

ACCESSORY APARTMENT / GARAGE RENOVATION

FOR MICHELLE F. RIDER & GEOFFREY L. BRACKETT

37 DOGWOOD HILLS RD., TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

General Notes

1. ALL WORK SHALL CONFORM TO THE CITY, VILLAGE OR TOWN ZONING ORDINANCES AND BUILDING CODE REQUIREMENTS, AND TO THE NYS RESIDENTIAL CODE AND ENERGY CONSERVATION CODE IN EFFECT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE WORK IS COMMENCED. THIS CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INCLUDING CERTIFICATE OF OCCUPANCY, AND HE OR SHE SHALL PAY FOR ALL INSPECTIONS AND FEES FOR SAME AS REQUIRED.
2. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, UTILITIES AND OTHER SERVICES NECESSARY FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CHECK ALL MEASUREMENTS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK.
4. CONTRACTOR IS REQUIRED TO INFORM HIMSELF AS TO THE CONDITIONS RELATING TO LABOR UNDER WHICH THE WORK WILL BE PERFORMED AND HE WILL BE REQUIRED TO EMPLOY SUCH WORKMEN AND METHODS IN THE EXECUTION OF THE WORK WILL NOT CAUSE INTERRUPTION OR INTERFERENCE WITH THE EXECUTION OF THE WORK.
5. ALL WALLS TO BE ADEQUATELY BRACED AND SHORED UNTIL ALL PERMANENT FRAMING AND SUPPORTS ARE IN PLACE.
6. APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE CONTRACTORS FROM ANY CONTRACTUAL REQUIREMENTS EVEN IF SUCH ITEMS ARE NOT SHOWN ON SHOP DRAWINGS.
7. ALL REVISIONS TO SHOP DRAWINGS AFTER SUBMISSION SHALL BE IDENTIFIED ON DRAWINGS AND SUBMITTED FOR APPROVALS.
8. INTENT : CONTRACTOR SHALL HOLD TO THE INTENT OF THE DRAWINGS AND SHALL MAKE NO CHANGES WITHOUT APPROVAL OF THE ARCHITECT. IT IS THE INTENT OF THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, TESTED, GUARANTEED AND READY FOR OCCUPANCY. THE WORK SHALL INCLUDE ALL ITEMS AND ADJUSTMENTS, REGARDLESS OF WHETHER SPECIFICALLY CALLED FOR ON THE DRAWINGS OR NOT.
9. THESE DRAWINGS HAVE BEEN PREPARED TO SHOW THE GENERAL CONFIGURATION OF THE STRUCTURAL COMPONENTS OF THE RESIDENCE. THE PLANS DO NOT DETAIL, NOR ARE THEY INTENT TO DETAIL, ANY FINISH WORK, QUANTITY OR QUALITY OF MATERIALS, NAILING PROCEDURES, OR DETAILED ASSEMBLY INSTRUCTIONS. THESE DRAWINGS SHALL NOT BE USED BY PERSONS OTHER THAN EXPERIENCED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK IN ACCORDANCE WITH ALL CURRENT CODE REQUIREMENTS.
10. ARCHITECTURAL SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL NOT CUT ANY STRUCTURAL FRAMING MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT, AND SHALL ONLY BE DONE IN A MANNER AS DIRECTED AND APPROVED BY THE NEW YORK STATE RESIDENTIAL CODE.

CONCRETE AND FOUNDATIONS

1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 1 TON (2000 POUNDS) PER SQUARE FOOT. DO NOT PLACE FOOTINGS ON FROZEN GROUND.
2. FOOTINGS SHALL BE DESIGNED TO THE NEW YORK STATE RESIDENTIAL CODE STANDARDS IN EFFECT. THE MAXIMUM BACKFILL HEIGHT FOR 8" THICK X 8'-0" X 8'-0" HIGH REINFORCED CONCRETE WALLS SHALL BE 1'-0" ABOVE TOP OF FOOTING. SEE TYPICAL WALL SECTION FOR FOUNDATION WALL REINFORCING REQUIREMENTS.
3. ANY UNUSUAL SOIL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AT ONCE. CONTRACTOR SHALL NOT START POURING CONCRETE BEFORE BOTTOMS OF FOOTINGS HAVE BEEN INSPECTED AND APPROVED. IF FOUND NECESSARY, SOIL TESTS, INCLUDING LOAD TESTS AND/OR BORINGS SHALL BE TAKEN ON THE SITE TO DETERMINE BEARING CAPACITIES. COST OF TESTING, WHERE REQUIRED, SHALL BE BORNE BY THE LANDOWNER.
4. REMOVAL OF TOPSOIL, STRIPPING OF SITE, AND ALL FILL REQUIRED TO BRING GRADES UP TO LEVELS SHALL BE DONE BY CONTRACTOR BEFORE STARTING WORK ON FOUNDATIONS. FILL MATERIALS SHALL BE BANK RUN GRAVEL, AND SHALL BE INSTALLED WITH BUILDINGS IN LAYERS, AND COMPACTED TO 95% DENSITY FOR SUPPORT OF FLOOR SLABS. NO FILL WILL BE PERMITTED UNDER FOOTINGS OR RAILINGS.
5. BOTTOMS OF ALL EXTERIOR FOOTINGS AND/OR GRADE BEAMS SHALL BE CASTER TO A MINIMUM OF 3'-4" BELOW FINISHED GRADE AND SHALL REST ON UNDISTURBED SOIL WITH BOTTOMS AT LEAST 3" INTO SAME. ALL FOUNDATIONS SHALL BE OF DEPTH REQUIRED AS OUTLINED HEREIN, WHETHER SHOWN ON DRAWINGS OR NOT.
6. WHERE FOOTINGS ARE STEPPED DUE TO GRADE CONDITIONS, BOTTOMS SHALL BE SLOPED NOT MORE THAN 2 FEET VERTICAL TO 4 FEET HORIZ.
7. FORMS SHALL REMAIN ON CONCRETE FOR A MINIMUM OF 24 HOURS DURING NORMAL WEATHER. ABOVE FREEZING PLACEMENT CONCRETE SHALL BE PROTECTED FROM FREEZING DURING COLD WEATHER PLACEMENT. LEAVE FORMS IN PLACE AT LEAST 5 DAYS WHEN OUTDOOR TEMPERATURE IS BELOW FREEZING. SEE FOLLOWING NOTES FOR COLD WEATHER CONCRETE ADDITIVES.

8. CONCRETE FOR BASEMENT WALLS, FOUNDATIONS, AND OTHER CONCRETE NOT EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMP. STRENGTH OF 3000 PSI AT 28 DAY CURE. DURING COLD WEATHER PLACEMENT THE CONCRETE SHALL BE AIR ENTRAINED HAVING NOT LESS THAN 8% NOR MORE THAN 1% AIR CONTENT BY VOLUME OF CONCRETE.
 9. CONCRETE FOR BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT PROVIDE AIR ENTRAINMENT AS PER ABOVE.
 10. CONCRETE FOR BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT PROVIDE 3000 PSI CONCRETE WITH AIR ENTRAINMENT AS PER ABOVE.
 11. CONCRETE FOR PORCHES, STEPS, CARPORT AND GARAGE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAY CURE AND BE AIR ENTRAINED AS MENTIONED ABOVE. THE MATERIALS FOR PRODUCING AND TESTING THE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 308.
 12. WIDTH AND THICKNESS OF FOOTINGS AND REINFORCING FOR SAME SHALL BE AS SHOWN ON DRAWINGS AND AS DETAILED THEREON. CONCRETE PROTECTION FOR FOUNDATIONS SHALL BE 2" FOR STEPS, 3" FOR CONCRETE POURED ON GROUND AND 3 1/2" FOR CONCRETE NOT IN CONTACT WITH GROUND.
 13. FLOOR SLABS SHALL BE OF THICKNESS SHOWN ON DRAWINGS INSTALLED OVER CONTACTED FILL AND POLYETHYLENE VAPOR BARRIER AND REINFORCED WITH 4 X 8 X 12 IN. BARS UNLESS OTHERWISE SPECIFIED. DEPTH OF SLAB, UNLESS SHOWN OTHERWISE, TAPER SLABS TO FLOOR DRAINS WHERE SHOWN AND REQUIRED.
 14. ALL CONCRETE SLABS SHALL BE PROVIDED WITH (2) 1" PREHOLEDED PERIMETER ISOLATION JOINTS AND SCALED CONTRACTION JOINTS AT PATTERNS COMPATIBLE WITH INTERIOR COLUMN LOCATIONS. PATTERNS SHALL NOT EXCEED 30 FEET SQUARE.
 15. REINFORCING STEEL SHALL BE NEW BULLET STEEL, DEFORMED TYPE BARS, ASTM A618, GRADE 40, AND SHALL COMPLY WITH A.C.I. CODE REQUIREMENTS. PROVIDE HIGHER REINFORCING IN ALL CONCRETE WHERE NONE IS SHOWN ON DRAWINGS TO MEET A.C.I. CODE REQUIREMENTS. PROVIDE ADDITIONAL REINFORCING AROUND ALL OPENINGS IN CONCRETE, AND PROVIDE VERTICAL AND/OR HORIZONTAL BARS PROJECTING FROM FOOTINGS AND WALLS FOR TYPING IN WITH OTHER WALLS, STEPS, BILLS, ETC. AS DETAILED ON DRAWINGS AND AS REQUIRED BY THE CONSTRUCTION.
 16. DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL MASONRY CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUPPORT SAME. PROVIDE TEMPORARY BRACING AS REQUIRED AND PROTECT TOPS OF WALLS FROM DAMAGE BY VEHICLES CROSSING OVER SAME. REMOVE AND REPLACE ALL DAMAGED CONCRETE AS DIRECTED.
 17. ALL CONCRETE SLABS EXPOSED TO THE WEATHER CONDITIONS SHALL HAVE A NON-SKID SURFACE FINISH.
 18. PROVIDE 4" DIAM. PERFORATED FOOTING DRAIN AROUND ENTIRE PERIMETER OF FDN. IF NEEDED BY SITE CONDITIONS. INSTALL PIPE IN CRUSHED STONE BED EXTENDING A MIN. OF 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING. SET PIPE ON A MIN. OF 2" THK BED OF STONE AND COVER PIPE TO A MIN. HEIGHT OF 6" ABOVE THE TOP OF FOOTING. COVER ENTIRE ASSEMBLY WITH AN APPROVED FILTER PERMEABLE MATERIAL. DISCHARGE BY GRAVITY TO DAYLIGHT.
- ### LUMBER & TRUSSES
1. FRAMING LUMBER, INCLUDING STRUCTURAL JOISTS, PLANKS AND 2 X 4 STUDS TO BE NO. 2 SPF AS GRADED IN ACCORDANCE WITH THE LATEST EDITION OF THE GRADING RULES FOR WESTERN LUMBER, WITH A MINIMUM EXTENSIVE FIBER STRESS IN BENDING OF 1000 PSI AND MODULUS OF ELASTICITY OF 1,000,000 PSI. EQUAL FRAMING LUMBER WITH CERTIFIED STRESSES WILL BE APPROVED. LUMBER TO BEAR GRADEMARK.
 2. SUBFLOORING SHALL BE PLYWOOD OR OSB STRUCTURAL PANEL, 3/4" THICK TONGUE & GROOVE, APA AND HUD/MA GRADED AND APPROVED. SUBFLOORING SHALL BE GLUED AND NAILED WITH EXTERIOR GLUE AND RING NAILS AT ALL BEARING POINTS. ROOF SHEATHING SHALL BE 12" THICK PLYWOOD, APA AND HUD/MA GRADED AND APPROVED. EXTERIOR WALL SHEATHING SHALL BE 12" THICK PLYWOOD OR OSB STRUCTURAL PANELS, APA AND HUD/MA GRADED AND APPROVED.
 3. PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE DESIGNED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE TRUSSES SHALL BE DESIGNED TO SUPPORT THE LIVE LOADS, DEAD LOADS, WIND LOADS AND SEISMIC DESIGN REQUIREMENTS AS MENTIONED IN THE CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA INCLUDED WITH THESE PLANS. DESIGNS SHALL CONTAIN DATA ON METAL CONNECTIONS, LUMBER SPECIFICATIONS, FITTAL SPAN AND SPACING, SPICES AND STRESS GRADE OF LUMBER, ETC. SUBMIT SHOP DRAWING OF TRUSSES IN POLYUM COPIES FOR THE ARCHITECT'S APPROVAL BEFORE ORDERING SAME.
 4. MISCELLANEOUS LUMBER INCLUDING BLOCKING, GROUNDING, FURRING AND OTHER LIGHT FRAMING, SHALL BE OF TYPE AND SIZE SHOWN ON DRAWINGS AND FOR THEREON. PROVIDE ALL MISCELLANEOUS CARPENTRY AND LUMBER AS REQUIRED, WHETHER SPECIFICALLY SHOWN OR NOT.
 5. UNLESS OTHERWISE NOTED PROVIDE:
 - A. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.
 - B. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, EXCEPT PARALLEL PLUMBING WALLS.
 - C. DOUBLE 2 X 10 HEADERS OVER ALL DOOR AND WINDOW OPENINGS.
 - D. SHINGLE ROOF OR 1 X 3 CROSS BRACING PER JOIST SPAN.
 - E. SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS, AND LINTELS.

THERMAL & MOISTURE PROTECTION

1. ASPHALT ROOF SHINGLES SHALL BE SELF SEAL STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462. SHINGLES SHALL BE SECURED TO ROOF WITH NOT LESS THAN 4 FASTENERS PER STRIP SHINGLE, UNLESS IN A SPECIAL WIND ZONE AS NOTED IN THE CLIMATIC & GEOGRAPHIC DESIGN CHART. SPECIAL WIND ZONES REQUIRE 6 FASTENERS PER STRIP SHINGLE. FASTENERS SHALL BE GALV. STEEL, MINIMUM 1/8 GA. SHANK WITH A MINIMUM 3/16" DIAMETER HEAD, UNLESS THE SHINGLE MANUFACTURER SPECIFIES MORE. WHERE THE ROOF SLOPE EXCEEDS 20 : 12 SPECIAL METHODS OF FASTENING ARE REQUIRED. CONSULT WITH SHINGLE MANUFACTURER.
2. ALL ROOF, VALLEYS AND WALL TO ROOF INTERSECTIONS SHALL BE FLASHED AND CALLED WATER TIGHT. WHERE ROOF SLOPE FROM 2 : 12 TO 4 : 12 UNDERLAYMENT SHALL BE 2 LAYERS OF FELT APPLIED WITH A 1/4" STRIP PARALLEL WITH AND STARTING AT THE EAVES FASTENED TO HOLD IN PLACE. THEN STARTING AT EAVE APPLY 3/4" WIDE SHEET AND OVERLAPPING SUCCESSIVE SHEETS 1/4" AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. FOR ROOF SLOPES OF 4 : 12 OR GREATER UNDERLAYMENT FELTS SHALL BE APPLIED SHINGLE FASHION STARTING FROM AND PARALLEL TO THE EAVE AND LAPPED 2" FASTENED SUFFICIENTLY TO HOLD IN PLACE. ENDLAPS SHALL BE OFFSET BY 6 FEET.
3. EXCEPT WHERE REQUIRED TO BE WATERPROOFED, EXTERIOR BELOW GRADE DAMPROOFING ON CONCRETE WALLS SHALL EXTEND FROM TOP OF FOOTING TO FINISHED GRADE. DAMPROOFING SHALL BE AN APPROVED BITUMINOUS COATING.
4. INSTALL ALL INSULATIONS AND VAPOR BARRIERS IN ACCORDANCE WITH NEW YORK STATE RESIDENTIAL CODE.
5. EXCEPT WHERE OTHERWISE SPECIFIED, INSTALL ALL BATT INSULATION IN ACCORDANCE WITH NFPA'S SPECIFICATIONS. INSULATE BUILDINGS TO COMPLETELY SEPARATE HEATED SPACES FROM UNHEATED SPACES. SEAL ALL JOINTS AROUND EXTERIOR WINDOWS, DOORS, AND OTHER PENETRATIONS. INSULATION MATERIALS INCLUDING PACKING SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE DEVELOPED INDEX NOT TO EXCEED 450.

PROTECTION AGAINST DECAY AND TERMITES

1. ALL WOOD USED IN AREAS SPECIFIED BELOW SHALL BE APPROVED PRESURV PRESERVATIVELY TREATED SUCH AS WOOD IN CONTACT WITH GROUND SUPPORTING PERMANENT STRUCTURES. JOISTS CLOSER THAN 16" TO GROUND, SILL PLATES CLOSER THAN 8" TO GROUND, PLATES FASTENED TO CONCRETE IN CONTACT WITH GROUND, EXTERIOR WOOD SIDING, SHEATHING OR WALL FRAMING LESS THAN 6" FROM GROUND, WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO WEATHER ON WOOD ATTACHED TO MASONRY OR CONCRETE WITHOUT AN APPROVED VAPOR BARRIER.
 2. TERMITES PROTECTION SHALL BE PROVIDED EITHER BY TREATMENT OF SOLIS BY APPROVED CHEMICALS, USE OF PRESURV PRESERVATIVELY TREATED WOOD AS MENTIONED ABOVE, USE OF METAL OR PLASTIC TERMITES SHIELDS, OR ANY COMBINATION OF THE ABOVE.
- ### FINISHES
1. ALL WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASS OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
 2. ALL GYPSUM BOARD TO BE OF TYPE AND THICKNESS SHOWN ON DRAWINGS, TAPED, SPACKLED (3 COATS) AND PAINTED 2 COATS TO FORM A SMOOTH, UNIFORM WALL FINISH. GYPSUM BOARD SHALL BE SCREW APPLIED, FOLLOWING THE SPECIFICATIONS OF UNITED STATES GYPSUM PRODUCTS.
 3. ALL CERAMIC TILE SHALL BE PROPERLY INSTALLED USING THICK OR THIN SET METHOD FOLLOWING THE SPECIFICATIONS OF THE NATIONAL TILE COUNCIL OF AMERICA.
 4. ALL VINYL FLOOR SYSTEMS SHALL BE INSTALLED OVER AN APPROVED UNDERLAYMENT MATERIAL AS APPROVED BY THE TILE MANUFACTURER. INSTALL VINYL IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

ELECTRIC

1. ALL ELECTRIC WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE AND LOCAL REQUIREMENTS FOR GENERAL EQUIPMENT REQUIREMENTS.
 2. ALL ELECTRIC WORK SHALL BE INSPECTED AND APPROVED BY A LICENSED UNDERWRITER OFFICIAL.
- ### PLUMBING & HEATING
1. ALL PLUMBING & HEATING WORK SHALL MEET OR EXCEED THE LOCAL REQUIREMENTS FOR GENERAL PLUMBING REQUIREMENTS.
 2. ALL APPLIANCES SHALL HAVE PERMANENT FACTORY APPLIED NAMEPLATES AFFIXED TO EACH APPLIANCE ON WHICH SHALL APPEAR: MANUFACTURER'S NAME OR TRADEMARK, THE MODEL NUMBER, SERIAL NUMBER, THE SEAL OR MARK OF THE TESTING AGENCY.
 3. ALL PLUMBING WORK SHALL BE INSPECTED BY ANY LOCAL OR STATE BUILDING OFFICIAL HAVING JURISDICTION.
 4. DO NOT RUN PIPES IN UNHEATED SPACES. KEEP ALL PIPES ON HEATED SIDE OF INSULATION.
 5. AIR ADMITTANCE VALVES SHALL NOT BE USED UNLESS OTHERWISE NOTED ON PLANS.
 6. PROVIDE ALL SCALD PROTECTION VALVES, RELIEF VALVES, PRESSURE RELIEF VALVES, AND TEMPERATURE RELIEF VALVES AS PER THE IBC.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RCMY ONLY)	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WINDBOURNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
40	15	NO	YES	NO	C	SEVERE	42"	Moderate to Heavy	6	YES	NO	1000 OR LESS	

EMERGENCY ESCAPE AND RESCUE OPENINGS

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. THE OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3 OF THE 2020 NYS RESIDENTIAL CODE. WHERE A DOOR IS PROVIDED AS THE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL BE PERMITTED TO BE A SIDE-HINGE OR A SLIDER, WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION 310.3.2 OF THE 2020 EDITION OF THE NYS RESIDENTIAL CODE. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE.

MINIMUM OPENING AREA: ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FEET.

EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 8.0 SQ. FEET.

MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24".

MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".

THE CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS MEET THESE REQUIREMENTS.

OPERATIONAL CONSTRAINTS: EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2000 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING.

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
EXTERIOR BALCONIES	60
DECKS	40
GARAGE ON GRADE	50
ATTICS WITHOUT STORAGE	10
ATTICS WITH STORAGE	20
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	30
STAIRS	40
GUARDRAILS & HANDRAILS	200

BUILDING, STRUCTURES, AND ALL PARTS THEREOF SHOWN ON THESE PLANS HAVE BEEN DESIGNED TO SAFELY SUPPORT ALL LOADS INCLUDING DEAD, LIVE, ROOF, SNOW, WIND, AND SEISMIC LOADS AS PRESCRIBED BY THE 2020 NYS RESIDENTIAL CODE.

THERE ARE NO REQUIREMENTS FOR PERMANENT BRACING

I DO HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION, AND THAT TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, SUCH DRAWINGS ARE IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE (2020 EDITION) & THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE (2020 EDITION)

ARCHITECT

DATE

Kathleen Rifkin
architect

20 North Street
Middletown, N.Y. 10940
Phone (609) 956-2210

BUILDER / HOMEOWNER

MICHELLE F. RIDER &
GEOFFREY L. BRACKETT

JOB TITLE

ACCESSORY APT. /
GARAGE RENOVATION

JOB LOCATION

37 DOGWOOD HILLS RD.
TOWN OF NEWBURGH,
ORANGE CO., NY

JOB

21-024 -2

DATE

OCT, 2022

SCALE

NOTED

OWN BY

KR

SHEET NO

A-1

OF 5

BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIREBLOCKING IN WALLS USING PARALLEL ROUS OF STUDS

AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF THE RUN ENCLOSED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" THK GYPSUM BOARD.

AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST THE FREE PASSAGE OF PLATE AND PRODUCTS OF COMBUSTION.

CHIMNEYS AND FIREPLACES SHALL BE FIREBLOCKED AS PER DETAIL AND NOTES ON THIS DRAWING.

TOP-LOADED CONNECTION OF MULTIPLE PIECES OF LVL BEAMS

1 3/4" WIDTH PIECES

- MINIMUM OF 3 ROWS 16d NAILS @ 2" O.C.
- MINIMUM OF 3 ROWS OF 16d NAILS @ 12" O.C. FOR 14", 16" AND 18" BEAMS

NOTE
FOR SIDE LOADED MULTIPLE MEMBER BEAMS, ADDITIONAL NAILING OR BOLTING MAY BE REQUIRED (SEE BELOW)

DRILLING & NOTCHING STUDS

DRILLING IN JOISTS

U-SHAPED STEEL BRACKET

BOLTS AND PLATES THAT REST ON CONCRETE OR MASONRY AND ARE LESS THAN 8" FROM GROUND SHALL BE PRESURURE TREATED

*** SILL PLATE ANCHORED TO FOUNDATION WITH 1/2" DIA X 12" LONG ANCHOR BOLTS 6"-8" O.C.**

METAL STRAP ANCHORS ALL TO SIMPSON STRONG-TIE

SILL "HAPS" MUST BE ANCHORED 3'-6" O.C. AND NOT MORE THAN 1' FROM END OF BEAM

ANCHOR CONNECTION SILL PLATE

STEEL COLUMN

SIDE-LOADED CONNECTION FOR MULTIPLE LVL MEMBER BEAMS

A B C

NAILING SCHEDULE APPLIED TO EITHER OUTSIDE MEMBER			
NAILED CONNECTION	THROUGH BOLTED CONNECTION		
3 ROWS 16d COMMON WIRE # 8" O.C.	2 ROWS 12d BOLTS AT 24" O.C.	2 ROWS 12d BOLTS AT 24" O.C.	3 ROWS 12d BOLTS AT 24" O.C.
A D	A D	C	C

L/S **MIDDLE THIRD SPAN** **L/S**

NOTCHING FLOOR JOISTS

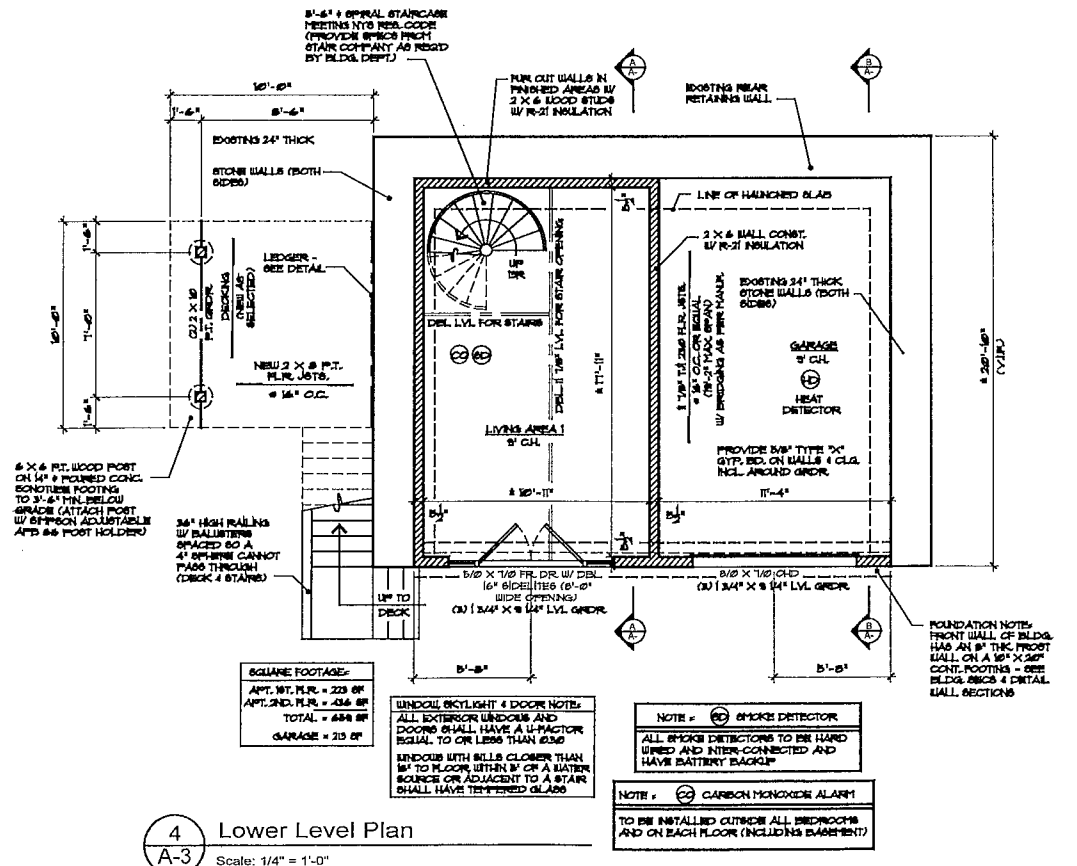
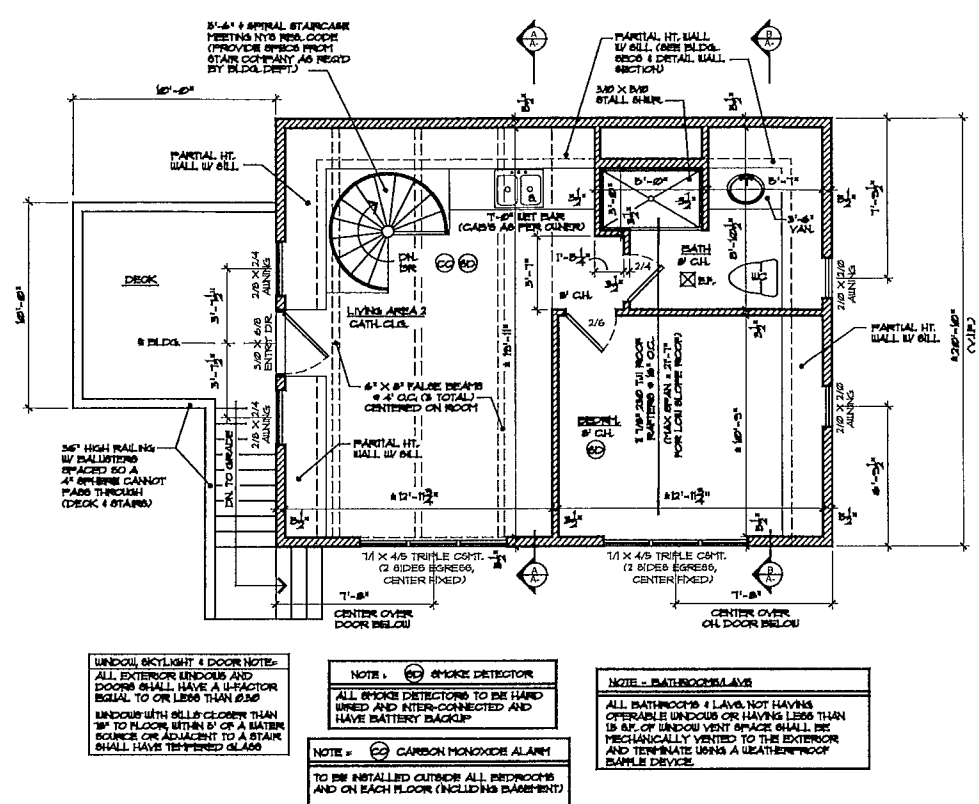
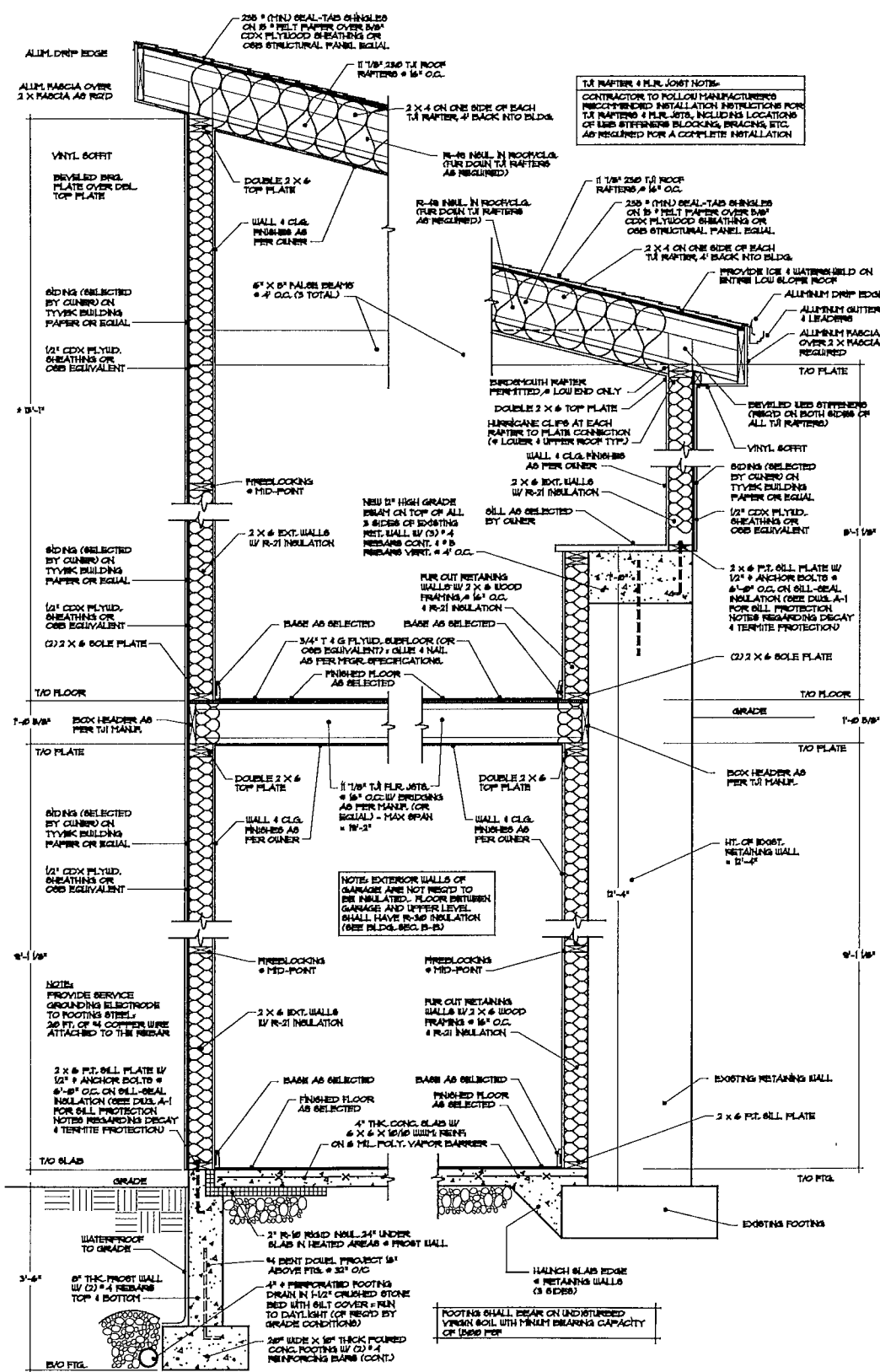
IF NOTCH DEPTH IS GREATER THAN 80% OF PLATE WIDTH PROVIDE METAL TIE

16 GAUGE (20#) IN 1/2" WIDE METAL TIE ACROSS & TO EACH SIDE OF NOTCH FASTENED WITH (8) 16d NAILS EACH SIDE

TOP PLATES **PIT**

ENERGY NOTE :
ENERGY CONFORMANCE IS BY THE
PREScriptive METHOD. WEETING
R-VALUES AND U-FACTORS ARE
LISTED IN TABLE 402.1.2 OF THE
2009 IRC. FOR STATIC ENERGY
CONSERVATION CONSTRUCTION CODE.

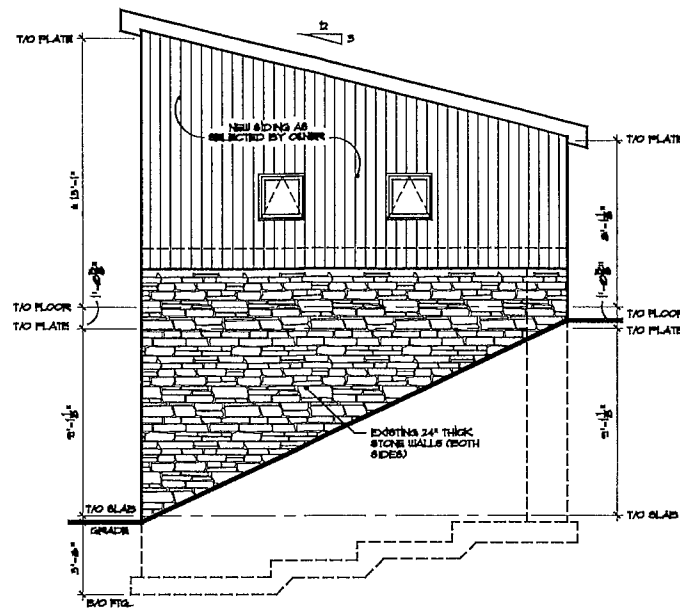
BUILDING INSPECTOR NOTE :
THESE PLANS ARE NOT VALID FOR
A BUILDING PERMIT UNLESS
ORIGINALLY SIGNED AND SEALED BY
REGISTERED ARCHITECT. PHOTO
COPIES OF SEAL AND SIGNATURE
ARE INVALID. THESE PLANS ARE FOR
THE CONSTRUCTION OF ONE BUILDING
ONLY BY THE PERSON WHOSE NAME
APPEARS ON THE PLANS.
ALL RIGHTS RESERVED.
ANY USE OR REPRODUCTION, IN
WHOLE OR IN PART, WITHOUT
WRITTEN AUTHORIZATION FROM
KATHA RIZOV IS STRICTLY
PROHIBITED.



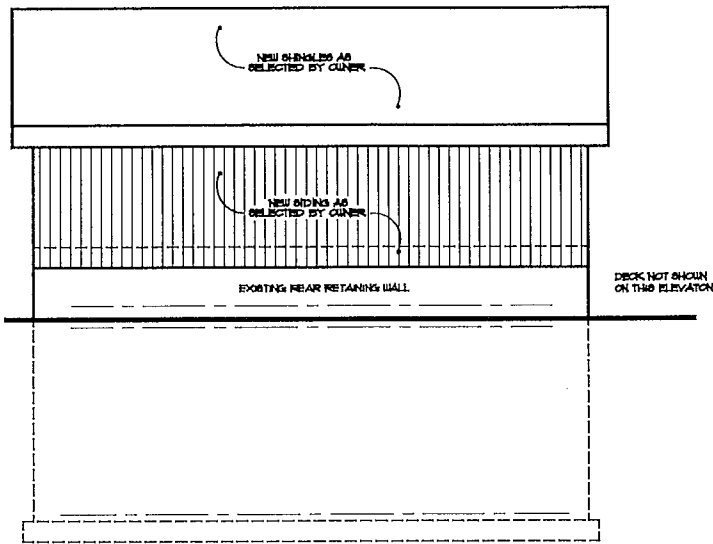
REVISION	DATE
<p>ENERGY NOTE: ENERGY CONFORMANCE IS BY THE PRESUMPTIVE METHOD, MEETING R-VALUES AND U-FACTORS AS LISTED IN TABLE 402.1.2 OF THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.</p> <p>BUILDING INSPECTOR NOTE: THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY A REGISTERED ARCHITECT. ANY CHANGES TO THE PLANS MUST BE MADE BY THE ARCHITECT. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY. ANY USE OR REPRODUCTION, IN WHOLE OR IN PART, WITHOUT WRITTEN AUTHORIZATION FROM KATHLEEN RIFKIN IS STRICTLY PROHIBITED.</p>	
<p>Kathleen Rifkin architect 10 North Street Middletown, N.Y. 10940 Phone (845) 956-2210</p>	
<p>BUILDER / HOMEOWNER: MICHELLE F. RIDER & GEOFFREY L. BRACKETT</p>	
<p>JOB TITLE: ACCESSORY APT. / GARAGE RENOVATION</p>	
<p>JOB LOCATION: ST DOUGLAS HILLS RD., TIO NEUBURG, ORANGE CO, NY</p>	
<p>JOB: 21-024-3 DATE: OCT. 2022 SCALE: NOTED DWN BY: KRR</p>	
<p>SHEET NO: A-3 OF 5</p>	

(COMPLYING WITH THE MANDATORY SECTIONS OF THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE (SECTIONS 1001, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678,

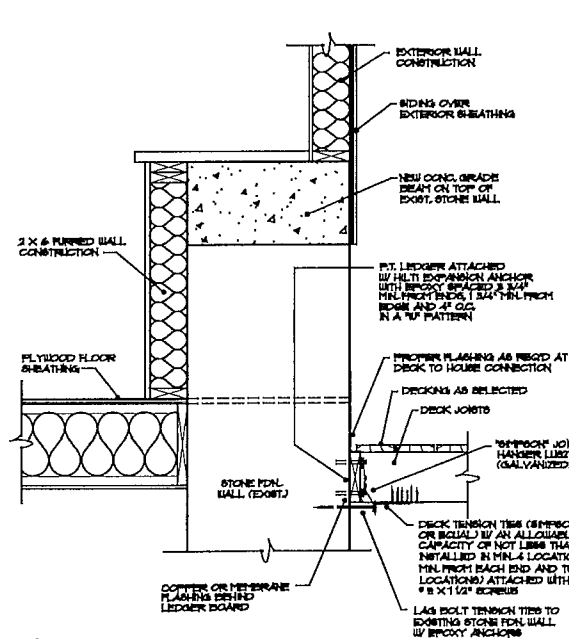
- [illegible]



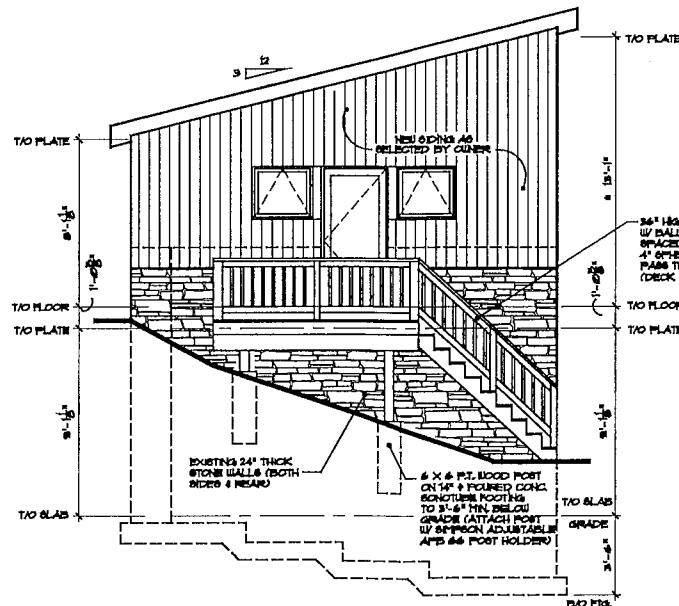
1 Right Side Elevation
A-4 Scale: 1/4" = 1'-0"



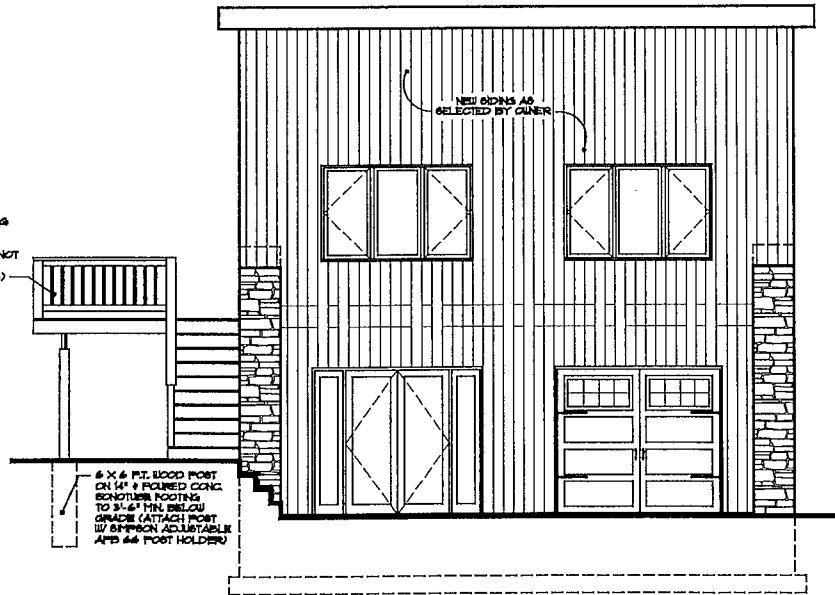
2 Rear Elevation
A-4 Scale: 1/4" = 1'-0"



5 Deck Ledger Detail
A-4 Scale: 1" = 1'-0"



3 Left Side Elevation
A-4 Scale: 1/4" = 1'-0"



4 Front Elevation
A-4 Scale: 1/4" = 1'-0"

ENERGY NOTE :
ENERGY CONFORMANCE IS BY THE
PRESCRIPTIVE METHOD, MEETING
R-VALUES AND U-FACTORS AS
LISTED IN TABLE 402.1.2 OF THE
2020 NEW YORK STATE ENERGY
CONSERVATION CONSTRUCTION CODE.

BUILDING INSPECTOR NOTE :
THESE PLANS ARE NOT VALID FOR
A BUILDING PERMIT UNLESS
ORIGINALLY SIGNED AND SEALED BY
ARCHITECT, BLUEPRINTS OR PHOTO
COPIES OF SEAL AND SIGNATURE
ARE INVALID. THESE PLANS ARE FOR
THE CONSIDERATION OF ONE BUILDING
OFFICIAL BY THE PERSONS WHOSE NAME
APPEARS ON THE PLANS.
ALL RIGHTS RESERVED.
ANY USE OR REPRODUCTION IN
WHOLE OR IN PART, WITHOUT
WRITTEN AUTHORIZATION FROM
KATHLEEN NEKIN IS STRICTLY
PROHIBITED.

Kathleen
Rifkin
architect

35 North Street
Middletown, N.Y. 10940
Phone (845) 956-2210
Fax (845) 956-2214

BUILDER / HOMEOWNER:

MICHELLE F. RIDER &

JOB TITLE:

ACCESSORY APT. /
GARAGE RENOVATION

JOB LOCATION:

37 DOGWOOD HILLS RD.
T/O NEWBURGH,

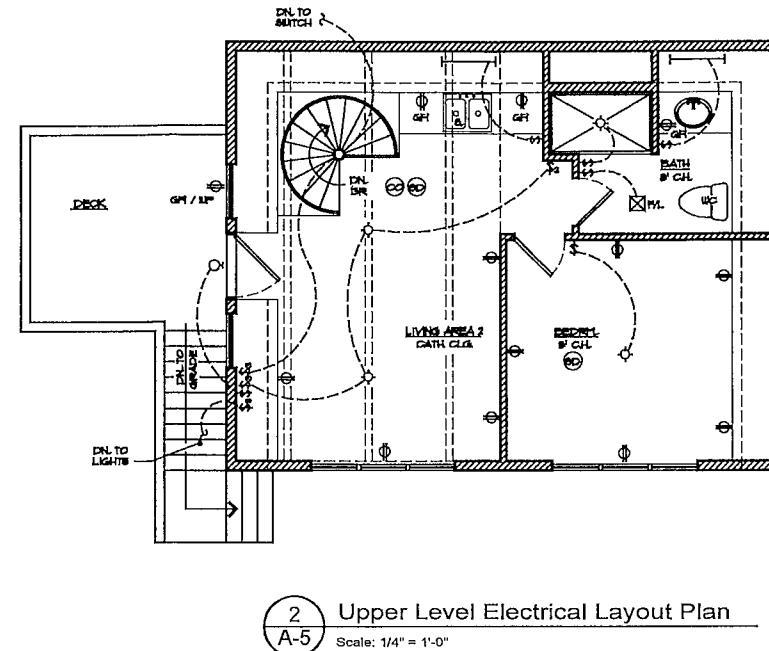
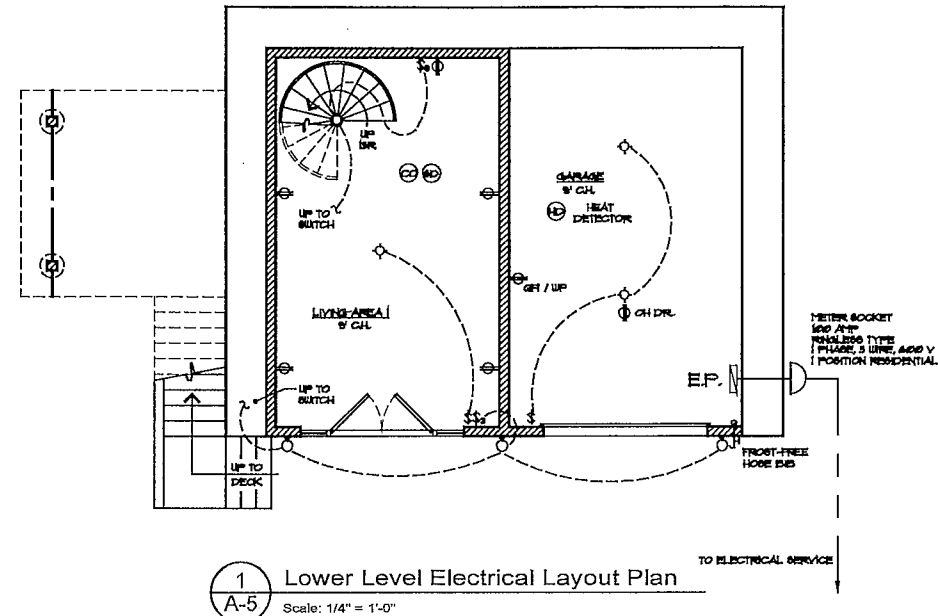
ORANGE CO., NY

DATE OCT. 2022

SCALE	NOTED
DWN BY	KRE

SHEET NO :

A-4
OF 5



NOTE (TYPICAL)
ALL WOOD WALLS AND CEILING SURFACES
WITH A MINIMUM DISTANCE OF 3'-0" OF
HEAT PRODUCING EQUIPMENT SHALL BE
PROTECTED WITH 5/8" FIRECODE GYP. BOARD

NOTE - BATHROOMS

ALL BATHROOMS 4 LAYERS NOT HAVING OPERABLE WINDOWS OR HAVING LESS THAN 15 SF OF WINDOW VENT OPENING SHALL BE MECHANICALLY VENTED TO THE EXTERIOR AND TERMINATE USING A WEATHERPROOF Baffle Device.

MECHANICAL VENTILATION NOTE

MECHANICAL VENTILATION SHALL BE PROVIDED FOR THE WHOLE BLDG. AS ONE OF THE FOLLOWING OPTIONS (609B, 609B.1, AND 609C) SHALL BE USED IN TABLES IN SUBPART 5 AND 1B REQUIRED OF THE AGED INTO RESIDENTIAL CODE:

1. CONTINUOUS FAN PROVIDING 30 CFM
2. INTERMITTENT FAN (ON) RUN TIME / 4 HOURS PROVIDING 60 CFM
3. INTERMITTENT FAN (ON) RUN TIME / 4 HOURS PROVIDING 60 CFM

- VENTILATION MUST BE DUCTED DIRECTLY TO THE EXTERIOR.
- PROVIDE CONTROLS THAT ENABLE MANUAL OVERRIDE.
- MECHANICAL VENTILATION MAY BE PROVIDED WITH 1 OR MORE EXHAUST SYSTEMS.

ELECTRICAL NOTES

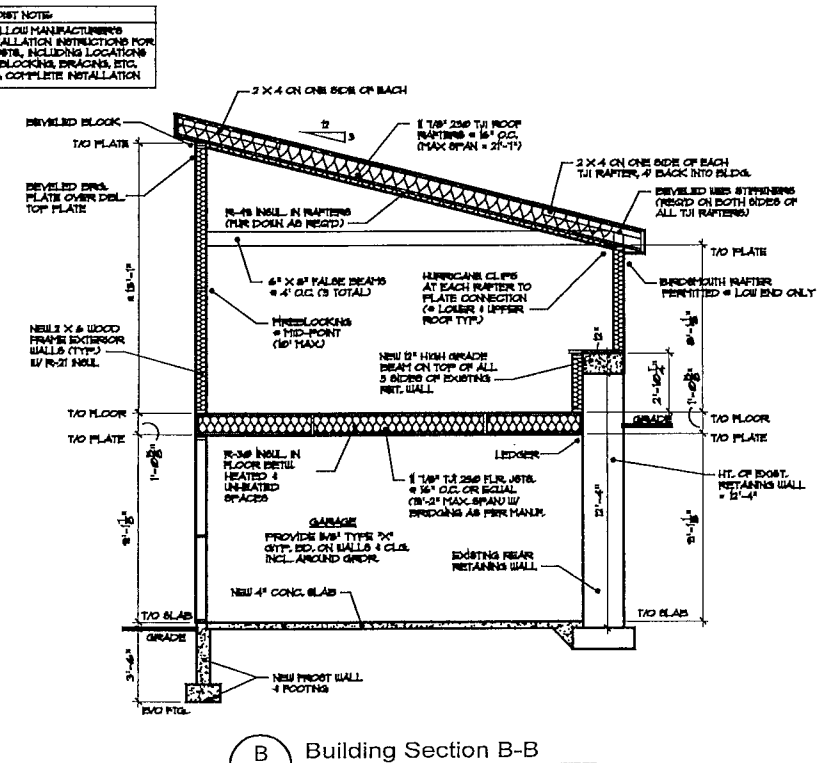
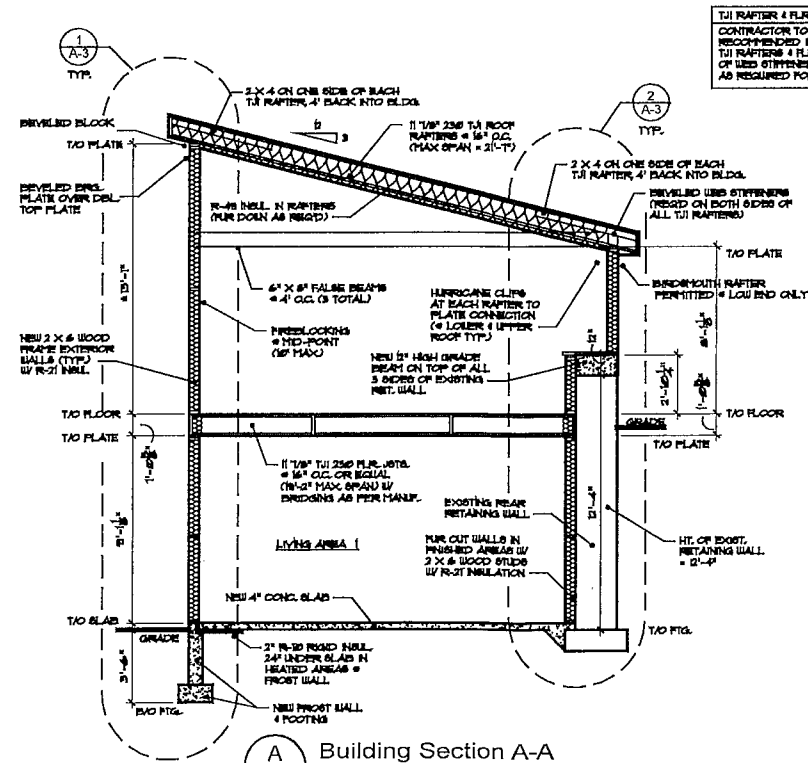
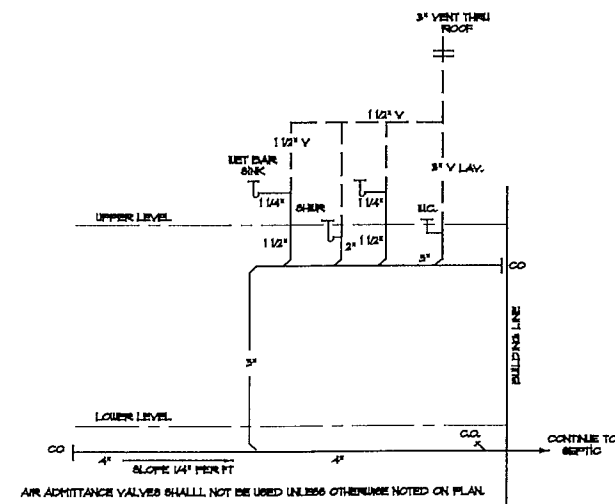
- SEE ELECTRICAL NOTES ON DRAWING A-1
- | | |
|----|---|
| BD | SMOKE DETECTOR - TO BE HARDWIRED & INTERCONNECTED AND HAVE BATTERY BACKUP |
| CO | CARBON MONOXIDE ALARM - INSTALL AS PER MFG'S INSTALLATION INSTRUCTIONS |
| HD | HEAT DETECTOR |

REVISION	DATE
----------	------

ATE

ENERGY NOTE :
ENERGY CONFORMANCE IS BY THE
PRESCRIPTIVE METHOD, MEETING
R-VALUES AND U-FACTORS AS
LISTED IN TABLE 402.2 OF THE
2020 NEW YORK STATE ENERGY
CONSERVATION CONSTRUCTION CODE.

BUILDING INSPECTOR NOTE :
THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT, BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE VALID. THIS IS VALID FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSONS WHOSE NAME APPEARS ON THE PLANS.
ALL RIGHTS RESERVED.
ANY USE OR REPRODUCTION, IN WHOLE OR IN PART, WITHOUT WRITTEN AUTHORIZATION FROM KATHLEEN INFON IS STRICTLY PROHIBITED.



Kathleen
Rifkin
architect

55 North Street
Middletown, N.Y. 10940
Phone (845) 956-2210
Fax (845) 956-2214

BUILDER / HOMEOWNER:

MICHELLE F. RIDER &
GEOFFREY L. BRACKETT

JOB TITLE:

ACCESSORY APT. /
GARAGE RENOVATION

JOE LOCATION:

57 DOGWOOD HILLS RD.
T/O NEWBURGH,

JOB 21-524-2

DATE	OCT. 2022
FRILE	NOTED

OWN BY KIR

SHEET NO :

SHEET NO :

A-5

DF B