

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA) MICHAEL W. WEEKS, P.E. (NY, NJ & PA) MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA) MATTHEW J. SICKLER, P.E. (NY & PA) PATRICK J. HINES

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Principal Emeritus: RICHARD D. McGOEY, P.E. (NY & PA) WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

TOWN OF NEWBURGH **PLANNING BOARD TECHNICAL REVIEW COMMENTS**

PROJECT:

PET HOTEL AND DAYCARE (MIDDLEHOPE VET)

PROJECT NO.:

2012-19

PROJECT LOCATION:

SECTION 9, BLOCK 3, LOT 22.1 & 23 & 22.2

REVIEW DATE:

31 MARCH 2017

MEETING DATE:

6 APRIL 2017

PROJECT REPRESENTATIVE: T.M. DEPUY ENGINEERING & LAND SURVEYING, P.C.

- 1. Unified Site Plan note has been placed on the plans.
- 2. The gravel area on the northeast portion of the site is proposed to continue to be utilized as employee parking. NYSDOT comments on this should be received.
- 3. Inquiry for the NY National Heritage has been submitted. Planning Board awaits this information.
- 4. Documents regarding the shared septic facility between the lots are outstanding. Applicant identifies they are working on the documents.
- 5. A Landscape Plan has been submitted for the Planning Board use. Planning Board should evaluate the Landscape Plan with regard to acceptability to the Board.
- 6. NYSDEC and Orange County Health Department approval of the subsurface sanitary sewer disposal system is required. This office will defer review of the sanitary sewer disposal system to those agencies.
- 7. We would recommend that the chain link fence proposed above the retaining wall be black vinyl coated consistent with previous Planning Board approvals.
- 8. The parking spaces closest to the proposed Pet Hotel are labeled 9 spaces while only 8 are now provided due to the handicap accessibility.
- 9. Zoning data cable should be revised for number of parking spaces. Parking spaces are currently proposed at 34, including 3 accessible.

Town of Newburgh

10. The amount of disturbance on the site should be calculated with regard to the need to prepare a Stormwater Pollution Prevention Plan.

Respectfully submitted,

McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Patrick J. Hines Principal

PJH/kbw

T.M. DePUY ENGINEERING AND LAND SURVEYING, P.C.

2656 Route 302 Middletown, NY 10941

Tel # (845) 361-5421 Fax# (845) 361-5229

March 23, 2017

John Ewasutyn, Chairman Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550



Re: Proposed Pet Hotel &
Day Care Facility
Section 9, Block 3,
Lots 22.2, 23 & 22.1 (P/O)
Town of Newburgh Job #2012-19

Dear Mr. Chairman:

Enclosed please find 14 copies each of the following items on the referenced project for review:

- Revised Site Plan drawings
- Lot Line Change and Land Consolidation Map
- Revised Pages 7 and 11 of Long EAF
- New York National Heritage confirmation of submittal

The following is in response to McGoey, Hauser and Edsall Consulting Engineers D.P.C. comments of

- 1. The transfer table on the Lot Line Change plan has been corrected to list 22.1, and the second lot has been relabeled.
- 2. Shared parking arrangements and unified site plan agreements are being finalized and a note concerning this has been placed on the drawing.
- 3. The gravel area on the northeast portion of the site is still to be utilized as an employee parking lot and the employees will access the site across the small existing bridge.
- 4. The long form EAF has been revised. An inquiry to the New York National Heritage has been made (see attached confirmation).
- 5. The long form EAF has been modified to indicate the depth to ground water which is an average of 5'; see Page 11.
- 6. So noted.
- 7. We have made application to the ZBA and have been placed on April 27, 2017 agenda to obtain a front yard setback for the existing building which was pre-existing, non-conforming.
- 8. The parking has been slightly revised to indicate one additional handicap parking space with access way into the pet hotel and day care facility.
- 9. The owner's endorsement note has been removed from SP1.
- 10. Legal documents concerning the shared septic facility are being finalized.
- 11. So noted.
- 12. Two new area light poles have been indicated on the drawings; see SP2 and a detail provided on SP6.
- 13. So noted.
- 14. So noted.

- 15. So noted.
- 16. The grading occurring on 9-3-22.1 is related to the development of the expanded pet hotel and day care facility. The ownership of the two lots are the same; therefore, we do not believe a cross grading easement is required.
- 17. So noted.
- 18. A soil erosion and sedimentation plan has been provided. SWPPP1, SWPPP2 & SWPPP3.
- 19. A detail of the retaining wall has been added to the plans; see SP7.
- 20. The details for the proposed sidewall and stairways have been added to the plans, see SP6.
- 21. A landscape plan has been provided, see SP8.

In response to Planning Board comments at the March 2, 2017, we have modified the long form EAF to clarify operational hours, see Page 7. We have a correction on the traffic portion of the long form EAF: there are no semi-tractor trailer trips; this has been indicated at 0.

We have been placed on the April 6, 2017 agenda. Thank you.

Very truly**y**ours

THOMAS M. DEPUY, ÞE/LS

TMD/nk

Enclosures

cc: w/enc. – Michael Donnelly, Town Attorney via email – Charlene Schaper

h. Will the proposed action generate or emit methane (including landfills, composting facilities)? If Yes: i. Estimate methane generation in tons/year (metric):	s, but not limited to, sewage treatment plants,	∐Yes √ No
ii. Describe any methane capture, control or elimination measure electricity, flaring):	res included in project design (e.g., combustion to g	generate heat or
i. Will the proposed action result in the release of air pollutants quarry or landfill operations? If Yes: Describe operations and nature of emissions (e.g., diesel	· · · · · · · · · · · · · · · · · · ·	∐Yes ∏ No
j. Will the proposed action result in a substantial increase in traffnew demand for transportation facilities or services? If Yes: i. When is the peak traffic expected (Check all that apply): Randomly between hours of 4:00 to 5:00 ii. For commercial activities only, projected number of semi-triii. Parking spaces: Existing 20 Prop	☐ Morning	Yes No
 iv. Does the proposed action include any shared use parking? v. If the proposed action includes any modification of existing No vi. Are public/private transportation service(s) or facilities avail. 	roads, creation of new roads or change in existing	✓Yes No access, describe:
 vii Will the proposed action include access to public transportation or other alternative fueled vehicles? viii. Will the proposed action include plans for pedestrian or bicy pedestrian or bicycle routes? 	ion or accommodations for use of hybrid, electric	∐Yes No ∐Yes No ∐Yes No
k. Will the proposed action (for commercial or industrial projects for energy?If Yes:i. Estimate annual electricity demand during operation of the property of the p	oposed action:	Z Yes□No
 ii. Anticipated sources/suppliers of electricity for the project (e.g other): Central Hudson Gas and Electric iii. Will the proposed action require a new, or an upgrade to, an expression of the proposed action require a new, or an upgrade to. 		ocal utility, or ☐Yes☑No
l. Hours of operation. Answer all items which apply. i. During Construction: i. • Monday - Friday: 7:30am-3:30pm • Saturday: n/a • Sunday: n/a • Holidays: n/a	i. During Operations: • Monday - Friday: 7:00am - 7:00pm • Saturday: 8:00am - 1:00pm • Sunday: 11:00am - 5:00pn • Holidays: Closed (General)	1

v. Is the project site subject to an institutional control limiting property uses?	☐ Yes ✓ No
If yes, DEC site ID number:	
Describe the type of institutional control (e.g., deed restriction or easement):	
Describe any use limitations:	
 Describe any engineering controls: Will the project affect the institutional or engineering controls in place? 	
Explain:	☐ Yes ☐ No
E.2. Natural Resources On or Near Project Site	
111	feet
b. Are there bedrock outcroppings on the project site?	TVar I NIa
If Yes, what proportion of the site is comprised of bedrock outcroppings?	☐Yes Z No %
c. Predominant soil type(s) present on project site: Bath Nassau	68 %
Erie	8 %
Hoosie	24 %
d. What is the average depth to the water table on the project site? Average: <u>5</u> feet	
e. Drainage status of project site soils: Well Drained: 24 % of site	
✓ Moderately Well Drained: 76 % of site	
Poorly Drained% of site	
f. Approximate proportion of proposed action site with slopes: 🗸 0-10%:	40 % of site
☑ 10-15%:	16 % of site
✓ 15% or greater:	15 % of site
g. Are there any unique geologic features on the project site?	☐ Yes Z No
If Yes, describe:	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including strea	ms, rivers,
ponds or lakes)?	
ii. Do any wetlands or other waterbodies adjoin the project site? If Yes to either i or ii, continue. If No, skip to E.2.i.	✓ Yes No
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by at	
state or local agency?	ny federal,
iv. For each identified regulated wetland and waterbody on the project site, provide the follow	ving information:
	assification C
I plant on Donday Name	assification
• Wetlands: Name Federal Waters, Federal Waters Ap	proximate Size Stream
 Wetland No. (if regulated by DEC) v. Are any of the above water bodies listed in the most recent compilation of NYS water qual 	
waterbodies?	ity-impaired Yes \(\overline{\mathbb{Z}}\)No
If yes, name of impaired water body/bodies and basis for listing as impaired:	
i. Is the project site in a designated Floodway?	☐Yes Z No
j. Is the project site in the 100 year Floodplain?	☐Yes Z No
k. Is the project site in the 500 year Floodplain?	□Yes / No
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source	aquifer? ☐Yes ✓No
If Yes:	1 103 100
i. Name of aquifer:	

From:

naturalheritage@dec.ny.gov

To:

Tom M DePuy

Subject:

Confirmation of your submitted request to New York Natural Heritage

Date:

Tuesday, March 21, 2017 4:33:01 PM

Submission ID: 1160

Submitted on Tuesday, March 21, 2017 - 16:32

Submitted values are:

Company, Organization, or Agency: T.M. Depuy Engineering and Land Surveying

Requestor Name: Thomas M. DePuy

Requestor Address (Street/PO Box): 2656 Route 302

Requestor City: Middletown Requestor State: New York Requestor Zip Code: 10941

Requestor Telephone #: 845-361-5421
Requestor Email: tmdepuy@tmdepuy.com
Project Type: commercial development

Project Name: Pet Hotel and Day Care Facility

Project Applicant: Ranne LLC,

Project County: Orange

Town (Orange County): Newburgh

Project Summary: Propose 6,040 SF addition to the existing pet hotel and day care facility located on westerly side of Route 9W in Town of Newburgh. The propose is being reviewed by the Town of Newburgh Planning Board which has taken Lead Agency, and we need to know whether there the proposed project would likely impact any ecologically significant areas or rare species of plants or animals.

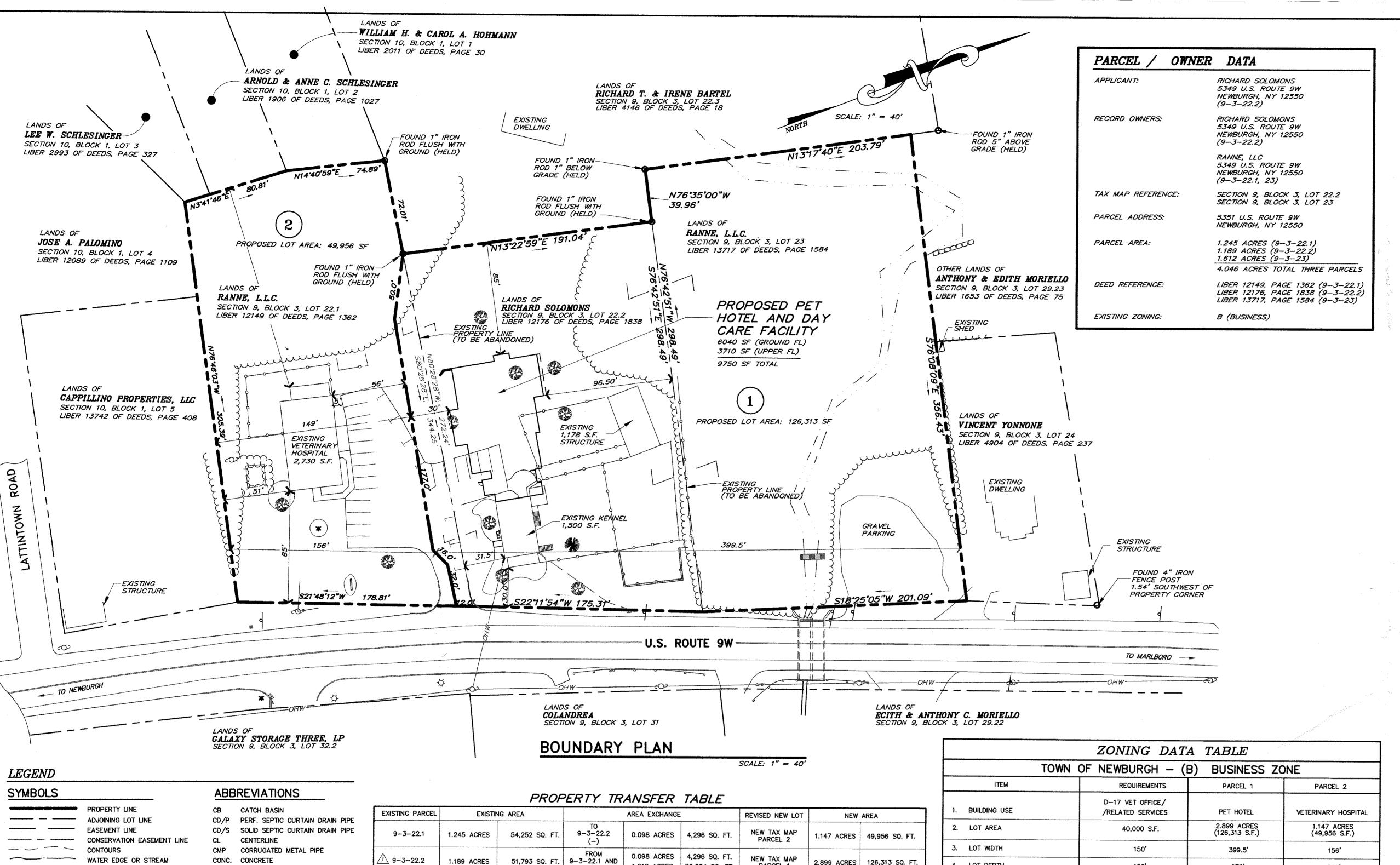
Current Land Use: Dog run area and a portion is vacant

Tax parcel number: Sec 9 Block 3 Lots 22.1, 22.2, 23If you are submitting a map, this field is optional.

Latitude: Longitude:

Street Address of Project: 5351 Route 9W, Newburgh, NY 12250If you are submitting a map, this field is optional.

Project Notes:



		01,202 04. 1 11	(-)	7.525	,,	PARCEL 2	1.147 ACKES	49,930 SQ. F1.
9-3-22.2	1.189 ACRES	51,793 SQ. FT.	FROM 9-3-22.1 AND 9-3-23	0.098 ACRES 1.612 ACRES	4,296 SQ. FT. 70,224 SQ. FT.	NEW TAX MAP PARCEL 1	2.899 ACRES	126,313 SQ. FT.
9-3-23	1.612 ACRES	70,224 Sq. Ft.	TO 9-3-22.2 (-)	1.612 ACRES	70,224 SQ. FT.	**************************************		_
TOTAL AREA	4.046 ACRES	176,269 Sq. Ft.					4.046 ACRES	176,269 SQ. FT.
	TAX PARCEL 9-3-22.1 1.245 AC	TAX PARCEL 9-3-22.2 1.189 AC	TAX PARCE 9-3-23 1.612 AC	72	PARCEL 2 1.147 AC		PARCEL 1 2.899 AC	
EΧ	ISTING PA	ARCELS			PROPOS	ED PARCE	ELS	

SCALE: 1" = 140'

SCALE: 1" = 140'

		ZONING DAT	A T	ABLE'	
	TOWN	OF NEWBURGH - (B) I	BUSINESS ZO	ONE
	ITEM	REQUIREMENTS		PARCEL 1	PARCEL 2
	BUILDING USE	D-17 VET OFFICE/ /RELATED SERVICES		PET HOTEL	VETERINARY HOSPITAL
2.	LOT AREA	40,000 S.F.		2.899 ACRES (126,313 S.F.)	1.147 ACRES (49,956 S.F.)
3.	LOT WIDTH	150'		399.5	156'
1.	LOT DEPTH	150'		272'	305'
5.	BUILDING SETBACKS O FRONT YARD O SIDE YARD O REAR YARD	40° 30° 40°		30' (EXIST) 30' (PROPOSED) 85'	85' (EXIST) 51' (EXIST) 158' (EXIST)
 3.	BUILDING HEIGHT	35 FEET	L	ESS THAN 35'	LESS THAN 35'
7.	OFF STREET PARKING (§185-13) o ANIMAL HOSPITAL REQUIREMENTS	ONE SPACE PER 200 S.F. 9750 SF (NEW) 1 SPACE/ 200 SF 2,730 SF (HOSP.) 1 SPACE/ 200 SF 1,500 SF (KENNEL) 1 SPACE/ 200 SF 1,178 SF (E.A.) 1 SPACE/ 1000 SF 33.8 =		1	AL SHARED SPACES D 2 ACCESSIBLE)
•	LOT BUILDING COVERAGE	MAXIMUM 30%	12,428 126,313	$\frac{\text{SF}}{\text{S} \text{ SF}} \times 100 = 9.8\%$	$\frac{2,730 \text{ SF}}{49,956 \text{ SF}} \times 100 = 5.5\%$
	LOT SURFACE COVERAGE	MAXIMUM 60%		I SF x 100 = 10.2%	$\frac{15,693 \text{ SF}}{49,956} \text{ X } 100 = 31.4\%$

OWNERS ENDORSEMENT

Owner

Owner

I GRANT MY APPROVAL TO THE FILING OF THESE PLANS IN THE ORANGE COUNTY CLERK'S OFFICE

Date

Date



LOCATION MAP

SURVEY AND PARCEL NOTES

- 1. MAP REFERENCE: NYSDOT "SHEET NO. 5 & SHEET NO. 6, NEWBURG, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED
- 2. FIELD NOTE REFERENCE: NYSDOT FIELD NOTES FOR "NEWBURG, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED 1910.
- 3. MAP REFERENCE: NYSDOT "NEWBURGH-CEDAR HILL CEMETERY S.H. 5007" SHEET NO. 15 OF 24, DATED JULY 9, 1928.
- 4. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
- 5. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
- 6. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14.5" DATED DECEMBER 19, 1928.
- 7. MAP REFERENCE: NYSDOT "NEWBURGH—CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 89, PHYLLIS TIBBY & LUCY BOLOGNESE, TOWN OF NEWBURGH" DATED DECEMBER 13, 1990.
- 8. MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 637 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1988 AS PREPARED BY GERALD ZIMMERMAN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #9098.
- 9. MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORIELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1999, REVISED OCTOBER 5, 1999 AS PREPARED BY BRINNIER & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
- 10. THIS LOT LINE CHANGE IS BEING CONSIDERED CONCURRENT WITH A SEPARATE SITE PLAN FOR A BUILDING ADDITION ON TAX PARCEL 9-1-22.2

LOT LINE CHANGE AND LAND CONSOLIDATION MAP OF LANDS OF

RANNE, LLC AND RICHARD SOLOMONS

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK

> FEBRUARY 7, 2017 SCALE: 1" = 40'



TM DEPUY

ENGINEERING & LAND SURVEYING, P.C. 2656 ROUTE 302, MIDDLETOWN, NY 10941 PHONE: (845) 361-5421 FAX: (845) 361-5229

SHEET 1 OF 1

GUIDE RAIL FENCE LINE

EDGE OF PAVEMENT OVERHEAD UTILITY LINE TREELINE UTILITY POLE WELL WATERMAIN GATE VALE

be considered valid, true copies."

RETAINING WALL (PROPOSED) ROOF/FOOTING DRAINS

SEPTIC CURTAIN DRAIN (PROPOSED) N.W.L. NORMAL WATER LEVEL (SURFACE ELEV) DAYLITE OUTLET W/RODENT SCREEN PROP. PROPOSED

W.L. WATER LEVEL (SURFACE ELEV) "Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal in red is a violation of Section 7208, Subdivision 2, of the New York State Education Law." "Only copies from the original tracing of this survey map marked

with the Land Surveyor's seal in red with original signature shall

D.I.P. DUCTILE IRON PIPE

HIGH POINT

LINEAR FOOT

FINISHED FLOOR ELEVATION

(SMOOTH INTERIOR)

RCP REINFORCED CONCRETE PIPE

HIGH DENSITY POLYETH.PIPE

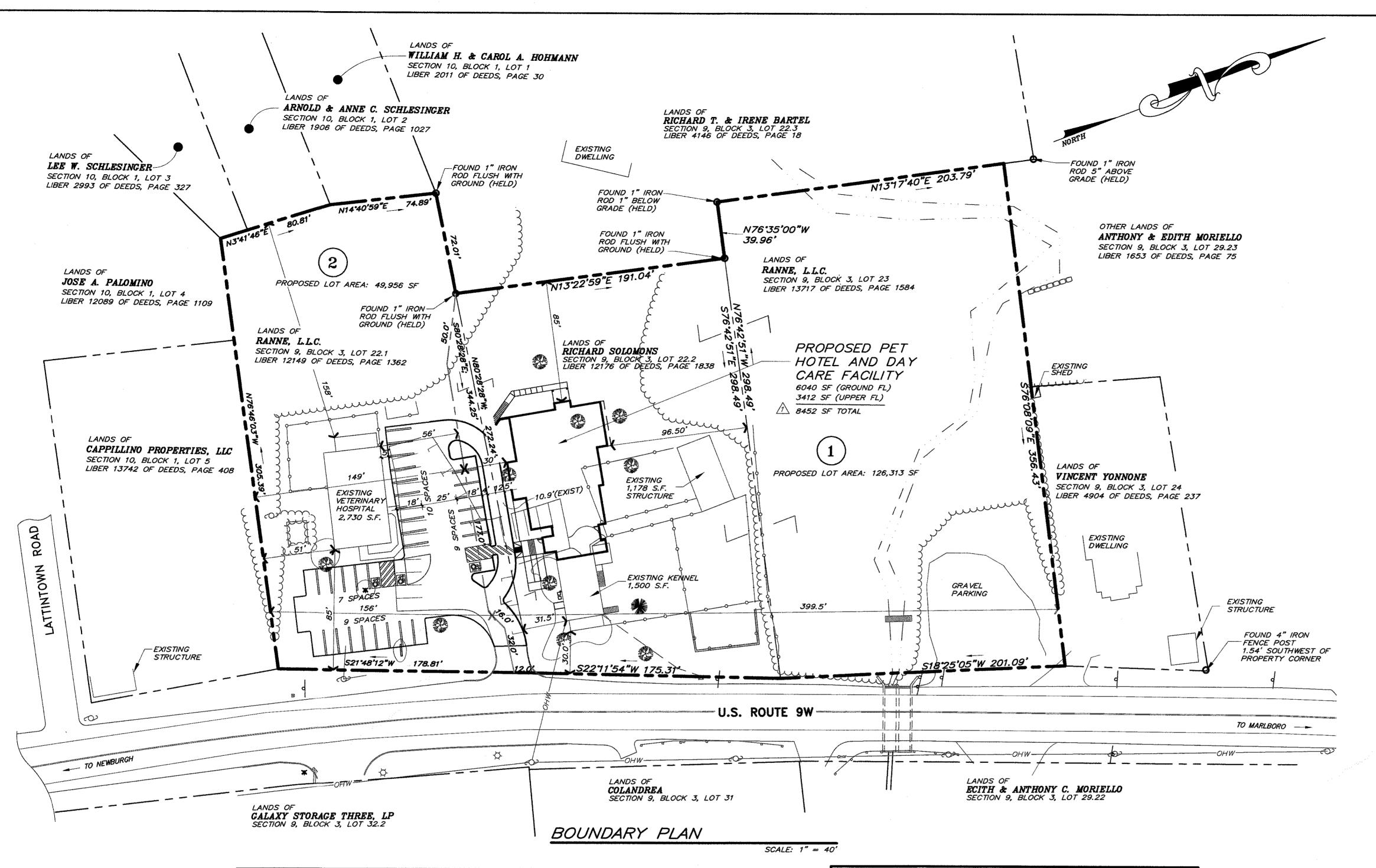
LOWEST SEWER ELEVATION (INV)

ELEVATION

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the Delaware—Hudson Land Surveyors Association. Said certifications shall run only to those named individuals and/or institutions for whom the survey was prepared. Certifications are not transferable to additional individuals, institutions, their successors and/or assigns, or subsequent owners."

I hereby certify to RANNE and the Town of Newburgh that this survey map is the estate of actual field survey prepared by T.M. DePuy Engineering & London veying, P.C. on June 26,

THOMAS M. DEPUY, S. NYS Line 4049783



TOWN OF NEWBURGH - (B) BUSINESS ZONE				
	ITEM	REQUIREMENTS	PARCEL 1	PARCEL 2
1.	BUILDING USE	D-17 VET OFFICE/RELATED SERVICES	PET HOTEL	VETERINARY HOSPITAL
2.	LOT AREA	40,000 S.F.	2.899 ACRES (126,313 S.F.)	1.147 ACRES (49,956 S.F.)
3.	LOT WIDTH	150'	399.5	156'
4.	LOT DEPTH	150'	272'	305'
5.	BUILDING SETBACKS o FRONT YARD o SIDE YARD o REAR YARD	40' 30' 40'	30' (EXIST) 30' (PROPOSED) 85'	85' (EXIST) 51' (EXIST) 158' (EXIST)
6.	BUILDING HEIGHT	35 FEET	LESS THAN 35'	LESS THAN 35'
7.	OFF STREET PARKING (\$185-13)	ONE SPACE PER 200 S.F. GFA		

= 48.8

= 13.7

= 7.5

33.8 = 34

9750 SF (NEW)

SPACE/ 200 SF

2,730 SF (HOSP.)

SPACE/ 200 SF

,500 SF (KENNEL)

SPACE/ 200 SF

1,178 SF (E.A.)

SPACE/ 1000 SF

MAXIMUM 30%

MAXIMUM 60%

7. OFF STREET PARKING (\$185-13)

REQUIREMENTS

o ANIMAL HOSPITAL

LOT BUILDING COVERAGE

9. LOT SURFACE COVERAGE

E.A. = EXERCISE AREA; L&O = LOBBY AND OFFICE AREA

ZONING DATA TABLE

"Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal in red is a violation of Section 7208, Subdivision 2, of the New York State Education Law."

"Only copies from the original tracing of this survey map marked with the Land Surveyor's seal in red with original signature shall be considered valid, true copies."

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the Delaware—Hudson Land Surveyors Association. Said certifications shall run only to those named individuals and/or institutions for whom the survey was prepared. Certifications are not transferable to additional individuals, institutions, their successors and/or assigns, or subsequent owners."

I hereby certify to RANNE, LLC and the Town of Newburgh that this survey map is the of an actual field survey prepared by T.M. DePuy Engine ring with a Surveying, P.C. on June 26,



2.899 ACRES (126,313 S.F.)	1.147 ACRES (49,956 S.F.)	
399.5'	156'	
272'	305'	LEGE
30' (EXIST) 30' (PROPOSED) 85'	85' (EXIST) 51' (EXIST) 158' (EXIST)	SYMBOLS
LESS THAN 35'	LESS THAN 35'	
	HARED SPACES ACCESSIBLE)	
$\frac{12,428 \text{ SF}}{126,313 \text{ SF}} \times 100 = 9.8\%$	$\frac{2,730 \text{ SF}}{49,956 \text{ SF}} \times 100 = 5.5\%$	8 → → →
12,864 SF 126,313 SF X 100 = 10.2%	15,693 SF 49,956 X 100 = 31.4%	

UNIFIED SITE PLAN NOTE

THE OWNER SHALL PREPARE A **DECLARATION**, SATISFACTORY TO THE PLANNING BOARD ATTORNEY, RESTRICTING THE USE OF THE LOTS COVERED BY THIS SITE PLAN APPROVAL TO OPERATION AS A SINGLE SITE PURSUANT TO THIS SITE PLAN APPROVAL. THE DECLARATION SHALL ANNOUNCE THAT CONVEYANCE OF ANY OF THE THREE PARCELS SHALL RESULT, WITHOUT FURTHER ACTION, IN A REVOCATION OF THIS APPROVAL. THE DECLARATION SHALL STATE THAT IT IS ENFORCEABLE BY THE TOWN AND THAT THE OBLIGATION SHALL RUN WITH THE LAND. THE DECLARATION SHALL BE RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE BEFORE THE PLANS ARE SIGNED.

ABBREVIATIONS

	- , ·		· · · · · · · · · · · · · · · · · · ·
	PROPERTY LINE	СВ	CATCH BASIN
	ADJOINING LOT LINE	CD/P	PERF. SEPTIC CURTAIN DRAIN PIPE
	EASEMENT LINE	CD/S	SOLID SEPTIC CURTAIN DRAIN PIPE
	CONSERVATION EASEMENT LINE	CL	CENTERLINE
	CONTOURS	CMP	CORRUGATED METAL PIPE
	WATER EDGE OR STREAM	CONC.	CONCRETE
<u> </u>	GUIDE RAIL	D.I.P.	DUCTILE IRON PIPE
x	FENCE LINE	ELEV	ELEVATION
××××××××××××××××××××××××××××××××××××××	STONEWALL	FFE	FINISHED FLOOR ELEVATION
·	EDGE OF PAVEMENT	HDPE	HIGH DENSITY POLYETH.PIPE
-OE	OVERHEAD UTILITY LINE	HUFE	(SMOOTH INTERIOR)
	TREELINE	HP	HIGH POINT
മ	UTILITY POLE	INV	INVERT
)	WELL	LF	LINEAR FOOT
8	WATERMAIN GATE VALE	LP	LOW POINT
	RETAINING WALL (PROPOSED)	LSE:	LOWEST SEWER ELEVATION (INV)
\rightarrow \rightarrow	DIVERSION SWALE	MH	MANHOLE
co/s-	SEPTIC CURTAIN DRAIN (PROPOSED)	N.W.L.	NORMAL WATER LEVEL (SURFACE ELEV)
€	DAYLITE OUTLET W/RODENT SCREEN	PROP.	PROPOSED
- <i>RD</i>	ROOF/FOOTING DRAINS	RCP	REINFORCED CONCRETE PIPE
	PERC TEST LOCATION	W.L.	WATER LEVEL (SURFACE ELEV)
#	DEEP TEST LOCATION		

SEPTIC TANK (PROPOSED)

DOSING TANK (PROPOSED)

SEWAGE PUMP STATION (PROPOSED)

LIST OF DRAWINGS

		LIGIT OF DIVINITION
No.	DWG	TITLE
1	SP1	ZONING DATA AND BOUNDARY PLAN
2	SP2	SITE PLAN
3	SP3	SEPTIC SYSTEM DETAILS 1
4	SP4	SEPTIC DETAILS 2
5	SP5	STORM UTILITY DETAILS
6	SP6	SITE DETAILS 1
7	SP7	SITE DETAILS 2
8	SP8	LANDSCAPE PLAN
9	ES1	SWPPP NOTES
10	ES2	SOIL EROSION AND SEDIMENT CONTROL
11	ES3	GREEN INFRASTRUCTURE



LOCATION MAP SCALE: 1" = 2000"

PARCEL /	OWNER	DATA
APPLICANT:	RICHARD SOL 5349 U.S. RO NEWBURGH, N (9-3-22.2)	OUTE 9W

RECORD OWNERS: RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)

> RANNE, LLC 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.1, 23)

> > LIBER 12149, PAGE 1362 (9-3-22.1) LIBER 12176, PAGE 1838 (9-3-22.2)

TAX MAP REFERENCE: SECTION 9, BLOCK 3, LOT 22.2 SECTION 9, BLOCK 3, LOT 23 5351 U.S. ROUTE 9W PARCEL ADDRESS:

NEWBURGH, NY 12550 PARCEL AREA: 1.245 ACRES (9-3-22.1) 1.189 ACRES (9-3-22.2)

1.612 ACRES (9-3-23) 4.046 ACRES TOTAL THREE PARCELS

LIBER 13717, PAGE 1584 (9—3—23) EXISTING ZONING: B (BUSINESS)

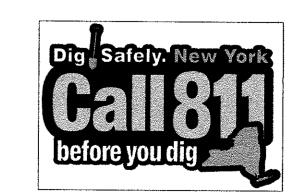
DEED REFERENCE:

SURVEY AND PARCEL NOTES

- 1. MAP REFERENCE: NYSDOT "SHEET NO. 5 & SHEET NO. 6, NEWBURG, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED
- 2. FIELD NOTE REFERENCE: NYSDOT FIELD NOTES FOR "NEWBURG, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED 1910.
- 3. MAP REFERENCE: NYSDOT "NEWBURGH—CEDAR HILL CEMETERY S.H. 5007" SHEET NO. 15 OF 24, DATED JULY 9, 1928.
- 4. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
- 5. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
- 14.5" DATED DECEMBER 19, 1928. 7. MAP REFERENCE: NYSDOT "NEWBURGH-CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 89, PHYLLIS TIBBY & LUCY BOLOGNESE,

6. MAP REFERENCE: NYSDOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO.

- TOWN OF NEWBURGH" DATED DECEMBER 13, 1990. 8. MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 637 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1988 AS PREPARED BY GERALD ZIMMERMAN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #9098.
- 9. MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORIELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1999, REVISED OCTOBER 5, 1999 AS PREPARED BY BRINNIER & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
- 10. CONDITIONAL WITH THIS SITE PLAN APPROVAL IS THE PROPOSED LAND CONSOLIDATION OF TWO (2) SEPARATE TAX PARCELS INTO ONE (1) SINGLE PARCEL. THE BOUNDARY LINE BETWEEN TAX PARCEL SECTION 9, BLOCK 3. LOT 22.2 (SOLOMONS) AND TAX PARCEL SECTION 9, BLOCK 3, LOT 23 (RANNE, LLC) WILL BE REMOVED, AND THE BOUNDARY LINE BETWEEN TAX PARCEL 22.1 (RANNE, LLC) AND TAX PARCEL 22.2 WILL BE REVISED. REFER TO DRAWING ENTITLED "LOT LINE CHANGE AND LAND CONSOLIDATION MAP OF LANDS OF RANNE, LLC AND RICHARD SOLOMONS". THE APPROVAL OF WHICH RUNS CONCURRENT WITH THIS SITE PLAN.



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED

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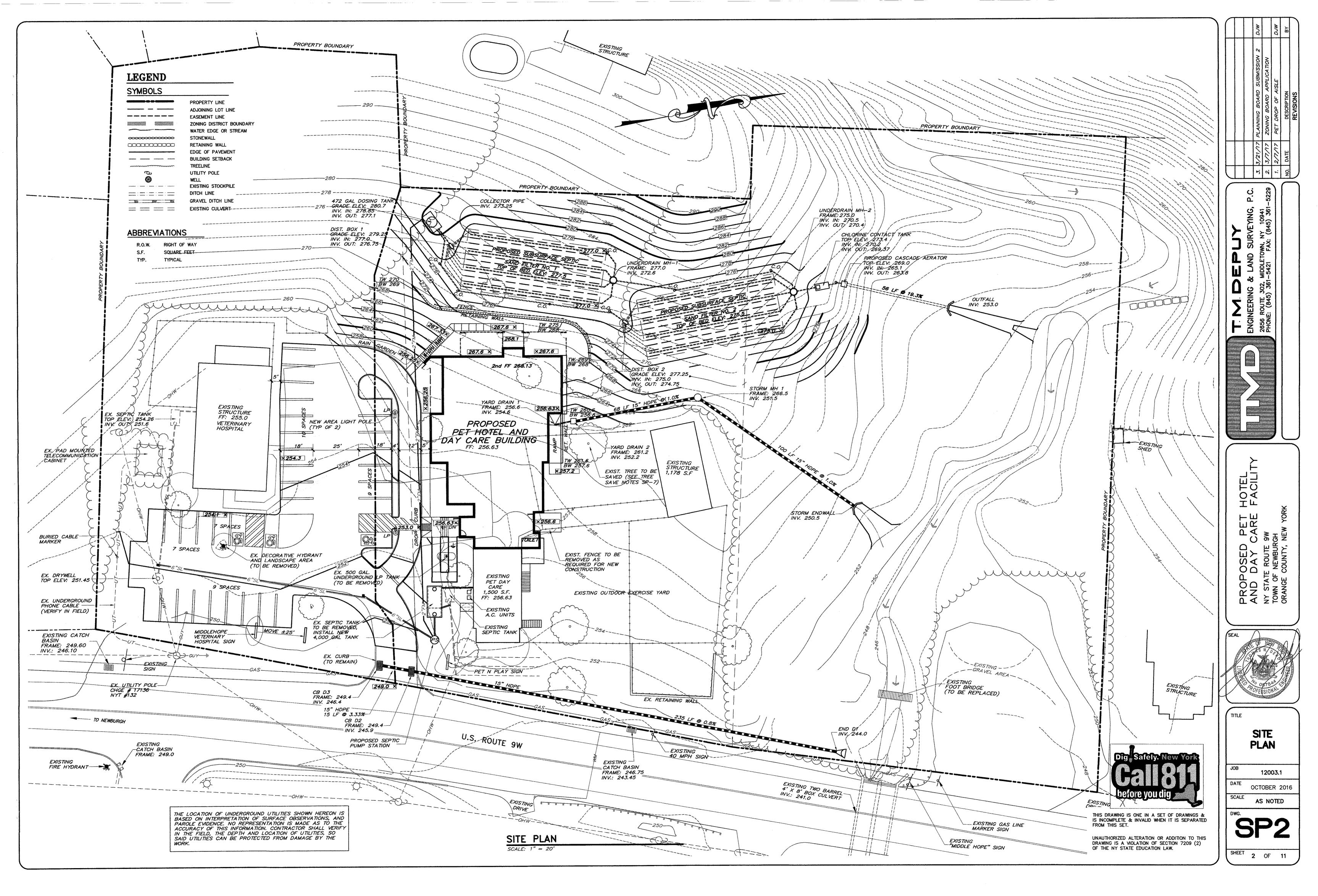
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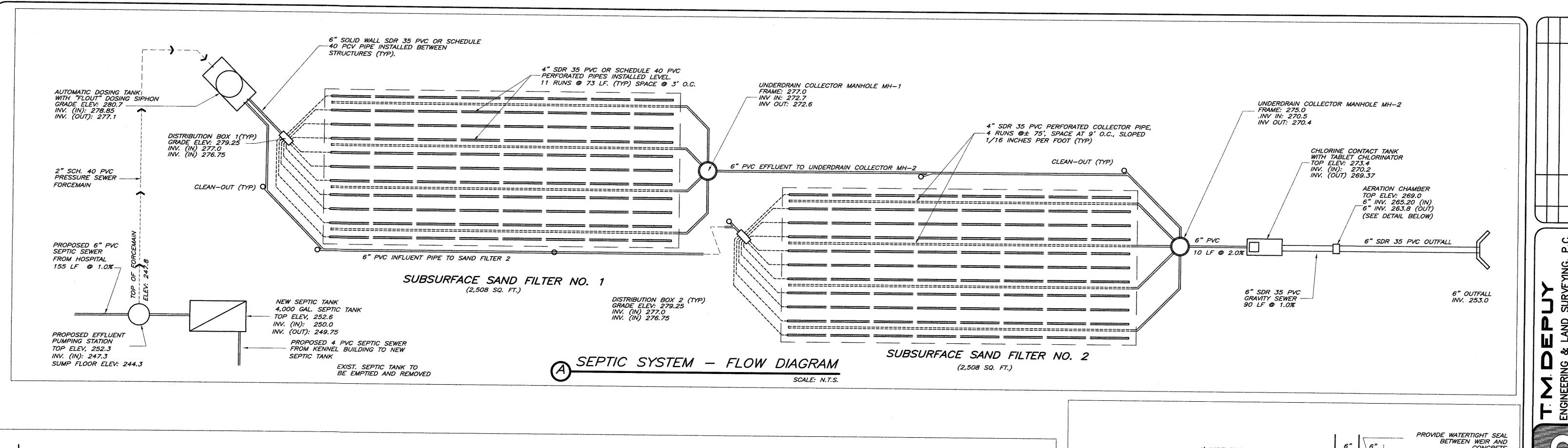
ZONING DATA AND BOUNDARY PLAN

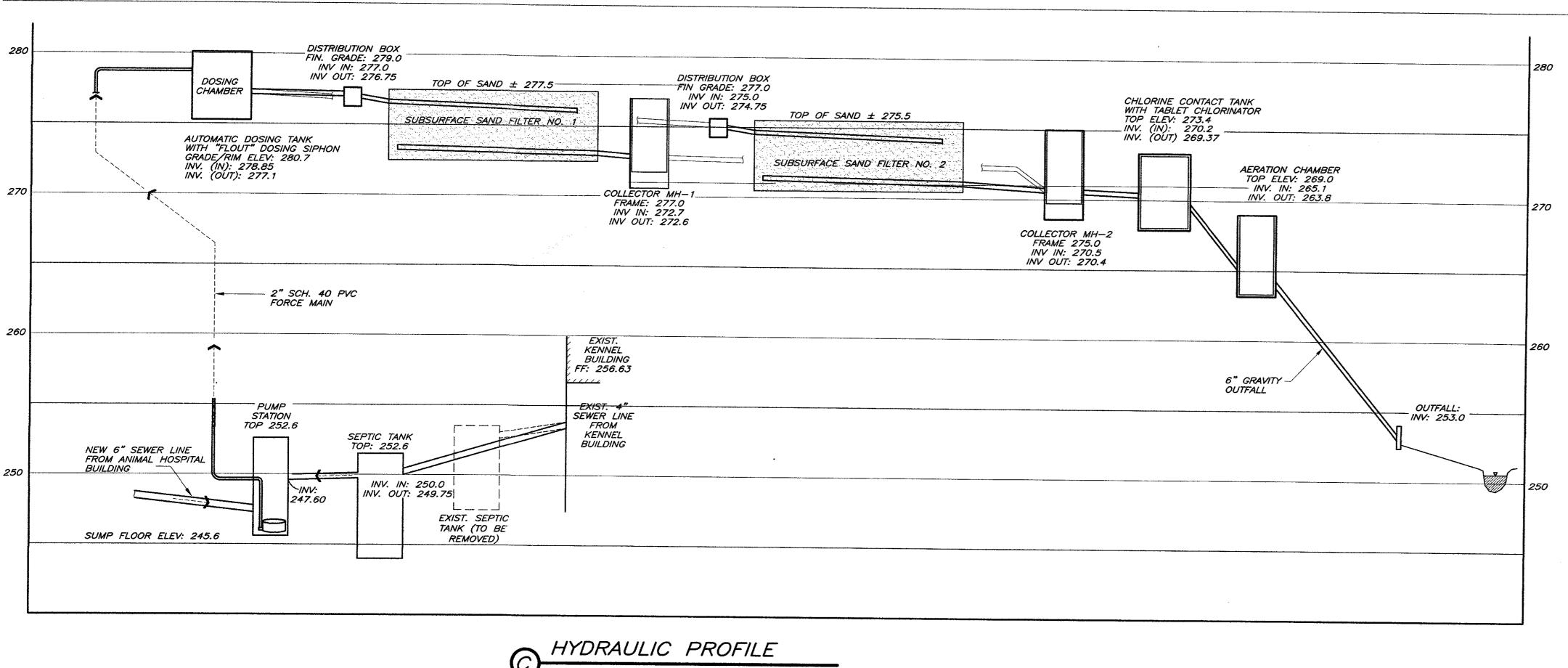
12003.1 DATE OCTOBER 2016

SCALE AS NOTED

SHEET 1 OF 11

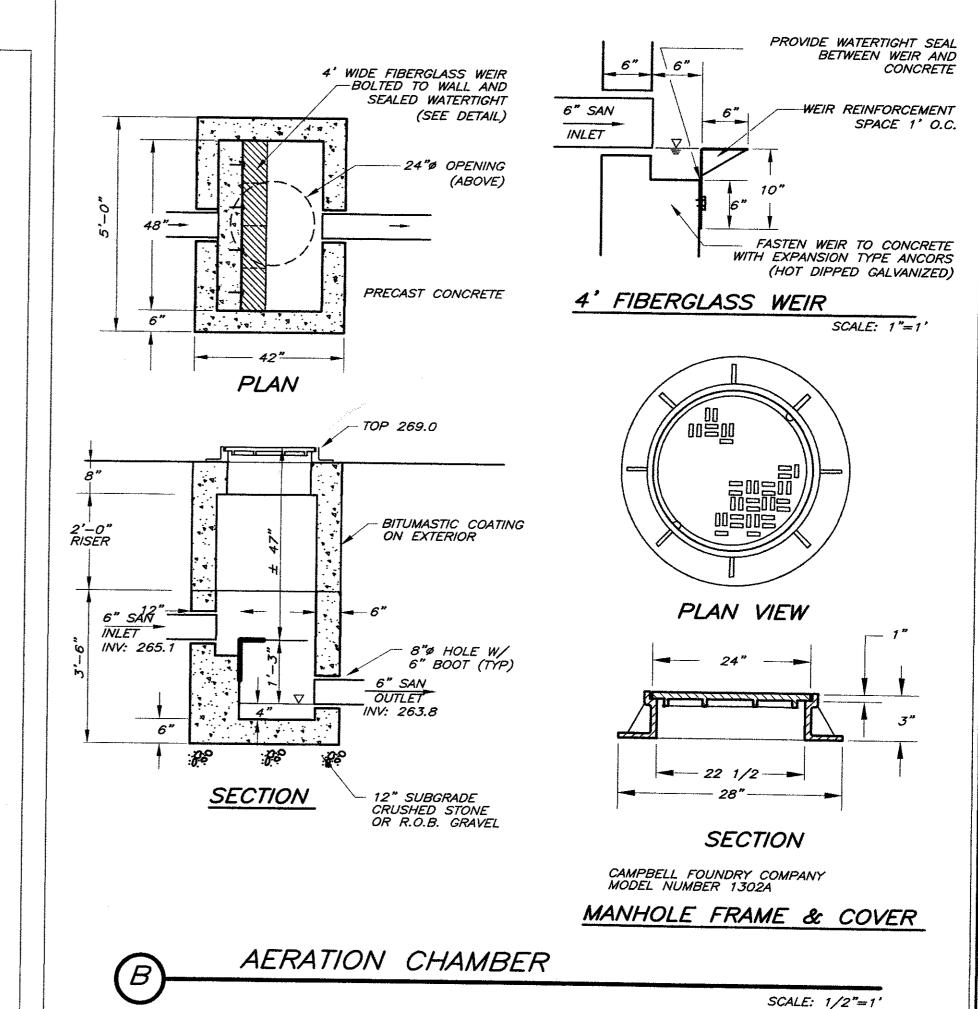






SCALE: HORIZ: NONE

SCALE: VERT: 1" = 5'



CONTRACTOR SHALL TAKE NOTE, THE EXISTING SEPTIC DISPOSAL SYSTEM FOR BOTH THE ANIMAL HOSPITAL AND KENNEL BUILDING SHALL REMAIN IN OPERATION UNTIL SUCH TIME THE NEW SYSTEM IS CONSTRUCTED, TESTED AS FULLY FUNCTIONAL AND READY TO ACCEPT SEPTIC TANK EFFLUENT.



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.

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ND SURVEYING, P.C.

ETOWN, NY 10941

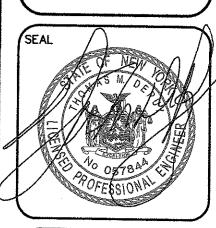
FAX: (845) 361–5229

1. 3/21/17 PLANNING

NO. DATE DESCRIPTION OF THE PROPERTY OF THE PRO

T T ENGINEE 2656 ROL PHONE:

PROPOSED PET HOTEL AND DAY CARE FACILIONY STATE ROUTE 9W TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



SEPTIC SYSTEM DETAILS

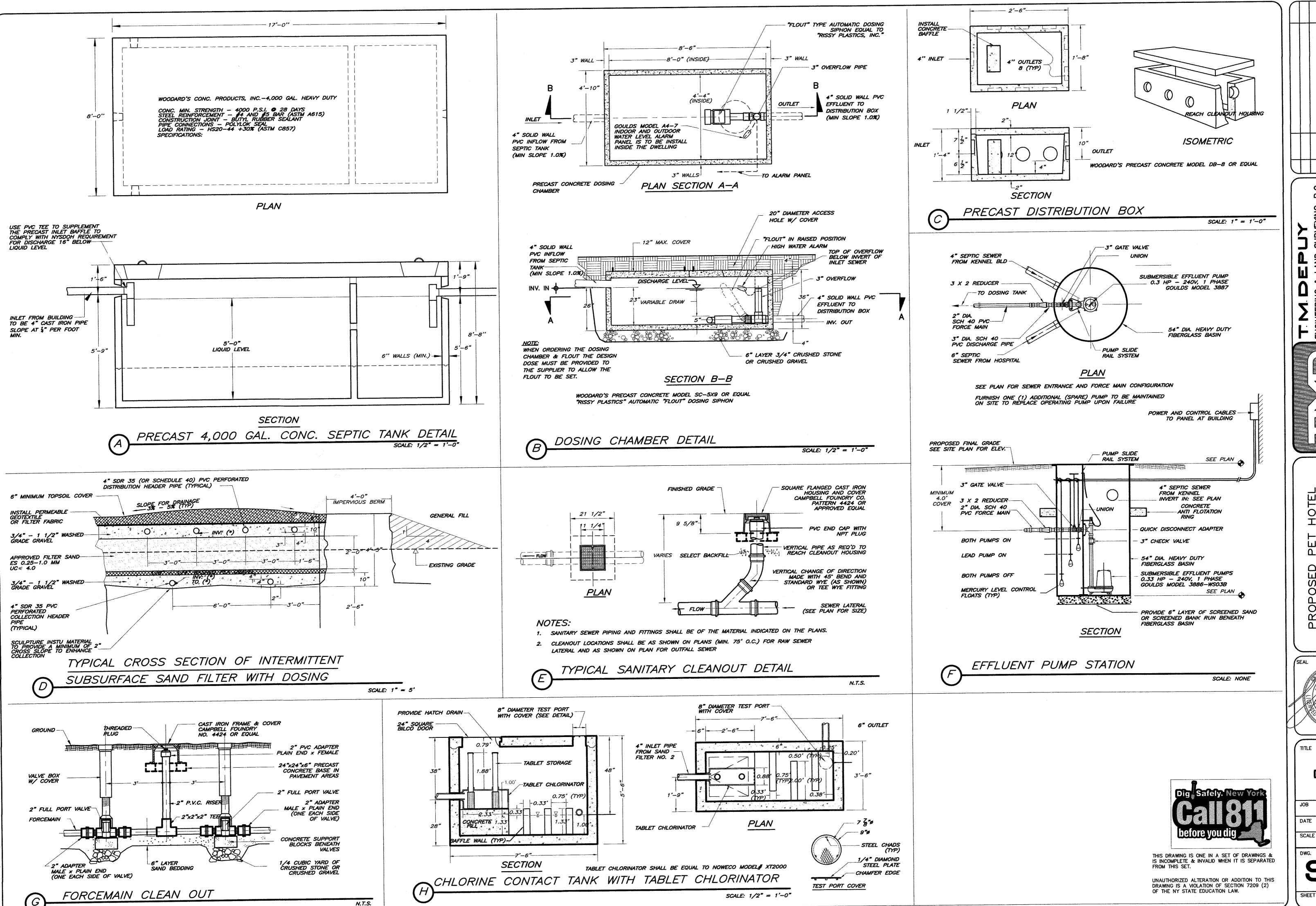
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DATE OCTOBER 2016

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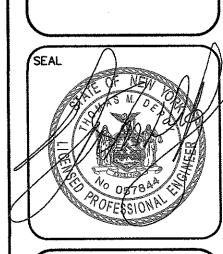
SHEET 3 OF 11



1NG, P.C.
0941
) 361–5229
1. 3/21/17 PLANNING BOARD SUBMISSION 2 DJW
NO. DATE DESCRIPTION BY
REVISIONS

ENGINEERING & LAND SURVEYING, P.(
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-52;

PROPOSED PET HOTEL AND DAY CARE FACILITY NY STATE ROUTE 9W TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



SEPTIC DETAILS 2

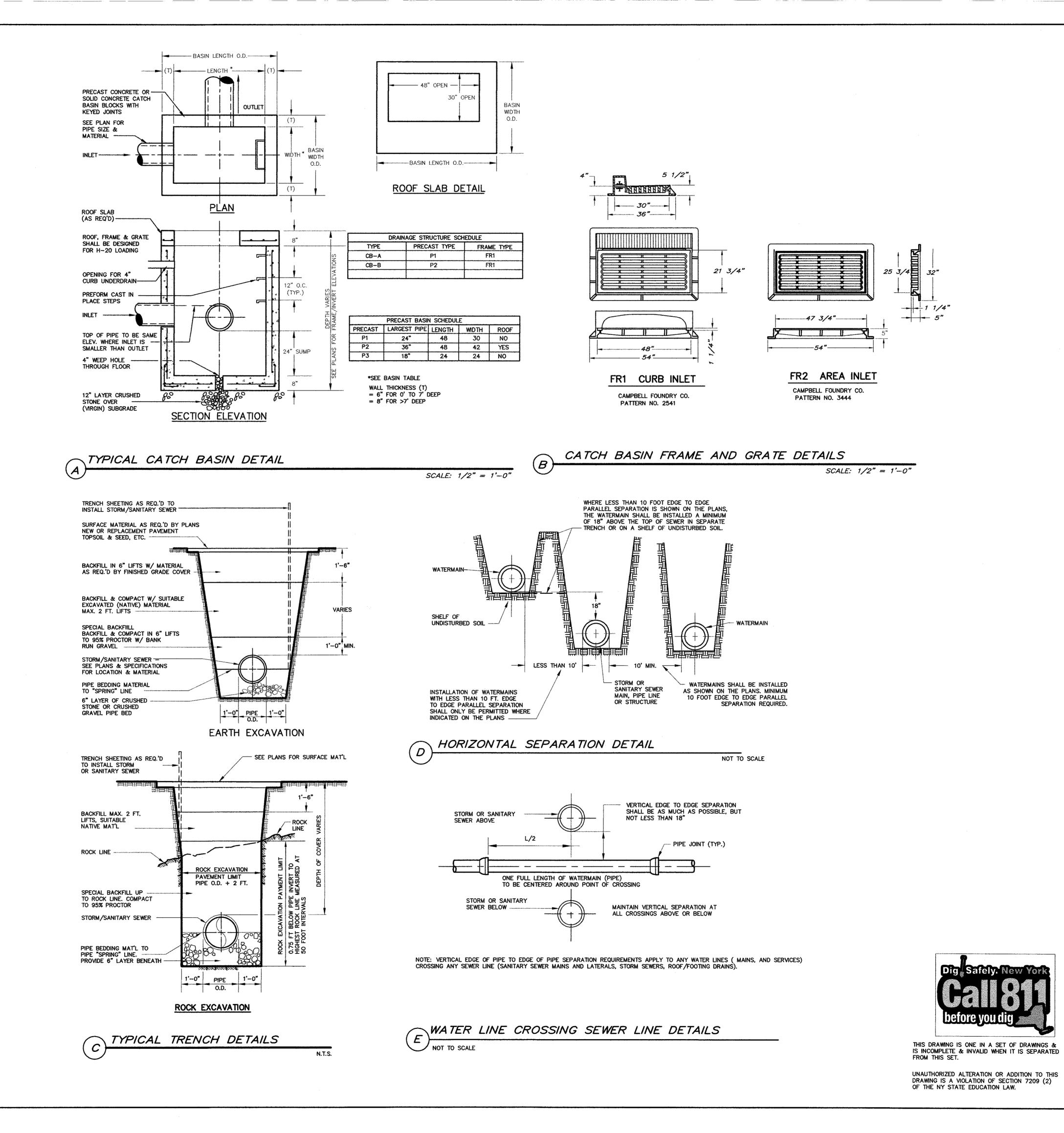
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SHEET 4 OF 11



C.

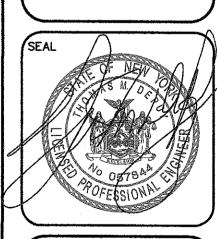
1. 3/21/17 PLANNING BOARD SUBMISSION 2 DJW

NO. DATE DESCRIPTION BY

REVISIONS

T. M. DEPLY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229

PROPOSED PET HOTE AND DAY CARE FACINY STATE ROUTE 9W TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK

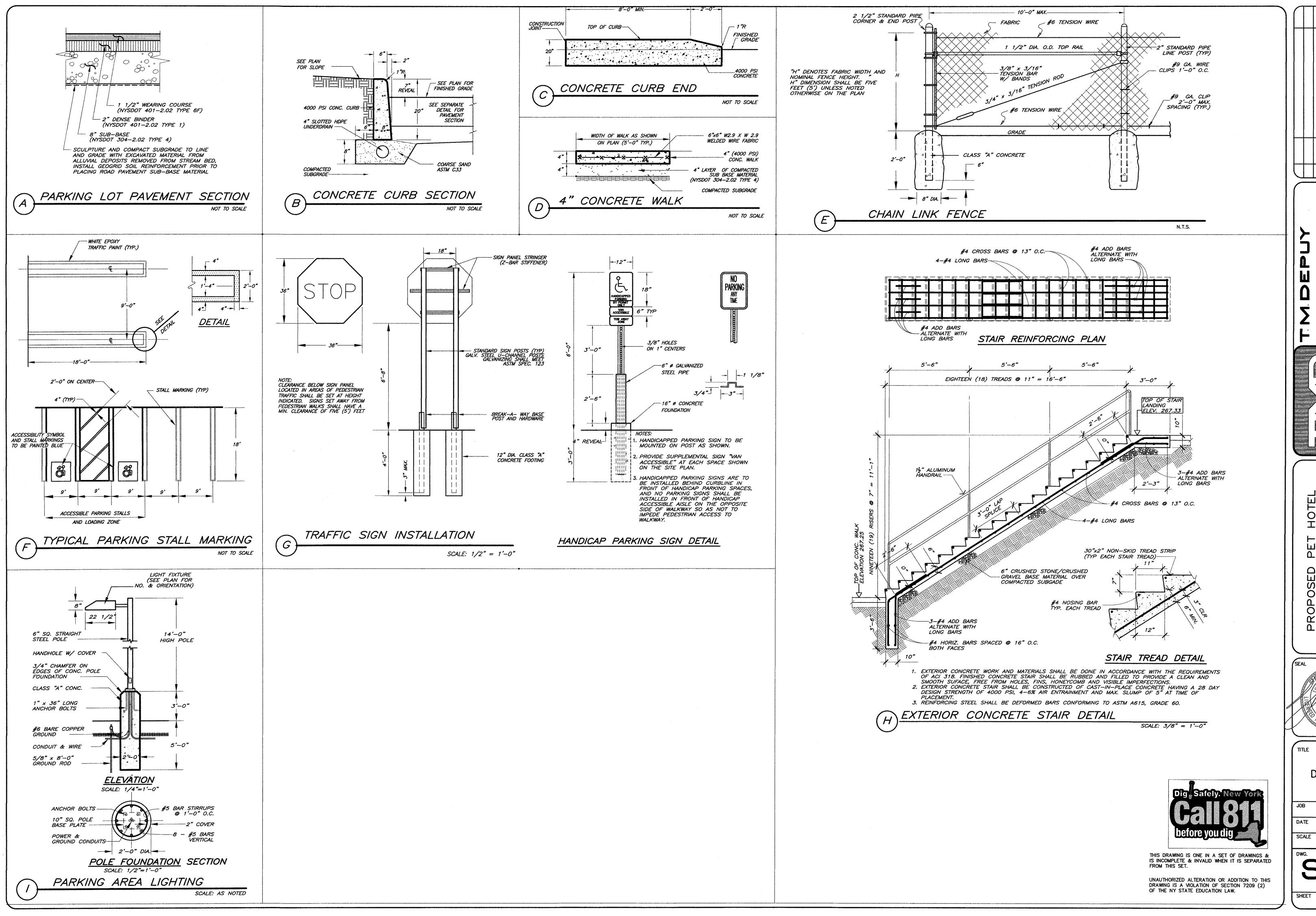


STORM
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JOB 12003.1
DATE

MARCH 21, 2017
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AS NOTED
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SHEET 5 OF 11

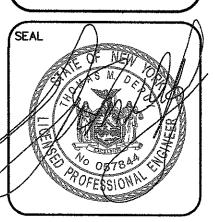


29
1. 3/21/17 PLANNING BOARD SUBMISSION 2 DJW
NO. DATE DESCRIPTION BY
REVISIONS

ENGINEERING & LAND SURVEYING, P.C 2656 ROUTE 302, MIDDLETOWN, NY 10941 PHONE: (845) 361-5421 FAX: (845) 361-522

E FACILITY

PROPOSED PET HOAND DAY CARE FAINT STATE ROUTE 9W TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



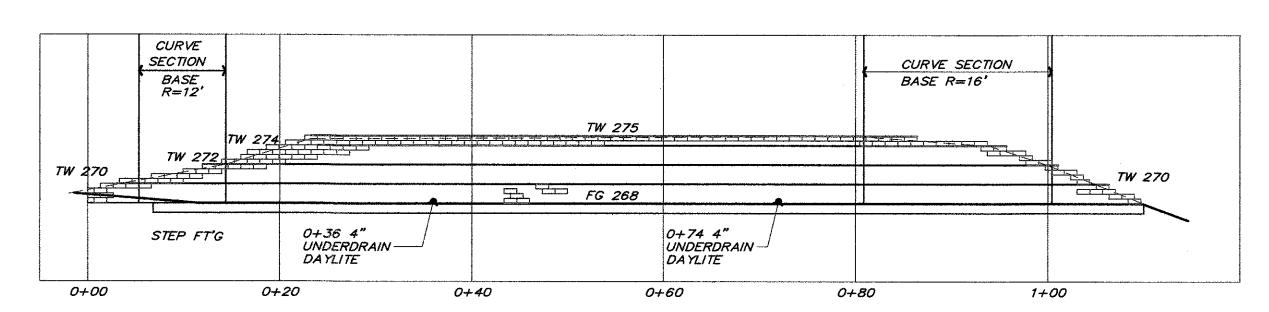
SITE DETAILS

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OCTOBER 2016
SCALE AS NOTED

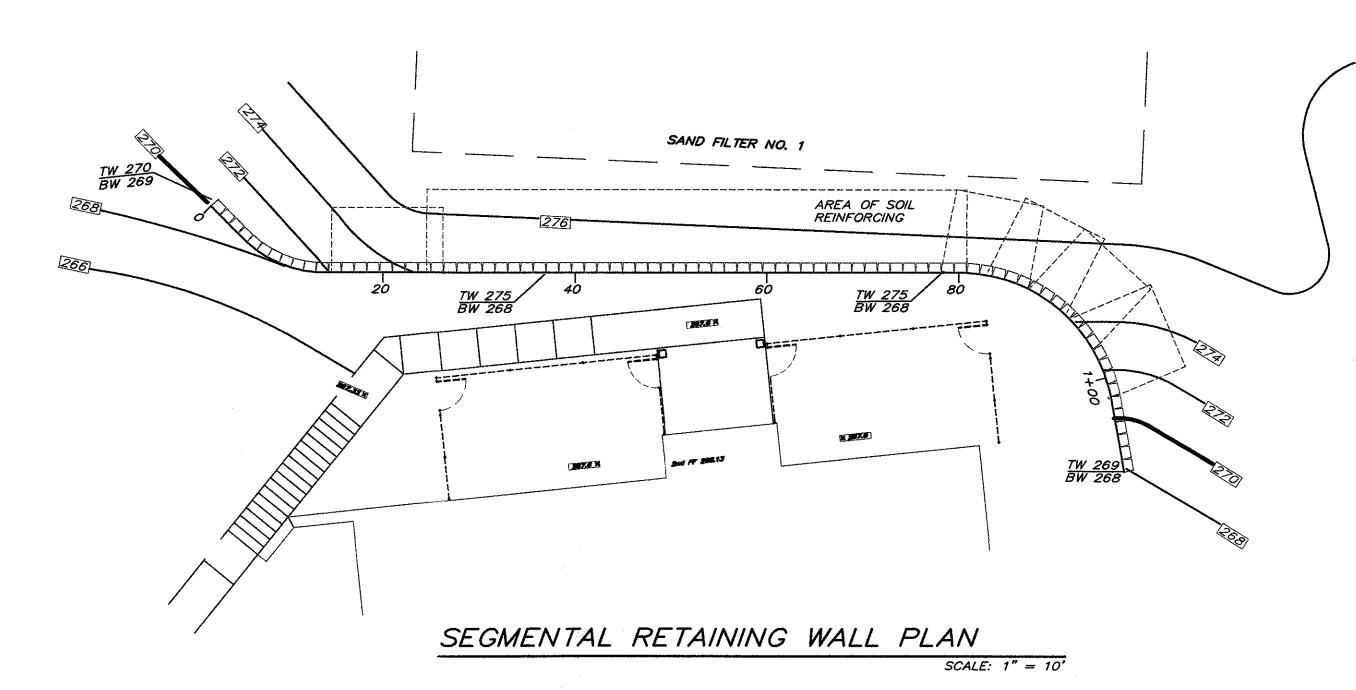
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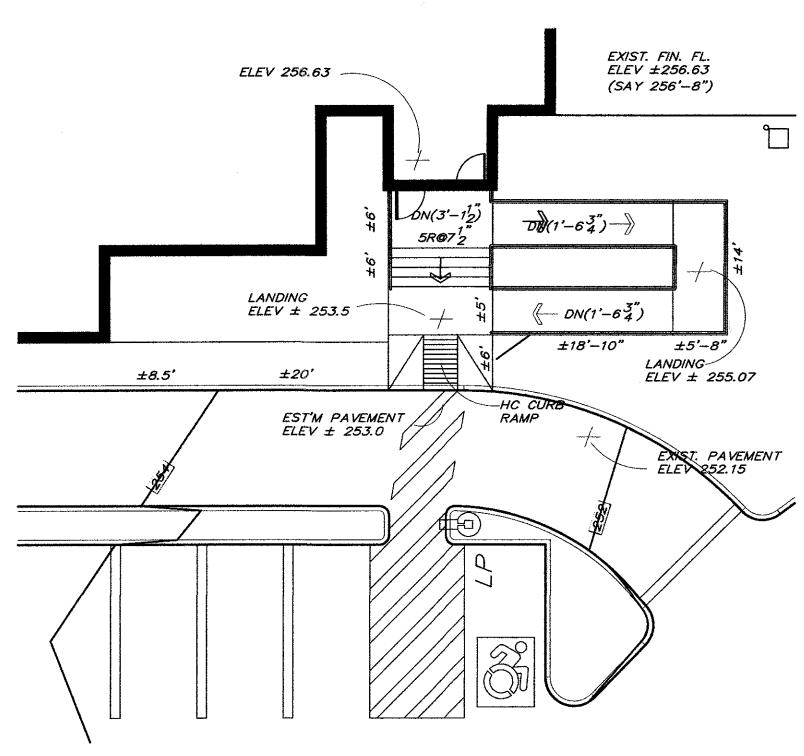
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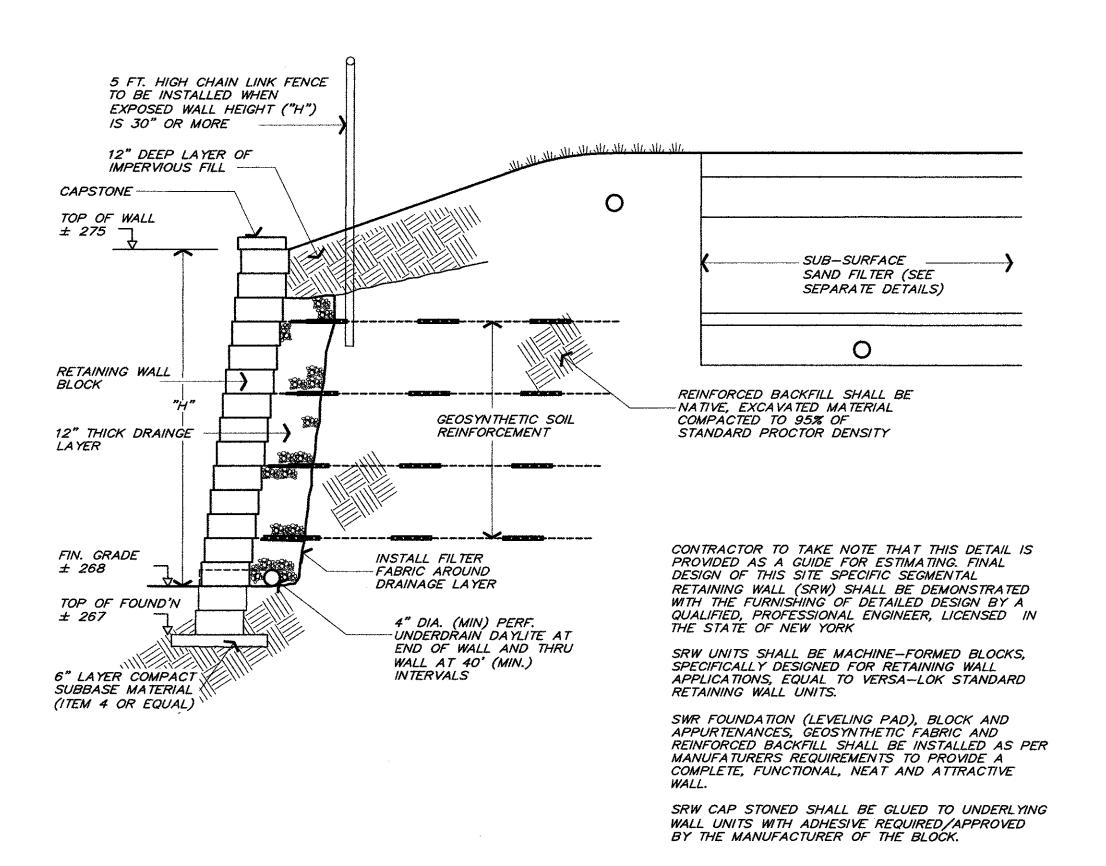
SEGMENTAL RETAINING WALL ELEVATION

SCALE: 1" = 10'













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AND SURVEYING, P.C.

DLETOWN, NY 10941

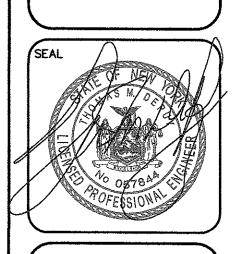
21 FAX: (845) 361–5229

NO. DATE DESCRIPTION

REVISIONS

T. M.
ENGINEERIN
2656 ROUTE 3
PHONE: (845)

PROPOSED PET HOTEL AND DAY CARE FACIL
NY STATE ROUTE 9W
TOWN OF NEWBURGH

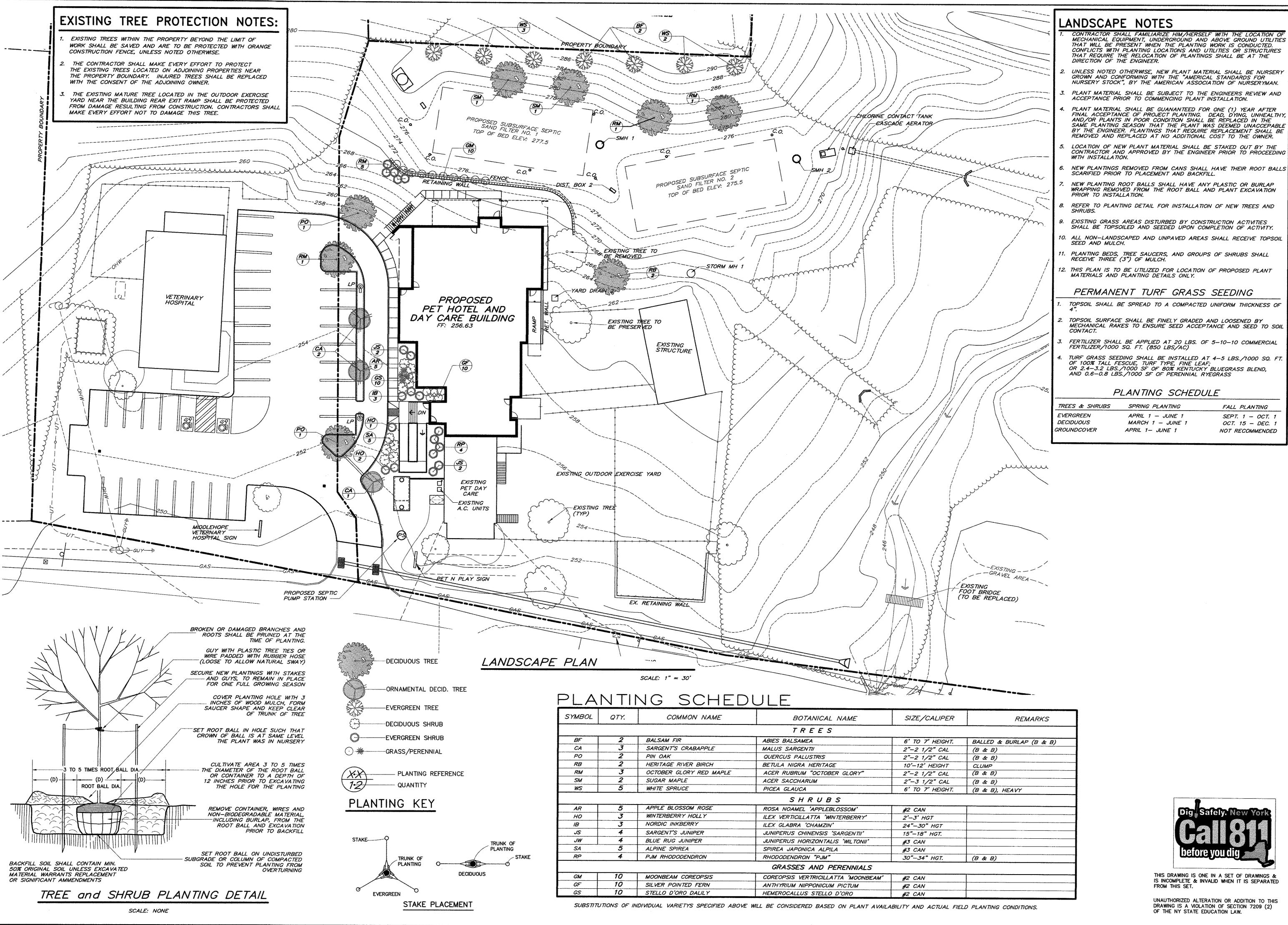


SITE DETAILS 2

JOB 12003.1

MARCH 21, 201
SCALE
AS NOTED

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SHEET 7 OF 11



MECHANICAL EQUIPMENT, UNDERGROUND AND ABOVE GROUND UTILITIES THAT WILL BE PRESENT WHEN THE PLANTING WORK IS CONDUCTED.

- AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE PLANT WAS DEEMED UNACCEPABLE BY THE ENGINEER. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE
- LOCATION OF NEW PLANT MATERIAL SHALL BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH INSTALLATION.
- WRAPPING REMOVED FROM THE ROOT BALL AND PLANT EXCAVATION

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN DECIDUOUS	APRIL 1 JUNE 1 MARCH 1 JUNE 1	SEPT. 1 - OCT. 1
GROUNDCOVER	APRIL 1- JUNE 1	OCT. 15 — DEC. 1 NOT RECOMMENDED

04 IL

00

TITLE **LANDSCAPE**

PLAN

MARCH 21, 201 SCALE

AS NOTED

12003.1

SHEET 8 OF 11 EFFECTIVENESS.

TO RESTORE OPERATION.

CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE

PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ASSURE

BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS

DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS A

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE

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REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS A
MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW"

(1) "COMMENCEMENT OF CONSTRUCTION" MEANS THE INITIAL REMOVAL OF VEGETATION AND

DISTURBANCE OF SOILS ASSOCIATED WITH CLEARING, GRADING OR EXCAVATING

(2) "FINAL STABILIZATION" MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE

(3) "STABILIZATION" MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL.

BEEN COMPLETED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF

EIGHTY (80) PERCENT HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES SUCH AS THE USE OF MULCHES OR GEOTEXTILES) HAVE BEEN EMPLOYED ON ALL UNPAVED

COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR

ACTIVITIES OR OTHER CONSTRUCTION ACTIVITIES.

AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES.

"SPDES" MEANS STATE POLLUTION DISCHARGE ELIMINATION SYSTEM.

SPACE @ 8 FT. O.C.

COMPACTED SOIL

TO BE BURIED 6"-

FENCE FABRIC

NOTES:

36" WOODEN FENCE POST

SEDIMENT BARRIER FENCE

AS APPROVED BY ENGINEER

NON-VEGETATIVE (E.G. GEOTEXTILES, RIPRAP OR GABIONS).

(4) "SWCD" MEANS SOIL AND WATER CONSERVATION DISTRICT.

THAT QUALIFIEDPERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED

THAT QUALIFIEDPERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED.

(SEE PART 1.D "RESPONSIBILITY")

(SEE PART 1.D "RESPONSIBILITY")

OWNER/OPERATORS CERTIFICATION

MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW"

OWNER/OPERATORS CERTIFICATION

TEPLEPHONE

FOOTNOTES:

I. FOR ALL CONSTRUCTION ACTIVITIES SUBJECT TO THIS GENERAL PERMIT (GP-0-15-002) EFFECTIVE: JANUARY 29, 2015 EXPIRES: JANUARY 28, 2020

A. GENERAL

- 1. CONTRACTORS SHALL TAKE NOTICE THAT THE WATERS OF THE UNITED STATES ARE PROTECTED UNDER THE FEDERAL LAW KNOWN AS THE CLEAN WATER ACT ("CWA"). STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES TO THE WATERS OF THE UNITED STATES ARE UNLAWFUL, UNLESS AUTHORIZED BY A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM ("NPDES") PERMIT. THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ("NYSDEC") ADMINISTERS THE STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") PERMIT PROGRAM, IN CONFORMANCE WITH THE FEDERAL STORM WATER (NPDES) REGULATIONS.
- 2. OWNER OR OPERATOR MEANS THE PERSON, PERSONS OR LEGAL ENTITY WHICH OWNS OR LEASES THE PROPERTY ON WHICH THE CONSTRUCTION ACTIVITY IS OCCURRING: AND/OR AN ENTITY THAT HAS OPERATIONAL CONTROL OVER THE ONSTRUCTION PLANS AND SPECIFICATIONS, INCLUDING THE ABILITY TO MAKE MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.
- 3. CONTRACTORS SHALL TAKE NOTICE THAT THE OWNER OR OPERATOR HAS FILED OR IS ABOUT TO FILE A NOTICE OF INTENT ("NOI") WITH THE NYSDEC, AND IS THE PERMITTEE REFERED TO HEREINAFTER. THIS "NOI" APPLICATION INCLUDES THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") PREPARED FOR THIS SUBDIVISION, AND APPLIES TO THE PUBLIC IMPROVEMENTS INDICATED ON THE SUBDIVISION PLANS. THE CONTRACTOR SHALL SUBMITT A SEPARATE SOIL EROSION AND SEDIMENTATION CONTROL PLAN WITH EACH APPLICATION FOR A BUILDING PERMIT.
- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS ARE SUBJECT TO THE TERMS AND CONDITONS OF THE SPDES GENERAL PERMIT ISSUED TO THE PERMITTEE FOR THE CONSTRUCTION OF THIS RESIDENTIAL SUBDIVISION. WITHOUT LIMITING THE FOREGOING, SWPPP PROVIDES THE DETAILED INFORMATION FOR COMPLIANCE.
- 5. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, THE PERMITTEE MUST IDENTIFY THE CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR INSTALLING. CONSTRUCTING. REPAIRING. INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PRACTICES INCLUDED IN THE SWPPP, AND THE CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL THE POST—CONSTRUCTION MANAGEMENT PRACTICES INCLUDED IN THE SWPPP. THE PERMITTEE SHALL HAVE EACH OF THESE CONTRACTORS AND SUBCONTRACTORS IDENTIFY AT LEAST ONE TRAINED INDIVIDUAL FROM THE COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE PERMITTEE SHALL ENSURE THAT AT LEAST ONE TRAINED INDIVIDUAL IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

B. PROJECT DESCRIPTION

1. THE PURPOSE OF THIS PROJECT IS TO

C. SITE DESCRIPTION

1. THE SITE CONSISTS OF

D. RESPONSIBILITY AND IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN.

- 1. THE OPERATOR IS THE PERMITTEE PURSUANT TO THE NEW YORK STATE SPDES PERMIT COVERING THE WORK. THE CONTRACTOR, AND HIS/HER SUBCONTRACTORS, IS THE OPERATOR OF ANY EROSION CONTROL PRACTICE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, OR AS DIRECTED.
- 2. UPON COMPLETION OF THE WORK AND ACCEPTANCE OF THE STORMWATER POLLUTION PREVENTION SYSTEM CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, THE TOWN OF NEWBURGH WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF SAID SYSTEM IN ACCORDANCE WITH THE CONDITIONS OF SAID "SPDES" PERMIT.

E. CONSTRUCTION SEQUENCE

- . INSTALL SILT FENCE, STRAW BALE DIKES AND OTHER EROSION CONTROL FEATURES AROUND PERIMETER OF AREAS TO BE DISTURBED. INSTALL CONSTRUCTION BARRICADE FENCE AROUND TREE TO BE SAVED AND TO SEPARATE CONSTRUCTION AREA FROM PERSONS USING THE EXISTING FACILITIES.
- PROVIDE SOLID WASTE CONTAINERS (eg: DUMPSTERS, TRASH BINS, GARBAGE CANS) FOR DISPOSAL OF ANCILLARY CONSTRUCTION DEBRIS, TRASH AND GARBAGE.
- REMOVE SILT FENCE, STRAW BALE DIKES, STABILIZED CONSTRUCTION ENTRANCES AND OTHER TEMPORARY EROSION CONTROL FEATURES WHEN PERMANENT VEGETATIVE COVER HAS ESTABLISHED ON EXPOSED EARTH SURFACES, AND RISK OF SOIL EROSION IS LOW.

F. POLLUTION PREVENTION MEASURES

- THE CONTRACTOR SHALL PROVIDE DUST CONTROL, AS REQUIRED, ON A REGULAR BASIS
 TO ELIMINATE THE MIGRATION OF AIRBORNE SOIL PARTICLES. DUST CONTROL IS TO BE
 ACHIEVED BY SPRINKLING WITH WATER.
- THE CONTRACTOR SHALL PROVIDE LITTER CONTROL WITH THE USE OF COVERED TRASH RECEPTACLES, AND THE REGULAR CLEAN UP OF WASTE PAPER, WRAPPERS, CONTAINERS, PACKAGING AND SIMILAR TRASH GENERATED BY THE WORK AND WORKERS.
- 3. ALL OILS, GREASE, SOLVENTS AND OTHER FLUIDS NECESSARY FOR THE MAINTENANCE AND OPERATION OF EQUIPMENT USED FOR THE WORK ARE TO BE HANDLED PROPERLY, CONTAINED AND COLLECTED FOR USE OR DISPOSAL AT THE APPROPRIATE RECYCLING CENTER OR COLLECTION SITE.
- 4. DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS PERMITTED.

G. CONSTRUCTION WASTE MATERIAL

MANAGEMENT FACILITIES

DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS (SEE E (5) ABOVE) AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS

H. STRUCTURAL AND VEGETATIVE MEASURES FOR SOIL STABILIZATION, RUNOFF CONTROL AND SEDIMENT CONTROL

. TEMPORARY CONTROLS A) DURING CLEARING OPERATIONS, WOOD CHIPS FROM GROUND UP BRANCHES AND SMALL TREES MAY BE SPREAD OVER HAUL ROADS TO MINIMIZE SOIL EROSION. B) INSTALL SEDIMENT BARRIER (SILT) FENCE PRIOR TO ANY EXCAVATION WORK (INCLUDING STUMP REMOVAL).

D) CONSTRUCT TEMPORARY DIVERSION SWALES AT ANY POINT WHERE SURFACE WATER CAN

BE DIRECTED AWAY FROM DISTURBED SURFACES. IF A SURFACE WATER ROUTE

CROSSES A DISTURBED AREA. PROVIDE A RIP-RAP CHANNEL AS SOON AS POSSIBLE

- AFTER THE CONSTRUCTION HAS PROGRESSED BEYOND THE WATER ROUTE) PICK UP TRASH AND LIGHTWEIGHT RUBBISH THAT MAY BE SWEPT AWAY BY WIND. F) FILL OR GRADE VEHICLE TRACKS TO AVOID EROSION. 2. PERMANENT CONTROLS A) SEED AND MULCH EXPOSED EARTH AREAS TO ESTABLISH PERMANENT VEGETATIVE COVER
- AS SOON AS PRACTICAL AFTER FINAL GRADING. MULCH SHALL FOLLOW SEEDING BY NO MORE THAN 24 HOURS. 3. TEMPORARY CONTROLS THAT ARE TO BE CONVERTED TO PERMANENT STORMWATER
- A) RIP-RAP OUTLET PROTECTION AND STONE LINED SWALES USED FOR SEDIMENT CONTROL SHALL BE RETAINED AS PERMANENT.
- 4. IMPLEMENTATION SCHEDULE OF EROSION AND SEDIMENT CONTROLS
- SEDIMENT BARRIER (SILT) FENCE SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE. B) STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO HEAVY
- TRUCK TRAFFIC ENTERING OR LEAVING THE SITE. C) TEMPORARY DIVERSION SWALES SHALL BE INSTALLED AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.

- D) STRAW BALE DIKES SHALL BE PLACED WHERE NEEDED IN CONJUNCTION WITH TEMPORARY SWALES AND WATER BARS, AS THE WORK PROCEEDS ACROSS THE PROJECT AREA. E) DUST CONTROL SHALL BE CONDUCTED DURING DRY WEATHER AS NEEDED OR DIRECTED.
- 5. MAINTENANCE SCHEDULE FOR EROSION AND SEDIMENT CONTROLS
-) SEDIMENT BARRIER (SILT) FENCE: MAINTAIN PER DETAIL B) STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRAFFIC FROM TRACKING SEDIMENT ONTO PUBLIC ROADWAYS. INSPECT AFTER EACH RAIN AND PERIODICALLY REDRESS THE TOP AGGREGATE TO MAINTAIN
- C) STRAW BALE DIKES REQUIRE FREQUENT INSPECTION AFTER EACH RAIN, AND SHALL BE REMOVED AND REPLACED WHEN THEY HAVE SERVED THEIR USEFULNESS. D) TEMPORARY SWALES SHALL BE INSPECTED AFTER EACH RAIN. REPAIR ANY EROSION DAMAGE AND REMOVE ANY ACCUMULATION OF SEDIMENT IN SWALE OR IN OUTLET AREA

I. DRAINAGE CHARACTERISTICS AND CONTROL

- SURFACE RUNOFF WATER THAT IS RELATIVELY CLEAN AND SEDIMENT FREE AND SHALL BE DIVERTED FROM THE WORK WHENEVER POSSIBLE.
- ALTHOUGH NONE OF THESE WATER COURSES ARE PROTECTED STREAMS, THEY ARE NOT TO BE ALTERED.

II FOR CONSTRUCTION ACTIVITIES WITH WATER QUALITY & WATER QUANTITY CONTROLS

A. POST CONSTRUCTION STORMWATER CONTROLS:

POST CONSTRUCTION STORMWATER CONTROLS ARE LIMITED TO QUALITY VOLUME NECESSARY FOR THE PROPOSED DEVELOPMENT. THE SMILE AMOUNT OF

REFER TO THE SOIL EROSION AND SEDIMENTATION CONTROL DRAWINGS AND DETAILS FOR THE LOCATION AND DETAIL OF THE STORMWATER CONTROL PRACTICES REQUIRED.

B. DRAINAGE REPORT (SEE SEPARATE DOCUMENTS):

REFER TO SEPARATE REPORTS HEREBY MADE PART OF THIS SWPP PLAN:

C. MAINTENANCE SCHEDULE FOR POST-CONSTRUCTION STORM WATER CONTROL PRACTICES:

STORMWATER CONTROL DEVICES INCLUDING CATCH BASINS AND PONDS SHALL B INSPECTED AND CLEANED WHEN SEDIMENT ACCUMULATIONS REACH 1/2 THE DESIGN DEPTH OF THE STRUCTURE. REMOVED SEDIMENT SHALL BE DEPOSITED IN SUCH A LOCATION AND MANNER THAT IT WILL NOT ERODE.

D. SITE ASSESSMENT AND INSPECTIONS:

- 1. THE OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN (*). THE SWPPP OF THIS PERMIT HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO INSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION. FOLLOWING THE COMMENCEMENT OF CONSTRUCTION, SITE INSPECTIONS SHALL BE CONDUCTED BY THE QUALIFIED PROFESSIONAL AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR DURING EACH INSPECTION, THE QUALIFIED PROFESSIONAL SHALL RECORD THE FOLLOWING INFORMATION:
- a) ON A SITE MAP, INDICATE THE EXTENT OF ALL DISTURBED SITE AREAS AND DRAINAGE PATHWAYS. INDICATE SITE AREAS THAT ARE EXPECTED TO UNDERGO INITIAL DISTURBANCE OR SIGNIFICANT SITE WORK WITHIN THE NEXT 14-DAY PERIOD;
- b) INDICATE ON A SITE MAP ALL AREAS OF THE SITE THAT HAVE UNDERGONE TEMPORARY OR PERMANENT STABILIZATION;
- c) INDICATE ALL DISTURBED SITE AREAS THAT HAVE NOT UNDERGONE ACTIVE SITE WORK DURING THE PREVIOUS 14-DAY PERIOD;
- d) INSPECT ALL SEDIMENT CONTROL PRACTICES AND RECORD THE APPROXIMATE DEGREE OF SEDIMENT ACCUMULATION AS A PERCENTAGE OF THE SEDIMENT STORAGE VOLUME (FOR EXAMPLE, 10 PERCENT, 20 PERCENT, 50 PERCENT); e) INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES AND RECORD ALL
- MAINTENANCE REQUIREMENTS SUCH AS VERIFYING THE INTEGRITY OF BARRIER OR DIVERSION SYSTEMS (EARTHEN BERMS OR SILT FENCING) AND CONTAINMENT SYSTEMS (SEDIMENT BASINS AND SEDIMENT TRAPS).
- f) IDENTIFY ANY EVIDENCE OR RILL OR GULLY EROSION OCCURRING ON SLOPES AND ANY LOSS OF STABILIZING VEGETATION OR SEEDING/MULCHING. HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE DESIGN CAPACITY.
- g) DOCUMENT ANY EXCESSIVE DEPOSITION OF SEDIMENT OR PONDING WATER ALONG BARRIER OR DIVERSION SYSTEMS. h) RECORD THE DEPTH OF SEDIMENT WITHIN CONTAINMENT STRUCTURES, ANY EROSION
- NEAR OUTLET AND OVERFLOW STRUCTURES, AND VERIFY THE ABILITY OF ROCK FILTERS AROUND PERFORATED RISER PIPES TO PASS WATER;
- i) ALL DEFICIENCIES THAT ARE IDENTIFIED WITH THE IMPLEMENTATION OF THE SWPPP. 2. THE OPERATOR SHALL MAINTAIN A RECORD OF ALL INSPECTION REPORTS IN A SITE LOG BOOK. THE SITE LO BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY UPON REQUEST. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION (1) THE OPERATOR SHALL CERTIFY IN THE SITE LOG BOOK THAT THE

SWPPP, PREPARED IN ACCORDANCE WITH THIS PERMIT, MEETS ALL FEDERAL, STATE AND

LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. THE OPERATOR SHALL POST,

- AT THE SITE, IN A PUBLICLY-ACCESSIBLE LOCATION, A SUMMARY OF THE SITE INSPECTION ACTIVITIES ON A MONTHLY BASIS. PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT) OR THE END OF PERMIT TERM, THE OPERATOR SHALL HAVE THE QUALIFIED PROFESSIONAL PERFORM A FINAL SITE INSPECTION. THE QUALIFIED PROFESSIONAL SHALL CERTIFY THAT THE SITE HAS UNDERGONE FINAL STABILIZATION (2) USING EITHER VEGETATIVE OR STRUCTURAL
- STABILIZATION METHODS AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROLS EROSION CONTROL HAVE BEEN REMOVED (SUCH AS STILT FENCING) NOT NEEDED FOR THE OPERATOR SHALL CERTIFY THAT THE REQUIREMENTS OF THIS PERMIT HAVE BEEN

SATISFIED WITHIN 48 HOURS OF ACTUALLY MEETING SUCH REQUIREMENTS. E. STABILIZATION (3)

1. THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE SOIL

- DISTURBANCE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY STABILIZATION MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) SET FORTH IN THE TECHNICAL STANDARD, TO PREVENT SOIL FROM
- FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A STEM DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR

F. MAINTENANCE

PAVEMENT.

SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENT PONDS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE

IV RECORDS, REPORTING & RETENTION OF RECORDS

A. RECORD RETENTION - THE OWNER OR OPERATOR SHALL RETAIN A COPY OF THE NOI, NOI ACKNOWLEDGMENT LETTER, SWPPP, MS4 SWPPP ACCEPTANCE FORM AND ANY INSPECTION REPORTS THAT WERE PREPARED IN CONJUNCTION WITH THIS PERMIT FOR A PERIOD OF AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE ACHIEVES FINAL STABILIZATION. THIS PERIOD MAY BE EXTENDED BY THE DEPARTMENT, IN ITS SOLE DISCRETION, AT ANY TIME UPON WRITTEN NOTIFICATION.

B. ADDRESSES - WITH THE EXCEPTION OF THE NOI, NOT, AND MS4 SWPPP ACCEPTANCE FORM (WHICH MUST BE SUBMITTED TO THE ADDRESS REFERENCED IN PART II.A.1), ALL WRITTEN CORRESPONDENCE REQUESTED BY THE DEPARTMENT, INCLUDING INDIVIDUAL PERMIT APPLICATIONS, SHALL BE SENT TO THE ADDRESS OF THE APPROPRIATE DEPARTMENT

NYS DEPT. OF ENVIRONMENTAL CONSERVATION DIVISION OF ENVIRONMENTAL PERMITS 21 SOUTH PUTTS CORNERS ROAD NEW PALTZ, NY 12561-1696 TOWN OF WALLKILL

99 TOWER DRIVE BUILDING A MIDDLETOWN, NY 10941

VII STANDARD PERMIT CONDITIONS

(DEPARTMENT: NYS DEPT. OF ENVIRONMENTAL CONSERVATION)

- **DUTY TO COMPLY:** THE OPERATOR MUST COMPLY WITH ALL CONDITIONS OF THIS PERMIT.ALL CONTRACTORS AND SUBCONTRACTORS ASSOCIATED WITH THE PROJECT MUST COMPLY WITH THE TERMS OF THE SWPPP. ANY PERMIT NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE CLEAN WATER ACT (CWA) AND THE ENVIRONMENTAL CONSERVATION LAW, AND IS GROUNDS FOR AN ENFORCEMENT ACTION AGAINST THE OWNER OR OPERATOR AND/OR THE CONTRACTOR/SUBCONTRACTOR; PERMIT REVOCATION OR MODIFICATION; OR DENIAL OF A PERMIT RENEWAL APPLICATION. UPON A FINDING OF SIGNIFICANT NON-COMPLIANCE WITH THIS PERMIT OR THE APPLICABLE SWPPP, THE DEPARTMENT MAY ORDER AN IMMEDIATE STOP TO ALL CONSTRUCTION ACTIVITY AT THE SITE UNTIL THE NON-COMPLIANCE IS REMEDIED. THE STOP WORK ORDER SHALL BE IN WRITING, SHALL DESCRIBE THE NON— COMPLIANCE IN DETAIL, AND SHALL BE SENT TO THE OWNER OR OPERATOR OR THE OWNER'S OR OPERATOR'S ON-SITE REPRESENTATIVE.
- CONTINUATION OF THE EXPIRED GENERAL PERMIT: THIS PERMIT EXPIRES TWO (2) YEARS FROM EFFECTIVE DATE. HOWEVER, COVERAGE MAY BE OBTAINED UNDER THE EXPIRED GENERAL PERMIT, WHICH WILL CONTINUE IN FORCE AND EFFECT. UNTIL A NEW GENERAL PERMIT IS ISSUED. AFTER ISSUANCE OF A NEW GENERAL PERMIT. THOSE WITH COVERAGE UNDER GP-0-10-001 WILL HAVE SIX (6) MONTHS FROM THE EFFECTIVE DATE OF THE NEW GENERAL PERMIT TO COMPLETE THEIR PROJECT OR OBTAIN COVERAGE UNDER THE NEW PERMIT. UNLESS OTHERWISE NOTIFIED BY THE DEPARTMENT IN WRITING, AN OWNER OPERATOR AUTHORIZATION UNDER THE NEW GENERAL PERMIT MUST SUBMIT A NEW NOI (NOTICE OF INTENT) IN ACCORDANCE WITH THE TERMS OF SUCH NEW GENERAL PERMIT
- ENFORCEMENT: FAILURE OR THE OWNER OR OPERATOR, ITS CONTRACTORS, SUBCONTRACTORS, AGENTS AND/OR ASSIGNS TO STRICTLY ADHERE TO ANY OF THE PERMIT REQUIREMENTS CONTAINED HEREIN SHALL CONSTITUTE A PERMIT VIOLATION. THERE ARE SUBSTANTIAL CRIMINAL, CIVIL, AND ADMINISTRATIVE PENALTIES ASSOCIATED WITH VIOLATING THE PROVISIONS OF THIS PERMIT. FINES OF UP TO \$37.500 PER DAY FOR EACH VIOLATION AND IMPRISONMENT FOR UP TO FIFTEEN (15) YEARS MAY BE ASSESSED DEPENDING UPON THE NATURE AND DEGREE OF THE OFFENCE.
- NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENCE: IT SHALL NOT BE A DEFENSE FOR AN OWNER OR OPERATOR IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE CONSTRUCTION ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT
- <u>DUTY TO MITIGATE:</u> THE OWNER OR OPERATOR AND ITS CONTRACTORS AND SUBCONTRACTORS SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN VIOLATION OF THIS PERMIT WHICH HAS A REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
- DUTY TO PROVIDE INFORMATION: THE OWNER OR OPERATOR SHALL MAKE AVAILABLE TO THE DEPARTMENT FOR INSPECTION AND COPYING OR FURNISH TO THE DEPARTMENT WITHIN FIVE (5) BUSINESS DAYS OF RECEIPT OF A DEPARTMENT REQUEST FOR SUCH INFORMATION, ANY INFORMATION REQUESTED FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS GENERAL PERMIT. THIS CAN INCLUDE, BUT IS NOT LIMITED TO, THE NOI, NOI ACKNOWLEDGMENT LETTER, SWPPP, MS4 SWPPP ACCEPTANCE FORM, EXECUTED MAINTENANCE AGREEMENT, INSPECTION REPORTS. FAILURE TO PROVIDE INFORMATION REQUESTED BY THE DEPARTMENT SHALL BE A VIOLATION OF THIS PERMIT
- OTHER INFORMATION: WHEN THE OWNER OR OPERATOR BECOMES AWARE THAT THEY FAILED TO SUBMIT ANY RELEVANT FACTS, OR SUBMITTED INCORRECT INFORMATION IN THE NOI OR IN ANY OTHER REPORT. OR HAVE MADE SUBSTANTIVE REVISIONS TO THE SWPPP (e.g. THE SCOPE OF THE PROJECT CHANGES SIGNIFICANTLY, THE POST—CONSTRUCTION STORMWATER MANAGEMENT PRACTICE(S) CHANGE, THERE IS A REDUCTION IN THE SIZING OF THE POST—CONSTRUCTION STORMWATER MANAGEMENT PRACTICE, THERE IS AN INCREASE IN THE DISTURBANCE AREA OR IMPERVIOUS AREA) WHICH WERE NOT REFLECTED IN THE ORIGINAL NOI SUBMITTED TO THE DEPARTMENT, THEY SHALL PROMPTLY SUBMIT SUCH FACTS OF INFORMATION. FAILURE TO THE OWNER OR OPERATOR TO CORRECT OR SUPPLEMENT ANY RELEVANT FACTS WITHIN FIVE (5) BUSINESS DAYS OF BECOMING AWARE OF THE DEFICIENCY SHALL CONSTITUTE A PERMIT

SIGNATORY REQUIREMENTS:

- 1. ALL NOIS AND NOTS SHALL BE SIGNED AS FOLLOWS:
 - FOR A CORPORATION THESE FORMS SHALL BE SIGNED BY A RESPONSIBLE CORPORATE OFFICER. FOR THE PURPOSE OF THIS SECTION, A RESPONSIBLE CORPORATE OFFICER MEANS:
 - I. A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF A PRINCIPAL BUSINESS FUNCTION, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION;
 - II. THE MANAGER OF ONE OR MORE MANUFACTURING, PRODUCTION OR OPERATING FACILITIES, PROVIDED THE MANAGER IS AUTHORIZED TO MAKE MANAGEMENT DECISIONS WHICH GOVERN THE OPERATION OF THE REGULATED FACILITY INCLUDING HAVING THE EXPLICIT OR IMPLICIT DUTY OF MAKING MAJOR CAPITAL INVESTMENT RECOMMENDATIONS, AND INITIATING AND DIRECTING OTHER COMPREHENSIVE MEASURES TO ASSURE LONG TERM ENVIRONMENTA COMPLIANCE WITH ENVIRONMENTAL LAWS AND REGULATIONS; THE MANAGER CAN ENSURE THAT THE NECESSARY SYSTEMS ARE ESTABLISHED OR ACTIONS TAKEN TO GATHER COMPLETE AND ACCURATE INFORMATION FOR PERMIT APPLICATION REQUIREMENTS; AND WHERE AUTHORITY TO SIGN DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE
- B. FOR A PARTNERSHIP OR SOLE PROPRIETORSHIP THESE FORMS SHALL BE SIGNED BY A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY: OR
- C. FOR A MUNICIPALITY, STATE, FEDERAL, OR OTHER PUBLIC AGENCY THESE FORMS SHALL BE SIGNED BY EITHER A PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL. FOR PURPOSES OF THIS SECTION, A PRINCIPAL EXECUTIVE OFFICER OF A FEDERAL AGENCY INCLUDES:
- THE CHIEF EXECUTIVE OFFICER OF THE AGENCY, OR27 (PART VII.H.1.C) II. A SENIOR EXECUTIVE OFFICER HAVING RESPONSIBILITY FOR THE OVERALL OPERATIONS OF A PRINCIPAL GEOGRAPHIC UNIT OF THE AGENCY (E.G., REGIONAL ADMINISTRATORS OF EPA). 2. THE SWPPP AND OTHER INFORMATION REQUESTED BY THE DEPARTMENT SHALL BE SIGNED BY A PERSON DESCRIBED IN PART VII.H.1. OR BY A DULY
- AUTHORIZED REPRESENTATIVE OF THAT PERSON. A PERSON IS A DULY AUTHORIZED REPRESENTATIVE ONLY IF: A. THE AUTHORIZATION IS MADE IN WRITING BY A PERSON DESCRIBED ABOVE
- B. THE AUTHORIZATION SPECIFIES EITHER AN INDIVIDUAL OR A POSITION HAVING RESPONSIBILITY FOR THE OVERALL OPERATION OF THE REGULATED FACILITY OR ACTIVITY, SUCH AS THE POSITION OF PLANT MANAGER, OPERATOR OF A WELL OR A WELL FIELD. SUPERINTENDENT. POSITION OF EQUIVALENT RESPONSIBILITY, OR AN INDIVIDUAL OR POSITION HAVING OVERALL RESPONSIBILITY FOR ENVIRONMENTAL MATTERS FOR THE COMPANY. (A DULY AUTHORIZED REPRESENTATIVE MAY THUS BE EITHER A NAMED INDIVIDUAL OR ANY INDIVIDUAL OCCUPYING A NAMED POSITION) AND,
- C. THE WRITTEN AUTHORIZATION SHALL INCLUDE THE NAME, TITLE AND SIGNATURE OF THE AUTHORIZED REPRESENTATIVE AND BE ATTACHED TO
- 3. ALL INSPECTION REPORTS SHALL BE SIGNED BY THE QUALIFIED INSPECTOR THAT PERFORMS THE INSPECTION.
- 4. THE MS4 SWPPP ACCEPTANCE FORM SHALL BE SIGNED BY THE PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL FROM THE REGULATED, TRADITIONAL LAND USE CONTROL MS4, OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. IT SHALL CONSTITUTE A PERMIT VIOLATION IF AN INCORRECT AND/OR IMPROPER SIGNATORY AUTHORIZES ANY REQUIRED FORMS, SWPPP AND/OR INSPECTION REPORTS.

I. PROPERTY RIGHTS - THE ISSUANCE OF THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR ANY EXCLUSIVE PRIVILEGES, NOR DOES IT AUTHORIZE ANY INJURY TO PRIVATE PROPERTY NOR ANY INVASION OF PERSONAL RIGHTS, NOR ANY INFRINGEMENT OF FEDERAL. STATE OR LOCAL LAWS OR REGULATIONS. OWNERS OR OPERATORS MUST OBTAIN ANY APPLICABLE CONVEYANCES. EASEMENTS, LICENSES AND/OR ACCESS TO REAL PROPERTY PRIOR TO COMMENCING CONSTRUCTION ACTIVITY.

J. SEVERABILITY - THE PROVISIONS OF THIS PERMIT ARE SEVERABLE, AND IF ANY PROVISION OF THIS PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCE, IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY

K. DENIAL OF COVERAGE UNDER THIS PERMIT

1. AT ITS SOLE DISCRETION, THE DEPARTMENT MAY REQUIRE ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT TO APPLY FOR AND/OR OBTAIN EITHER AN INDIVIDUAL SPDES PERMIT OR ANOTHER SPDES GENERAL PERMIT. WHEN THE DEPARTMENT REQUIRES ANY DISCHARGER AUTHORIZED BY A GENERAL PERMIT TO APPLY FOR AN INDIVIDUAL SPDES PERMIT. IT SHALL NOTIFY THE DISCHARGER IN WRITING THAT A PERMIT APPLICATION IS REQUIRED. THIS NOTICE SHALL INCLUDE A BRIEF STATEMENT OF THE REASONS FOR THIS DECISION. AN APPLICATION FORM, A STATEMENT SETTING A TIME FRAME FOR HE OWNER OR OPERATOR TO FILE THE APPLICATION FOR AN INDIVIDUAL SPDES PERMIT, AND A DEADLINE, NOT SOONER THAN 180 DAYS FROM OWNER OR OPERATOR RECEIPT OF THE NOTIFICATION LETTER, WHEREBY THE AUTHORIZATION TO DISCHARGE UNDER THIS GENERAL PERMIT SHALL BE TERMINATED. APPLICATIONS MUST BE SUBMITTED TO THE APPROPRIATE REGIONAL OFFICE. THE DEPARTMENT MAY GRANT ADDITIONAL TIME UPON DEMONSTRATION. TO THE SATISFACTION OF THE REGIONAL WATER ENGINEER. THAT ADDITIONAL TIME TO APPLY FOR AN ALTERNATIVE AUTHORIZATION IS NECESSARY OR WHERE THE DEPARTMENT HAS NOT PROVIDED A PERMIT DETERMINATION IN ACCORDANCE WITH PART 621 OF THIS TITLE.

- 2. ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT MAY REQUEST TO BE EXCLUDED FROM THE COVERAGE UNDER THIS PERMIT BY APPLYING FOR AN INDIVIDUAL PERMIT OR ANOTHER GENERAL PERMIT. IN SUCH CASES, THE OWNER OR OPERATOR SHALL SUBMIT AN INDIVIDUAL APPLICATION OR AN ALTERNATIVE GENERAL PERMIT APPLICATION IN ACCORDANCE WITH THE REQUIREMENTS OF THIS GENERAL PERMIT, 40 CFR 122.26(C)(1)(II) AND 6 NYCRR PART 621, WITH REASONS SUPPORTING THE REQUEST. DEPARTMENT AT THE ADDRESS FOR THE APPROPRIATE DEPARTMENT OFFICE (SEE ADDRESSES IN APPENDIX F). THE REQUEST MAY BE GRANTED BY ISSUANCE OF AN INDIVIDUAL PERMIT OR ANOTHER GENERAL PERMIT AT THE DISCRETION OF THE DEPARTMENT.
- WHEN AN INDIVIDUAL SPDES PERMIT IS ISSUED TO A DISCHARGER AUTHORIZED TO DISCHARGE UNDER A GENERAL SPDES PERMIT FOR THE SAME DISCHARGE(S), THE GENERAL PERMIT AUTHORIZATION FOR OUTFALLS AUTHORIZED UNDER THE INDIVIDUAL SPDES PERMIT IS AUTOMATICALLY TERMINATED ON THE EFFECTIVE DATE OF THE INDIVIDUAL PERMIT UNLESS TERMINATION IS EARLIER IN ACCORDANCE WITH 6 NYCRR PART 750.

L. PROPER OPERATION AND MAINTENANCE - THE OWNER OR OPERATOR SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (AND RELATED APPURTENANCES) WHICH ARE INSTALLED OR USED BY THE OWNER OR OPERATOR TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT AND WITH THE REQUIREMENTS OF THE SWPPP.

M. INSPECTION AND ENTRY - THE OWNER OR OPERATOR SHALL ALLOW THE DEPARTMENT OR AN AUTHORIZED REPRESENTATIVE OF EPA, THE STATE, OR, IN THE CASE OF A CONSTRUCTION SITE WHICH DISCHARGES THROUGH AN MS4. AN AUTHORIZED REPRESENTATIVE OF THE MS4 RECEIVING THE DISCHARGE. UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE REQUIRED BY LAW, TO: 29 (PART VII. M)

- 1. ENTER UPON THE OWNER'S OR OPERATOR'S PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT.
- 2. HAVE ACCESS TO AND COPY AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT; AND 3. INSPECT AT REASONABLE TIMES ANY FACILITIES OR EQUIPMENT

(INCLUDING MONITORING AND CONTROL EQUIPMENT).

N. PERMIT ACTIONS - AT THE DEPARTMENT'S SOLE DISCRETION, THIS PERMIT MAY, AT ANY TIME, BE MODIFIED, SUSPENDED, REVOKED, OR RENEWED. THE FILING OF A REQUEST BY THE OWNER OR OPERATOR FOR A PERMIT MODIFICATION, REVOCATION AND REISSUANCE, TERMINATION, A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NONCOMPLIANCE DOES NOT LIMIT, DIMINISH AND/OR STAY COMPLIANCE WITH ANY TERMS OF THIS PERMIT

O. DEFINITIONS - DEFINITIONS OF KEY TERMS ARE INCLUDED IN APPENDIX A OF THIS PERMIT.

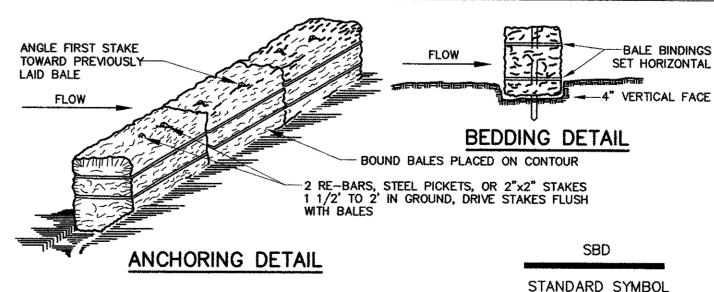
P. RE-OPENER CLAUSE

1. IF THERE IS EVIDENCE INDICATING POTENTIAL OR REALIZED IMPACTS ON WATER QUALITY DUE TO ANY STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT, THE OWNER OR OPERATOR OF SUCH DISCHARGE MAY BE REQUIRED TO OBTAIN AN INDIVIDUAL PERMIT OR ALTERNATIVE GENERAL PERMIT IN ACCORDANCE WITH PART VII.K. OF THIS PERMIT OR THE PERMIT MAY BE MODIFIED TO INCLUDE DIFFERENT LIMITATIONS AND/OR REQUIREMENTS.

2. PERMIT MODIFICATION, SUSPENSION OR REVOCATION WILL BE CONDUCTED IN ACCORDANCE WITH 6 NYCRR PART 621, 6 NYCRR 750-1.18, AND 6 NYCRR 750-1.20.

Q. PENALTIES FOR FALSIFICATION OF FORMS AND REPORTS - ARTICLE 17 OF THE ECL PROVIDES FOR A CIVIL PENALTY OF \$37,500 PER DAY PER VIOLATION OF THIS PERMIT. ARTICLES 175 AND 210 OF THE NEW YORK STATE PENAL LAW PROVIDE FOR A CRIMINAL PENALTY OF A FINE AND/OR IMPRISONMENT FOR FALSIFYING FORMS AND REPORTS REQUIRED BY THIS PERMIT.

R. OTHER PERMITS - NOTHING IN THIS PERMIT RELIEVES THE OWNER OR OPERATOR FROM A REQUIREMENT TO OBTAIN ANY OTHER PERMITS REQUIRED BY LAW.



DRAINAGE AREA NO MORE THAN 1/4 AC. PER 100 FT. OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%

SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALES SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES (4") AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN AT AN ANGLE TOWARDS THE PREVIOUS LAID BALE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS

STRAW BALE DIKE DETAILS (ALT. SILT FENCE)

SILT FENCE

IN THE FENCE.

EIGHT FOOT (8') ON CENTER.

THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NY STATE EDUCATION LAW.



04

28" MIN.

'. MIN.

N.T.S.

FLOW

SYMBOL:

SILT FENCE SHALL BE PREFABRICATED FENCE UNITS AS

MANUFACTURED BY ENVIROFENCE OR APPROVED EQUAL.

HARDWOOD POSTS, MIN. THREE FOOT (3') LONG, SPACED AT

WHEN TWO SECTIONS OF FENCE ADJOIN EACH OTHER, THEY

ACCUMULATED SEDIMENT REMOVED WHEN "BULGES" DEVELOP

SHALL BE OVERLAPPED BY SIX INCHES (6") AND FOLDED.

MAINTENANCE SHALL BE PERFORMED AS NEEDED AND

SILT FENCE POSTS SHALL BE TWO INCH (2") SQUARE

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GENERAL NOTES & SPECIFICATIONS

12003.1

DATE

SCALE NONE SWPP-1 SHEET

9 OF 11

MARCH 21, 201

