



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: POPPY LANE AMENDED SUBDIVISION
PROJECT NO.: 25-22
PROJECT LOCATION: SECTION 6, BLOCK 1, LOT 113, 114, 115
SECTION 109.3, BLOCK 4, LOT 24.210
REVIEW DATE: 9 JULY 2025
MEETING DATE: 17 JULY 2025
PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES, PC

1. The application is considered a new application.
2. The project received conditional final approval on 19 May 2022. A copy of the conditional final approval is attached this conditional final approval has expired.
3. Comments from the 19 May 2022 meeting are outstanding. Copy of the comments is attached.
4. The applicant is seeking waivers for the percent grade of the private roadway and a waiver for the cul-de-sac at the termination of the private road.
5. A new Public Hearing is required for the amended subdivision.
6. The Planning Board issued a Negative Declaration on 6 January 2022. This Negative Declaration would continue to be valid for the re-submitted project.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal

PJH/kmm

A handwritten signature in blue ink, appearing to read 'Michael W. Weeks'.

Michael W. Weeks, P.E.
Principal

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

**RESOLUTION OF
PRELIMINARY AND CONDITIONAL FINAL APPROVAL
FOR THE
POPPY LANE 3-LOT AMENDED SUBDIVISION**

PLANNING BOARD PROJECT NO. 2021-26

Nature of Application

Wise Equities Group LLC ("Applicant") applied for a three-lot amended subdivision approval and for waivers for the private road specifications to allow for (1) a hammerhead turnaround in lieu of a cul-de-sac, and (2) a negative grade at the road entrance for a project that would result in an amended subdivision plat that was originally filed in 1988. No new lots would be created as a result of this approval.

Property Involved

The properties affected by this resolution are shown on the Tax Maps of the Town of Newburgh as Section 6, Block 1, Lots 113, 114 & 118, and is north of Lester Clark Road, between 114 and 118 Lester Clark Road.

Zoning District

The properties affected by this resolution are located in the AR zoning district of the Town of Newburgh.

Plans

The Subdivision Plat materials being considered consist of the following:

1. Completed application forms and Environmental Assessment Form.
2. Plans prepared for the Applicant as follows:

<i><u>Author</u></i>	<i><u>Title</u></i>	<i><u>Last Revision Date</u></i>
Engineering & Surveying Properties, PC	Private Road and Soil Erosion & Sediment Control Plan	May 3, 2022
Engineering & Surveying Properties, PC	Profiles	May 3, 2022

Engineering & Surveying Properties, PC	Construction Details	May 3, 2022
Engineering & Surveying Properties, PC	Offsite Drainage Design	May 3, 2022

History

Public Hearing

A public hearing on this proposed plat was convened on February 3, 2022, continued on March 17, 2022 and closed on May 19, 2022.

The Planning Board has exercised its discretion to waive the final public hearing on the proposed final plat on this application.

SEQRA

Type of Action:

This matter constitutes an unlisted action under the State Environmental Quality Review Act.

Lead Agency:

The Town of Newburgh Planning Board is the lead agency in regard to this action.

Declaration of Significance:

The Planning Board adopted a negative declaration on January 6, 2022.

GML 239 Referrals

This application was not required to be referred to the Orange County Planning Department for review pursuant to GML §§ 239-l, m or n.

[continued on next page]

Findings

The Planning Board has determined that approval of this subdivision will substantially serve the public convenience, safety and welfare in that the land to be subdivided is of such character that it can be used safely for building purposes without danger to health or peril from fire, flood or other menace. Further, the arrangement, location and width of streets, their relation to the topography of the land, water supply, sewage disposal, drainage, lot sizes and arrangement, the possible future development of adjoining land as yet un-subdivided are all appropriate and consistent with the requirements of the master plan, the official map, Article I of the Town of Newburgh Subdivision Regulations and applicable zoning regulations, subject to compliance in full with conditions hereinafter imposed.

Resolution of Approval

NOW, THEREFORE, THE PLANNING BOARD RESOLVES to approve the preliminary and conditional final amended subdivision plats of the Poppy Lane 3-Lot Subdivision as said proposal is depicted on the plans identified above and upon the conditions outlined below, and approves the waivers to allow for (1) a hammerhead turnaround in lieu of a cul-de-sac, and (2) a negative grade at the road entrance, and the Chairperson (or his designee) is authorized to sign the plat upon satisfaction of those conditions below noted.

Specific Conditions

1. Prior to the signing of plans, the Applicant shall provide cost estimates for the private road and for the offsite drainage improvements.
2. The driveway locations must be submitted and approved by the Highway Superintendent prior to the plans being signed.
3. Prior to the signing of the plans, the Applicant shall address the Planning Board Engineer's comments.

General Conditions

This approval is conditioned upon the applicant submitting all necessary copies of the plans to be signed, including mylars when required, to the Town of Newburgh Building Department within one hundred eighty days of the date of this approval. A full set of the plans to be signed shall simultaneously be submitted to MHE. The plat shall not be signed until MHE has reported to the Chair that all conditions of this resolution required to be satisfied before the plat can be signed have, in fact, been satisfied.

This approval is further conditioned upon the applicant delivering (prior to signing of the plat) proof, in writing, that all fees—engineering, planning, legal and otherwise—in regard to this project have been fully paid. The plat shall not be signed until proof, satisfactory to the Chair, has been presented showing that all such fees have been paid and escrow deposits made.

A FAILURE to comply with the general conditions immediately above in a timely manner shall result, without further action, in a lapsing of this approval.

In Favor 7 Against Abstain Absent

Dated: May 19, 2022

JOHN P. EWASUTYN, CHAIRPERSON
TOWN OF NEWBURGH PLANNING BOARD

I, LISA M. VANCE-AYERS, Clerk of the Town of Newburgh, do hereby
certify that the foregoing Resolution was filed in the Office of the Town Clerk on

_____.

LISA M. VANCE-AYERS, CLERK
TOWN OF NEWBURGH



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: POPPY LANE AMENDED SUBDIVISION
PROJECT NO.: 21-26
PROJECT LOCATION: SECTION 6, BLOCK 1, LOT 113, 114 & 115
REVIEW DATE: 13 MAY 2022
MEETING DATE: 19 MAY 2022
PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES, PC

1. The project is before the Board for a continuation of a Public Hearing. Previously unresolved drainage issues are being addressed.
2. The applicant's representative have provided a Stormwater Design which will convey stormwater from the private road entrance to Lester Clark Drive in an easterly direction to an existing closed pipe drainage system. The existing drainage system appears consist of 18" diameter pipe discharging to a 15" diameter pipe. The addition of the pipe from the site to the existing catch basin will add an additional 18" pipe to the system. The capacity of the existing 15" pipe should be evaluated to ensure that tributary flow can be conveyed for the design storm event.
3. The discharge location of the existing 15" HDPE pipe should be depicted on the plans. This is required to identify any downgradient impacts of the increased runoff tributary to the 15" stormwater system.
4. Cost estimates for the private roadway and off- site drainage improvements should be provided such that upon approval the securities can be sent to the Town Board for acceptance.
5. The Board is reminded that the applicant is seeking waivers for the percent grade of the private roadway and the waiver for the cul-de-sac at the termination of the private road.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink, reading 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

NEW YORK OFFICE

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RECEIVED
JUL 3 - 2025

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, New York 12550

DATE RECEIVED: _____ TOWN FILE NO: _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):

Amended Subdivision Plan

2. Owner of Lands to be reviewed:

Name Wise Build LLC
Address 4 Hamaspik Way 401
Monroe, NY 10950
Phone _____
Email mwmanagementny@gmail.com

3. Applicant Information (If different than owner):

Name MW Management NY
Address 4 Hamaspik Way 401
Monroe, NY 10950
Representative Mechel Weiss
Phone 845-248-8453
Email mwmanagementny@gmail.com

4. Subdivision/Site Plan prepared by:

Name Engineering & Surveying Properties, PC
Address 71 Clinton Street
Montgomery, NY 12549
Phone 845-457-7727
Email Ross@ep-pc.com

5. Location of lands to be reviewed:

North of Lester Clark Road, between 114 and 118 Lester Clark Rd

6. Zone AR Fire District Middlehope
Acreage 5.93± School District Marlboro Central

7. Tax Map: Section 6 Block 1 Lot 113,114,115
108.3 4 24.210

(Town of Marlborough, Ulster County (no disturbance proposed there))

8. Project Description and Purpose of Review:

Number of existing lots 3 Number of proposed lots (no change proposed)

Lot line change _____

Site plan review _____

Clearing and grading _____

Other _____

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) Private road right-of-way per filed plat

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature: Mechel Weiss Title owner

Print Name: Mechel Weiss

Date: 7/2/25

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

PROJECT NAME: Amended Subdivision Plan

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Form As Required
2. X Proxy Statement
3. X Application Fees Subdivision Fee = \$1,150
 Public Hearing Fee = \$150
 Escrow = \$1,750
4. X Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda.

Non-submittal of the checklist will result in rejection of the application.

1. X Name and address of applicant
2. X Name and address of owner (if different from applicant)
3. X Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. X Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. N/A Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. N/A Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. X Date of plan preparation and/or plan revisions
9. X Scale the plan is drawn to (Max 1" = 100')
10. X North Arrow pointing generally up

11. X Surveyor's Certification
12. X Surveyor's seal and signature
13. X Name of adjoining owners
14. N/A Wetlands and buffer zones with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. N/A Flood plain boundaries
16. N/A Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. X Metes and bounds of all lots
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. X Show existing or proposed easements (note restrictions)
20. X Right-of-way width and Rights of Access and Utility Placement
21. X Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. N/A Lot area (in sq. ft. for each lot less than 2 acres)
23. N/A Number of lots including residual lot
24. N/A Show any existing waterways
25. X A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable (See General Note #9)
26. X Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. X Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. X Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. X Show topographical data with 2 ft. contours on initial submission

30. X Compliance with the Tree Preservation Ordinance Code Section
31. X Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
32. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
33. X Number of acres to be cleared or timber harvested
34. None Estimated or known cubic yards of material to be excavated and removed from the site
35. X Estimated or known cubic yards of fill required
36. X The amount of grading expected or known to be required to bring the site to readiness
37. N/A Type and amount of site preparation which falls within the buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
38. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____
39. TBP List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: RWJ
Licensed [] Signature

Print Name: Ross Winglovitz

Date: _____

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Date Prepared: _____

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law Chapter 83 requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law.

Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan, SWPPP, and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH
APPLICATION FOR CLEARING AND GRADING

Name of applicant: MW Management NY, Inc

Name of owner on premises: Mechel Weiss (Wise Build, LLC)

Address of owner: 4 Hamaspik Way 401 Monroe, NY 10950

Telephone number of owner: _____

Telephone number of applicant: _____

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Owner

Location of land on which proposed work will be done: _____

Lester Clark Road (between house numbers 114 and 118)

Section: 6 Block: 1 Lot: 113, 114, 115 Sub. Div.: _____

Zoning District of Property: AR Size of Lot: 5.93± acres

Area of lot to be cleared or graded: 3.4± acres

Proposed completion of date: 10/2026

EAF: Time of year limitations exist for Threatened and Endangered Species-

Identify Species & dates if applicable:

None

Name of contractor/agent, if different than owner: Same

Address: _____

Telephone number: _____

Date of Planning Board Approval: TBD (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: Mechel Weiss Date: 7/2/25

Signature of applicant (if different than owner): Mechel Weiss

TOWN ACTION:

Examined: _____ 20 _____

Approved: _____ 20 _____

Disapproved: _____ 20 _____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The Town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal, landscape consultant, traffic consultant), public hearing and site inspection.

Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Town of Newburgh Code Chapter 104-2. Planning, Zoning and Building fees, Section E(2)(e) states: If the escrow account falls below 40% of the initial deposit, the Planning Board may, if recommended by the consulting engineer, planner or attorney, require that the applicant pay additional funds into the escrow account up to 75% of the initial deposit.

Mechel Weiss

APPLICANT'S SIGNATURE

Mechel Weiss

APPLICANT'S NAME-- PRINTED

7/2/25

DATE

PROXY

Wise Build, LLC
(OWNER) (Mechel Weiss), DEPOSES AND SAYS THAT HE/SHE

RESIDES AT 4 Hamaspik Way 401 Monroe, NY 10950

IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF:

Address: Poppy Lane Amended Subdivision

Section 6 Block 1 Lot 113, 114, 115

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING

APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH

Engineering & Surveying

PLANNING BOARD AND Properties, PC IS AUTHORIZED

TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: _____

Mechel Weiss
(OWNERS SIGNATURE)

Mechel Weiss

OWNERS NAME (printed)

WITNESS' SIGNATURE

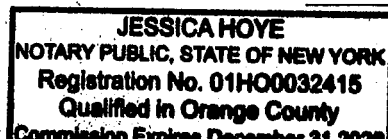
NAMES OF ADDITIONAL
REPRESENTATIVES

WITNESS' NAME (printed)

STATE OF NEW YORK)
)SS.:
COUNTY OF ORANGE Orange)

On the 2 day of July, 2025, before me, the undersigned,
a Notary Public in and for said State, personally appeared, Mechel Weiss,
personally known to me or proved to me on the basis of satisfactory evidence to be the
individual whose name is subscribed to the within instrument and acknowledged to me that he
executed the same in his capacity, and that by his signature on the instrument, the individual,
or the person upon behalf of which the individual acted, executed the instrument.

NOTARY PUBLIC



PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

7/2/25
DATED

Mechel Weiss
APPLICANT'S SIGNATURE

Mechel Weiss
APPLICANT'S NAME - PRINTED

DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

X NONE

NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

	TOWN BOARD
X	PLANNING BOARD
	ZONING BOARD OF APPEALS
	ZONING ENFORCEMENT OFFICER
	BUILDING INSPECTOR
	OTHER

7/2/25
DATED

INDIVIDUAL APPLICANT

Wise Build, LLC

CORPORATE OR PARTNERSHIP APPLICANT

BY: Neal W.

TITLE: Owner

PRINT: Mechel Weiss

N/A

AGRICULTURAL NOTE

(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)

Property adjacent to lots () is in active agricultural operation and production and residents must be aware that such property is protected by New York State "Right to Farm Laws" as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

() Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

N/A

AGRICULTURAL DATA STATEMENT

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)

Name and address of the applicant: _____

Description of the proposed project: _____

Location of the proposed project: _____

Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property: _____

A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.

APPLICANT'S SIGNATURE

APPLICANT'S NAME - PRINTED

DATE

N/A

ARCHITECTURAL REVIEW

The Town of Newburgh Planning Board had been authorized to act as the Architectural Review Board for all: site plans, projects involving ten or more dwelling units, and any construction that would affect the character of a neighborhood under Section §185-59 of the Town Code (Zoning Law).

In order to perform this task, at some point prior to final approval, the applicant shall provide the Planning Board with elevations of buildings for all sides and a written (separately or on drawings) description of the materials, colors and textures to be used in construction. All signs are subject to architectural review as part of any Site Plan approval. Signage plans including size, height, color, logos and location must be included in the ARB Submission. Plans shall also include topographical information and any screening of portions of the buildings, either existing or proposed.

Samples of the material and colors to be used shall either be submitted to the Planning Board or brought to the meeting at which architectural review will be discussed.

N/A

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: _____

NAME OF PROJECT: _____

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

COLOR OF THE EXTERIOR OF BUILDING:

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:

Color: _____

Material: _____

Square footage of signage of site: _____

Height: _____

Name and Title (owner, agent, builder, superintendent of job, etc.)- Printed

Applicant's Signature

TBP

LIST OF ADJACENT PROPERTY OWNERS

Within ten business days following the applicant's first appearance before the Planning Board, the applicant shall forward a letter prepared by the Planning Board or an authorized agent of the Planning Board to all property owners within 500 feet of the land involved in the application, as the names of such owners appear on the last completed assessment roll of the Town, notifying the property owners of the receipt of the plat and application, by first class mail. **The list of property owners shall be provided to the applicant from the Planning Board, through the Town Assessor's office.**

The mailings shall be prepared and delivered to the Town Hall for physical mailing by designated town personnel. Town personnel will provide an affidavit of mailing which must be delivered to the Planning Board.

Further appearances before the Planning Board shall be prohibited until an affidavit meeting the requirements has been delivered. In the event a modification to an application proposes an increase in the number of lots or the relocation of a proposed road or drainage basin to a location adjacent to an adjoining property, then a supplementary letter shall be required to be forwarded in the same manner advising of the modification.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Poppy Lane Amended Subdivision Plan			
Project Location (describe, and attach a location map): Between 114 and 118 Lester Clark Road, Town of Newburgh Tax Lots 6-1-113, 114, and 115, including Town of Marlborough 108.3-4-24.1			
Brief Description of Proposed Action: The proposed action is to get re-approval from the Planning Board to construct a private road to serve three existing lots.			
Name of Applicant or Sponsor: MW Management, LLC (Mechel Weiss)		Telephone: 845-248-8453	
		E-Mail: mwmanagementny@gmail.com	
Address: 4 Hamasik way 401			
City/PO: Monroe		State: New York	Zip Code: 10950
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? ±5.93 acres			
b. Total acreage to be physically disturbed? ±3.4 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? ±5.93 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			


5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Individual private wells _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Individual septic systems _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

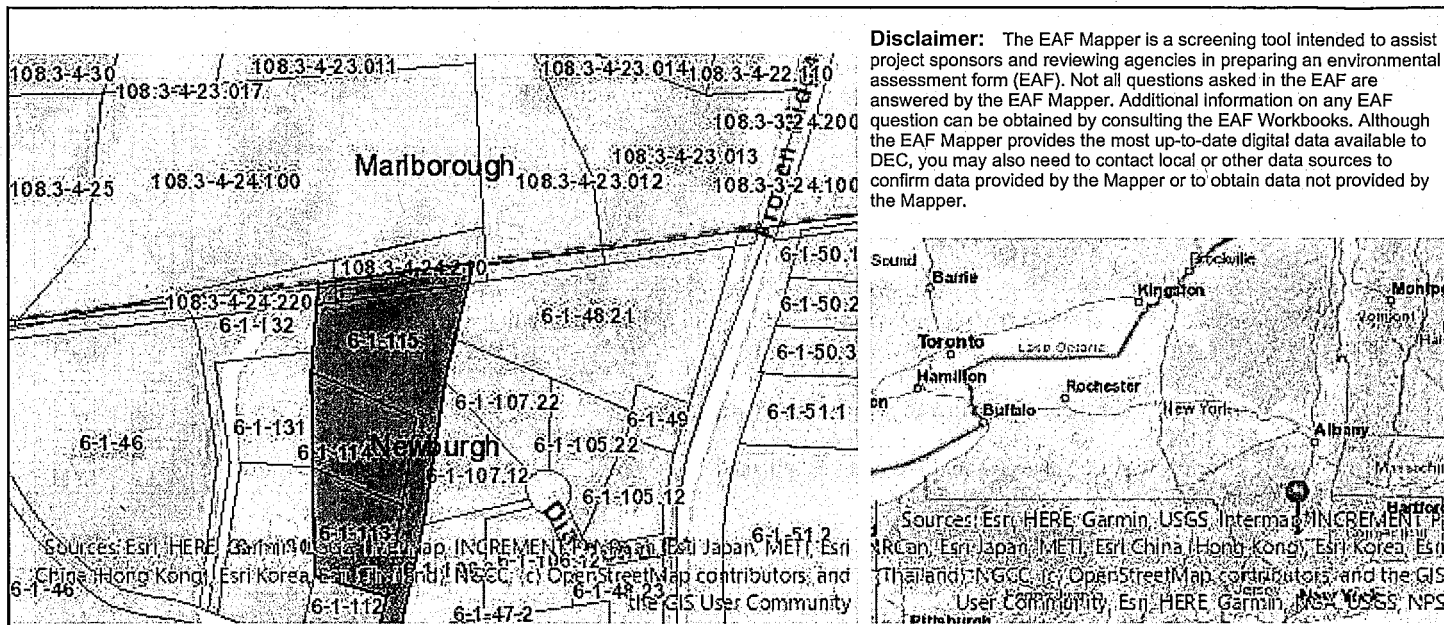
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Ross Winglovitz</u> Date: <u>06-10-2025</u>		
Signature: <u></u> Title: <u>Professional Engineer</u>		

EAF Mapper Summary Report

Tuesday, June 10, 2025 11:50 AM



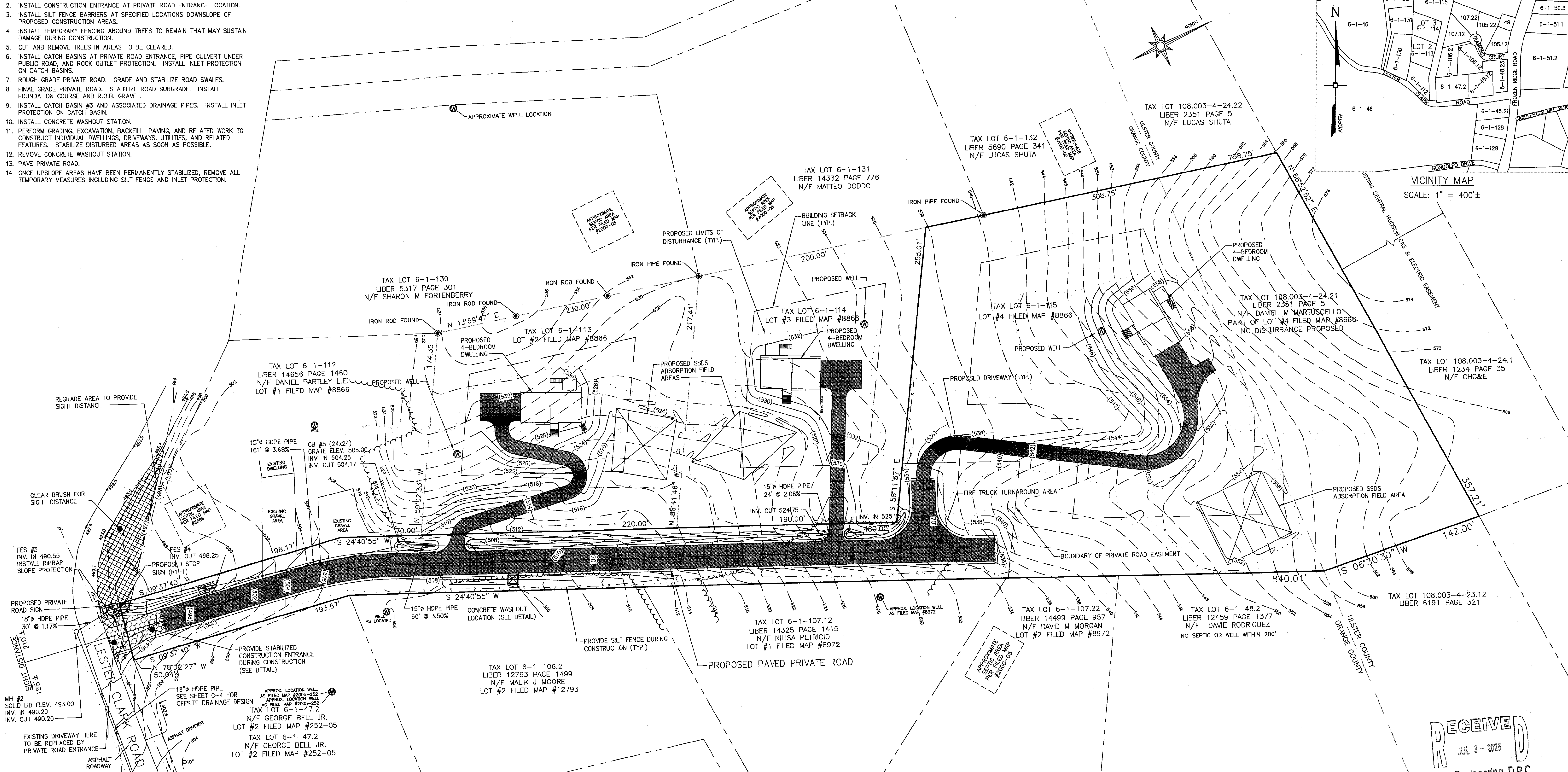
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

CONSTRUCTION SEQUENCE

- NOTES: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED REGULARLY UNTIL THEY ARE REMOVED, AND NOT REMOVED UNTIL UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED. ENSURE THERE IS ACCESS TO THE EXISTING DWELLING ON TAX LOT 6-1-112 FOR ITS OWNERS AND RESIDENTS AT ALL TIMES, AND COORDINATE ANY CLOSURES WITH THEM.
- ATTEND A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A SCHEDULE FOR CONSTRUCTION. SCHEDULE MUST BE REGULARLY UPDATED AS CONSTRUCTION PROGRESSES.
 - INSTALL CONSTRUCTION ENTRANCE AT PRIVATE ROAD ENTRANCE LOCATION.
 - INSTALL SILT FENCE BARRIERS AT SPECIFIED LOCATIONS DOWNSLOPE OF PROPOSED CONSTRUCTION AREAS.
 - INSTALL TEMPORARY FENCING AROUND TREES TO REMAIN THAT MAY SUSTAIN DAMAGE DURING CONSTRUCTION.
 - CUT AND REMOVE TREES IN AREAS TO BE CLEARED.
 - INSTALL CATCH BASINS AT PRIVATE ROAD ENTRANCE, PIPE CULVERT UNDER PUBLIC ROAD, AND ROCK OUTLET PROTECTION. INSTALL INLET PROTECTION ON CATCH BASINS.
 - ROUGH GRADE PRIVATE ROAD. GRADE AND STABILIZE ROAD SWALES.
 - FINAL GRADE PRIVATE ROAD. STABILIZE ROAD SUBGRADE. INSTALL FOUNDATION COURSE AND R.O.B. GRAVEL.
 - INSTALL CATCH BASIN #3 AND ASSOCIATED DRAINAGE PIPES. INSTALL INLET PROTECTION ON CATCH BASIN.
 - INSTALL CONCRETE WASHOUT STATION.
 - PERFORM GRADING, EXCAVATION, BACKFILL, PAVING, AND RELATED WORK TO CONSTRUCT INDIVIDUAL DWELLINGS, DRIVEWAYS, UTILITIES, AND RELATED FEATURES. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
 - REMOVE CONCRETE WASHOUT STATION.
 - PAVE PRIVATE ROAD.
 - ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY MEASURES INCLUDING SILT FENCE AND INLET PROTECTION.

LEGEND

- 100 EXISTING TOPOGRAPHIC CONTOUR
- (101) PROPOSED GRADING
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- APPROXIMATE EXISTING TREELINE
- PROPOSED LIMITS OF DISTURBANCE
- x x x SILT FENCE DURING CONSTRUCTION



GENERAL NOTES

- TAX MAP DESIGNATION: SECTION 6, BLOCK 1, LOTS 113, 114, & 115. LOTS NUMBER 2, 3, AND 4 OF THE LANDS OF PHOEBE E. MARTUSCELLO. MINOR SUBDIVISION, FILED MAY 18, 1988 AS MAP #8866.
- OWNER: WISE BUILD, LLC, 4 HAMASPIK WAY, MONROE, NY 10950.
- APPLICANT: MW MANAGEMENT, 4 HAMASPIK WAY, MONROE, NY 10950.
- ZONING DISTRICT: AR.
- BASED ON A SURVEY BY CV ASSOCIATES NY DATED 10/12/2020, AND ON FILED MAP #8866.
- THERE ARE NO REGULATED FLOOD PLAINS WITHIN 300 FEET OF THE PROJECT SITE, PER THE NATIONAL FLOOD INSURANCE RATE MAPS NUMBER 36071C0133E AND 36071C0134E FOR ORANGE COUNTY, NY EFFECTIVE 8/03/09.

- PROPOSED USE: NEW SINGLE-FAMILY RESIDENTIAL DWELLINGS. REFER TO SEPARATE PLANS FOR PROPOSED RESIDENTIAL CONSTRUCTION AND UTILITIES.
- LIMITS OF DISTURBANCE FOR ALL PROPOSED CONSTRUCTION: 3.4 ACRES ±.
- PER FILED MAP #8866 GENERAL NOTE #6, A STREET SIGN AND PRIVATE ROAD SIGN MUST BE ERECTED BEFORE A BUILDING PERMIT IS ISSUED, ALONG WITH A STOP SIGN. SEE DETAILS ON SHEET C-3.
- A PRIVATE ROAD MAINTENANCE DECLARATION FOR THE PROPOSED PRIVATE ROAD WAS FILED IN THE ORANGE COUNTY CLERK'S OFFICE AT LIBER 3265 AND PAGE 309 ON 5/16/1990.
- PER FILED MAP #8866 GENERAL NOTE #8, NO TOWN SERVICES WILL BE PROVIDED ON PRIVATE ROAD.
- DURING CONSTRUCTION, CONTRACTOR SHALL ENSURE THERE IS ACCESS TO THE EXISTING DWELLING ON TAX LOT 6-1-112 FOR ITS OWNERS AND RESIDENTS AT ALL TIMES, AND COORDINATE ANY CLOSURES WITH THEM.

UTILITY NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES, WHETHER IN THE PUBLIC RIGHT-OF-WAY, IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES THROUGHOUT THE COURSE OF CONSTRUCTION. PROJECT SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DIG SAFELY NEW YORK MUST BE CONTACTED 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION, BY DIALING 811 OR AT www.digsaferenyork.com.

No.	DATE	DESCRIPTION
1	1/18/22	DRAINAGE AND EROSION CONTROL
2	3/3/22	OFFSITE DRAINAGE DESIGN
3	5/3/22	OFFSITE DRAINAGE DESIGN
4	6/17/25	UPDATED OWNER/APPLICANT INFORMATION

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	6/17/25
	SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	1 OF 4
<input type="checkbox"/> OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/> OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/> NYSOT APPROVAL	N/A OF N/A
<input type="checkbox"/> OTHER	N/A OF N/A
<input type="checkbox"/> FOR BID	N/A OF N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

40 0 20 40 80
1" = 40'

ENGINEERING & SURVEYING PROPERTIES
Achieving Successful Results with Innovative Designs

PRIVATE ROAD AND SOIL EROSION & SEDIMENT CONTROL PLAN

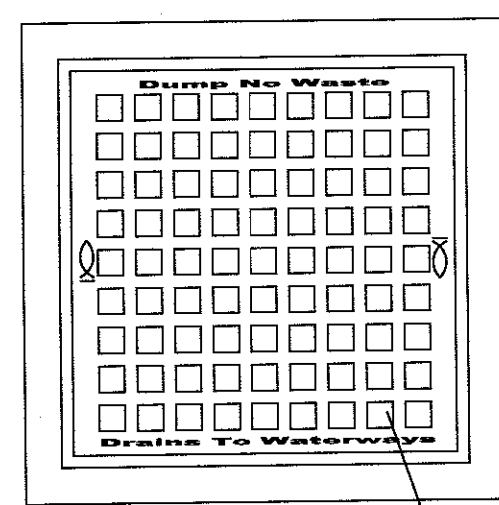
POPPY LANE
LESTER CLARK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #: 1493.01
DATE: 10/7/21
REVISION: 4 - 06/17/2025

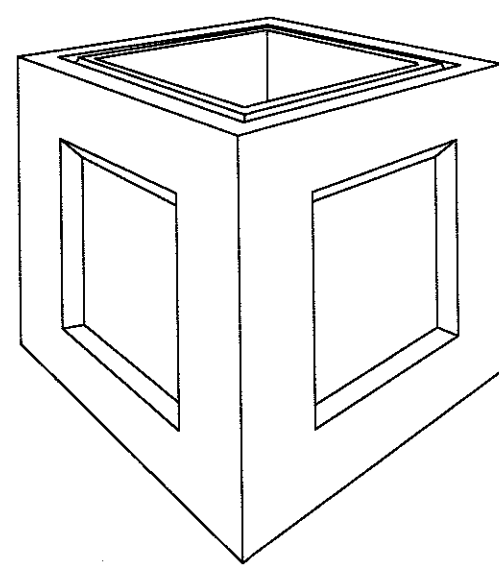
DRAWN BY: DJG
SCALE: 1" = 40'

TAX LOTS: 6-1-113, 114 & 115

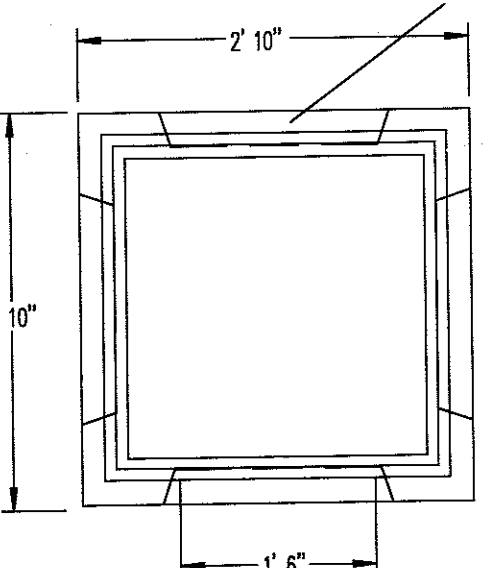
C-1



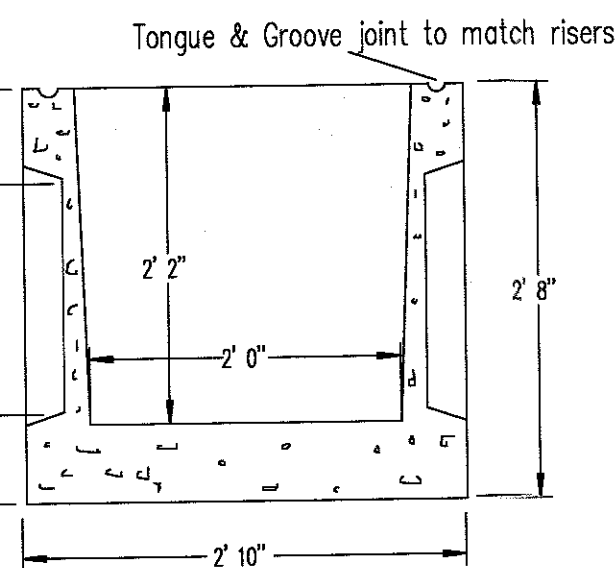
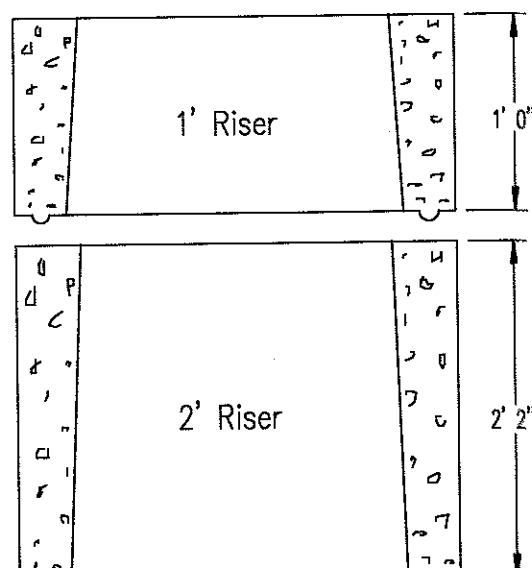
Grate



Knockout Panels



Top View



Side View

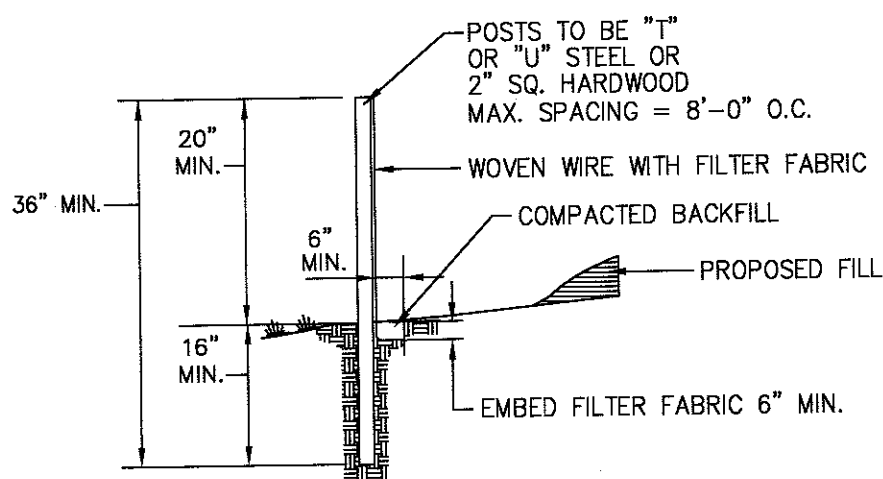
CATCH BASIN TYPE 24x24

N.T.S.

- CATCH BASIN SHALL BE PRECAST CONCRETE MODEL C9-2x2 AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE NY, OR APPROVED EQUAL.
- CONCRETE MIN. STRENGTH: 4000 PSI AT 28 DAYS
- STEEL REINFORCEMENT: #4 REBAR / ASTM A615
- CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER SEALANT OR EQUIVALENT
- LOAD RATING: H20 / ASTM C897
- GRATE SHALL BE WOODARD'S CONCRETE PRODUCTS CAST IRON FRAME AND GRATE MODEL GRATE-24x24x4 OR APPROVED EQUAL.

SOIL EROSION NOTES

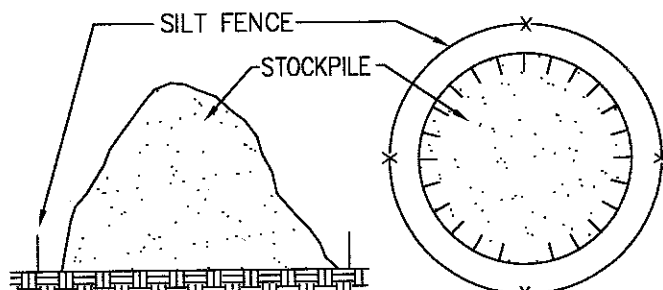
- SILT FENCE BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- DISTURBANCE TO BE LIMITED TO THE MINIMUM NECESSARY FOR THE GRADING AND CONSTRUCTION OF THE DWELLING, DRIVEWAY, LAWN, UTILITIES, ETC.
- TEMPORARY SEEDING WITH ANNUAL RYE GRASS OR OTHER RAPID GROWING MIXTURE SHALL BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN 14 DAYS AS FOLLOWS:
 - SEED WITH ANNUAL RYEGRASS (2.5 LBS. PER 1,000 SQ. FT.)
 - MULCH WITH STRAW (90 LBS. PER 1,000 SQ. FT.)
- ALL DISTURBED AREAS TO BE MULCHED TO PREVENT EROSION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUESTS OF THE VILLAGE ENGINEER OR BUILDING INSPECTOR DURING CONSTRUCTION WITH REGARD TO EROSION CONTROL DEVICES.
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. AS FOLLOWS:
 - LOOSEN SEVERELY COMPACTED AREAS BY DISCING TO 12" DEPTH.
 - FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 LBS. PER 1,000 SQ. FT.)
 - SEED WITH THE FOLLOWING MIXTURE AT 5 LBS. PER 1,000 SQ. FT.:
 - 50% KENTUCKY BLUEGRASS
 - 25% MANHATTAN RYE GRASS
 - 25% PENNLAWN CREEPING RED FESCUE
 - MULCH WITH SALT HAY OR STRAW (90 LBS. PER 1,000 SQ. FT.)



SILT FENCE DETAIL

N.T.S.

- WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- SILT FENCE FABRIC TO BE MIRAFI 100X OR APPROVED EQUAL.
- WOVEN WIRE FENCE (MIN. 14.5 GAUGE, MAX 6" MESH SPACING)

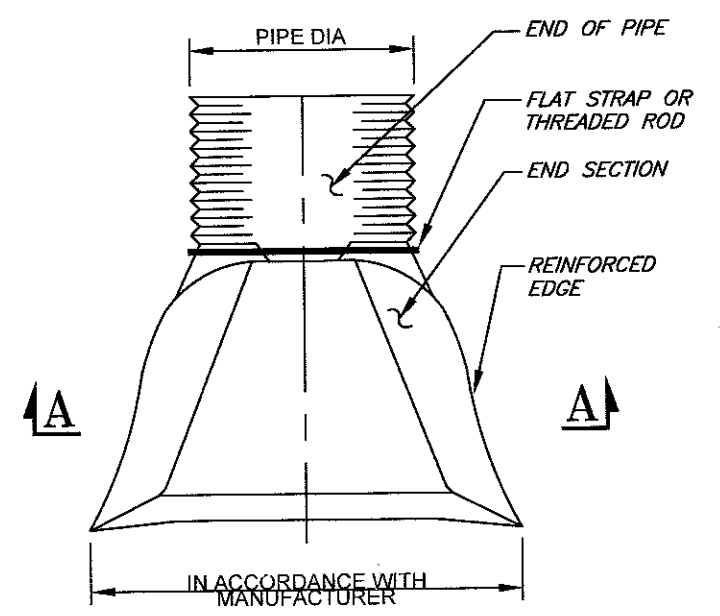


TOPSOIL STOCKPILE

N.T.S.

NOTE: STOCKPILE TO RECEIVE TEMPORARY SEEDING WITH ANNUAL RYE IF IT REMAINS IN PLACE FOR MORE THAN 30 DAYS.

SILT FENCE TO BE INSTALLED AROUND STOCKPILE (SEE SILT FENCE DETAIL).

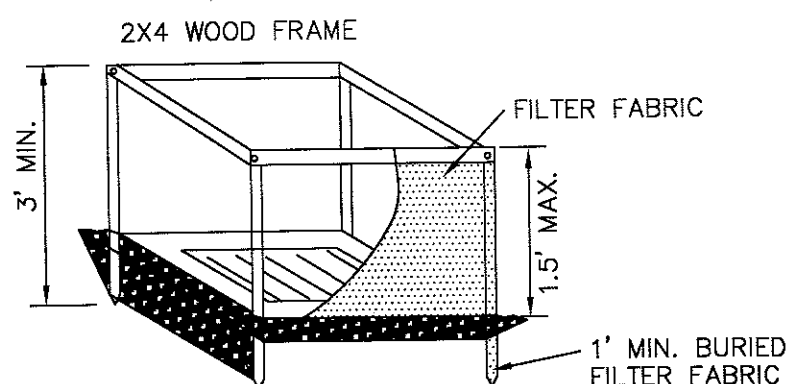


FLARED END SECTION

N.T.S.

FLARED END SECTION

SCALE: N.T.S.

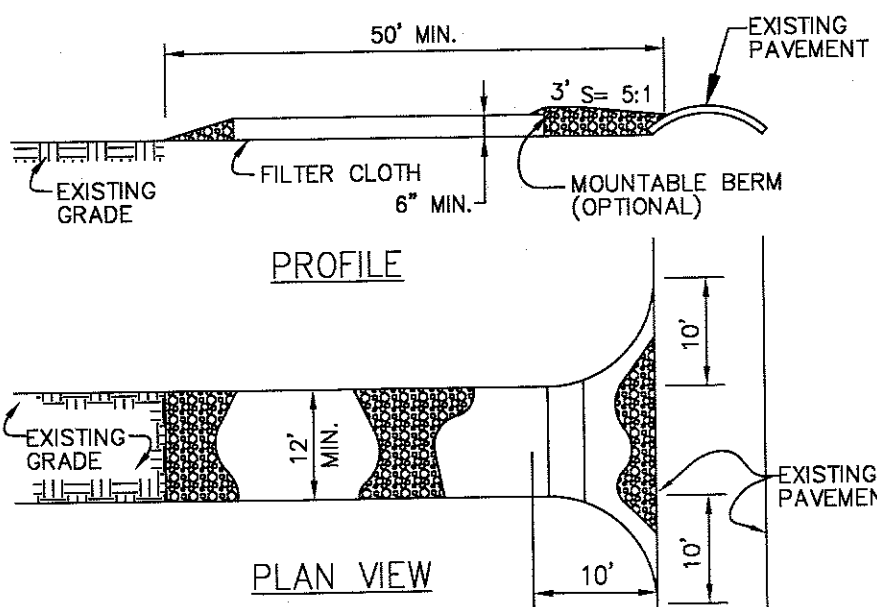


INLET PROTECTION DETAIL

N.T.S.

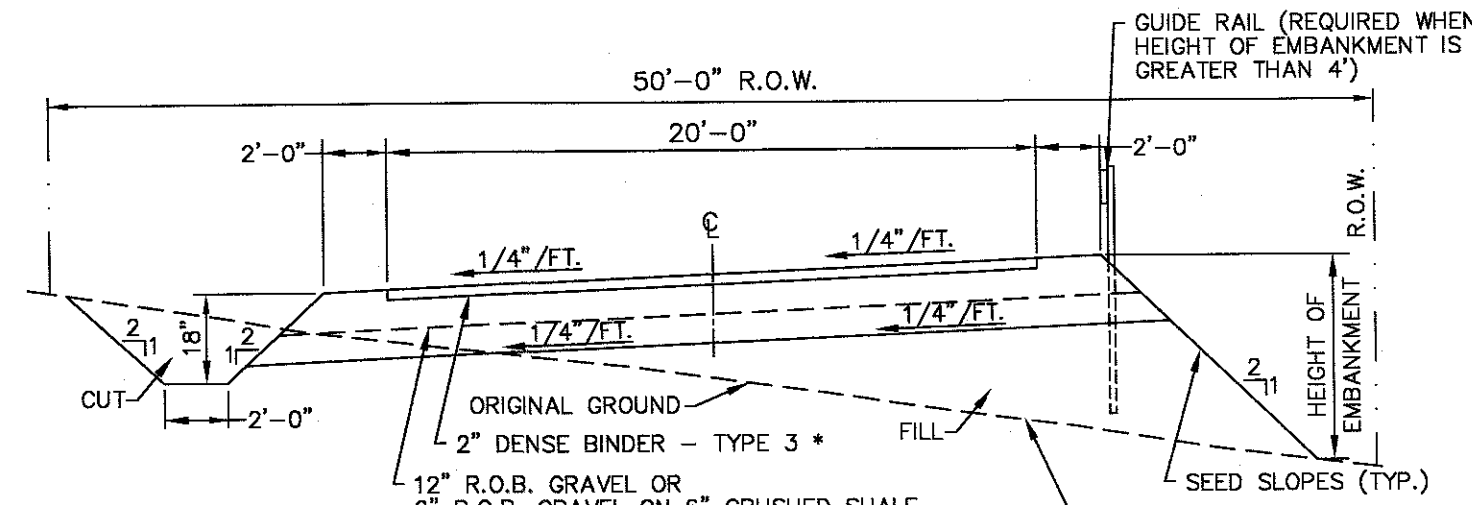
GRAVEL CONSTRUCTION ENTRANCE BLANKET SPECIFICATIONS:

- STONE SIZE - USE 1" - 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FT.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (25) FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



CONSTRUCTION ENTRANCE DETAIL

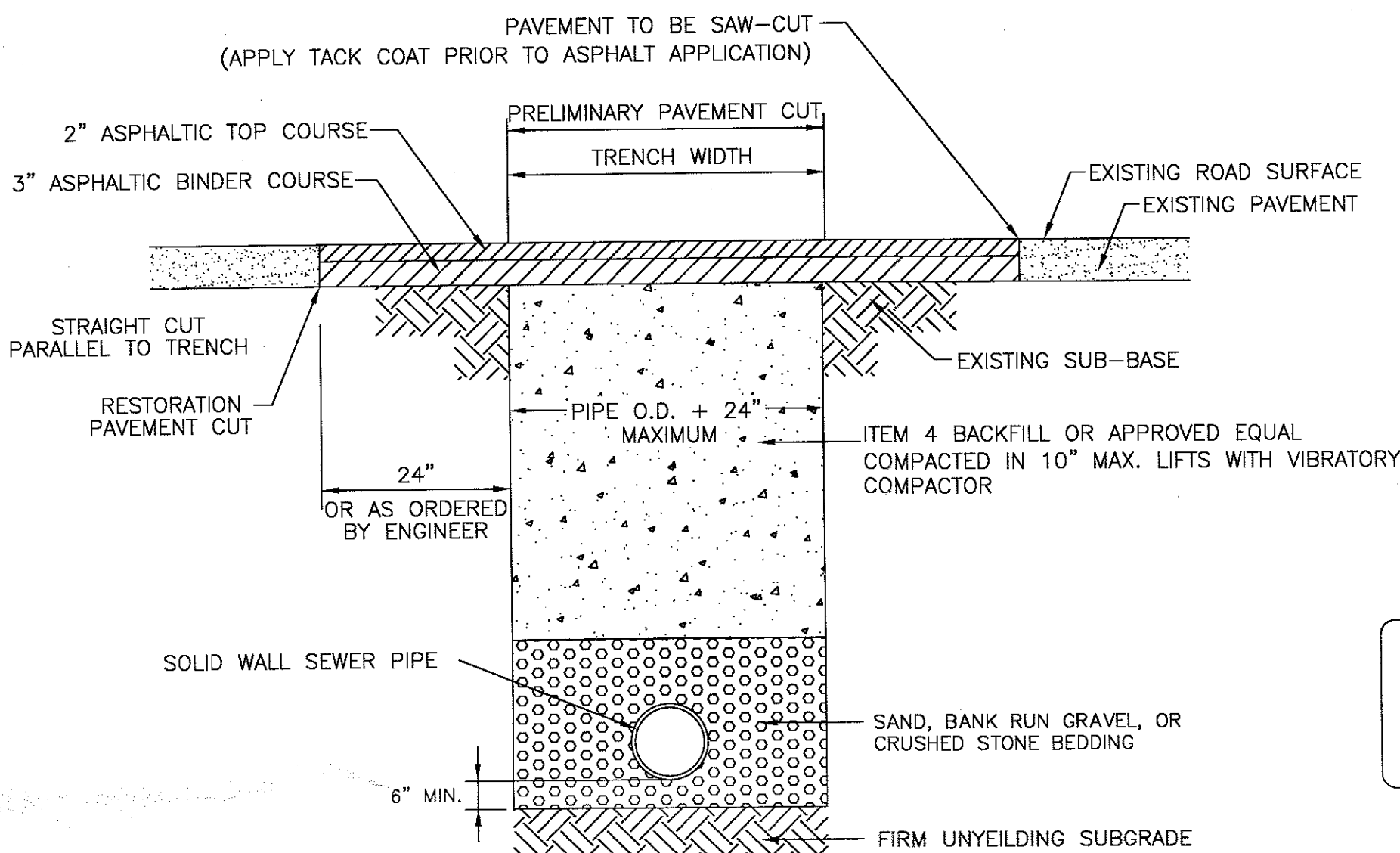
N.T.S.



TYPICAL SECTION - PRIVATE ROAD

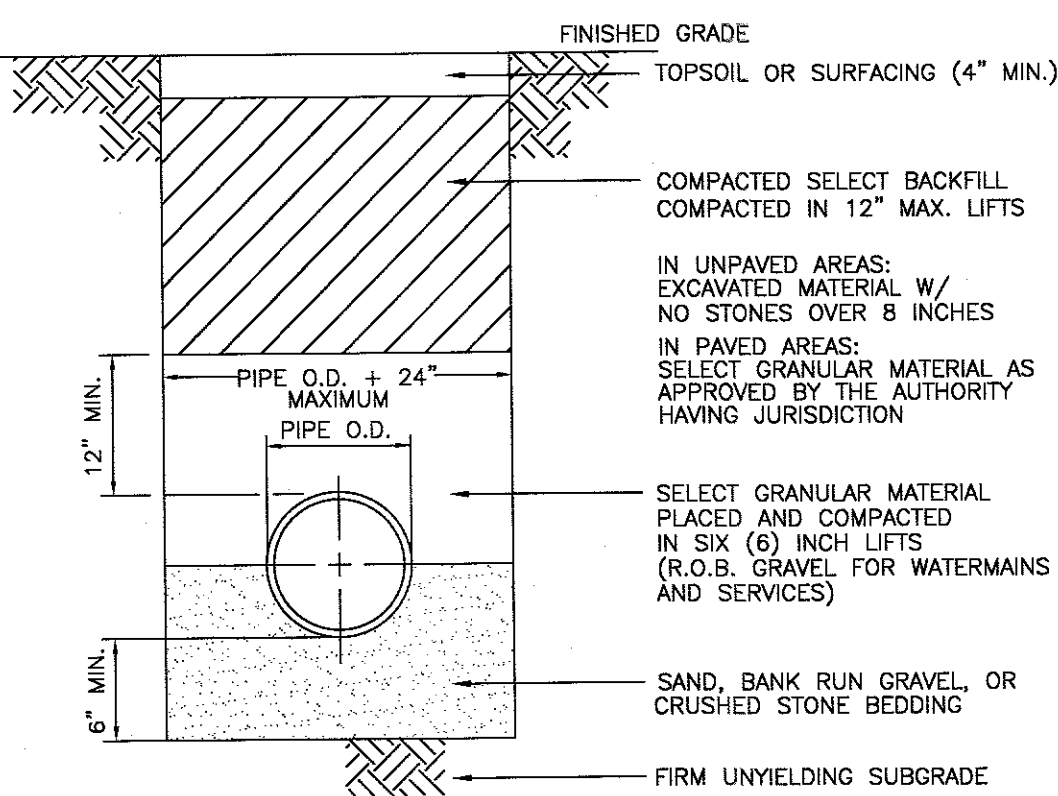
N.T.S.

- THE SUBGRADE SHALL BE MADE STABLE TO THE SATISFACTION OF THE TOWN ENGINEER. ALL TOPSOIL, LOAM, ROCKS AND ORGANIC MATERIAL SHALL BE REMOVED UNTIL A SATISFACTORY SUBGRADE IS ESTABLISHED. FILL SHALL BE MADE IN 12" MAX. LAYERS COMPACTED TO MINIMUM 90% STANDARD PROCTOR.
- THE FOUNDATION COURSE SHALL BE WELL GRADED AND CONTAIN STONES NO LARGER THAN 3 INCHES IN DIMENSION. RUN-OF-BANK (R.O.B.) GRAVEL SHALL BE PLACED IN ONE LAYER AND THOROUGHLY COMPACTED PRIOR TO FINE GRADING.



PIPE BEDDING DETAIL (WITHIN LESTER CLARK ROAD)

N.T.S.



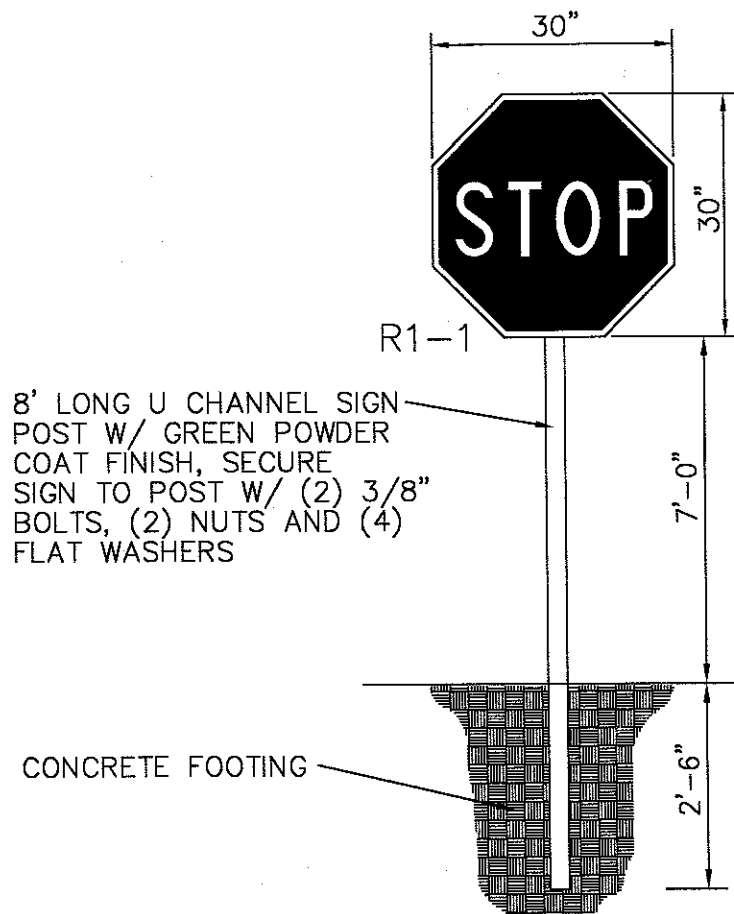
PIPE BEDDING DETAIL (ELSEWHERE)

N.T.S.



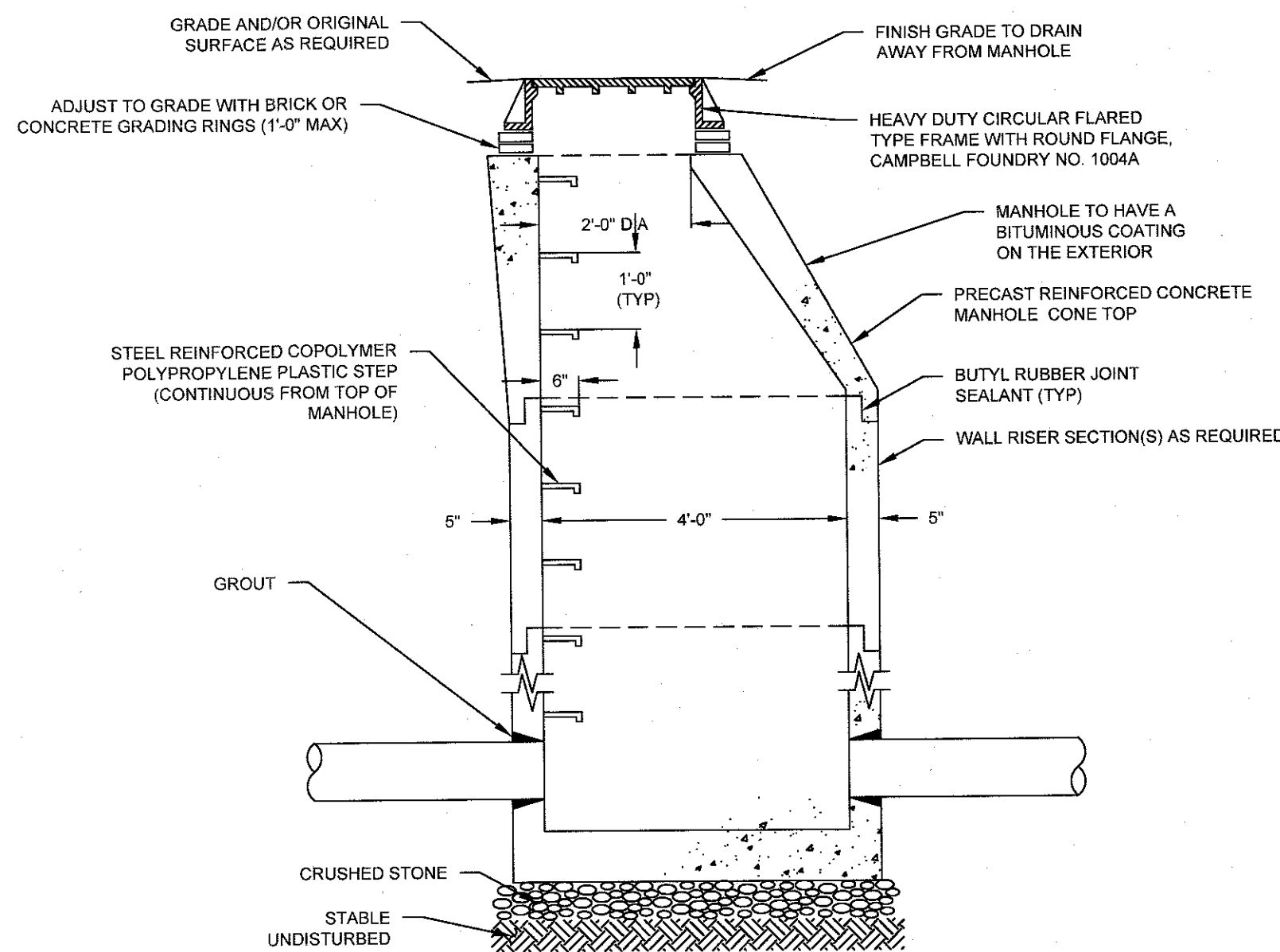
ROAD SIGN DETAIL

N.T.S.



STOP SIGN & POST DETAIL

N.T.S.

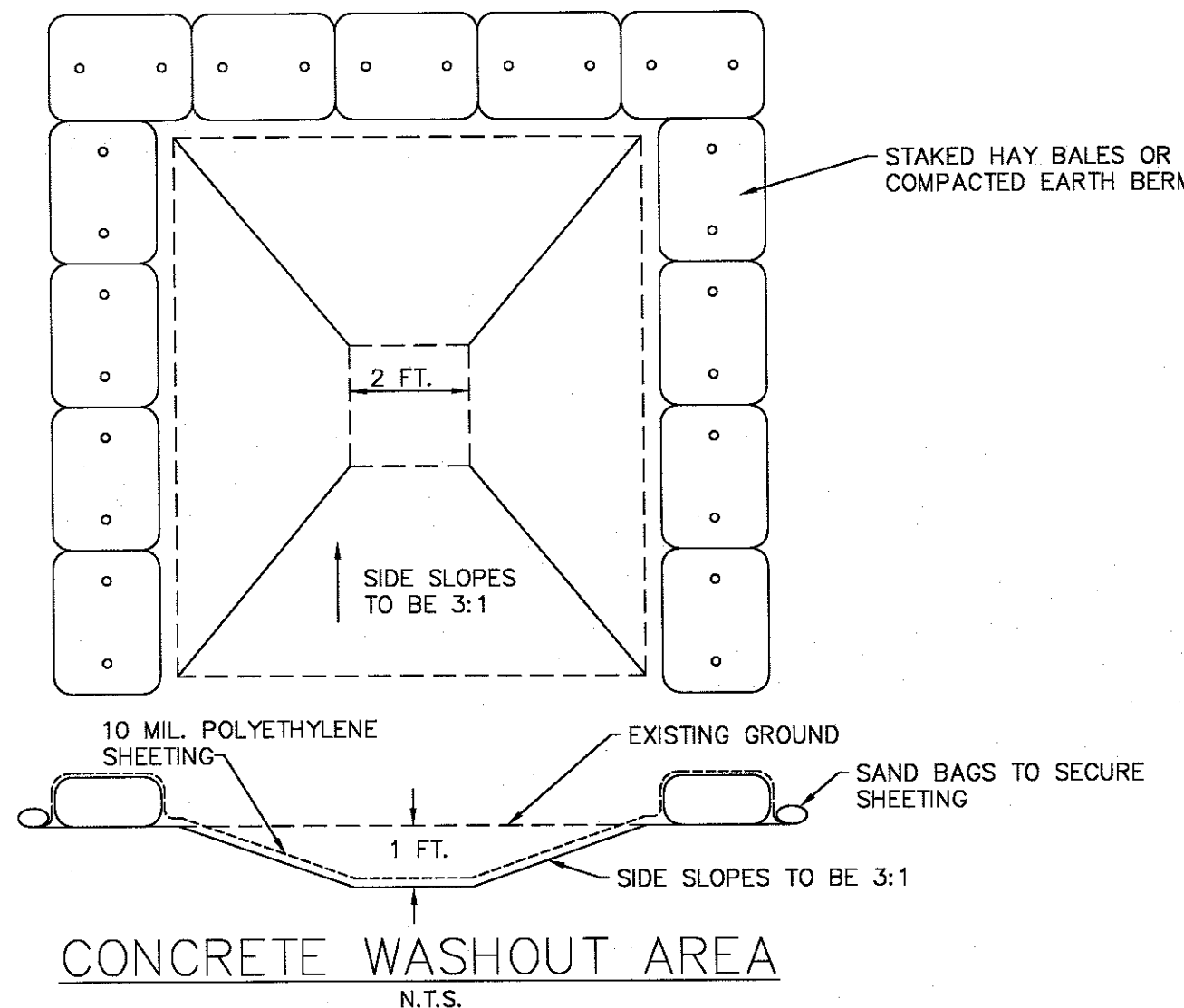


NOTES:

- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND ASTM A185 GRADE 65.
- CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
- MANHOLE CONSTRUCTION TO BE CAPABLE OF WITHSTANDING H=20 LOADINGS.
- PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARD'S CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.

DRAINAGE MANHOLE

SCALE: N.T.S.



CONCRETE WASHOUT AREA

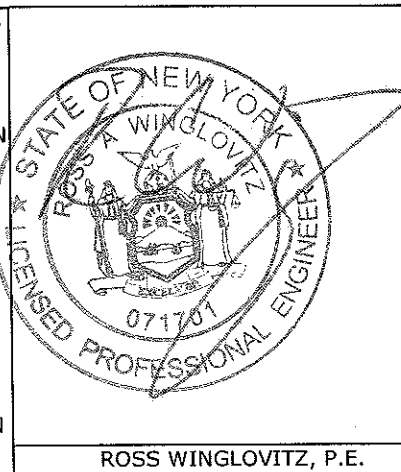
N.T.S.

- CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. THE CONCRETE WASHOUT AREA SHALL BE ENTIRELY SELF-CONTAINED.
- CONCRETE WASHOUT AREA(S) ARE TO BE LOCATED AT LEAST 50 FT. FROM ANY STREAM, WETLAND, STORM DRAINS OR OTHER SENSITIVE RESOURCE.
- SURFACE DISCHARGE IS UNACCEPTABLE. THEREFORE, HAY BALES OR OTHER CONTROL MEASURES, AS APPROVED BY THE ENGINEER, SHALL BE USED AROUND THE PERIMETER OF THE CONCRETE WASHOUT AREA FOR CONTAINMENT.
- WASHOUT AREA(S) ARE TO BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND CHECKED FOR LEAKS, TEARS, OR OVERFLOWS. WASHOUT AREA(S) SHALL BE CHECKED AFTER HEAVY RAINS.
- HARDENED CONCRETE WASTE SHALL BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO HALF OF THE CONCRETE WASHOUT'S HEIGHT. ALL CONCRETE WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS, REGULATIONS, AND GUIDELINES.

No.	DATE	DESCRIPTION
1	1/18/22	DRAINAGE AND EROSION CONTROL
2	3/3/22	OFFSITE DRAINAGE DESIGN
3	5/3/22	OFFSITE DRAINAGE DESIGN
4	6/17/25	UPDATED OWNER/APPLICANT INFORMATION

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	6/17/25
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	3 OF 4
OCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
OCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
MYSDEC APPROVAL	N/A OF N/A
MYSDEC APPROVAL	N/A OF N/A
OTHER	N/A OF N/A
FOR BID	N/A OF N/A
FOR CONSTRUCTION	N/A OF N/A

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ENGINEERING PROPERTIES
Achieving Successful Results with Innovative Designs

WARWICK OFFICE
17 RIVER STREET
WARWICK, NY 10990
Ph: (845) 986-7737
WWW.EP-PC.COM

CONSTRUCTION DETAILS

POPPY LANE
LESTER CLARK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

JOB #:	1493.01	DRAWN BY:	DJG
DATE:	10/7/21	SCALE:	AS NOTED
REVISION:	4 - 06/17/2025	TAX LOTS:	6-1-113, 114 & 115

C-3

