surface water features (lakes, ponds, streams, rivers, etc.) | 0 | 0 | 0 |
| • Wetlands (freshwater or tidal) | 1.4 | 1.4 | 0 |
| • Non-vegetated (bare rock, earth or fill) | 0 | 0 | 0 |
| • Other Describe: _____ | | | |

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 3 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

| | | |
|-----|-------|------|
| BnB | _____ | 75 % |
| Ab | _____ | 25 % |
| | _____ | % |

d. What is the average depth to the water table on the project site? Average: _____ 4' +/- feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ 100 % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 80 % of site
 10-15%: _____ 20 % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 862-229 Classification C
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters, Federal Waters Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Deer _____
 Squirrel _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 Red Maple-Hardwood Swamp
 ii. Source(s) of description or evaluation: NYSDEC EAF Mapper
 iii. Extent of community/habitat:
 • Currently: _____ 1460.0 acres
 • Following completion of project as proposed: _____ 1460 acres
 • Gain or loss (indicate + or -): _____ 0 acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____
 Indiana Bat, Bald Eagle

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

| | |
|--|---|
| e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes: | |
| <i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District | |
| <i>ii.</i> Name: _____ | |
| <i>iii.</i> Brief description of attributes on which listing is based: _____ | |
| f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| g. Have additional archaeological or historic site(s) or resources been identified on the project site? | |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| If Yes: | |
| <i>i.</i> Describe possible resource(s): _____ | |
| <i>ii.</i> Basis for identification: _____ | |
| h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes: | |
| <i>i.</i> Identify resource: _____ | |
| <i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ | |
| <i>iii.</i> Distance between project and resource: _____ miles. | |
| i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes: | |
| <i>i.</i> Identify the name of the river and its designation: _____ | |
| <i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666? | |
| <input type="checkbox"/> Yes <input type="checkbox"/> No | |

F. Additional Information

Attach any additional information which may be needed to clarify your project.

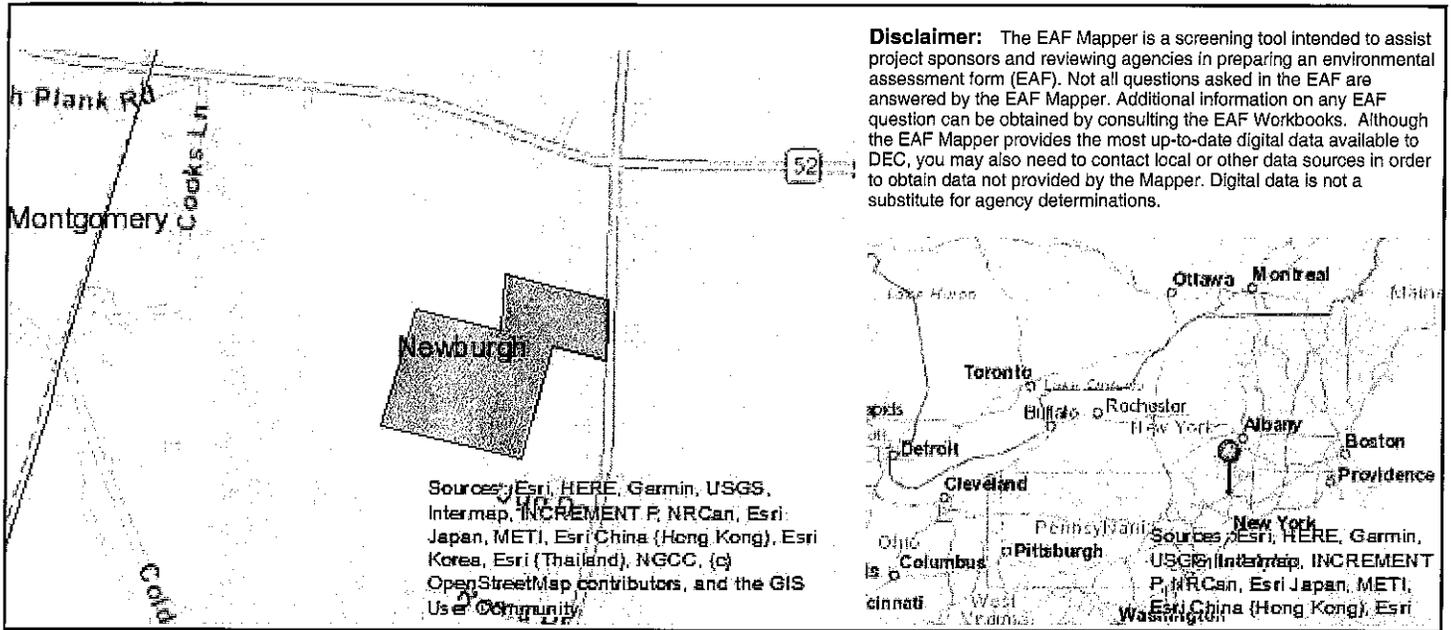
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Arden Consulting Engineers, PLLC Date 8/19/19

Signature  Title Project Engineer



| | |
|--|---|
| B.i.i [Coastal or Waterfront Area] | No |
| B.i.ii [Local Waterfront Revitalization Area] | No |
| C.2.b. [Special Planning District] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h [DEC Spills or Remediation Site - Potential Contamination History] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h.i [DEC Spills or Remediation Site - Listed] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h.iii [Within 2,000' of DEC Remediation Site] | No |
| E.2.g [Unique Geologic Features] | No |
| E.2.h.i [Surface Water Features] | Yes |
| E.2.h.ii [Surface Water Features] | Yes |
| E.2.h.iii [Surface Water Features] | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| E.2.h.iv [Surface Water Features - Stream Name] | 862-229 |
| E.2.h.iv [Surface Water Features - Stream Classification] | C |
| E.2.h.iv [Surface Water Features - Wetlands Name] | Federal Waters |
| E.2.h.v [Impaired Water Bodies] | No |
| E.2.i. [Floodway] | No |
| E.2.j. [100 Year Floodplain] | No |
| E.2.k. [500 Year Floodplain] | No |

| | |
|--|--|
| E.2.i. [Aquirers] | No |
| E.2.n. [Natural Communities] | Yes |
| E.2.n. [Natural Communities - Name] | Red Maple-Hardwood Swamp |
| E.2.n.i [Natural Communities - Acres] | 1460.0 |
| E.2.o. [Endangered or Threatened Species] | Yes |
| E.2.o. [Endangered or Threatened Species - Name] | Indiana Bat, Bald Eagle |
| E.2.p. [Rare Plants or Animals] | No |
| E.3.a. [Agricultural District] | No |
| E.3.c. [National Natural Landmark] | No |
| E.3.d [Critical Environmental Area] | No |
| E.3.e. [National or State Register of Historic Places or State Eligible Sites] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.3.f. [Archeological Sites] | Yes |
| E.3.i. [Designated River Corridor] | No |

N/F
MARKEL
47-1-11.1 & 11.2
LOT #2, F.M. #7874

LANDS N/F
CURRY, TRUSTEE
47-1-4.2 N 50°02'42" E
603.66'

LANDS N/F
MINTZ
48-3-20.2

LOT 3
6.06 A.C.
(263,875 SF.)

LANDS N/F
MINTZ
48-3-20.1

LOT 4
3.54 A.C.
(154,068 SF.)

LOT 2
1.86 A.C.
(80,986 SF.)

LANDS N/F
D'AMATO
47-1-14.4
LOT 4-FM 7366

LANDS N/F
PIAQUADIO
48-3-34

LANDS N/F
PIAQUADIO
48-3-33

LANDS N/F
PIAQUADIO
48-3-31

LANDS N/F
PIAQUADIO
48-3-28

LANDS N/F
DAVIS
48-3-27

LANDS N/F
TERSILLO
48-3-25

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING SWALE
- EXISTING WELL
- EXISTING POLE
- EXISTING IRON ROD FOUND
- EXISTING SWALE
- EXISTING STONE WALL
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING
- ZONING SET BACK LINE
- PROPOSED DRIVEWAY HATCH
- PROPOSED DRIVEWAY

ZONING SCHEDULE

| ZONE: | REQUIRED | LOT #1 | LOT #2 | LOT #3 | LOT #4 |
|-----------------------|--|------------|------------|-------------|-------------|
| R-1 | 40,000SF. | 52,287 SF. | 80,986 SF. | 263,875 SF. | 154,068 SF. |
| MINIMUM LOT AREA | 150' | 247'± | 307'± | 643'± | 359'± |
| ACRES (W/ROW) | 150' | 228'± | 259'± | 592'± | 372'± |
| LOT WIDTH | MINIMUM YARDS (FEET) | FRONT | REAR | SIDES | ONE |
| LOT DEPTH | 50' | 137' | 54' | 74' | 115' |
| MINIMUM YARDS (FEET) | 40' | 42' | 127' | 49' | 229' |
| FRONT | 30' | 49' | 65' | 155' | 42' |
| REAR | 80' | 149' | 255' | 600' | 281' |
| SIDES | 10% MAX | 10% MAX | 10% MAX | 10% MAX | 10% MAX |
| LOT BUILDING COVERAGE | 20% MAX | 20% MAX | 20% MAX | 20% MAX | 20% MAX |
| LOT SURFACE COVERAGE | *REQUIRED FRONT YARD FOR COUNTY AND STATE ROADWAYS | | | | |



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SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON MARCH 31, 2005.

SIGNATURE: ANTHONY D. VALDINA, L.S.
4 PLEASANT VIEW AVE.
NEWBURGH, NY 12550

PROPOSED SURVEY PLAT

SCALE: 1"=50'

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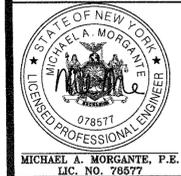
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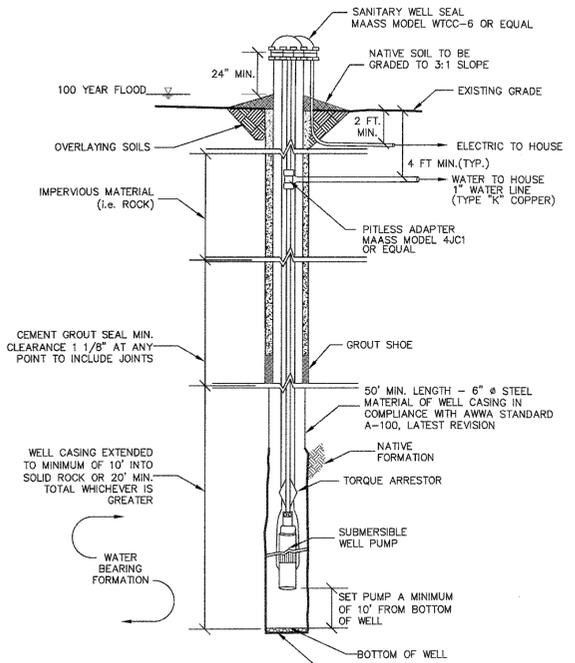
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AMENDED SUBDIVISION PLAN FOR
ROCK CUT ESTATES
ROCK CUT ROAD
TOWN OF NEWBURCH, ORANGE COUNTY, N.Y.

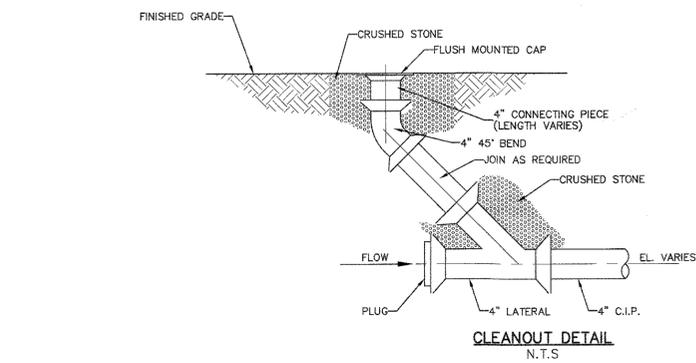
PROPOSED SURVEY PLAT

JOB#: 19-023
SCALE: AS NOTED
DATE: 08-19-19
DRAWN: MM
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SHEET NO. 02 of 10

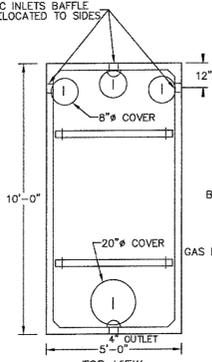


NOTES:
 1. THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50 FEET BELOW GRADE. IF A 50% INCREASE IN SEPARATION DISTANCES CAN NOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION. SEE ALSO NOTE 6 TO TABLE 2 OF APPENDIX 5-B.
 2. WELL TO BE INSTALLED IN ACCORDANCE WITH 10NYCRR APPENDIX 5-B STANDARDS FOR WATER WELLS.
 3. SANITARY WELL SEAL & PITLESS ADAPTER SHALL BE APPROVED BY THE WATER SYSTEMS COUNCIL.

WELL DETAIL
NOT TO SCALE



TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS AND AT EVERY 75' OF STRAIGHT PIPE. (DO NOT USE WITH PUMP CHAMBER)

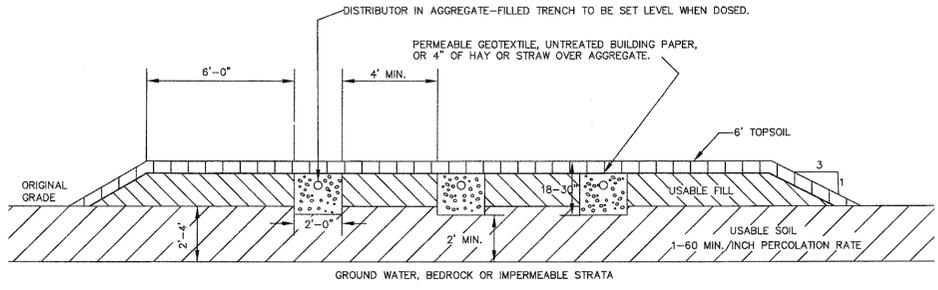


WOODARD'S 1250gal. SEPTIC TANK OR EQUAL
N.T.S.

SPECIFICATIONS:
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS REINFORCEMENT- 6"x6"10GA. WMF, #4 REBAR AIR ENTRAPMENT- 5%
 CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT PIPE
 CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300PSF WEIGHT = 9,500LBS

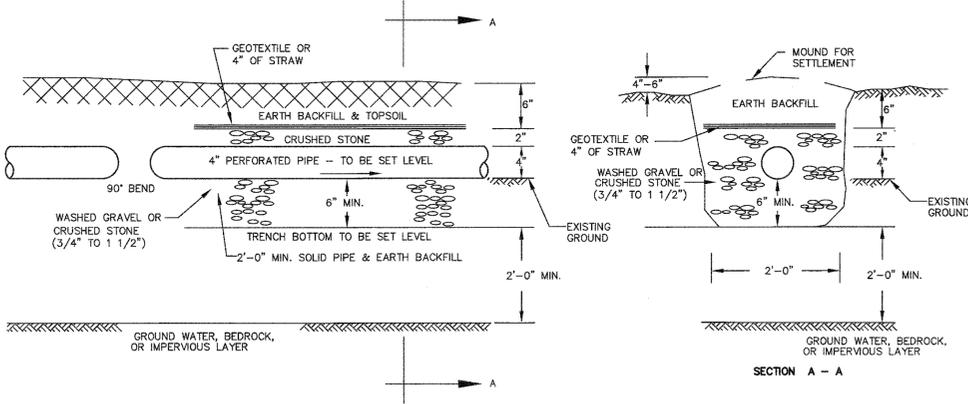
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COUNTY NOTE:
 NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 1326 OF THE HIGHWAY LAW.



SHALLOW ABSORPTION TRENCH SYSTEM
NOT TO SCALE

NOTES:
 BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL AND TRENCH BOTTOM SHALL BE AT 6" BELOW ORIGINAL GRADE.
 USABLE FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
 MAXIMUM DEPTH OF USABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30 INCHES.
 TRENCH BOTTOMS SHALL BE LEVEL. TRENCHES SHALL BE PARALLEL TO GROUND CONTOURS.
 ON SLOPED SITES, A DIVERSION DITCH SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.
 FILL SHALL EXTEND AT LEAST SIX FEET BEYOND ENDS OF TRENCHES BEFORE STARTING 1 ON 3 EDGES OF FILL.

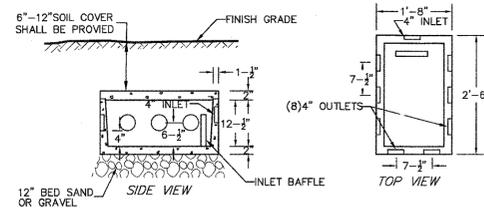


SHALLOW ABSORPTION TRENCH DETAIL
NOT TO SCALE



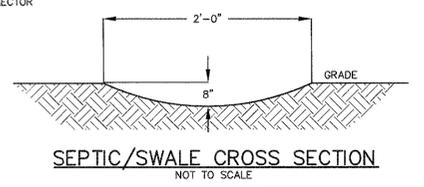
SPEED LEVELER
NOT TO SCALE

NOTES:
 1. INSERT LEVELER IN THE END OF ALL OUTLET PIPES IN THE DISTRIBUTION BOX. ALL LATERALS IN USE SHALL BE EQUIPPED WITH A SPEED LEVELER. ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.
 2. SPEED LEVELERS SHALL NOT COMPENSATE FOR MORE THAN 1 1/4" DIFFERENCE IN LATERAL INVERT ELEVATIONS. THE DISTRIBUTION BOX SHALL BE RE-LEVELLED AND THE SPEED LEVELERS READJUSTED.
 3. THE DISTRIBUTION BOX SHALL BE CHECKED 6-12 MONTHS AFTER INSTALLATION AND THE SPEED LEVELERS SHALL BE READJUSTED IF NECESSARY.
 4. FITS ALL 4" SMOOTH WALL AND CORRUGATED PIPES.



WOODARD'S PRECAST 8 OUTLET DISTRIBUTION BOX
N.T.S.

SPECIFICATIONS:
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS REINFORCEMENT- FIBER AIR ENTRAPMENT- 5%
 PIPE CONNECTION: POLYLOC SEAL (PATENTED)
 LOAD RATING- 300 PSF WEIGHT= 290 lbs



SEPTIC/SWALE CROSS SECTION
NOT TO SCALE

TABLE 2
REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (FEET)

| SYSTEM COMPONENTS | WELL OR SUCTION LINE (a) (g) | STREAM, LAKE, WATERCOURSE (b), or WETLAND | DWELLING | PROPERTY LINE | DRAINAGE DITCH or RAIN GARDENS (h) |
|---|------------------------------|---|----------|---------------|------------------------------------|
| HOUSE SEWER DRAIN (WATERTIGHT JOINTS) | 25 IF CAST IRON 50 OTHERWISE | 25 | 3 | 10 | 10 |
| SEPTIC TANK, DOSING TANK & WATERTIGHT ETU | 50 | 50 | 10 | 10 | 10 |
| EFFLUENT LINE TO DISTRIBUTION BOX/DROP BOX | 50 | 50 | 10 | 10 | 10 |
| DISTRIBUTION BOX/DROP BOX | 100 | 100 | 20 | 10 | 50 |
| ABSORPTION FIELD (c) (d) | 100 (e) | 100 | 20 | 10 | 50 |
| SEEPAGE PIT (d) | 150 (e) | 100 | 20 | 10 | 50 |
| RAISED SYSTEM or MOUND (c) (d) | 100 (e) | 100 | 20 | 10 | 50 |
| INTERMITTENT SAND FILTER (d) | 100 (e) (f) | 100 (f) | 20 | 10 | 50 |
| NON WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL | 50 | 50 | 20 | 10 | 50 |
| NON WATERBORNE SYSTEMS WITH ONSITE DISCHARGE | 100 | 50 | 20 | 10 | 50 |

NOTES:
 A) WHEN WASTEWATER TREATMENTS SYSTEMS ARE LOCATED UPGRADE AND IN THE DIRECT PATH OF SURFACE WATER DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200 FEET AWAY FROM THE WELL.
 B) MEAN HIGH WATER MARK, WETLAND OR WATERCOURSE DETERMINATIONS SHOULD BE ADDRESSED WITH THE LHD OR OTHER AGENCY HAVING JURISDICTION AND THE APPLICABLE NYSDEC REGIONAL OFFICE.
 C) FOR ALL SYSTEMS INVOLVING THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF SLOPE OF THE FILL, EXCEPT FOR SOME SHALLOW ABSORPTION TRENCH SYSTEMS AS DESCRIBED IN 9.12.2 OF THIS HANDBOOK.
 D) SEPARATION DISTANCES SHALL ALSO BE MEASURED FROM THE EDGE OF THE DESIGNATED ADDITIONAL USEABLE AREA [i.e. RESERVE AREA], WHEN AVAILABLE.
 E) THE CLOSEST PART OF THE WASTEWATER TREATMENT SYSTEM SHALL BE LOCATED AT LEAST TEN (10) FEET FROM ANY WATER SERVICE LINE (e.g., PUBLIC WATER SUPPLY MAIN, PUBLIC WATER SERVICE LINE OR RESIDENTIAL WELL WATER SERVICE LINE).
 F) WHEN INTERMITTENT SAND FILTERS ARE DESIGNED TO BE WATERTIGHT AND COLLECT ALL EFFLUENT, THE SEPARATION DISTANCE CAN BE REDUCED TO 50 FEET.
 G) THE LISTED WATER WELL SEPARATION DISTANCES FROM CONTAMINANT SOURCES SHALL BE INCREASED BY 50% WHENEVER AQUIFER WATER ENTERS THE WATER WELL AT LESS THAN 50-FEET BELOW GRADE. IF A 50% INCREASE CANNOT BE ACHIEVED, THEN THE GREATEST POSSIBLE INCREASE IN SEPARATION DISTANCE SHALL BE PROVIDED WITH SUCH ADDITIONAL MEASURES AS NEEDED TO PREVENT CONTAMINATION.
 H) RECOMMENDED; USE SITE EVALUATION TO AVOID OWTS SHORT-CIRCUITING TO THE SURFACE OR GROUNDWATER AND TO MINIMIZE IMPACTS ON OWTS FUNCTIONALITY.
 EMBANKMENT OR VERY STEEP SLOPE: IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 25 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 50 FEET FROM AN EMBANKMENT OR VERY STEEP SLOPE. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO AVOID SHORT-CIRCUITING TO SURFACE (BREAKOUT OR SEEPAGE).
 SWIMMING POOLS (ABOVE OR BELOW GROUND): IT IS RECOMMENDED THAT SYSTEM COMPONENTS BE LOCATED A MINIMUM OF 20 FEET AND THE ABSORPTION FIELD BE LOCATED A MINIMUM OF 35 FEET FROM SWIMMING POOLS. MAXIMIZE SEPARATION DISTANCES AND USE SITE EVALUATION TO MINIMIZE IMPACTS ON OWTS ACCESSIBILITY AND FUNCTIONALITY.

ACCEPTED AS ORANGE COUNTY HEALTH DEPARTMENT POLICY & STANDARD WITH THE FOLLOWING ADDITIONS

- SEPARATION: WELL TO SWALE, STREAM OR WATERCOURSE - 25'
- SEPARATION: ABSORPTION FIELD TO THE HIGH WATER LINE OF A WET POND - 100'
- SEPARATION: ABSORPTION FIELD TO INTERMITTENT STREAM, DRY WELL, CULVERT OR STORM SEWER (NON-GASKETED PIPE), OR CATCH BASIN - 50'
- SEPARATION: ABSORPTION FIELD TO CULVERT OR STORM SEWER (GASKETED, TIGHT PIPE) - 35'
- SEPARATION: ABSORPTION FIELD TO CURTAIN DRAIN - 15'
- SEPARATION: ABSORPTION FIELD, PITS, EXPANSION AREA, TO TOP OF EMBANKMENT OR STEEP (1 ON 3) SLOPE - 25'
- SEPARATION: ABSORPTION FIELD TO SOLID CURTAIN DRAIN, ROOF OR FOOTING PIPES, SNOW STORAGE ESMT - 10'
- DRAINAGE PIPES WITHIN 25' OF ANY WELL MUST BE WATERTIGHT.
- SEPARATION: WELL TO CEMETERY PROPERTY LINE - 100'
- SEPARATION: WELL TO SUBDIVISION BOUNDARY - 50'
- SEPARATION: EVAPOTRANSPIRATION-ABSORPTION SYSTEM TO DRAINAGE DITCH - 50'
- SEPARATION: DRY WELL (ROOF AND FOOTING) TO DRAINAGE DITCH - 50'

REQUIRED SEPTIC SYSTEM INSPECTIONS

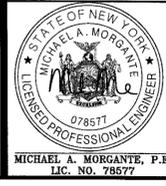
THE SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH THE APPROVED DRAWINGS. THE ENGINEER MUST INSPECT THE SITE AT EACH OF THE FOLLOWING POINTS DURING THE SYSTEM INSTALLATION AND GRANT APPROVAL PRIOR TO CONTINUING WITH THE NEXT STAGE OF WORK. NYS SHALLOW ABSORPTION AND RAISED SYSTEMS ARE ENGINEERED SYSTEMS THAT REQUIRE INSPECTION, VERIFICATION AND A LETTER OF COMPLETION BY A LICENSED ENGINEER.

| | |
|---|---|
| 1. SITE MEETING WITH CONTRACTOR | 1. LOCATE AND PLACE CORNER STAKES FOR FIELD. 2. TREES IN FIELD AREA TO BE CUT. GROUND TO REMAIN UNDISTURBED. STUMPS TO BE CUT FLUSH TO THE GROUND. FIELD AREA TO BE PLOWED PARALLEL TO DIRECTION OF LATERAL LINES. 3. CONTRACTOR SHALL OBTAIN A PERC. RATE TEST OF ACCEPTABLE RANGE FROM THE SOURCE PIT OF THE INTENDED FILL MATERIAL - PRIOR TO EXCAVATION AT THE PIT AND DELIVERY TO THE SITE. 4. FILL MATERIAL TO BE PLACED ON SEPTIC FIELD SITE ACCORDING TO GUIDELINES PER THIS DESIGN AND DETAILS. |
| 2. INSPECTION OF THE FILL IN PLACE. PERC TEST TO BE DONE BY ENGINEER PRIOR TO TRENCH INSTALLATION AT THE ENGINEER'S DISCRETION. | 5. TRENCHES TO BE CUT INTO FILL MATERIAL. SEE PLAN FOR DEPTH. 6. BASE AGGREGATE TO BE PLACED IN TRENCHES. SEE PLAN FOR DEPTH. 7. LATERAL DISTRIBUTION PIPES AND DISTRIBUTION BOX TO BE INSTALLED AND LEFT EXPOSED. |
| 3. INSPECTION BY ENGINEER AND ULSTER COUNTY DEPT. OF HEALTH | 8. AGGREGATE COVER LAYER AND PERMEABLE GEOTEXTILE COVER TO BE INSTALLED OVER LATERALS IN TRENCHES. SEE PLAN FOR DEPTH OF AGGREGATE COVER LAYER. 9. SEPTIC TANK TO BE SET IN HOLE AND LEFT EXPOSED. 10. INLET AND OUTLET LINES TO TANK TO BE INSTALLED AND LEFT EXPOSED. |
| 4. INSPECTION BY ENGINEER AND ULSTER COUNTY DEPT. OF HEALTH | 11. COVER TANKS, LINES AND SEPTIC FIELD WITH FINISH COVER MATERIAL. 12. FINISH DIVERSION SWALES, FINE GRADING AND SEEDING. |
| 5. INSPECTION BY ENGINEER OF FINISHED SYSTEM | |

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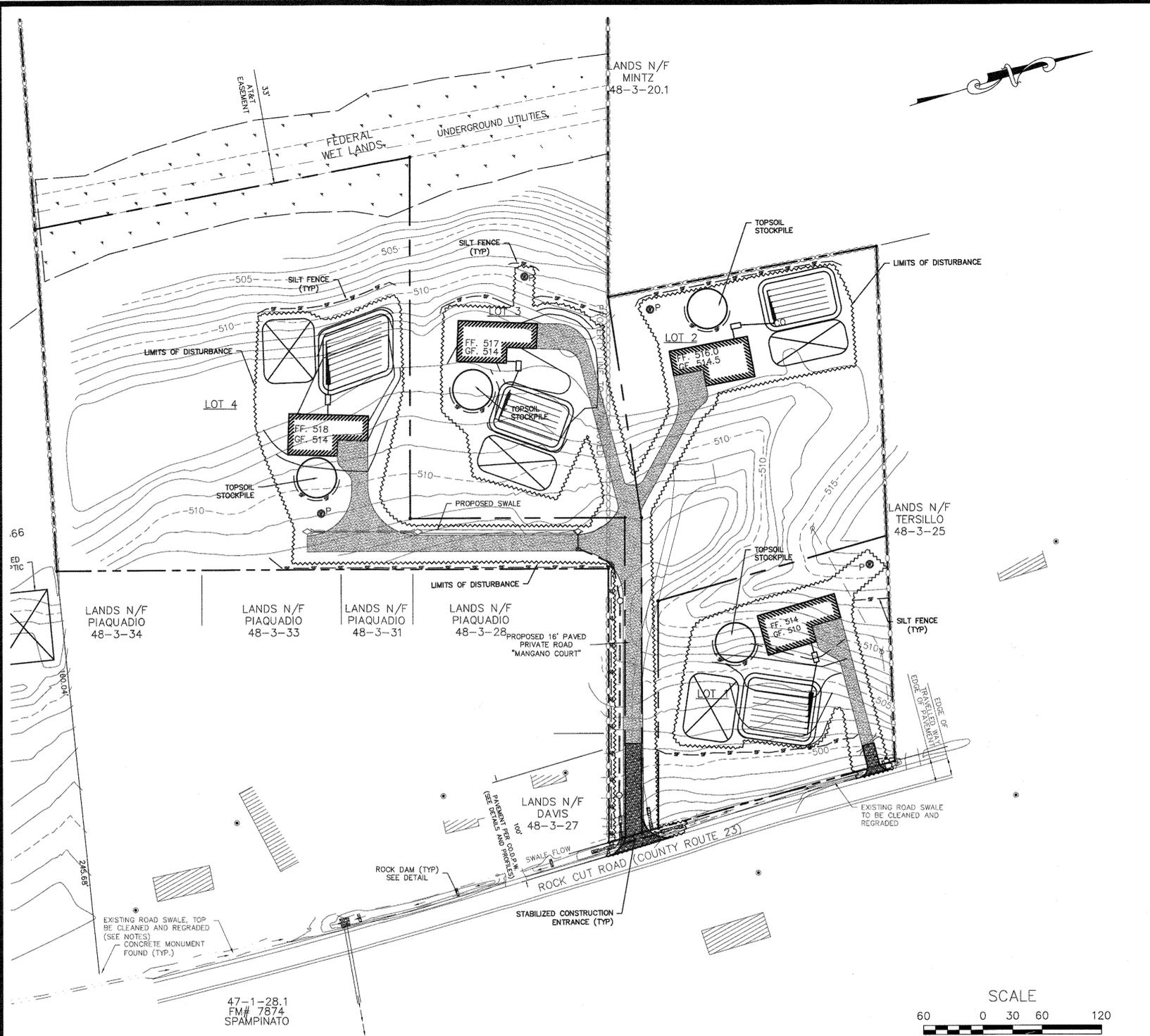


AMENDED SUBDIVISION PLAN FOR
ROCK CUT ESTATES
 ROCK CUT ROAD
 TOWN OF NEWBURCH, ORANGE COUNTY, N.Y.
SEPTIC DETAILS

JOB#: 19-023
 SCALE: AS NOTED
 DATE: 09-19-19
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 SHEET NO. 06 OF 10

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LEGEND:

| | | |
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| --- | 500 | EXISTING MAJOR CONTOUR |
| --- | 502 | EXISTING MINOR CONTOUR |
| --- | | EXISTING EDGE OF PAVEMENT |
| --- | | EXISTING PROPERTY LINE |
| --- | | EXISTING ADJACENT PROPERTY LINE |
| --- | | EXISTING BUILDING LINE |
| --- | | EXISTING SWALE |
| --- | | EXISTING STONE WALL |
| --- | | EXISTING GRAVEL DRIVEWAY |
| --- | | EXISTING TREELINE |
| --- | | EXISTING SWALE |
| --- | | EXISTING ROCK DAM |
| --- | | EXISTING WELL |
| --- | | EXISTING POLE |
| --- | | EXISTING IRON ROD FOUND |
| --- | | DEEP TESTS |
| --- | | PERCOLATION TEST |
| --- | | EXISTING WETLAND |
| --- | | PROPOSED PROPERTY LINE |
| --- | | PROPOSED BUILDING |
| --- | | PROPOSED DRIVEWAY |
| --- | | PROPOSED SEPTIC SYSTEM |
| --- | | PROPOSED DRAINAGE LINE |
| --- | | PROPOSED SWALE |
| --- | 600 | PROPOSED MAJOR CONTOUR |
| --- | 602 | PROPOSED MINOR CONTOUR |
| --- | | LIMITS OF DISTURBANCE |
| --- | | SILT FENCE |
| --- | | PROPOSED RIP RAP |
| --- | | PROPOSED DRIVEWAY HATCH |
| --- | | STABILIZED CONSTRUCTION ENTRANCE |
| --- | | PROPOSED CULVERT |
| --- | | PROPOSED WELL |
| --- | | PROPOSED CATCH BASIN |
| --- | | PROPOSED MANHOLE |

BEST MANAGEMENT PRACTICES FOR SITE FACILITY MAINTENANCE
 THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL SITE RELATED FACILITIES, INCLUDING THE STORM WATER SEDIMENT AND DETENTION BASINS AND THE FOLLOWING MEASURES AND/OR STRUCTURES, AS APPLICABLE AND SHOWN ON THE PLANS:

WATER QUALITY INLETS
 1. WATER QUALITY INLETS SHALL BE CLEANED OUT AT LEAST TWICE A YEAR TO REMOVE POLLUTANTS. REMOVED MATERIAL SHOULD BE TAKEN TO A TREATMENT PLANT OR APPROVED LANDFILL FOR DISPOSAL.
 2. STORM WATER INLETS THROUGHOUT THE SITE SHALL BE INSPECTED ANNUALLY FOR ACCUMULATED SEDIMENT OR OTHER PROBLEMS AND REPAIRED AS NECESSARY.

PARKING AND ROADWAY PAVEMENTS
 1. PARKING AREA AND ROADWAY PAVEMENTS SHALL BE SWEEPED ON A REGULAR BASIS TO REMOVE ACCUMULATED SEDIMENT. COLLECTED SEDIMENT SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE WHICH WILL NOT ALLOW THE RE-ENTRANCE OF SILT INTO THE STORM WATER DRAINAGE SYSTEM.

VEGETATIVE STABILIZATION
 1. ALL VEGETATIVE PLANTING ON AREAS WHICH HAVE BEEN DISTURBED AND ARE FINISH GRADED SHALL BE INSPECTED AFTER EACH RAIN EVENT. PLANTING (OR SEEDING) SHALL BE MAINTAINED IN A VIABLE CONDITION TO STABILIZE THE SOIL AND TO PREVENT SOIL EROSION. RESTORE ALL SITE PLANTING AND/OR SEEDING WHICH HAS BEEN DAMAGED TO A VIABLE CONDITION.
 2. IF VEGETATIVE STABILIZATION HAS BEEN DAMAGED FROM STORM WATER EROSION, CORRECT UPSTREAM CONDITIONS WHICH CAUSED THE EROSION. CHECK DAMS MAY BE REQUIRED IN DRAINAGE WAYS, AND STONE OUTFALL APRONS MAY BE REQUIRED TO BE REPAIRED AT STORM WATER OUTLETS.

CONSTRUCTION ACTIVITY
 1. CONSTRUCTION ACTIVITIES WILL OCCUR DURING WEEKDAYS COMMENCING AT 7:00 AM AND TERMINATING AT 6:00 PM

EROSION AND SILTATION CONTROL NOTES:
 1. GRADED AREAS - UPPER ELEVATIONS: PROVIDE TEMPORARY DRAINAGE SWALES, 1% GRADE MIN., TO DIRECT RUNOFF AWAY FROM CONSTRUCTION SITES. DISCHARGE AREAS AND ENERGY DISPERSION REQUIREMENTS TO BE ACCEPTABLE TO OWNER.
 2. GRADED AREAS - LOWER ELEVATIONS: PROVIDE DRAINAGE SWALES, 1% MIN. GRADES, WITH STAKED AND SECURED HAY BALE BERMS TO PREVENT DOWN STREAM AND DOWN GRADIENT SILTATION.

SEDIMENT & EROSION CONTROL NOTES & CONSTRUCTION SEQUENCING
 1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES FOR ALL ROAD AND DRIVE ENTRANCES. STREETS SHALL BE CLEANED DAILY.
 2. INSTALL SEDIMENT BARRIERS/SWALES/DITCHES/DIKES AT DOWN SLOPE AREAS FROM ALL PROPOSED GRADING OPERATIONS, AND INSTALL OTHER SEDIMENTATION AND EROSION CONTROL STRUCTURES OR MEASURES AS SHOWN ON THE DRAWINGS.
 3. LAND DISTURBANCE SHALL BE LIMITED TO ONLY THE AREA NECESSARY FOR DEVELOPMENT, NO MORE THAN FIVE (5) ACRES OF UNPROTECTED SOIL SHALL BE DISTURBED AT ONE TIME. PREVIOUS EARTHWORK SHALL BE STABILIZED AS SPECIFIED BEFORE ADDITIONAL AREA IS EXPOSED.
 4. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, THEN STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYEGRASS COVER AS SPECIFIED BELOW (SEE NOTE 8), AND ERECT A SILT FENCE AROUND THE STOCKPILE.
 5. PROTECT ALL TREES WHICH ARE TO REMAIN AND WHICH ARE IN OR NEAR CONSTRUCTION AREAS.
 6. PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
 7. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS, OR MODIFY SEDIMENT CONTROL MEASURES INSTALLED IN #2 ABOVE AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION AND ALL PAVEMENTS ARE PAVED WITH A BASE COURSE.
 8. TEMPORARILY SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 15 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 30 DAYS IN ACCORDANCE WITH SPECIFICATION FOR VEGETATIVE ESTABLISHMENT.
 9. IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
 10. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS DISCUSSED ON THE SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT ON THIS SHEET.
 11. DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED UP WITH SEDIMENT.
 12. AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THOSE DISTURBED AREAS.
 13. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
 14. STRUCTURAL MEASURES MUST BE MAINTAINED TO BE EFFECTIVE. IN GENERAL THESE MEASURES MUST BE PERIODICALLY INSPECTED TO INSURE STRUCTURAL INTEGRITY, TO DETECT VANDALISM DAMAGE, AND FOR CLEANING AND REPAIR WHENEVER NECESSARY.
 15. DURING CONSTRUCTION, ALL STRUCTURES SHOULD BE INSPECTED WEEKLY AND AFTER EVERY RAIN. REMOVE ACCUMULATED SEDIMENT AND STOCKPILE AND STABILIZE IN AN AREA NOT SUBJECT TO FURTHER EROSION.
 16. AFTER CONSTRUCTION IS COMPLETED, PERMANENT SEDIMENT OR EROSION CONTROL STRUCTURES SHOULD BE INSPECTED AT LEAST SEMI-ANNUALLY AND AFTER EVERY RAIN.

SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT:

1. PERMANENT SEEDING:
 A. SEEDBED PREPARATION: AREA TO BE SEEDED SHALL BE LOOSE AND FRAGILE TO A DEPTH OF AT LEAST 3 INCHES. THE TOP LAYER SHALL BE LOOSENEED BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING OCCURS. FOR SITES LESS THAN 5 ACRES, APPLY 100 POUNDS OF DOLOMITIC LIMESTONE AND 21 POUNDS OF 10-20-20 FERTILIZER PER 1,000 SF. HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES ON SLOPES FLATTER THAN 3:1.
 B. SEEDING: APPLY 5-8 POUNDS PER 1,000 SF OF SEED MIX BETWEEN FEBRUARY 1 AND MAY 15 OR BETWEEN OCTOBER 15 AND OCTOBER 31. APPLY SEED UNIFORMLY ON A MOIST FIRM SEEDBED WITH A CYCLONE SEEDING DRILL, CULTIPACK SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER, RECOMMENDED ON STEEP SLOPES ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND 1/2 INCH IN SANDY SOILS WHEN USING OTHER THAN THE HYDROSEEDER METHOD. IRRIGATE IF SOIL MOISTURE IS DEFICIENT TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. SELECT SEED MIXTURES FROM SECTION 3, NYS GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL.
 C. MULCHING: MULCH SHALL BE APPLIED TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. DURING THE TIME PERIODS WHEN SEEDING IS NOT PERMITTED, MULCH SHALL BE APPLIED IMMEDIATELY AFTER GRADING. MULCH SHALL BE UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 POUNDS PER 1,000 SQUARE FEET (2 BALES). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY, MECHANICALLY, OR BY HAND TO A DEPTH OF 1-2 INCHES.
 D. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATIONS TO MINIMIZE MOVEMENT OF WIND OR WATER. THE FOLLOWING METHODS ARE PERMITTED:
 i. USE A MULCH ANCHORING TOOL WHICH IS DESIGNED TO PUNCH AND ANCHOR FABRIC TYPE MULCH INTO THE SOIL SURFACE TO A MINIMUM DEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE METHOD FOR SECURING MULCH, HOWEVER, IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CAN OPERATE SAFELY.
 ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 iii. LIQUID BINDERS MAY BE USED AND APPLIED HEAVY AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF SLOPES. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION.
 iv. LIGHTWEIGHT NETTING, MAY BE USED TO SECURE MULCH. THE NETTING WILL BE STAPLED TO THE GROUND ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.

2. TEMPORARY SEEDING:
 LIME: 100 POUNDS OF DOLOMITIC LIMESTONE PER 1,000 SF
 FERTILIZER: 15 POUNDS OF 10-10-10 PER 1,000 SF
 SEED: PERENNIAL RYE-0.92 POUNDS PER 1,000 SF

3. FILL:
 NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES. ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE CLASSIFIED TYPE 2 COMPACTED TO 90% DENSITY; COMPACTION TO BE DETERMINED BY ASTM D-1557-66T (MODIFIED PROCTOR). ANY FILL WITHIN THE BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% AS DETERMINED BY METHODS PREVIOUSLY MENTIONED. FILLS FOR POND EMBANKMENTS SHALL BE COMPACTED AS PER THE PROJECT ENGINEER'S SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPPAGE.

4. PERMANENT SOD:
 INSTALLATION OF SOD SHOULD FOLLOW THE PERMANENT SEEDING DATES. PERMANENT SOD IS TO BE STATE APPROVED SOD; LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY BUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ALL SLOPES STEEPER THAN 3:1, AS SHOWN, ARE TO BE PERMANENTLY SODDED OR PROTECTED WITH APPROVED EROSION CONTROL NETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (DRY OR WET) AND/OR EXTREME TEMPERATURE MAY ADVERSELY AFFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULD BE PERFORMED TO INSURE ESTABLISHED SOD.

SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OR 4:1 OR GREATER (HORIZONTAL : VERTICAL)

SLOPES SHALL BE HYDROSEEDED WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2,000 LBS./ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH Bio-Mesh60 NETTING AS MANUFACTURED BY ROLANCA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

GENTLE SLOPE AND FLAT AREAS
 AREA SHALL BE SEED BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS./ACRE. BROADCAST AREAS SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. AREAS SEED BY BROADCASTING SHALL BE LIGHTLY RAKED AND PAGED PRIOR TO PLACING MULCH.

AREAS REMAINING DISTURBED FOR 20 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS:
 SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS./ACRE 5-10-10 FERTILIZER IF REQUIRED. SEED WITH SPECIES AND RATE SHOWN BELOW. MULCH WITH HAY OR STRAW AT A RATE OF 2,000 LBS./ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

| SPECIES | APPLICATION RATE |
|--|---------------------|
| RYEGRASS (ANNUAL OR PERENNIAL) | 30 LBS./ACRE |
| (USE WINTER RYE IF SEEDING IN OCT./NOV.) | (0.7 LBS./1,000 SF) |

STANDARD COUNTY NOTE:

1. NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW

19-023
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EROSION AND SEDIMENTATION CONTROL PLAN AND NOTES

SCALE: 1"=60'

CONSTRUCTION SEQUENCE
 1. REMOVE ALL EXISTING STRUCTURES.
 2. APPLY FOR BUILDING PERMIT.
 3. STAKEOUT DRIVEWAY CENTERLINE, CATCH BASINS AND PIPING SWALES.
 4. INSTALL TEMPORARY EROSION CONTROL DEVICES AND STABILIZED CONSTRUCTION ENTRANCE.
 5. CLEAR DRIVEWAY AREA AND STOCKPILE SOIL.
 6. BUILD SWALES AND DRAINAGE STRUCTURES.
 7. PERFORM ROUGH GRADING FOR DRIVEWAY.
 8. FINE GRADE SITE, PLACE DRIVEWAY SUBBASE, AND SEED UNPAVED AREAS.
 9. COMPLETE CONSTRUCTION.
 10. REMOVE TEMPORARY EROSION CONTROL DEVICES.

ROLL OFF DUMPSTERS AND TRASH RECEPTACLES ARE TO REMAIN ON SITE FOR THE DURATION OF THE PROJECT FOR THE PROPER COLLECTION AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND ADDITIONAL LITTER PRODUCED BY WORKERS

ADDITIONAL TREE PROTECTION NOTES
 1. LIMITS OF DISTURBANCE SHALL BE STAKED OUT FOR CONSTRUCTION OF THE PRIVATE ROAD AND STORMWATER MANAGEMENT POND AND IDENTIFIED WITH TREE PROTECTION FENCING PRIOR TO ISSUANCE OF A BUILDING PERMIT FROM THE TOWN OF NEWBURGH BUILDING DEPARTMENT.
 2. PROTECTION FENCING SHALL INCLUDE THE IMMEDIATE LIMITS OF DISTURBANCE ALONG WITH TREES WITHIN 50' OF THE ROAD AND STORMWATER MANAGEMENT POND.
 3. TREE PROTECTION FENCING SHALL BE INSTALLED ALONG THE LIMITS OF DISTURBANCE ON THE INDIVIDUAL LOTS AS THEY ARE DEVELOPED.

NOTES:
 LIMITS OF DISTURBANCE IS 3.27 ACRES.
 FOR ALL CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

THIS EROSION CONTROL PLAN SHALL BE USED FOR EROSION CONTROL METHODS AND LOCATIONS ONLY. DO NOT USE THIS PLAN FOR BUILDING, PAVED AREA, UTILITY LOCATIONS, etc.

THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR THE CONSTRUCTION & MAINTENANCE OF THE MEASURES AS DETAILED ON THIS PLAN INCLUDING THE TECHNICAL SPECIFICATIONS ON THIS PLAN

WARNING- IT IS A VIOLATION OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

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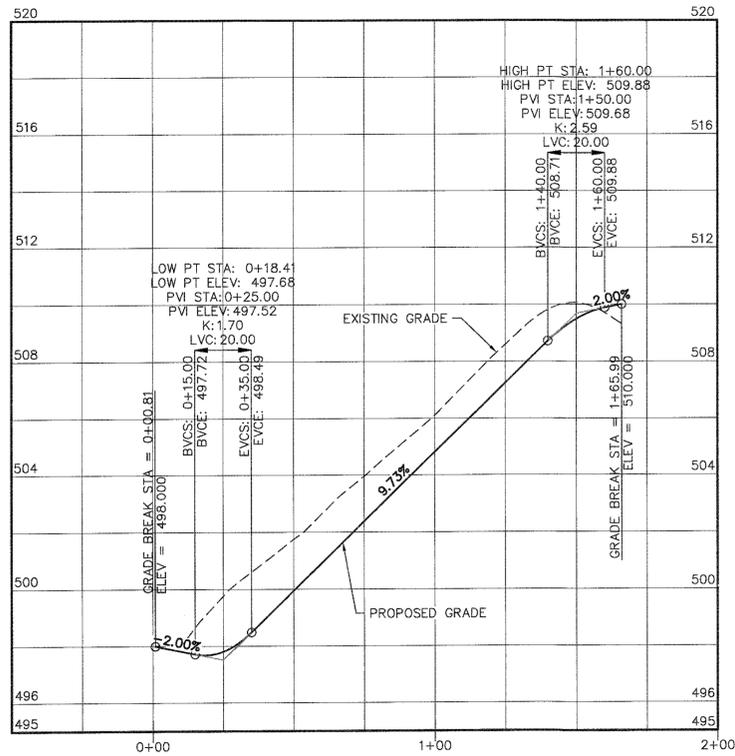
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AMENDED SUBDIVISION PLAN FOR
ROCK CUT ESTATES
 ROCK CUT ROAD
 TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.

EROSION AND SEDIMENTATION CONTROL PLAN AND NOTES

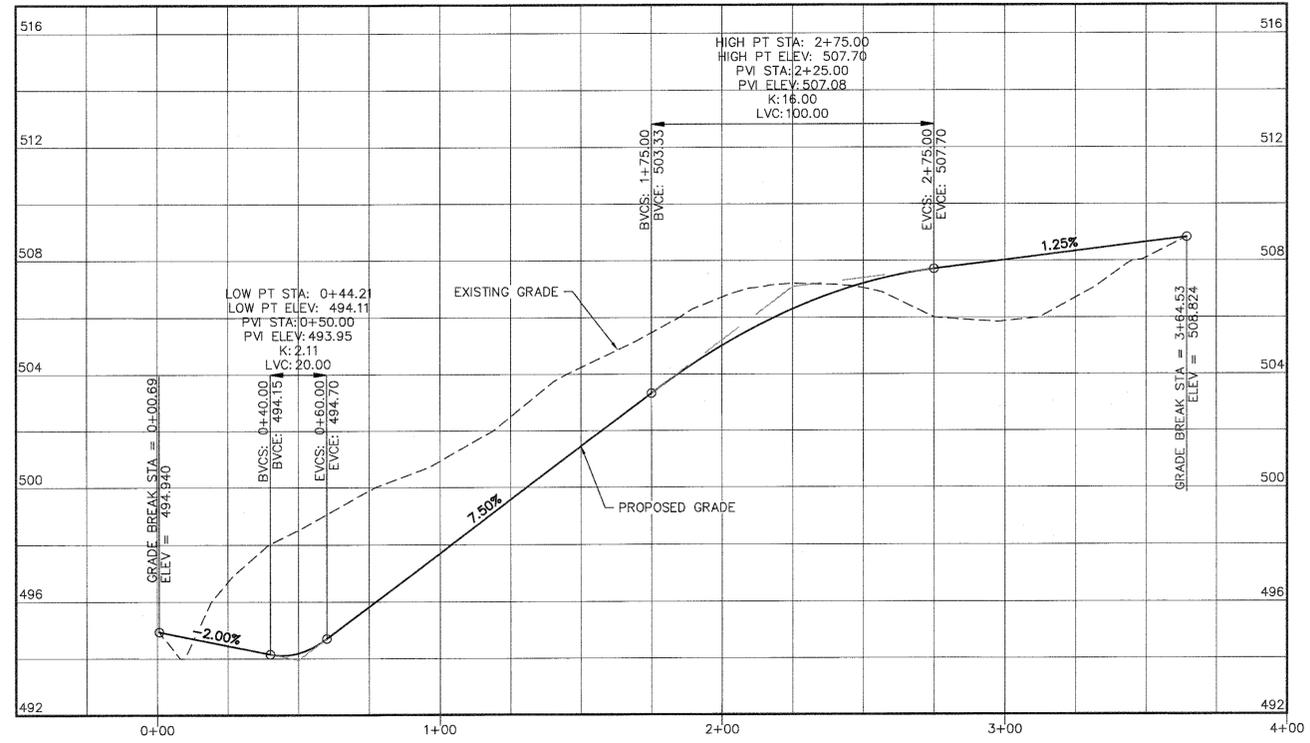
MICHAEL A. MORGANTE, P.E.
 LIC. NO. 78677

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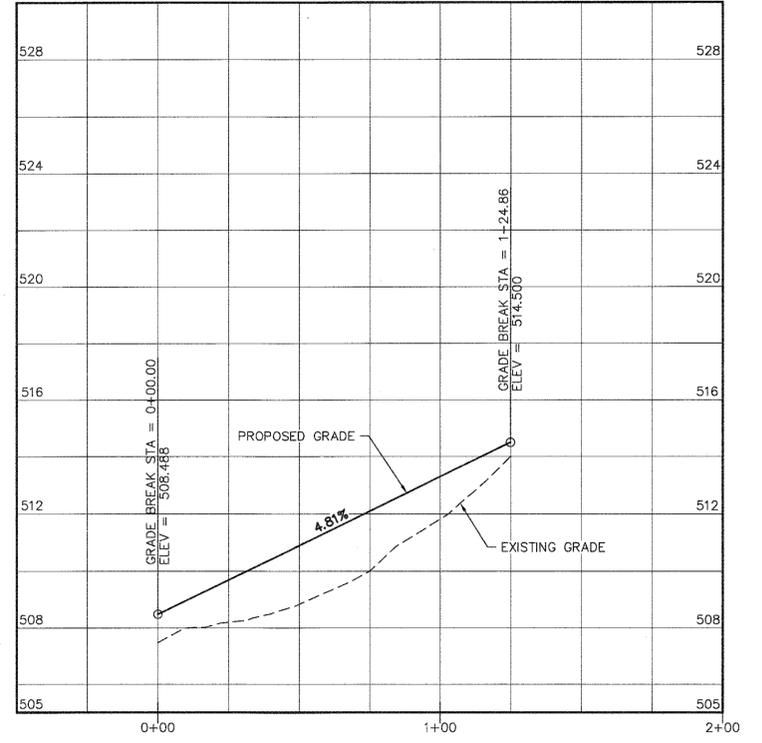
DRIVEWAY LOT 1

HORIZONTAL: 1"=30'
VERTICAL: 1"=3'



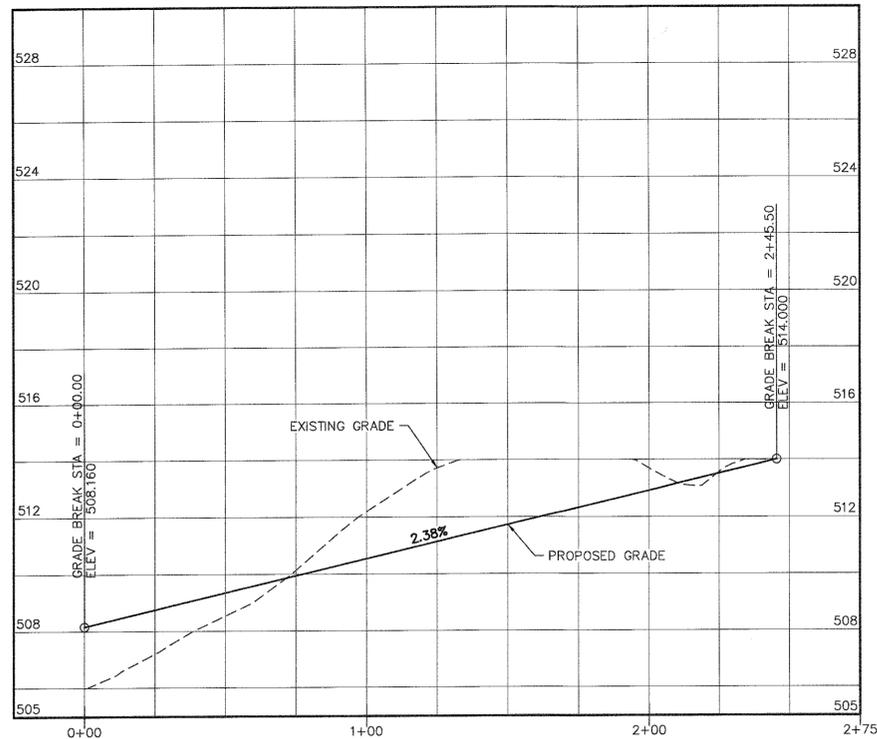
DRIVEWAY LOT 2,3,4

HORIZONTAL: 1"=30'
VERTICAL: 1"=3'



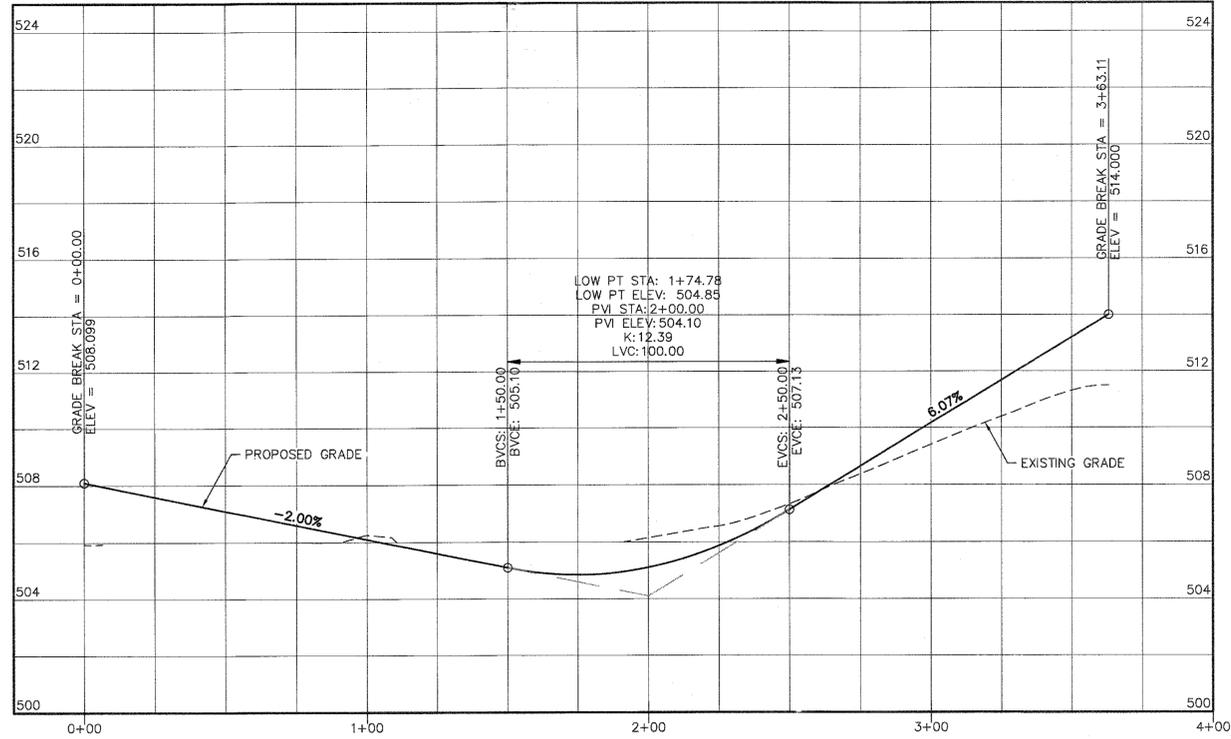
DRIVEWAY LOT 2

HORIZONTAL: 1"=30'
VERTICAL: 1"=3'



DRIVEWAY LOT 3

HORIZONTAL: 1"=30'
VERTICAL: 1"=3'



DRIVEWAY LOT 4

HORIZONTAL: 1"=30'
VERTICAL: 1"=3'

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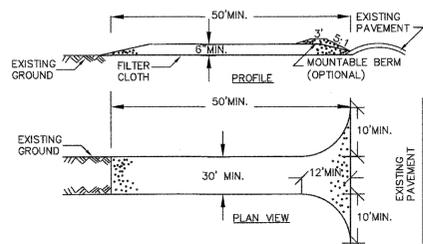
AMENDED SUBDIVISION PLAN FOR
ROCK CUT ESTATES
 ROCK CUT ROAD
 TOWN OF NEWBURCH, ORANGE COUNTY, N.Y.

DRIVEWAY PROFILES

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MICHAEL A. MORGANTE, P.E.
 LIC. NO. 78577

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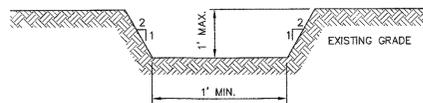


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

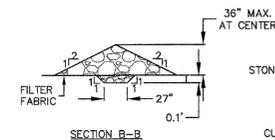
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE
FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"

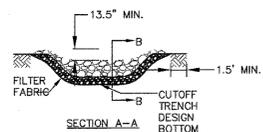


GRASS SWALE DETAIL

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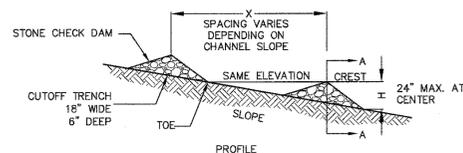
SECTION B-B



SECTION A-A

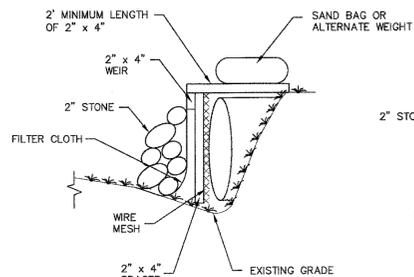
CHECK DAM DETAILS

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

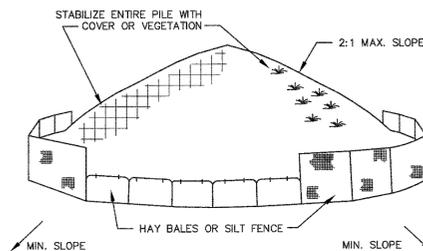
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATION OF THE CREST OF THE DOWN STREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
6. MAXIMUM DRAINAGE AREA IS 2 ACRES ABOVE THE CHECK DAM.



EXISTING CULVERT INLET PROTECTION

NOT TO SCALE

1. FILTER FABRIC SHALL HAVE AN ADS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO THE 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.



INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE
2. MAXIMUM SLOPE OF STOCKPILES SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILE DETAIL

NOT TO SCALE

GRASSED SWALE CONSTRUCTION SPECIFICATIONS

1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE WATERWAY.
4. ALL EARTH REMOVED AND NOT NEEDED TO IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR THE VEGETATIVE PRACTICES.
 - A. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER SEC. SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT, WHEN CONDITIONS PERMIT, TEMPORARY DIVERSIONS OR OTHER MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE WATERWAY DURING THE ESTABLISHMENT OF THE VEGETATION.
 - B. FOR DESIGN VELOCITIES OF MORE THEN 3.5 FT. PER SEC., THE WATERWAY SHALL BE ESTABLISHED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING, INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.
 - C. STRUCTURAL - VEGETATIVE PROTECTION
 - (1) SUBSURFACE DRAIN FOR BASE FLOW SHALL BE CONSTRUCTED AS SHOWN ON THE STANDARD DRAWING AND AS SPECIFIED IN THE STANDARD AND SPECIFICATIONS FOR SUBSURFACE DRAIN.

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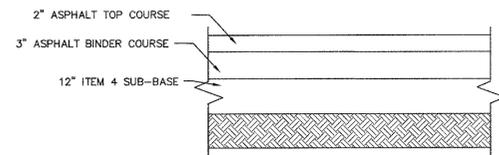
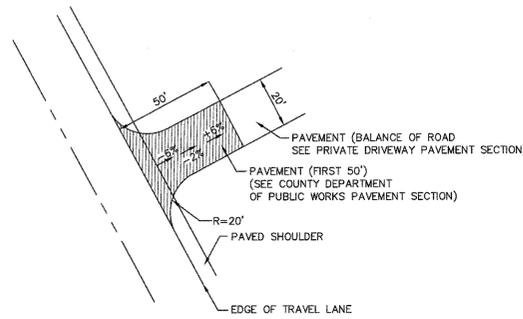
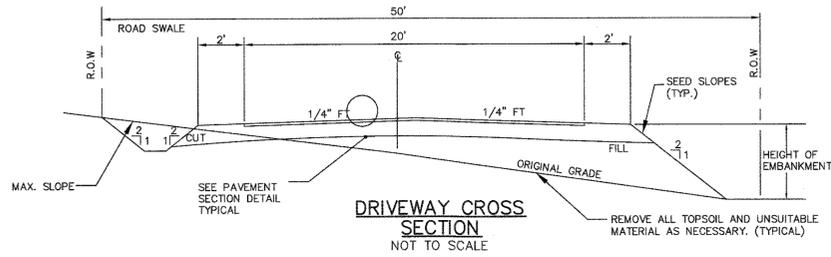
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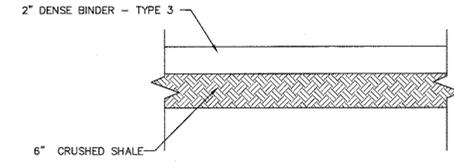
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LIC. NO. 78577

COUNTY NOTE:

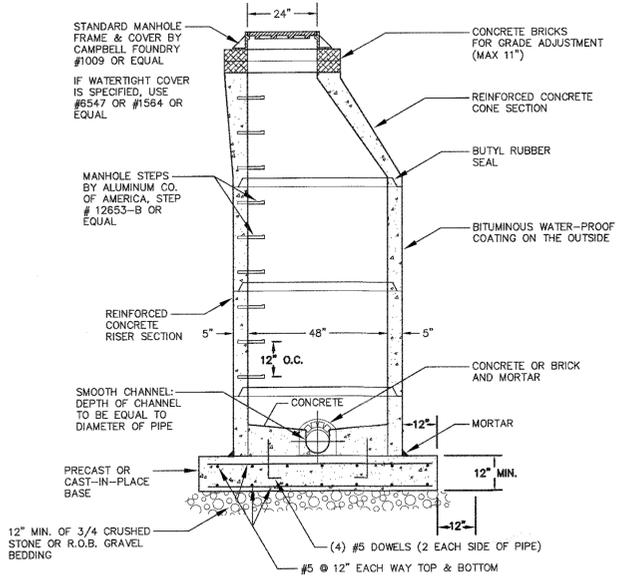
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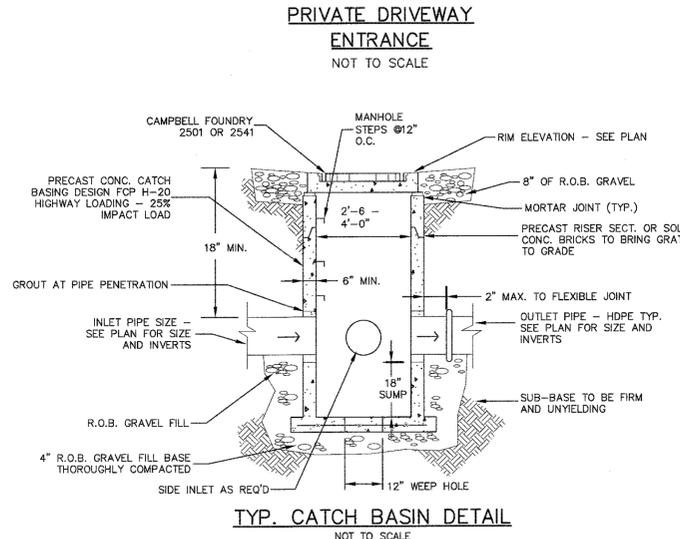
COUNTY DEPARTMENT OF PUBLIC WORKS PAVEMENT SECTION
(FIRST 50')
NOT TO SCALE



PRIVATE DRIVEWAY PAVEMENT SECTION
(BALANCE OF ROAD)
NOT TO SCALE



STORM DRAIN MANHOLE
NOT TO SCALE



TYP. CATCH BASIN DETAIL
NOT TO SCALE

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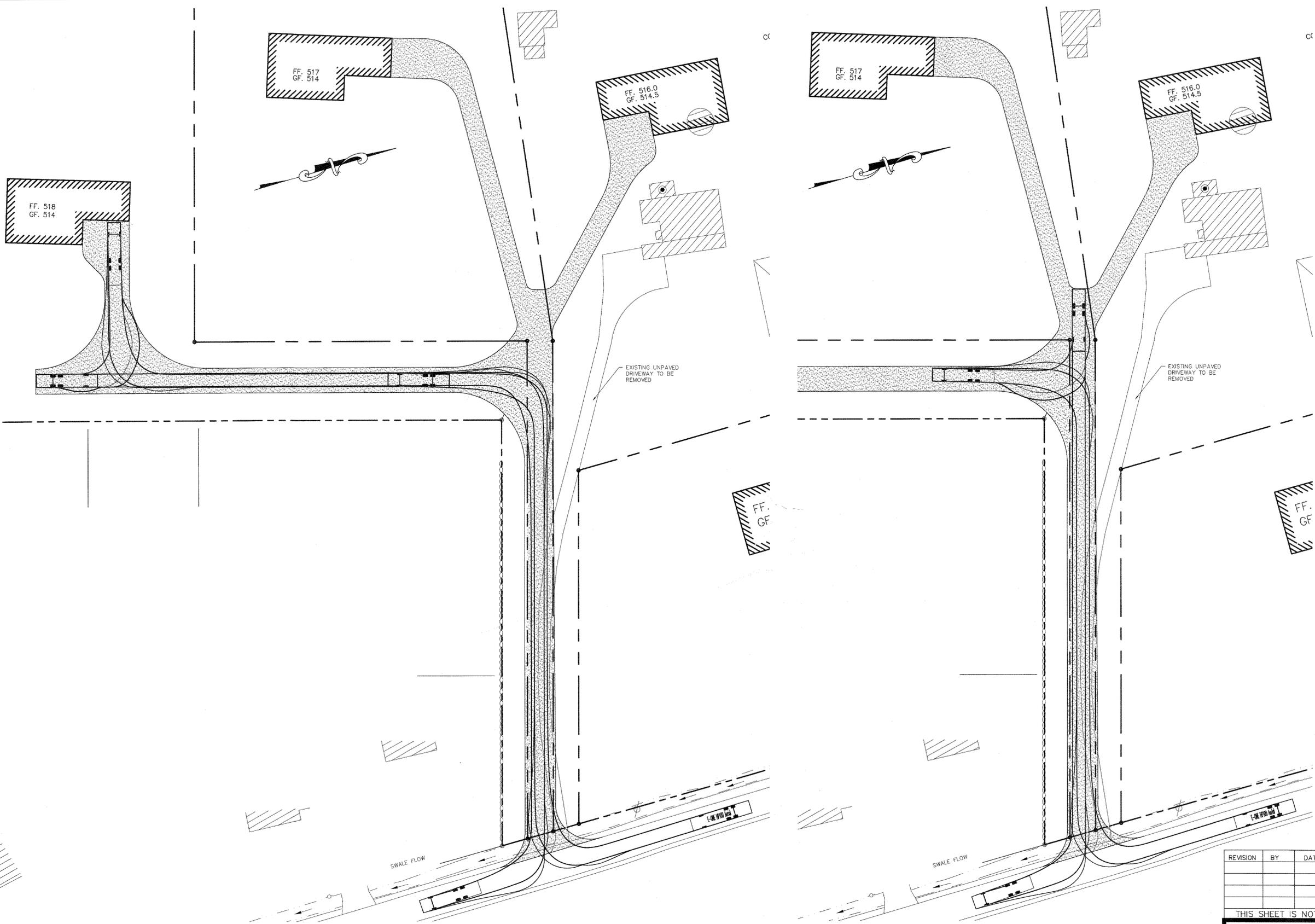
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ROCK CUT ROAD
TOWN OF NEWBURCH, ORANGE COUNTY, N.Y.

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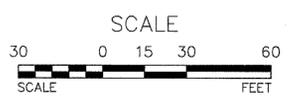
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TURNING DIAGRAM

MICHAEL A. MORGANTE, P.E.
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