



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** RIVIAN AUTOMOTIVE  
**PROJECT NO.:** 2021-35  
**PROJECT LOCATION:** SECTION 96, BLOCK 1, LOT 6.2  
**REVIEW DATE:** 14 FEBRUARY 2022  
**MEETING DATE:** 17 FEBRUARY 2022  
**PROJECT REPRESENTATIVE:** GPD ENGINEERING & ARCHITECTURE

1. The applicants representative have provided responses to our 6 January 2022 comments.
2. In response to the comment regarding total parking on the space versus parking dedicated to vehicle specific brands including Tesla and Rivian. The Planning Board requested a total parking count minus the dedicated brand spaces be provided. Rivian has identified that their six spots are still available for parking and therefore have no impact on the Site Plan. We believe that this answer is not responsive to the Planning Boards concern.
3. County Planning referral is required based on the re-submitted plans.
4. The Planning Board should discuss whether a Public Hearing for the Site Plan Amendment will be required.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines  
Principal  
PJH/kbw

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



February 2, 2022  
2020264.38

**Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550**

## Planning Board Submittal Cover Letter

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**Project Name: Rivian Automotive**

**Project Number: 2021-35**

To whom it may concern,

Our office, GPD Group, Professional Corporation, is the engineering firm handling the design and permitting process for the proposed Rivian electric vehicle charging station located in the existing parking lot for the address listed above. The proposed EV station is to be installed on the northwest side of the parking area and will include the installation of 1 utility transformer, 1 switchgear assembly, 2 Rivian power cabinets, 6 DCFC charging posts, a Trex fence enclosure, and a retaining wall.

Please find included in the submittal package the following: 1 project cover letter, 1 letter of transmittal, 12 sets of revised plan sheets, 12 narrative letters responding to the Planning Board Comments, 12 sets of photo renderings, and 12 narratives for the Architectural Review Board.

If you have any questions or concerns with our submittal, please contact me by phone at 330-572-3575 or by email at [gpdchargepermits@gpdgroup.com](mailto:gpdchargepermits@gpdgroup.com).

Sincerely,

GPD Group

*Ian Russell*

Ian Russell  
Planning Specialist

# DCFC ADVENTURE NETWORK



GPD Engineering and Architecture  
Professional Corporation  
520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101



PROJECT INFORMATION	
SITE ADDRESS	1219-1221 ROUTE 300 NEWBURGH, NY 12550 41.501014°, -74.072339°
UTILITY NAME	CENTRAL HUDSON GAS & ELECTRIC
UTILITY ADDRESS	2001 ROUTE 9W LAKE KATHRINE, NY 12449
UTILITY CONTACT INFORMATION	NATHAN K. JACKSON (845) 563-4538 NJACKSON@CENHUD.COM
RIVIAN DEPLOYMENT MANAGER CONTACT INFORMATION	ANKUR DOSHI ADOSHI@RIVIAN.COM (717) 903-5334
RIVIAN REAL ESTATE MANAGER CONTACT INFORMATION	TJ LINDSAY TLINDSAY@RIVIAN.COM (203) 644-8400
CIVIL ENGINEER OF RECORD (EOR)	LEONARD SFERRA
ELECTRICAL EOR	STEVE SCHAUB
EOR ADDRESS	520 S MAIN STREET AKRON, OHIO 44311
EOR CONTACT INFORMATION	(330) 572-2100
APN #	33460009600000010062000000
COUNTY	ORANGE
PROPERTY OWNER	N&N UNION, LLC.
PROPERTY OWNER CONTACT	NICK CITERA
AHJ CONTACT INFORMATION	TOWN OF NEWBURGH



SHEET INDEX			
SHEET	CIVIL SHEET NAME	REV	DATE
C-001	COVER SHEET	2	01/28/22
	ENGINEERING DESIGN SURVEY (BY OTHERS)		05/25/21
-	PRELIMINARY RIVIAN EQUIPMENT SPEC SHEET		08/02/21
C-002	CIVIL CONSTRUCTION NOTES	2	01/28/22
C-003	CIVIL CONSTRUCTION NOTES	2	01/28/22
C-100	OVERALL SITE PLAN	2	01/28/22
C-101	EXISTING CONDITIONS AND DEMOLITION PLAN	2	01/28/22
C-111	CIVIL SITE PLAN	2	01/28/22
C-112	DIMENSION SITE PLAN	2	01/28/22
C-113	GRADING PLAN	2	01/28/22
C-114	ELEVATION PLAN	2	01/28/22
C-115	CIVIL DETAILS	2	01/28/22
C-201	CIVIL DETAILS	2	01/28/22
C-202	CIVIL DETAILS	2	01/28/22
S-001	GENERAL STRUCTURAL NOTES	2	01/28/22
S-101	FOUNDATION PLAN AND DETAILS	2	01/28/22
SHEET	ELECTRICAL SHEET NAME	REV	DATE
E-001	ELECTRICAL GENERAL NOTES	2	01/28/22
E-002	ELECTRICAL GENERAL NOTES	2	01/28/22
E-101	ELECTRICAL SITE PLAN	2	01/28/22
E-201	SINGLE LINE DIAGRAM	2	01/28/22
E-202	PANEL SCHEDULE	2	01/28/22
E-301	ELECTRICAL DETAILS	2	01/28/22

**PLAN REPRODUCTION WARNING**  
THE PLANS HAVE BEEN PREPARED FOR PRINTING ON ANSI B (11"x17") SHEETS. PRINTING ON OTHER SIZE SHEETS MAY DISTORT SCALES. REFER TO GRAPHIC SCALES.



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A	07/08/21	ISSUED FOR 50% REVIEW
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2	02/01/22	REVISED PER COMMENTS

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02/01/22

DCFC ADVENTURE NETWORK  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

COVER SHEET

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
2020264.38

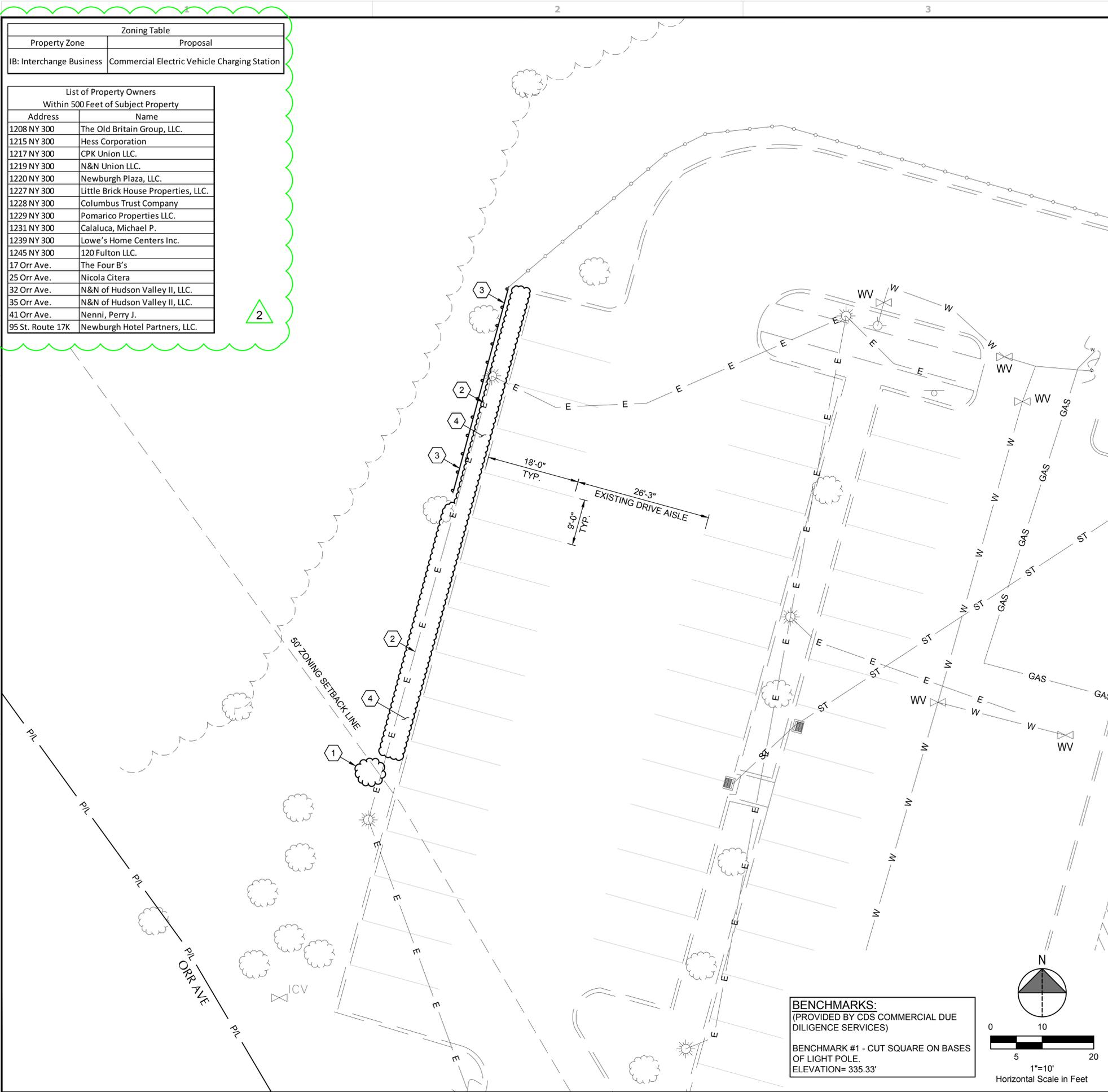
C-001



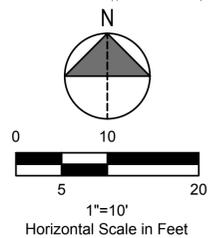
Zoning Table	
Property Zone	Proposal
IB: Interchange Business	Commercial Electric Vehicle Charging Station

List of Property Owners Within 500 Feet of Subject Property	
Address	Name
1208 NY 300	The Old Britain Group, LLC.
1215 NY 300	Hess Corporation
1217 NY 300	CPK Union LLC.
1219 NY 300	N&N Union LLC.
1220 NY 300	Newburgh Plaza, LLC.
1227 NY 300	Little Brick House Properties, LLC.
1228 NY 300	Columbus Trust Company
1229 NY 300	Pomario Properties LLC.
1231 NY 300	Calaluca, Michael P.
1239 NY 300	Lowe's Home Centers Inc.
1245 NY 300	120 Fulton LLC.
17 Orr Ave.	The Four B's
25 Orr Ave.	Nicola Citera
32 Orr Ave.	N&N of Hudson Valley II, LLC.
35 Orr Ave.	N&N of Hudson Valley II, LLC.
41 Orr Ave.	Nenni, Perry J.
95 St. Route 17K	Newburgh Hotel Partners, LLC.

2



**BENCHMARKS:**  
(PROVIDED BY CDS COMMERCIAL DUE DILIGENCE SERVICES)  
BENCHMARK #1 - CUT SQUARE ON BASES OF LIGHT POLE.  
ELEVATION= 335.33'



**GENERAL SHEET NOTES**

- CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB (SEE DETAIL ON SHEET C-202) AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING. APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.

**PLAN KEYNOTES**

- EXISTING LANDSCAPING (INCLUDING BUSHES, TREES, ETC.) TO BE REMOVED.
- EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED, AS NEEDED.
- EXISTING WOOD GUARDRAIL TO BE REMOVED.
- EXISTING LANDSCAPING TO BE REMOVED (SHRUB, PERENNIALS, GROUNDCOVER, ETC.). CONTRACTOR SHALL VERIFY EXACT SIZE AND TYPE IN FIELD.

**LEGEND**

(SEE SHEET C-002 FOR GENERAL LEGEND)

# DEMOLITION KEYNOTE



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**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550  
**EXISTING CONDITIONS  
AND REMOVALS PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**C-101**

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02/01/22

**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

**CIVIL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**C-111**

**GENERAL SHEET NOTES**

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
  - THE CONTRACTOR SHALL ENSURE EXISTING CURBING AND PAVEMENT IS NOT TO BE DAMAGED ACCESSING WORK AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE CURBING AND PAVEMENT IF DAMAGED.
  - CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB (SEE DETAIL(S) ON SHEET C-202) AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING, APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
  - APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.
- PLAN KEYNOTES**
- PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). PROPOSED CTS MOUNTED IN TRANSFORMER. CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY.
  - PROPOSED ELECTRIC METER MOUNTED ON H-FRAME PER ELECTRIC COMPANY SPECIFICATIONS AND DETAILS ON ELECTRICAL SHEETS.
  - PROPOSED SWITCHGEAR PER ELECTRICAL DRAWINGS. SEE DETAIL ON SHEET C-201.
  - PROPOSED RIVIAN POWER CABINETS (TOTAL OF 2) MOUNTED ON CONCRETE PAD. SEE DETAIL ON SHEET C-201.
  - PROPOSED RIVIAN DCFC DISPENSER (TOTAL OF 6) MOUNTED ON INDIVIDUAL FOUNDATIONS. SEE DETAIL ON SHEET C-201.
  - PROPOSED NON-ILLUMINATED 2 IN 1 BOLLARDS EV CHARGING SIGN PER SIGN SUPPLIER SPECIFICATIONS (TOTAL OF 6). CONTRACTOR SHALL INSTALL FOUNDATION. SEE DETAIL ON SHEET C-201.
  - PROPOSED P.C.C. EQUIPMENT PAD. SEE DETAIL ON SHEET C-201.
  - PROPOSED LANDSCAPE: TREE. (1) TOTAL QUANTITY ACER RUBRUM, RED MAPLE. TO BE PLANTED AT 2" CAL. IN SIZE, B&B. SEE SHEET C-201 FOR PLANTING DETAIL AND C-003 FOR LANDSCAPE/IRRIGATION NOTES.
  - PROPOSED DETERRENT BOLLARDS (TYPICAL OF 3). SEE DETAIL ON SHEET C-201.
  - PROPOSED REMOVABLE BOLLARDS (TYPICAL OF 2). SEE DETAIL ON SHEET C-202.
  - EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED, AS NEEDED
  - PROPOSED CMU RETAINING WALL. CMU BLOCK SHALL CONFORM WITH ASTM C90 TYPE 1 OR 2 WITH A MINIMUM PRISM STRENGTH FOR 2,000 PSI. SEE DETAILS ON SHEETS S-001 & S-101.
  - PROPOSED RETAINING WALL RAILING. SEE DETAIL ON SHEET S-101.
  - PROPOSED LANDSCAPE: SHRUBS. (6) TOTAL QUANTITY VIBURNUM x CARLCEPHALUM 'CAYUGA', CAYUGA VIBURNUM. TO BE PLANTED AT 36" HT., NO. 5 CONT. MIN., SPACED PER PLAN. TO BE PLANTED WITHIN MULCHED LANDSCAPE AREA. SEE PLANTING/IRRIGATION NOTES ON SHEET C-003 AND PLANTING DETAIL ON SHEET C-201 & C-202.
  - ALL DISTURBED AREAS NOT TO BE PAVED OR MULCHED SHALL BE SODDED PER LANDSCAPE/IRRIGATION NOTES ON SHEET C-003.
  - PROPOSED TREX 'SECLUSION HORIZONTAL' FENCING. SEE DETAILS ON SHEET C-115.
  - PROPOSED TREX "SECLUSION HORIZONTAL" SINGLE GATE WITH KEYPAD AND PANIC HARDWARE. SEE DETAILS ON SHEET C-115.

**LEGEND**  
(SEE SHEET C-002 FOR GENERAL LEGEND)

- PROPOSED RIVIAN DCFC DISPENSER
- CONSTRUCTION KEYNOTE

**The Shoppes at Union Square Parking Calculation**

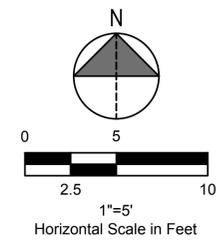
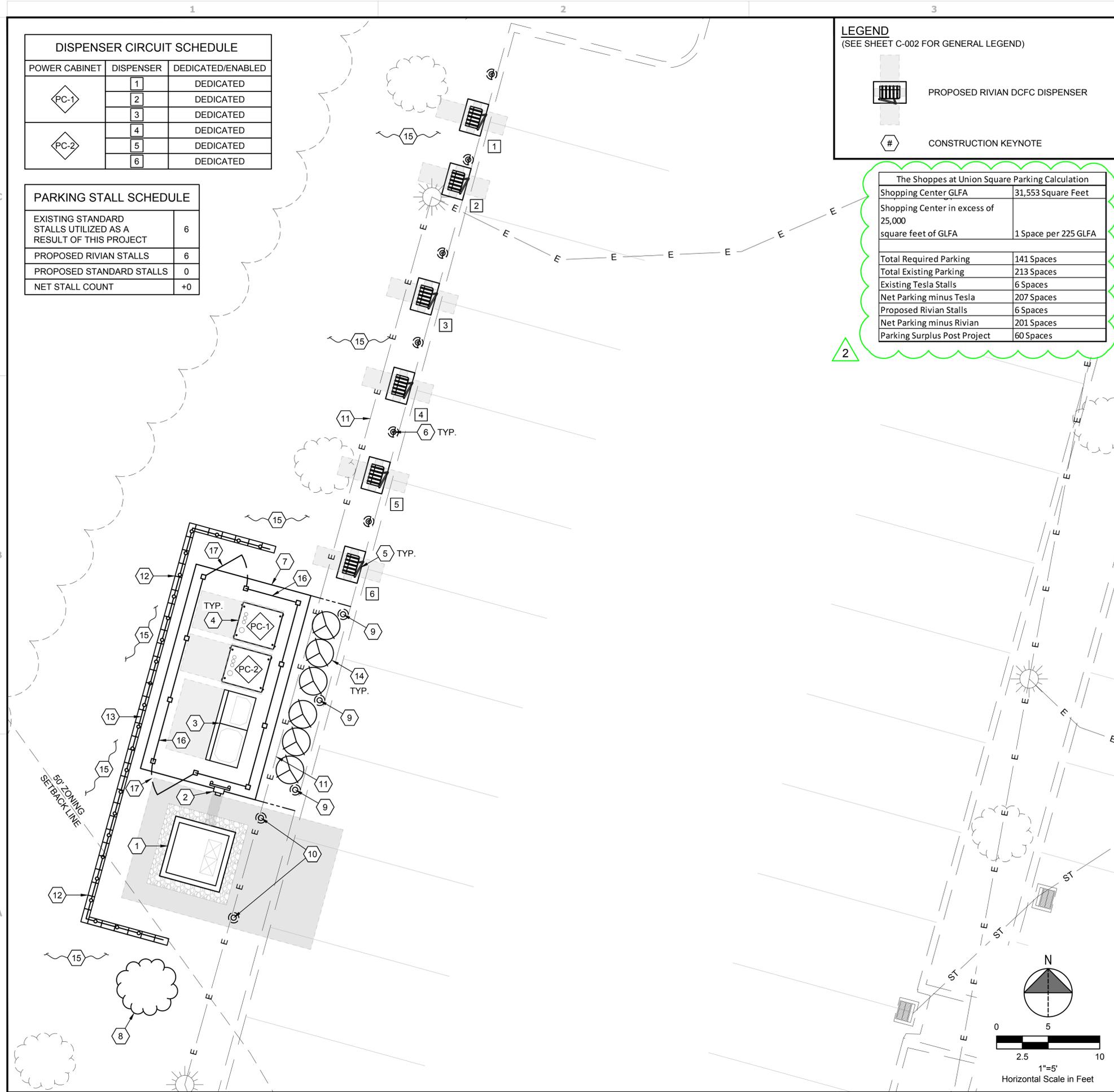
Shopping Center GLFA	31,553 Square Feet
Shopping Center in excess of 25,000 square feet of GLFA	1 Space per 225 GLFA
Total Required Parking	141 Spaces
Total Existing Parking	213 Spaces
Existing Tesla Stalls	6 Spaces
Net Parking minus Tesla	207 Spaces
Proposed Rivian Stalls	6 Spaces
Net Parking minus Rivian	201 Spaces
Parking Surplus Post Project	60 Spaces

**DISPENSER CIRCUIT SCHEDULE**

POWER CABINET	DISPENSER	DEDICATED/ENABLED
PC-1	1	DEDICATED
	2	DEDICATED
	3	DEDICATED
PC-2	4	DEDICATED
	5	DEDICATED
	6	DEDICATED

**PARKING STALL SCHEDULE**

EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	6
PROPOSED RIVIAN STALLS	6
PROPOSED STANDARD STALLS	0
NET STALL COUNT	+0



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02/01/22

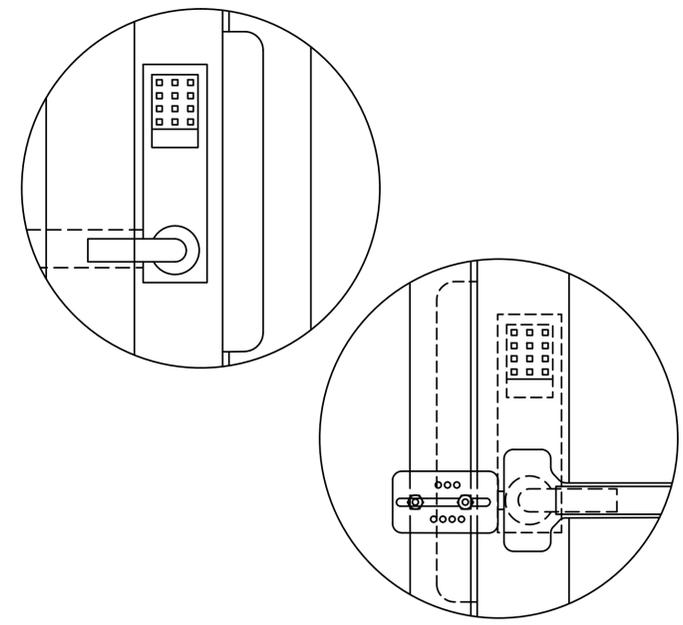
**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

**CIVIL DETAILS**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**C-115**



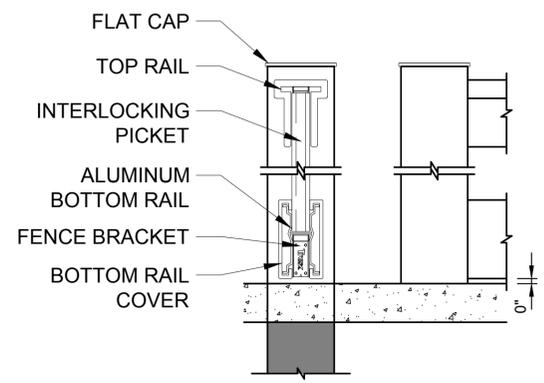
**NOTES**

- FOR SOLID GATES & DOORS, CONTRACTOR SHALL UTILIZE LOCKEY STYLE 285P MED DUTY LEVER WITH PANIC BAR OR APPROVED EQUAL. PURCHASE ADDITIONAL ACCESSORIES AS REQUIRED.
- FOR CHAINLINK GATES, CONTRACTOR SHALL UTILIZE LOCKEY PS11-SECURITY KIT OR APPROVED EQUAL.

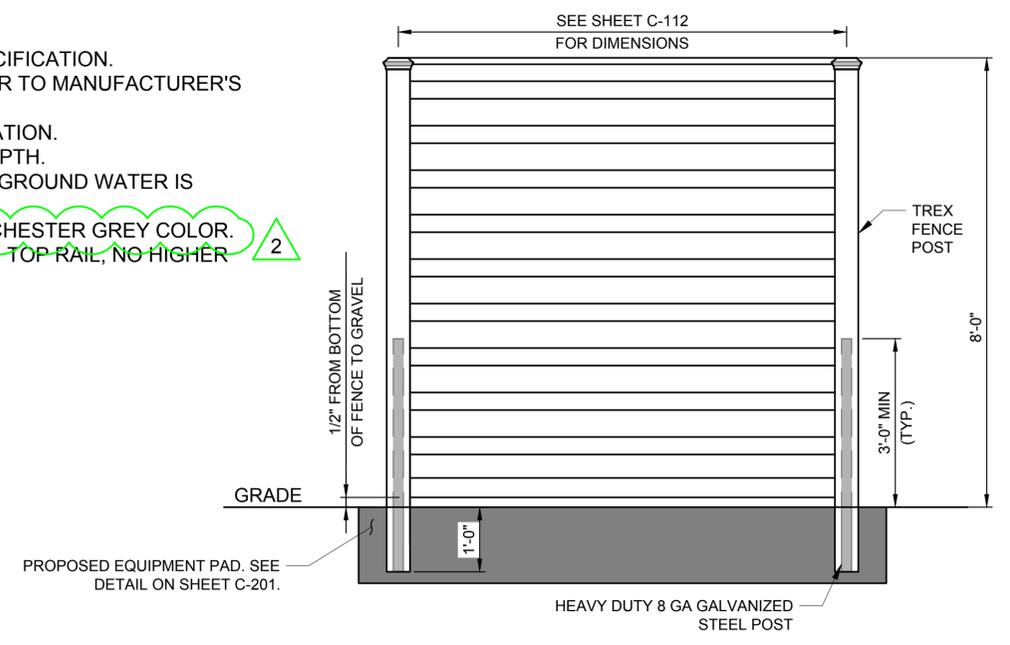
**B-1** SINGLE GATE KYPAD DETAIL WITH PANIC HARDWARE  
NTS

**NOTES:**

- INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
- THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
- REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
- IF FROST DEPTH EXCEEDS 4'-0", FOOTER TO EXCEED FROST DEPTH.
- ENGINEER OF RECORD SHALL BE CONTACTED IMMEDIATELY IF GROUND WATER IS ENCOUNTERED DURING CONSTRUCTION.
- FENCING SHALL BE TREX "SECLUSION HORIZONTAL" TYPE WINCHESTER GREY COLOR.
- GENERAL CONTRACTOR TO FIELD MODIFY POST AT ALIGN WITH TOP RAIL, NO HIGHER THAN 8'-0".



**B-2** TREX FENCE DETAIL  
NTS



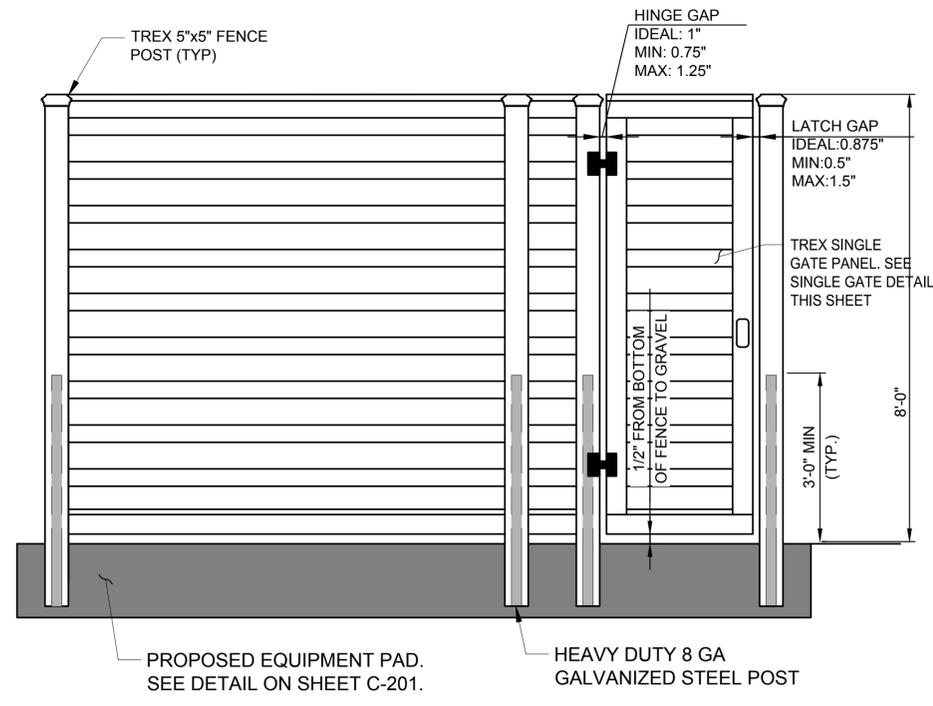
**GATE NOTES:**

- TREX SECLUSIONS HORIZONTAL SINGLE GATE OPENING AT 46-1/4" BETWEEN EDGE OF COMPOSITE POSTS
- REFER TO SITE PLAN FOR APPLICABLE GATE TYPES AND QUANTITIES

**INSTALLATION NOTES:**

- INSTALLATION TO BE COMPLETED PER MANUFACTURER'S RECOMMENDATIONS.
- THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR CONSTRUCTION DETAILS.
- REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
- DRAWING NOT TO SCALE.
- IF FROST DEPTH EXCEEDS 4'-0", FOOTER TO EXCEED FROST DEPTH.
- WHERE POSSIBLE, FOUNDATION TO BE INTREGRAL W/ EQUIPMENT PAD.

**A-2** TREX GATE DETAIL  
NTS



**A-1** DETAIL NOT USED  
NTS

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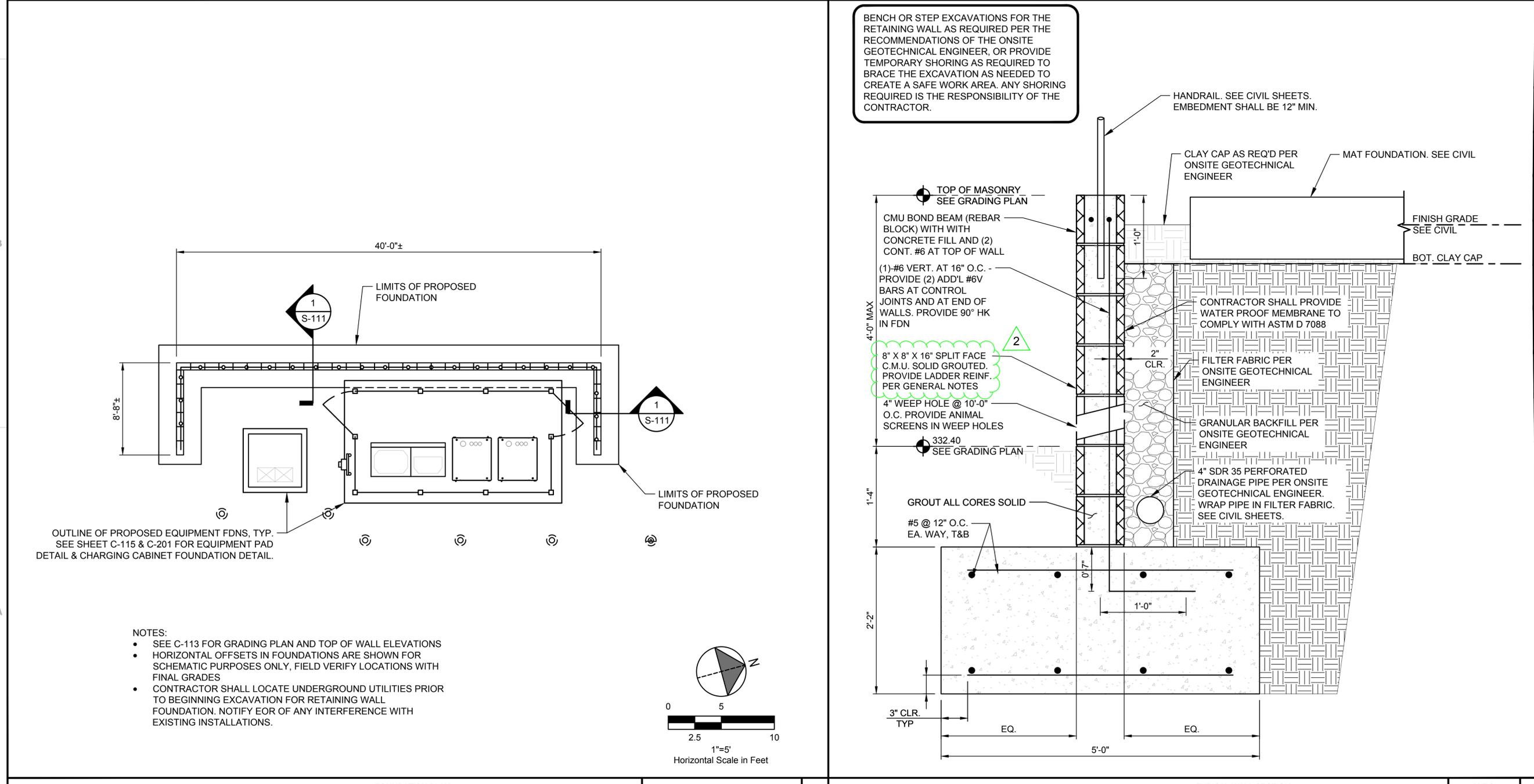
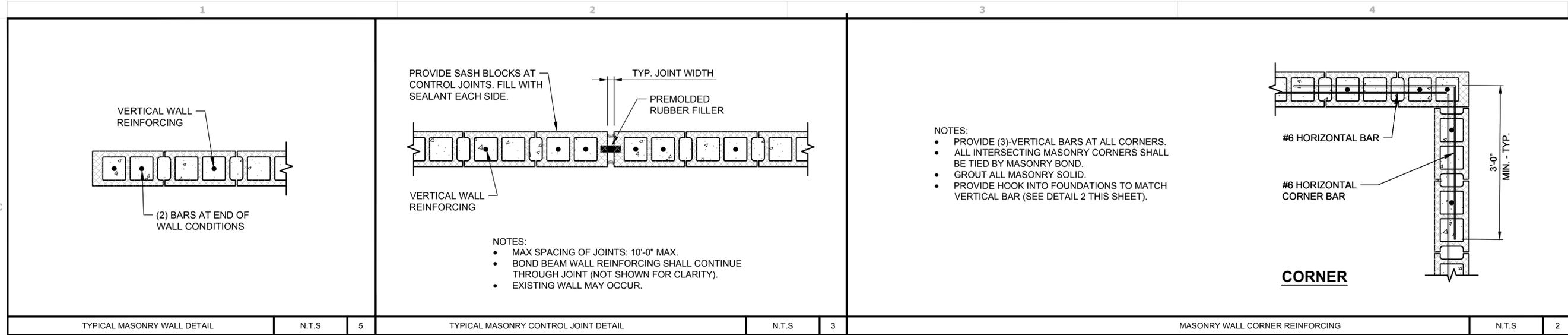
**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

**FOUNDATION PLAN AND DETAILS**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**S-101**



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**DCFC ADVENTURE NETWORK**  
1219-1221 ROUTE 300  
NEWBURGH, NY 12550

**ELECTRICAL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	KSB

JOB NO.  
**2020264.38**

**E-101**

**GENERAL SHEET NOTES**

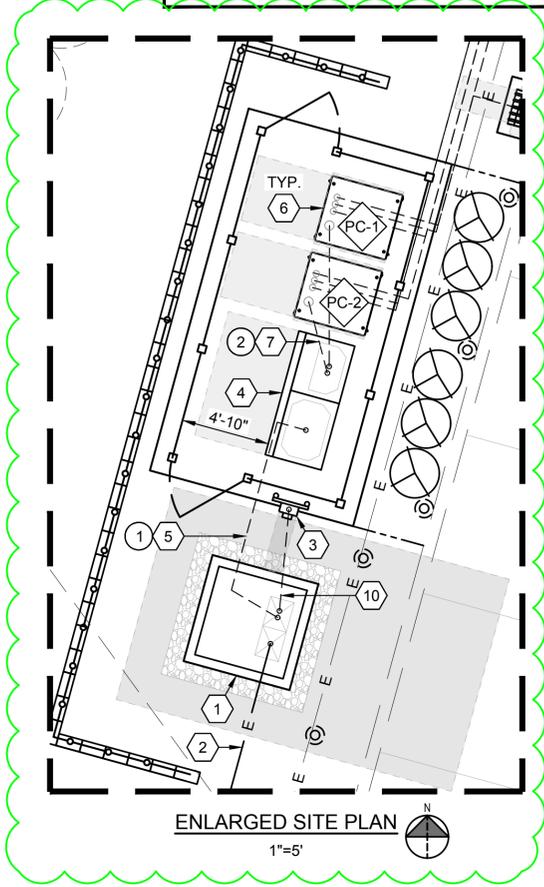
1. THE EXACT ROUTING PATH AND CONDUCTOR RUN LENGTHS SHALL BE DETERMINED BY CONTRACTOR IN FIELD BASED ON PHYSICAL MEASUREMENTS. CONTRACTOR SHALL ORDER CONDUCTORS BASED ON FIELD MEASUREMENTS (MUST BE APPROVED BY RIVIAN PROJECT MANAGER).
2. THE CONDUIT ROUTING SHOWN IS DIAGRAMMATICAL ONLY, CONTRACTOR SHALL FIELD VERIFY EXACT ROUTING PRIOR TO LAYING CONDUIT.
3. CONTRACTOR SHALL REFER TO CIVIL SHEETS FOR EXISTING LANDSCAPING TO REMAIN AND PROPOSED LANDSCAPING.
4. CONTRACTOR SHALL HAND DIG AROUND ALL EXISTING UTILITIES.
5. CONDUIT ELBOWS SHALL BE SIZED PER NEC. CONTRACTOR SHALL VERIFY MANUFACTURER ALLOWABLE FILL AND MINIMUM CONDUCTOR BENDING RADIUS. SEE FEEDER SCHEDULE FOR CONDUIT & CONDUCTOR SPECIFICATIONS.
6. ALL CONDUITS ACCESSIBLE TO THE PUBLIC OR WHICH CAN BE DAMAGED SHALL BE RIGID GALVANIZED STEEL.
7. CONTRACTOR MUST REFERENCE FINAL UTILITY DESIGN FOR DIVISION OF RESPONSIBILITIES AND SCOPE OF WORK.

**PLAN KEYNOTES**

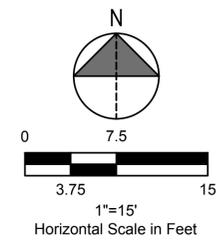
1. PROPOSED UTILITY TRANSFORMER WITH TAPS, 480V/277V, 3Ø, 4W MOUNTED ON CONCRETE PAD. PROPOSED CTs MOUNTED IN TRANSFORMER.
2. PROPOSED UNDERGROUND PRIMARY CONDUITS AND CONDUCTORS. COORDINATE WITH UTILITY FOR CONDUIT SIZE, QUANTITY, COMPLETE ROUTING AND PROVIDE ALL LABOR AND MATERIALS AS REQUIRED. SEE GENERAL SHEET NOTE 7, THIS SHEET.
3. PROPOSED UTILITY METER MOUNTED ON H-FRAME. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF METER WITH POWER COMPANY. SEE GENERAL SHEET NOTE 7, THIS SHEET.
4. PROPOSED SWITCHGEAR MOUNTED TO CONCRETE PAD. SEE CIVIL SHEETS FOR CONCRETE SPECIFICATIONS.
5. PROPOSED UNDERGROUND SERVICE LATERAL CONDUITS FROM PROPOSED TRANSFORMER TO SWITCHGEAR PER POWER COMPANY REQUIREMENTS. SEE DETAIL ON SHEET E-301.
6. PROPOSED RIVIAN POWER CABINETS (TOTAL OF 2) MOUNTED ON CONCRETE PAD. SEE CIVIL SHEETS FOR CONCRETE SPECIFICATIONS.
7. PROPOSED CONDUITS FROM SWITCHGEAR TO RIVIAN POWER CABINETS. SEE DETAIL ON SHEET E-301.
8. PROPOSED RIVIAN DCFC DISPENSER (TYPICAL OF 6).
9. PROPOSED RIVIAN DCFC DISPENSER CONDUITS (1 PER POST). UNDERGROUND CONDUITS SHALL BE ROUTED UP THROUGH CONCRETE SLAB. SEE DETAIL ON SHEET E-301.
10. PROPOSED UNDERGROUND 1-1/4" RGS METERING CONDUIT FROM METER ON H-FRAME TO TRANSFORMER. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF H-FRAME MOUNTED METER WITH UTILITY.

**LEGEND**  
(SEE SHEET C-002 FOR GENERAL LEGEND)

- # CONSTRUCTION KEYNOTE
- # FEEDER SCHEDULE REFERENCE. SEE SHEET E-201 FOR FEEDER / CIRCUIT SCHEDULE.



2



PROJECT AREA: SEE ENLARGED SITE PLAN ON THIS SHEET.

EXISTING UNDERGROUND ELECTRIC LINE TO BE RELOCATED, AS NEEDED.

EXISTING 3PH TRANSFORMER

50' ZONING SETBACK LINE

**ARCHITECTURAL REVIEW FORM**  
**TOWN OF NEWBURGH PLANNING BOARD**

**DATE:** 02/02/2022

**NAME OF PROJECT:** Rivian - Newburgh, NY

**The applicant is to submit in writing the following items prior to signing of the site plans.**

**EXTERIOR FINISH (skin of the building):**

**Type (steel, wood, block, split block, etc.)**

Trex Wood Fence Enclosure, Split-Faced CMU Block Retaining Wall

**COLOR OF THE EXTERIOR OF BUILDING:**

Enclosure: Winchester Grey, Retaining Wall: Grey Split Faced CMU

**ACCENT TRIM:**

**Location:** N/A

**Color:** N/A

**Type (material):** N/A

**PARAPET (all roof top mechanicals are to be screened on all four sides):**

N/A

**ROOF:**

**Type (gabled, flat, etc.):** N/A

**Material (shingles, metal, tar & sand, etc.):** N/A

**Color:** N/A

**WINDOWS/SHUTTERS:**

**Color (also trim if different):** N/A

**Type:** N/A

**DOORS:**

**Color:** Winchester Grey

**Type (if different than standard door entrée):** N/A

**SIGN:**

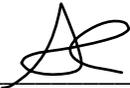
**Color:** Black and White

**Material:** Metal

**Square footage of signage of site:** 7.5 square feet

Ankur Doshi, Project Manager, Charging, Facilities (applicant)

**Please print name and title (owner, agent, builder, superintendent of job, etc.)**

  
\_\_\_\_\_

**Signature**

**John P. Ewasutyn**  
**Town of Newburgh Planning Board Chairman**  
**Town of Newburgh Planning Board**  
**21 Hudson Valley Professional Plaza**  
**Newburgh, NY 12550**

## Rivian EV Charging Station – Architectural Review Letter

Project Name: Rivian Automotive

Project Number: 2021-35

Dear Mr. Ewasutyn and Town of Newburgh Planning Board,

GPD Group, on behalf of Rivian Automotive (Rivian), is writing to provide more information on the aesthetic elements of the Rivian electric vehicle installation for Architectural Review by the Planning Board. From an architectural standpoint, the station will consist of two elements: a Trex fence enclosure for the electrical equipment and a CMU block retaining wall. Other visible items will be the Rivian charge posts and the utility transformer. Along with this short narrative describing the architectural materials and colors, please also find included Photo Renderings of the proposed EV station.

### Trex Enclosure

In order to screen the electrical equipment needed for the station, Rivian is proposing the installation of a Trex fencing enclosure that will block the equipment from view of the street and parking area. The material for the enclosure will be Trex Wood colored Winchester Grey. A color sample of this material can be found below:

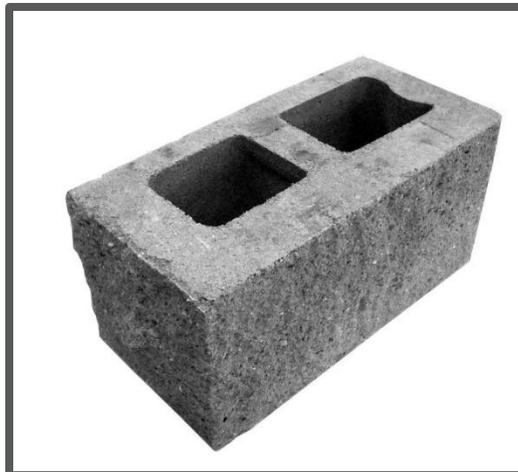


The Winchester Grey color was chosen to best match the neighboring commercial buildings which incorporate a white façade with dark grey and black accent colors. Rivian feels that the Winchester Grey Trex is compatible with the black, white, and grey aesthetic of the site. Please find below photos of the existing site for reference:



### Split Faced CMU Retaining Wall

The project scope will also include the installation of a CMU block retaining wall located on the North end of the site behind the existing parking area. The CMU wall will be composed of grey split-faced blocks similar to the sample provided below:



The chosen block type matches well with other existing CMU structures on site. Nearby the proposed location of the charging station is a trash enclosure that is constructed of similarly colored and textured CMU. Please see below for a photo of the existing enclosure:



Rivian and GPD Group feel as though the selected materials for the enclosure and retaining wall are harmonious with the existing architectural elements of the site. Should the Board have any questions, concerns, or comments please let us know. Please contact Ian Russell with GPD Group by phone at 330-572-3575 or by email at [gpdchargepermits@gpdgroup.com](mailto:gpdchargepermits@gpdgroup.com).

Sincerely,

*Ian Russell*

Ian Russell

Planning Specialist

**John P. Ewasutyn**  
**Town of Newburgh Planning Board Chairman**  
**Town of Newburgh Planning Board**  
**21 Hudson Valley Professional Plaza**  
**Newburgh, NY 12550**

## Rivian EV Charging Station – Response to Board Comments

Project Name: Rivian Automotive

Project Number: 2021-35

Dear Mr. Ewasutyn and Town of Newburgh Planning Board,

GPD Group, on behalf of Rivian Automotive (Rivian), is writing to respond to the Board's comments from the meeting dated January, 6, 2021 in relation to the proposed commercial electric vehicle charging station located at 1219-1221 Route 300 in the Town of Newburgh. GPD Group, the engineering firm for the project, has worked to address each comment as discussed below:

1. The Planning Board may wish to request additional detail on the site to identify the structures and their current uses. In addition, the Town roads should be depicted in the vicinity of the project along with site access drives.

**Response: Additional site detail has been included on Sheet C-100 to depict the adjacent buildings, Town roads, and site access drives.**

2. The parking analysis should be submitted identifying that sufficient non-electric vehicle charging areas are available based on the use of the site as a shopping center. Currently the site contains designated Tesla charging stations. This application proposes 6 parking spaces designated for electric vehicle charging station.

**Response: A parking analysis table has been included on Sheet C-111. Based on the parking requirements for shopping centers in excess of 25,000 gross leasable floor area, the shopping center currently has a surplus of 60 spaces with both the Tesla and Rivian EV stalls included.**

3. Color Renderings of the facility should be provided for the Board's review.

**Response: Colored renderings of the facility have been provided to the Board as part of the resubmittal package.**

4. The proposed landscape shrubs to be located in front of the equipment enclosure shall be planted at 36" height.

Response: Per the Board's request, the proposed Viburnum shrubs have been specified to be planted at 36" height as noted on Sheet C-111.

5. The applicant is requested to identify if the type of CMU block utilized for the lower retaining wall will be split faced or if other architectural covered block will be utilized to match existing Site Plan.

Response: Split faced CMU block will be utilized for the lower retaining wall. A photo sample of the proposed block type will be provided as part of the Architectural Review Board. The split faced block as also been specified on the plans on Sheet S-101.

Rivian Automotive and GPD Group feel as though we have adequately addressed all comments provided by the Board. If there are any further questions or comments please let us know. Please contact Ian Russell with GPD Group by phone at 330-572-3575 or by email at [gpdchargepermits@gpdgroup.com](mailto:gpdchargepermits@gpdgroup.com).

Sincerely,

*Ian Russell*

Ian Russell

Planning Specialist