

**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: PET HOTEL AND DAYCARE (MIDDLEHOPE VET)
PROJECT NO.: 2012-19
PROJECT LOCATION: SECTION 9, BLOCK 3, LOT 22.1 & 23 & 22.2
REVIEW DATE: 17 MAY 2017
MEETING DATE: 18 MAY 2017
PROJECT REPRESENTATIVE: T.M. DEPUY ENGINEERING & LAND SURVEYING, P.C.

1. The SWPPP submitted is lacking the Stormwater modeling and calculations for sizing of the practices proposed.
2. The SWPPP should specifically address the management of pet waste from the site based on the proposed use.
3. The Planning Boards attention is called to a new addition to the plan identifying "area designated as future outdoor exercise area". This area should be detailed on the plans or be removed. Amendments to the site plan would be required upon construction of the area.
4. A fence has been added to the plans along the rear property line. Details of the fence should be provided. Currently a five ft. high chain link fence is identified which appears to be proposed for locating above the retaining wall structures.
5. Comments from the neighbor located east of the site have been received.
6. Upon acceptance of the SWPPP a Stormwater Facilities Maintenance Agreement must be filed by the Applicant.
7. Correspondence from NYSDOT regarding access drives and northerly parking areas should be received.
8. Notes restricting tree clearing to times of year to protect the endangered and threatened bat species should be added to the plans.

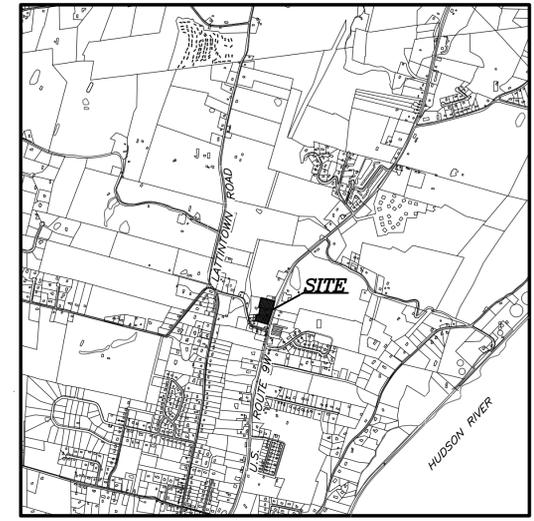
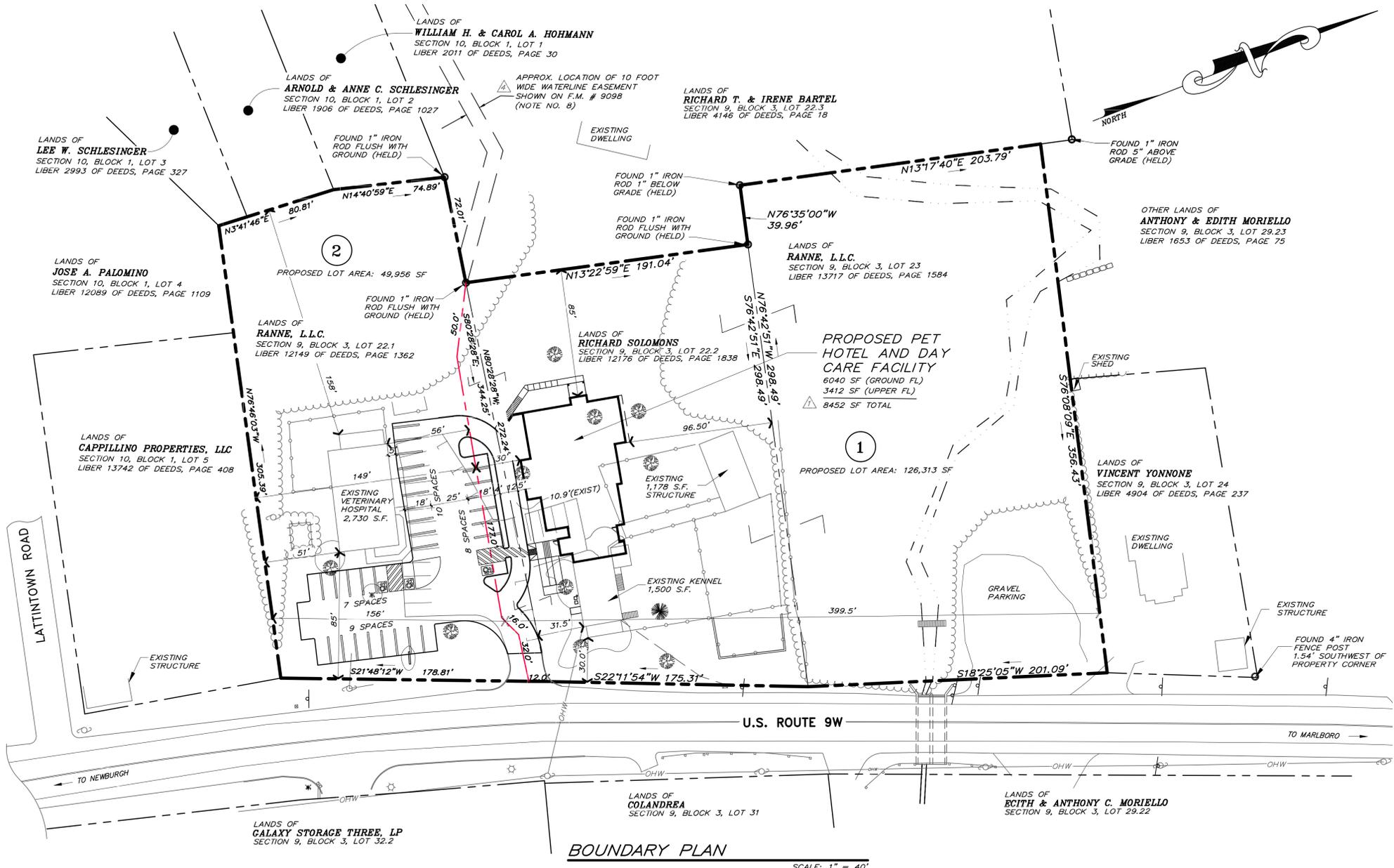
9. Information pertaining to the transportation corporation should be submitted to Mike Donnelly's office for review.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/kbw



LOCATION MAP
SCALE: 1" = 2000'

PARCEL / OWNER DATA

APPLICANT:	RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)
RECORD OWNERS:	RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)
TAX MAP REFERENCE:	SECTION 9, BLOCK 3, LOT 22.2 SECTION 9, BLOCK 3, LOT 23
PARCEL ADDRESS:	5351 U.S. ROUTE 9W NEWBURGH, NY 12550
PARCEL AREA:	1.245 ACRES (9-3-22.1) 1.189 ACRES (9-3-22.2) 1.612 ACRES (9-3-23) 4.046 ACRES TOTAL THREE PARCELS
DEED REFERENCE:	LIBER 12149, PAGE 1362 (9-3-22.1) LIBER 12176, PAGE 1838 (9-3-22.2) LIBER 13717, PAGE 1584 (9-3-23)
EXISTING ZONING:	B (BUSINESS)

SURVEY AND PARCEL NOTES

- MAP REFERENCE: NYS DOT "SHEET NO. 5 & SHEET NO. 6, NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED JANUARY 15, 1910.
- FIELD NOTE REFERENCE: NYS DOT FIELD NOTES FOR "NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED 1910.
- MAP REFERENCE: NYS DOT "NEWBURGH-CEDAR HILL CEMETERY S.H. 5007" SHEET NO. 15 OF 24, DATED JULY 9, 1928.
- MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
- MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
- MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14.5" DATED DECEMBER 19, 1928.
- MAP REFERENCE: NYS DOT "NEWBURGH-CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 89, PHYLLIS TIBBY & LUCY BOLOGNESE, TOWN OF NEWBURGH" DATED DECEMBER 13, 1990.
- MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 637 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1988 AS PREPARED BY GERALD ZIMMERMAN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #9098.
- MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORIELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1999, REVISED OCTOBER 5, 1999 AS PREPARED BY BRINNIER & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
- CONDITIONAL WITH THIS SITE PLAN APPROVAL IS THE PROPOSED LAND CONSOLIDATION OF TWO (2) SEPARATE TAX PARCELS INTO ONE (1) SINGLE PARCEL. THE BOUNDARY LINE BETWEEN TAX PARCEL SECTION 9, BLOCK 3, LOT 22.2 (SOLOMONS) AND TAX PARCEL SECTION 9, BLOCK 3, LOT 23 (RANNE, L.L.C.) WILL BE REMOVED, AND THE BOUNDARY LINE BETWEEN TAX PARCEL 22.1 (RANNE, L.L.C.) AND TAX PARCEL 22.2 WILL BE REVISED. REFER TO DRAWING ENTITLED "LOT LINE CHANGE AND LAND CONSOLIDATION MAP OF LANDS OF RANNE, L.L.C. AND RICHARD SOLOMONS". THE APPROVAL OF WHICH RUNS CONCURRENT WITH THIS SITE PLAN.

ZONING DATA TABLE			
TOWN OF NEWBURGH - (B) BUSINESS ZONE			
ITEM	REQUIREMENTS	PARCEL 1	PARCEL 2
1. BUILDING USE	D-17 VET OFFICE/RELATED SERVICES	PET HOTEL	VETERINARY HOSPITAL
2. LOT AREA	40,000 S.F.	2.899 ACRES (126,313 S.F.)	1,147 ACRES (49,956 S.F.)
3. LOT WIDTH	150'	399.5'	156'
4. LOT DEPTH	150'	272'	305'
5. BUILDING SETBACKS	FRONT YARD 40' SIDE YARD 30' REAR YARD 40'	30' (EXIST) * 30' (PROPOSED) 85'	85' (EXIST) 51' (EXIST) 158' (EXIST)
6. BUILDING HEIGHT	35 FEET	LESS THAN 35'	LESS THAN 35'
7. OFF STREET PARKING (8185-13)	ONE SPACE PER 200 S.F. GFA 9750 SF (NEW) = 48.8 1 SPACE/ 200 SF 2,730 SF (HOSP.) = 13.7 1 SPACE/ 200 SF 1,500 SF (KENNEL) = 7.5 1 SPACE/ 200 SF 1,178 SF (E.A.) = 1.2 1 SPACE/ 1000 SF = 33.8 = 34	34 TOTAL SHARED SPACES (INC'D 3 ACCESSIBLE)	
8. LOT BUILDING COVERAGE	MAXIMUM 30%	12,428 SF. X 100 = 9.8% 126,313 SF	2,730 SF. X 100 = 5.5% 49,956 SF
9. LOT SURFACE COVERAGE	MAXIMUM 60%	12,864 SF. X 100 = 10.2% 126,313 SF	15,693 SF. X 100 = 31.4% 49,956

UNIFIED SITE PLAN NOTE

THE OWNER SHALL PREPARE A DECLARATION, SATISFACTORY TO THE PLANNING BOARD ATTORNEY, RESTRICTING THE USE OF THE LOTS COVERED BY THIS SITE PLAN APPROVAL TO OPERATION AS A SINGLE SITE PURSUANT TO THIS SITE PLAN APPROVAL. THE DECLARATION SHALL ANNOUNCE THAT CONVEYANCE OF ANY OF THE THREE PARCELS SHALL RESULT, WITHOUT FURTHER ACTION, IN A REVOCATION OF THIS APPROVAL. THE DECLARATION SHALL STATE THAT IT IS ENFORCEABLE BY THE TOWN AND THAT THE OBLIGATION SHALL RUN WITH THE LAND. THE DECLARATION SHALL BE RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE BEFORE THE PLANS ARE SIGNED.

LEGEND

SYMBOLS	ABBREVIATIONS
—	PROPERTY LINE
---	ADJOINING LOT LINE
- - -	EASEMENT LINE
- . - .	CONSERVATION EASEMENT LINE
...	CONTOURS
— x —	WATER EDGE OR STREAM
—	GUIDE RAIL
— x —	FENCE LINE
—	STONEWALL
—	EDGE OF PAVEMENT
—	OVERHEAD UTILITY LINE
—	TREELINE
—	UTILITY POLE
—	WELL
—	WATERMAIN GATE VALE
—	RETAINING WALL (PROPOSED)
—	DIVERSION SWALE
—	SEPTIC CURTAIN DRAIN (PROPOSED)
—	DAYLITE OUTLET W/RODENT SCREEN
—	ROOF/FOOTING DRAINS
—	PERC TEST LOCATION
—	DEEP TEST LOCATION
—	SEPTIC TANK (PROPOSED)
—	DOSING TANK (PROPOSED)
—	SEWAGE PUMP STATION (PROPOSED)
CB	CATCH BASIN
CD/P	PERF. SEPTIC CURTAIN DRAIN PIPE
CD/S	SOLID SEPTIC CURTAIN DRAIN PIPE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
D.I.P.	DUCTILE IRON PIPE
ELEV.	ELEVATION
FFE	FINISHED FLOOR ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE (SMOOTH INTERIOR)
HP	HIGH POINT
INV	INVERT
LF	LINEAR FOOT
LP	LOW POINT
LSE:	LOWEST SEWER ELEVATION (INV)
MH	MANHOLE
N.W.L.	NORMAL WATER LEVEL (SURFACE ELEV)
PROP.	PROPOSED
RPC	REINFORCED CONCRETE PIPE
WL.	WATER LEVEL (SURFACE ELEV)

LIST OF DRAWINGS

No.	DWG	TITLE
1	SP1	ZONING DATA AND BOUNDARY PLAN
2	SP2	SITE PLAN
3	SP3	SEPTIC SYSTEM DETAILS 1
4	SP4	SEPTIC DETAILS 2
5	SP5	STORM UTILITY DETAILS
6	SP6	SITE DETAILS 1
7	SP7	SITE DETAILS 2
8	SP8	LANDSCAPE PLAN
9	SWP1	SWPPP NOTES
10	SWP2	SOIL EROSION AND SEDIMENT CONTROL
11	SWP3	GREEN INFRASTRUCTURE PLAN
12	SWP4	GREEN INFRASTRUCTURE DETAILS

"Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal in red is a violation of Section 7208, Subdivision 2, of the New York State Education Law."

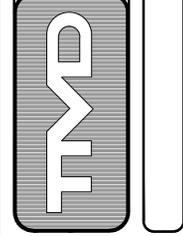
"Only copies from the original tracing of this survey map prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the Delaware-Hudson Land Surveyors Association. Said certifications shall run only to those named individuals and/or institutions for whom the survey was prepared. Certifications are not transferable to additional individuals, institutions, their successors and/or assigns, or subsequent owners."

I hereby certify to RANNE, L.L.C. and the Town of Newburgh that this survey map is the result of an actual field survey prepared by T.M. DePuy Engineering & Land Surveying, P.C. on June 26, 2012.

THOMAS M. DEPUY, S., NYS License #049783

NO.	DATE	DESCRIPTION	BY
4	5/25/17	PLANNING BOARD SUBMISSION 3	D/W
3	4/19/17	NYSDEC SUBMITTAL	D/W
2	3/21/17	PLANNING BOARD SUBMISSION 2	D/W
1	3/07/17	ZONING BOARD APPLICATION	D/W

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE: ZONING DATA AND BOUNDARY PLAN
JOB: 12003.1
DATE: OCTOBER 2016
SCALE: AS NOTED
DWC: **SP1**
SHEET 1 OF 12



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NY STATE EDUCATION LAW.

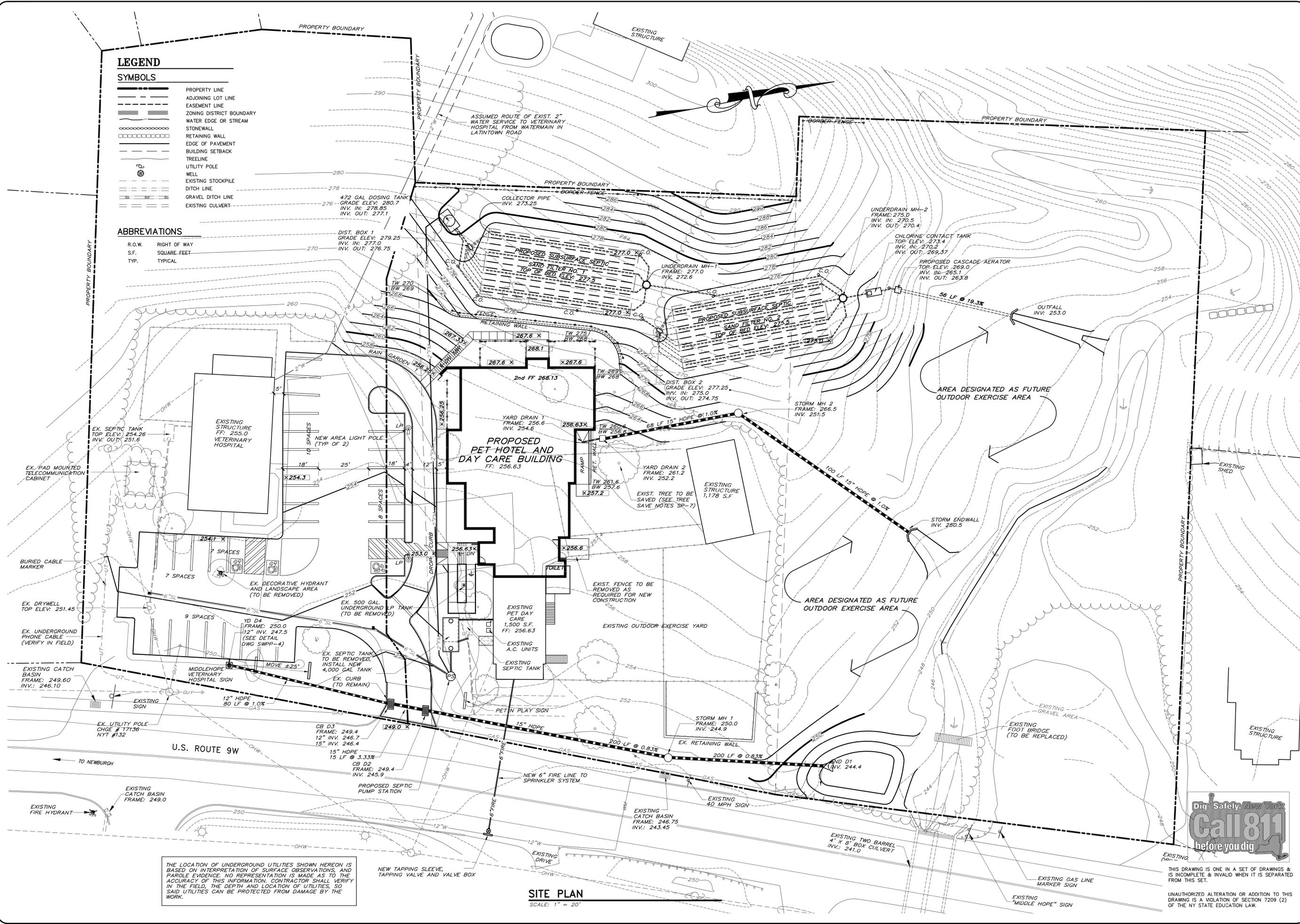
LEGEND

SYMBOLS

- PROPERTY LINE
- ADJOINING LOT LINE
- EASEMENT LINE
- ZONING DISTRICT BOUNDARY
- WATER EDGE OR STREAM
- STONEWALL
- RETAINING WALL
- EDGE OF PAVEMENT
- BUILDING SETBACK
- TREELINE
- UTILITY POLE
- WELL
- EXISTING STOCKPILE
- DITCH LINE
- GRAVEL DITCH LINE
- EXISTING CULVERT

ABBREVIATIONS

- R.O.W. RIGHT OF WAY
- S.F. SQUARE FEET
- TYP. TYPICAL



THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD, THE DEPTH AND LOCATION OF UTILITIES, SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.

NEW TAPPING SLEEVE, TAPPING VALVE AND VALVE BOX

SITE PLAN

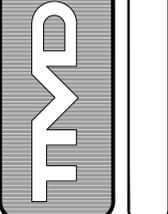
SCALE: 1" = 20'

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NO.	DATE	DESCRIPTION	BY
1.	2/7/17	PET DROP OF ASILE	DJW
2.	3/7/17	ZONING BOARD APPLICATION	DJW
3.	3/21/17	PLANNING BOARD SUBMISSION 2	DJW
4.	4/19/17	NYSDEC SUBMITTAL	DJW
5.	5/5/17	PLANNING BOARD SUBMISSION 3	DJW

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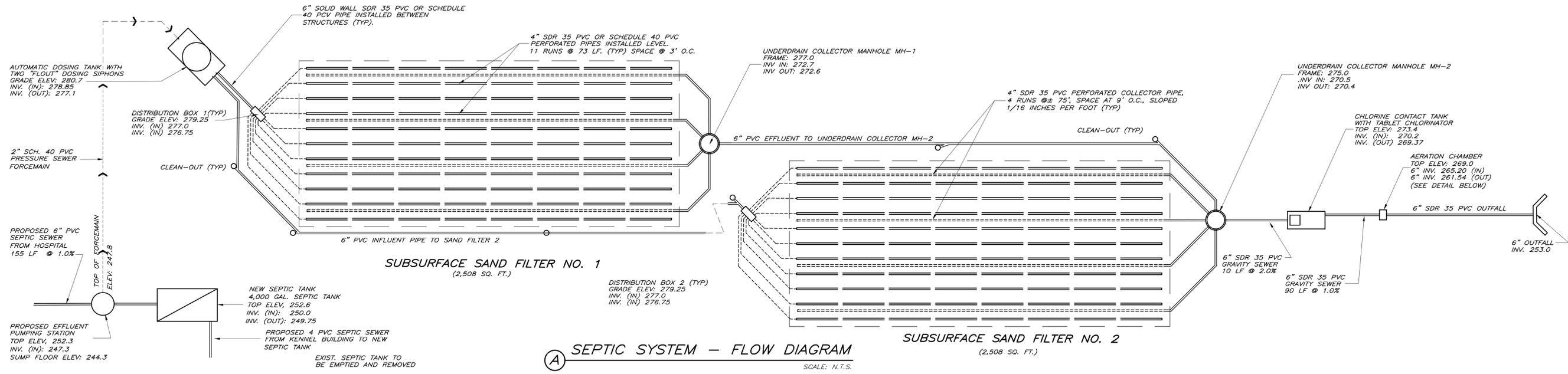


PROPOSED PET HOTEL AND DAY CARE FACILITY
 NY STATE ROUTE 9W
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

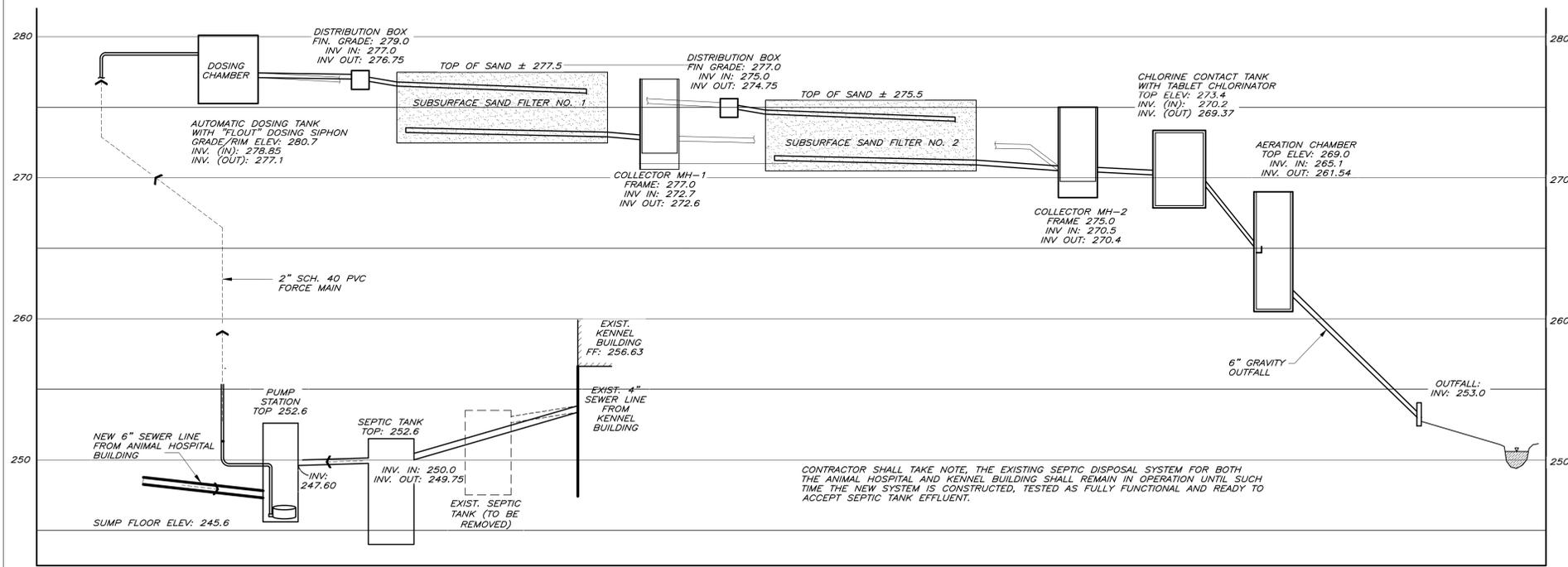


TITLE	SITE PLAN
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP2
SHEET	2 OF 12

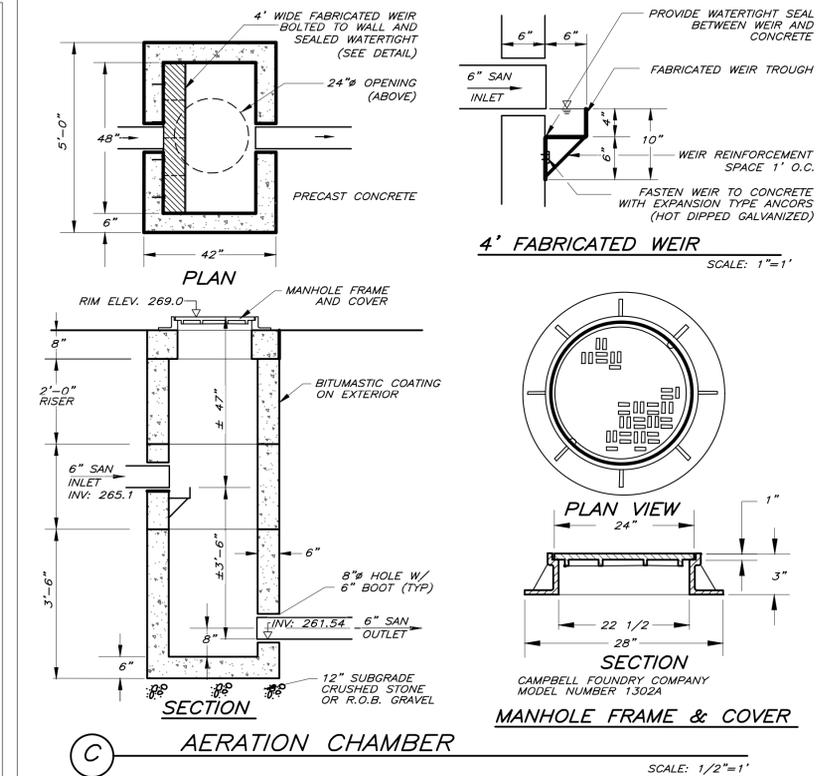




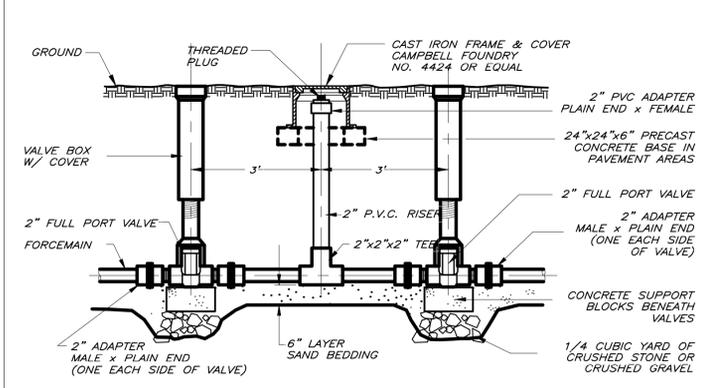
(A) SEPTIC SYSTEM - FLOW DIAGRAM
SCALE: N.T.S.



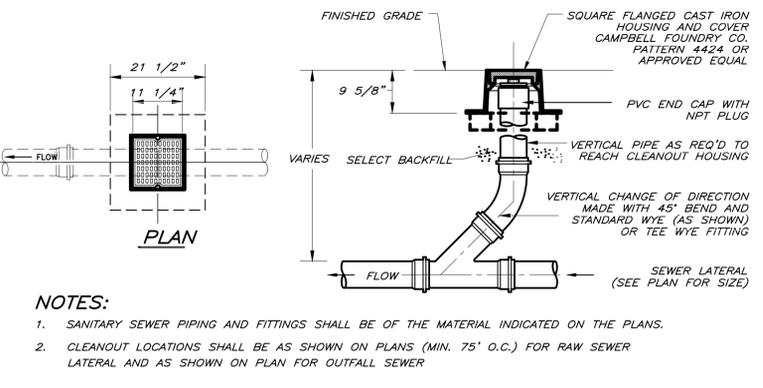
(B) HYDRAULIC PROFILE
SCALE: HORIZ: NONE
SCALE: VERT: 1" = 5'



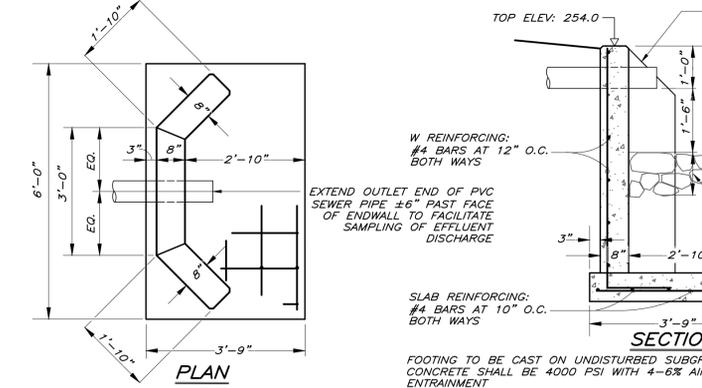
(C) AERATION CHAMBER
SCALE: 1/2" = 1'



(D) FORCEMAIN CLEAN OUT
N.T.S.



(E) TYPICAL SANITARY CLEANOUT DETAIL
N.T.S.



(F) OUTFALL ENDWALL
SCALE: 1/2" = 1'

- NOTES:**
- SANITARY SEWER PIPING AND FITTINGS SHALL BE OF THE MATERIAL INDICATED ON THE PLANS.
 - CLEANOUT LOCATIONS SHALL BE AS SHOWN ON PLANS (MIN. 75' O.C.) FOR RAW SEWER LATERAL AND AS SHOWN ON PLAN FOR OUTFALL SEWER

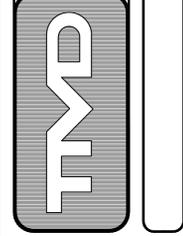


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NO.	DATE	DESCRIPTION	BY
1.	3/21/17	PLANNING BOARD SUBMISSION 2	D/W
2.	4/19/17	NYSDEC SUBMITTAL	D/W
3.	5/25/17	PLANNING BOARD SUBMISSION 3	D/W

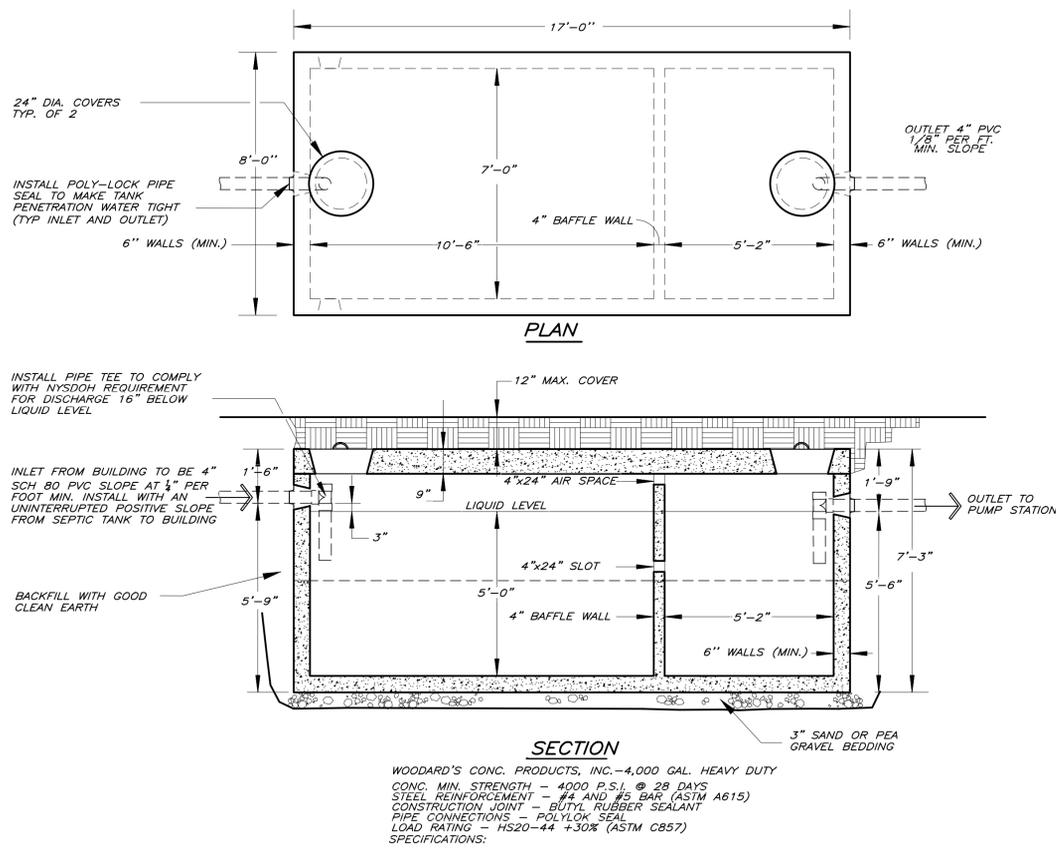
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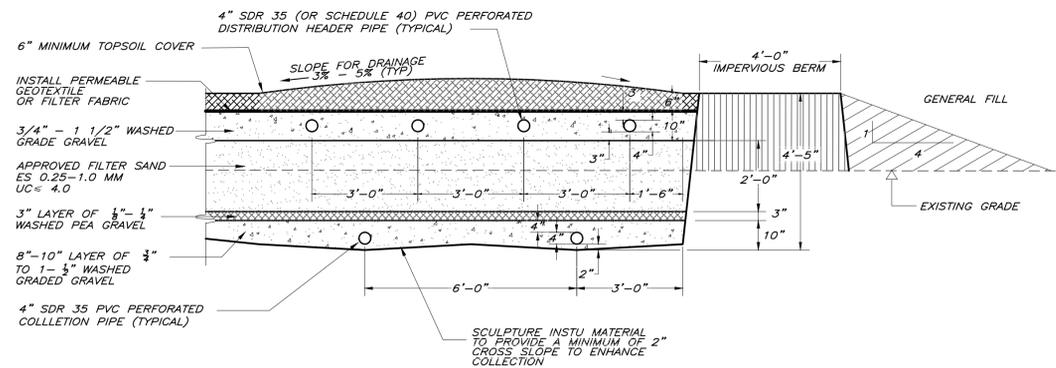
PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEUBURGH
ORANGE COUNTY, NEW YORK



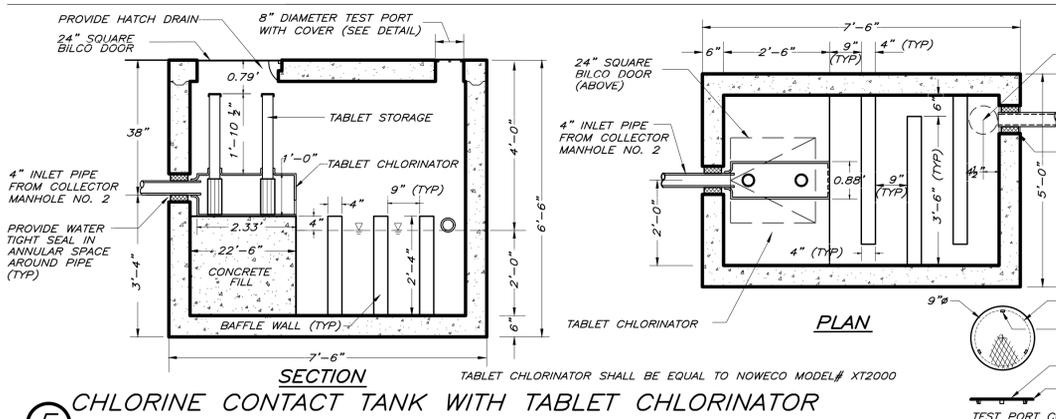
TITLE	SEPTIC SYSTEM DETAILS
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP3
SHEET	3 OF 12



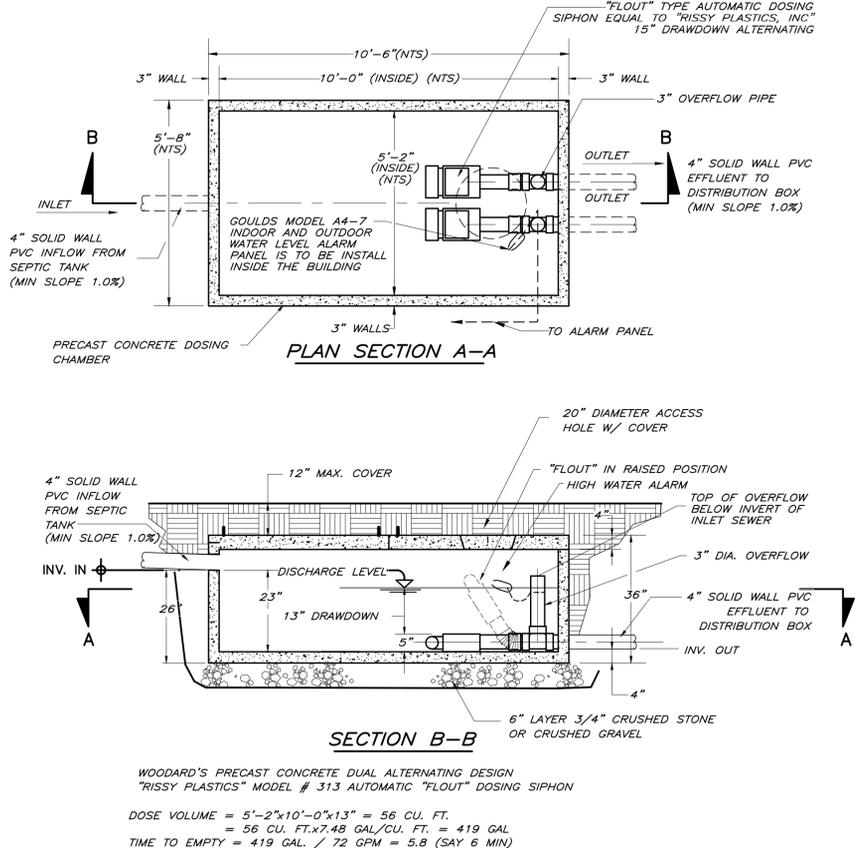
A PRECAST 4,000 GAL. CONC. SEPTIC TANK DETAIL
SCALE: 1/2" = 1'-0"



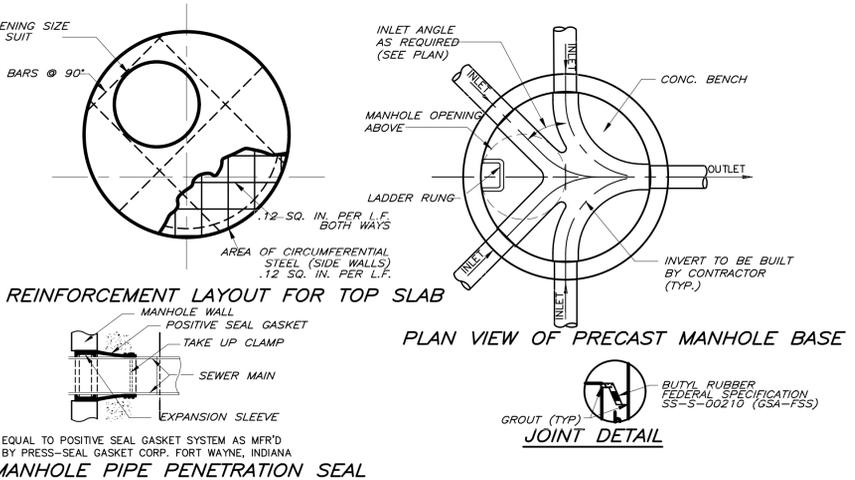
D TYPICAL CROSS SECTION OF INTERMITTENT SUBSURFACE SAND FILTER WITH DOSING
SCALE: 1" = 5'



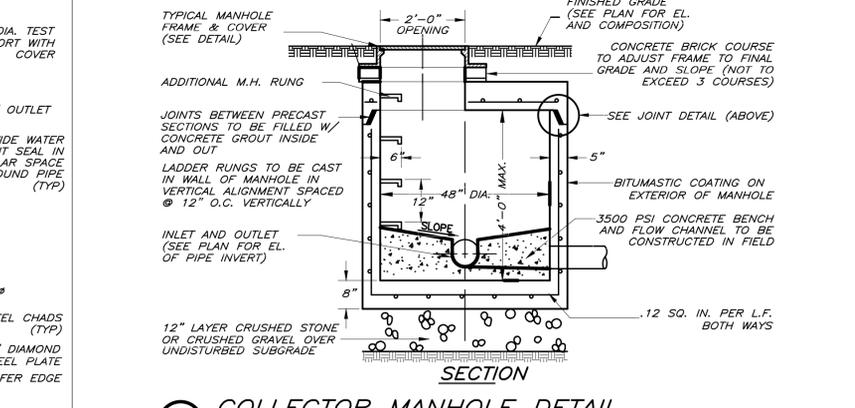
E CHLORINE CONTACT TANK WITH TABLET CHLORINATOR
SCALE: 1/2" = 1'-0"



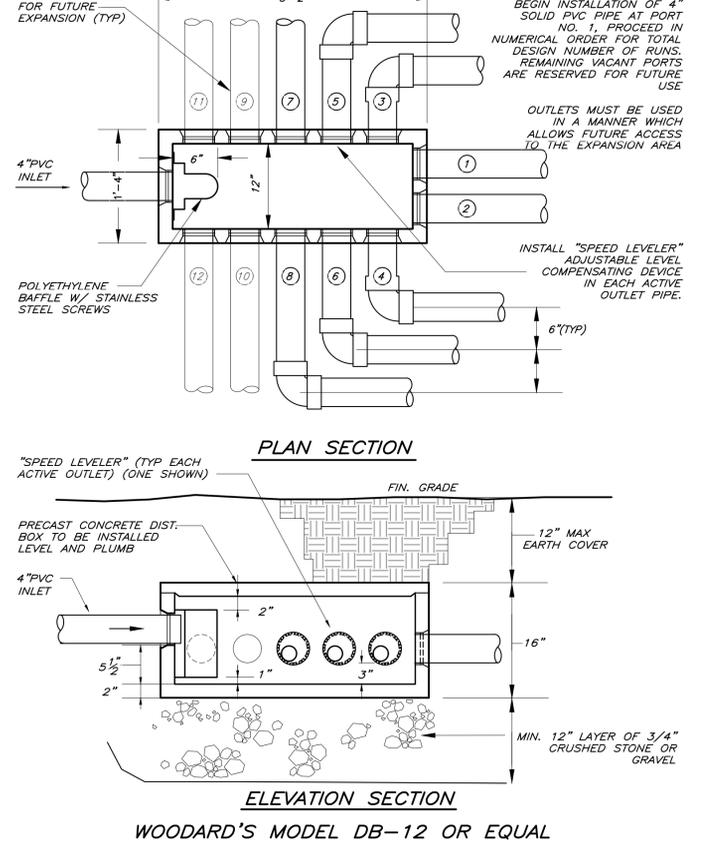
B DOSING CHAMBER DETAIL
SCALE: 1/2" = 1'-0"



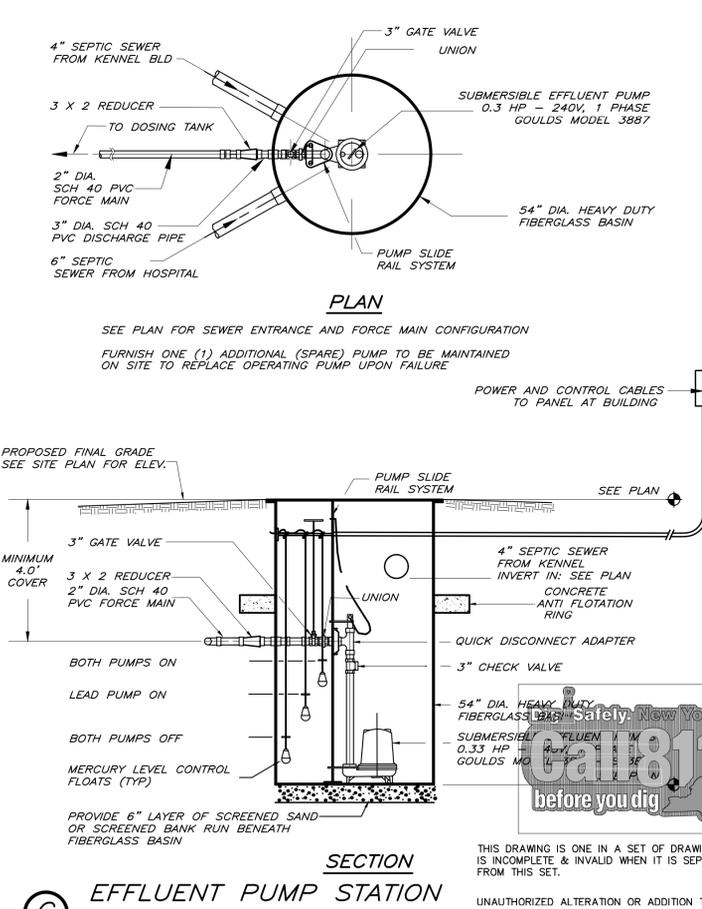
F MANHOLE PIPE PENETRATION SEAL
SCALE: 1/2" = 1'-0"



F COLLECTOR MANHOLE DETAIL
SCALE: 1/2" = 1'-0"



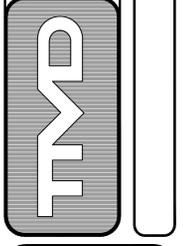
C PRECAST DISTRIBUTION BOX
SCALE: 1" = 1'-0"



G EFFLUENT PUMP STATION
SCALE: NONE

NO.	DATE	DESCRIPTION	BY
1.	3/21/17	PLANNING BOARD SUBMISSION 2	D/W
2.	4/19/17	NYSDOC SUBMITTAL	D/W
3.	5/25/17	PLANNING BOARD SUBMISSION 3	D/W

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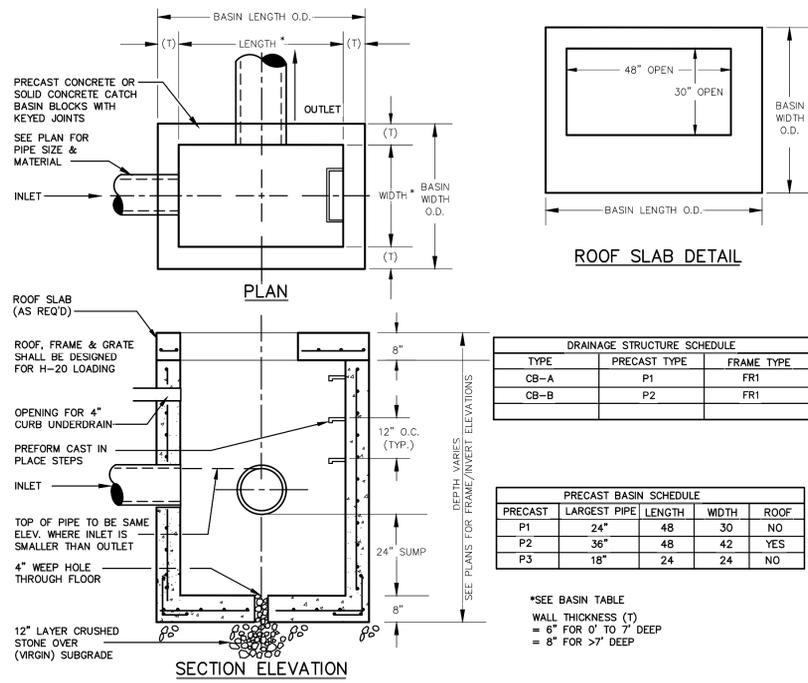
PROPOSED PET HOTEL AND DAY CARE FACILITY
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TOWN OF NEWBURGH
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TITLE	JOB	DATE	SCALE	DWG.	SHEET
SEPTIC DETAILS 2	12003.1	OCTOBER 2016	AS NOTED		4 OF 12

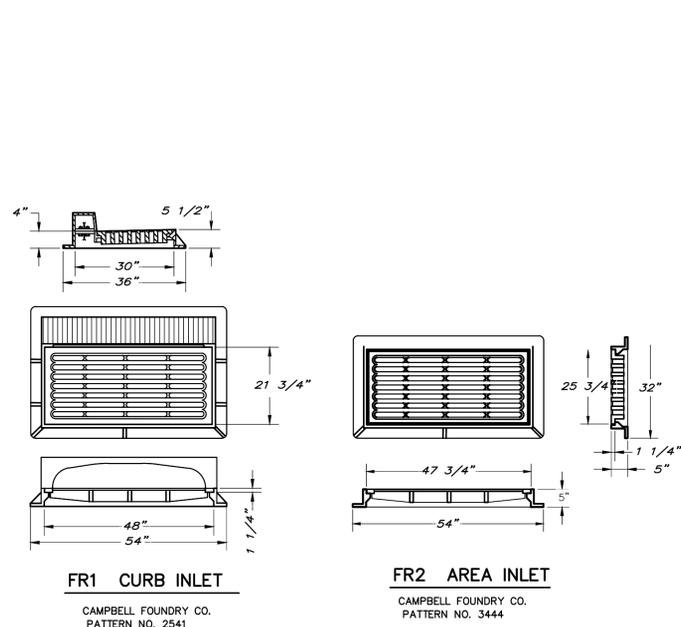


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A TYPICAL CATCH BASIN DETAIL

SCALE: 1/2" = 1'-0"



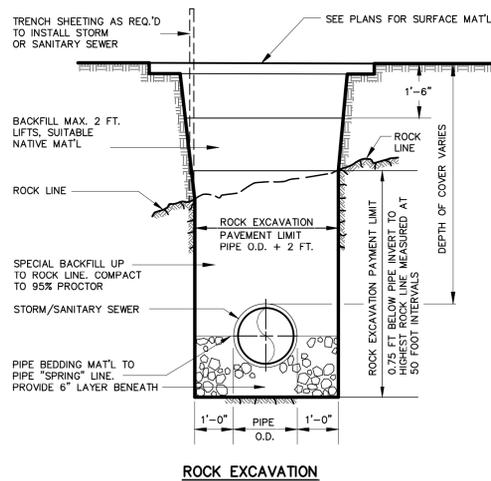
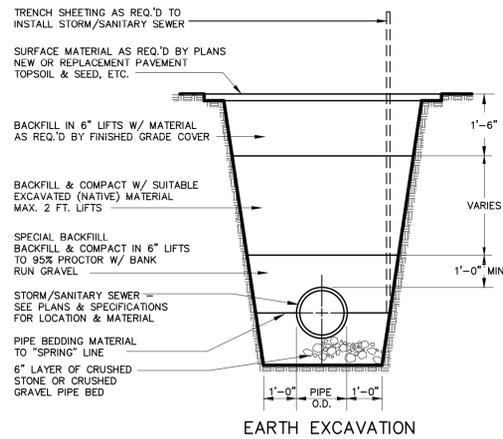
B CATCH BASIN FRAME AND GRATE DETAILS

SCALE: 1/2" = 1'-0"

DRAINAGE STRUCTURE SCHEDULE		
TYPE	PRECAST TYPE	FRAME TYPE
CB-A	P1	FR1
CB-B	P2	FR1

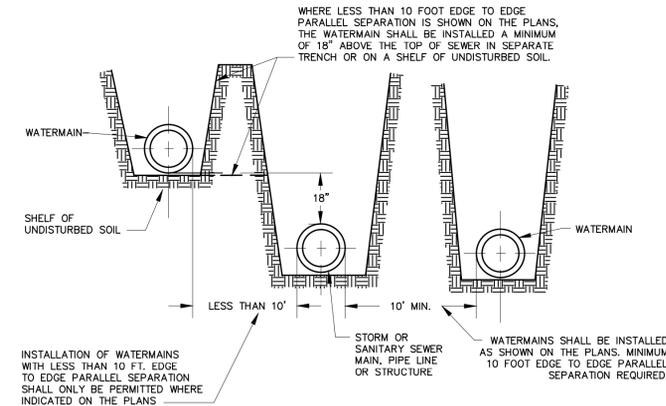
PRECAST BASIN SCHEDULE				
PRECAST	LARGEST PIPE	LENGTH	WIDTH	ROOF
P1	24"	48	30	NO
P2	36"	48	42	YES
P3	18"	24	24	NO

*SEE BASIN TABLE
WALL THICKNESS (T)
= 6" FOR 0' TO 7' DEEP
= 8" FOR >7' DEEP



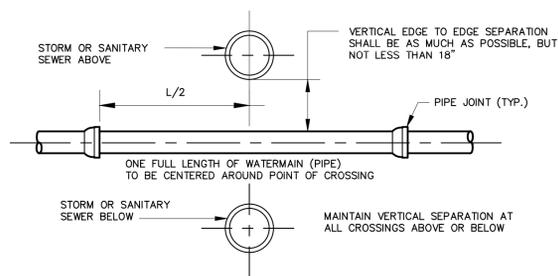
C TYPICAL TRENCH DETAILS

N.T.S.



D HORIZONTAL SEPARATION DETAIL

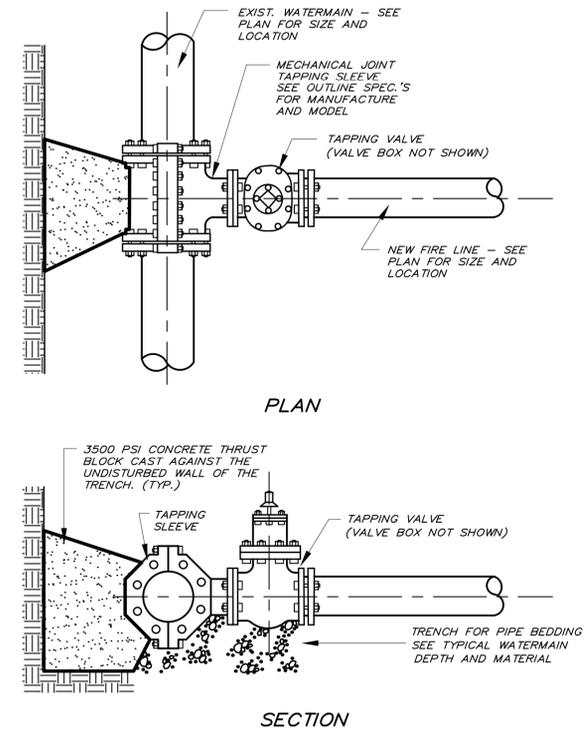
NOT TO SCALE



NOTE: VERTICAL EDGE OF PIPE TO EDGE OF PIPE SEPARATION REQUIREMENTS APPLY TO ANY WATER LINES (MAINS, AND SERVICES) CROSSING ANY SEWER LINE (SANITARY SEWER MAINS AND LATERALS, STORM SEWERS, ROOF/FOOTING DRAINS).

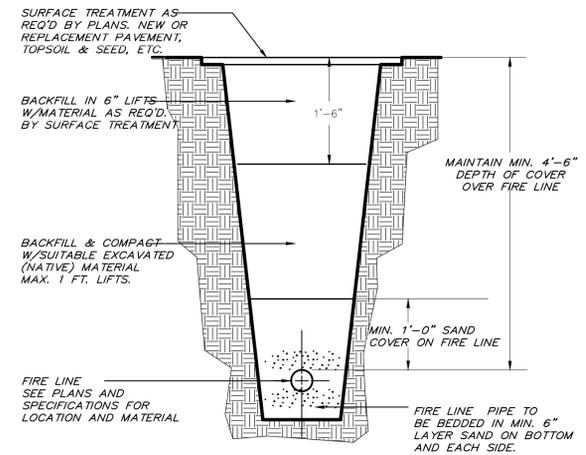
E WATER LINE CROSSING SEWER LINE DETAILS

NOT TO SCALE



F TAPPING SLEEVE AND TAPPING VALVE

NOT TO SCALE



G TYPICAL FIRE LINE TRENCH

SCALE: 1" = 1'-0"

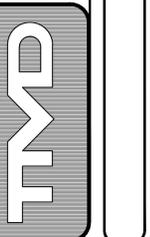


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NO.	DATE	DESCRIPTION	BY
3.	5/9/17	PLANNING BOARD SUBMISSION 3	D/JW
2.	1/19/17	NYSDEC SUBMITTAL	D/JW
1.	3/21/17	PLANNING BOARD SUBMISSION 2	D/JW

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



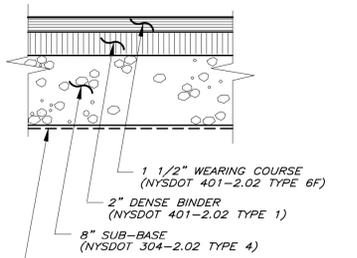
PROPOSED PET HOTEL
AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEUBURGH
ORANGE COUNTY, NEW YORK



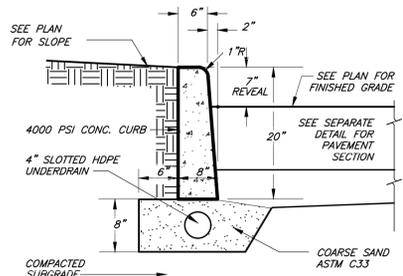
TITLE
STORM UTILITY DETAILS

JOB 12003.1
DATE MARCH 21, 2017
SCALE AS NOTED

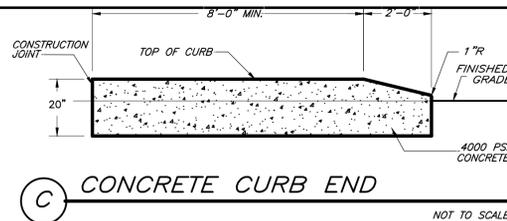
DWG. **SP5**
SHEET 5 OF 12



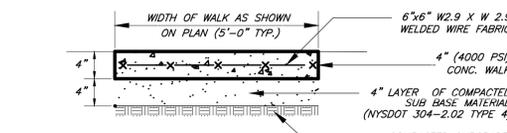
A PARKING LOT PAVEMENT SECTION
NOT TO SCALE



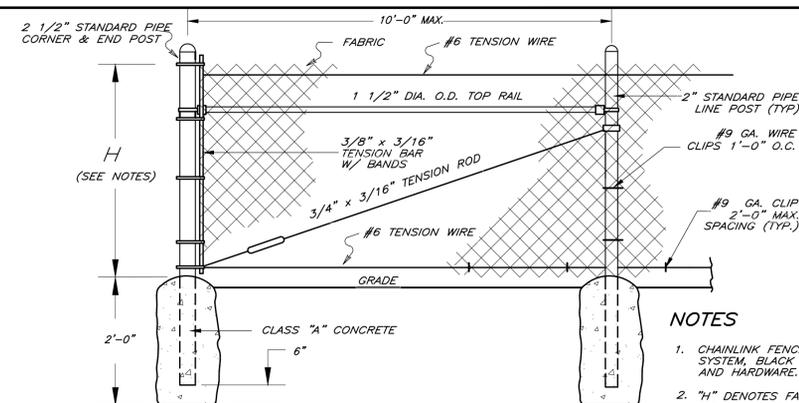
B CONCRETE CURB SECTION
NOT TO SCALE



C CONCRETE CURB END
NOT TO SCALE

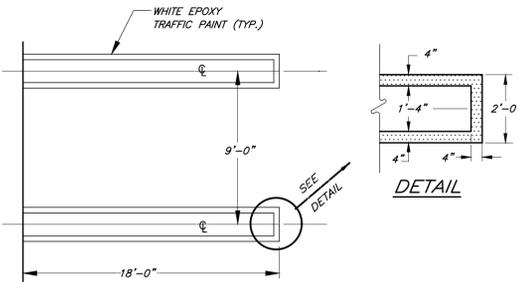


D 4" CONCRETE WALK
NOT TO SCALE

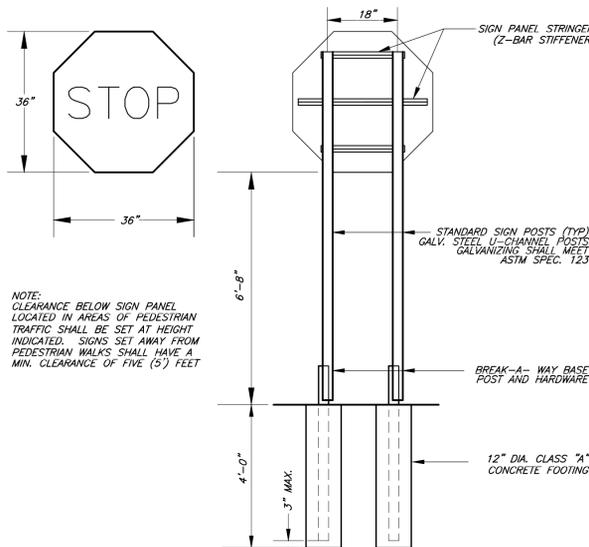


E BLACK COATED CHAIN LINK FENCE
N.T.S.

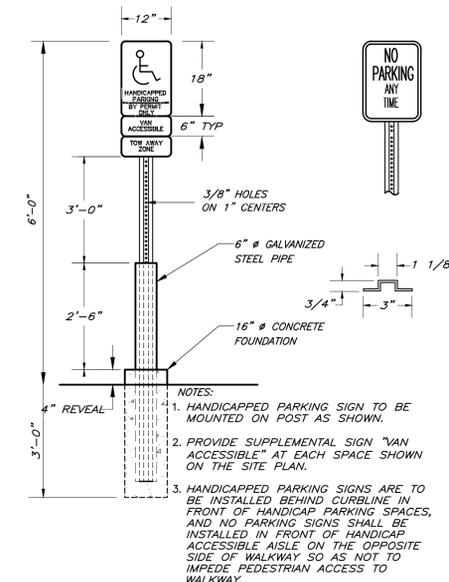
- NOTES**
- CHAINLINK FENCE SHALL BE A COLOR COATED SYSTEM, BLACK IN COLOR FOR FABRIC, POSTS, AND HARDWARE.
 - "H" DENOTES FABRIC WIDTH AND NOMINAL FENCE HEIGHT. DIMENSION "H" SHALL BE FIVE FEET (5') UNLESS NOTED OTHERWISE ON THE PLANS.



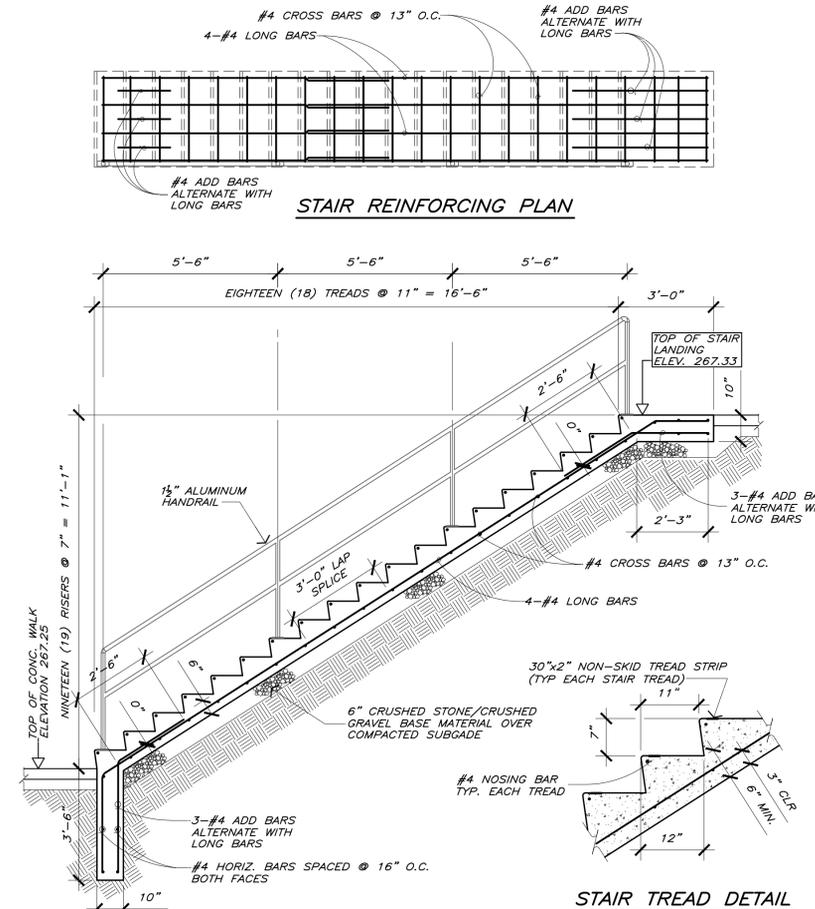
F TYPICAL PARKING STALL MARKING
NOT TO SCALE



G TRAFFIC SIGN INSTALLATION
SCALE: 1/2" = 1'-0"

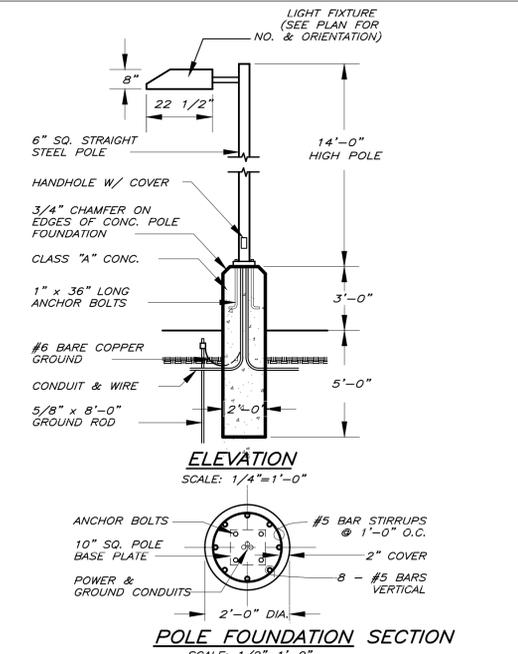


H HANDICAP PARKING SIGN DETAIL

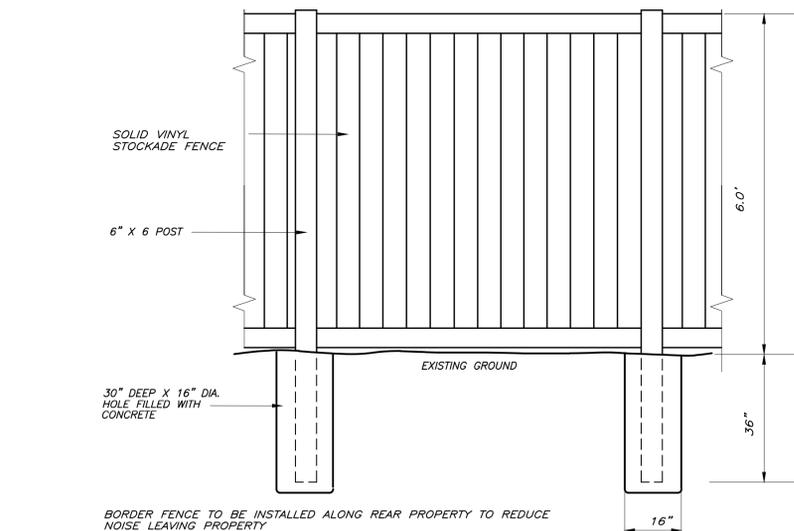


H EXTERIOR CONCRETE STAIR DETAIL
SCALE: 3/8" = 1'-0"

- EXTERIOR CONCRETE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF A.C.I. 318. FINISHED CONCRETE STAIR SHALL BE RUBBED AND FILLED TO PROVIDE A CLEAN AND SMOOTH SURFACE, FREE FROM HOLES, FINS, HONEYCOMB AND VISIBLE IMPERFECTIONS.
- EXTERIOR CONCRETE STAIR SHALL BE CONSTRUCTED OF CAST-IN-PLACE CONCRETE HAVING A 28 DAY DESIGN STRENGTH OF 4000 PSI, 4-6% AIR ENTRAINMENT AND MAX. SLUMP OF 5" AT TIME OF PLACEMENT.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.



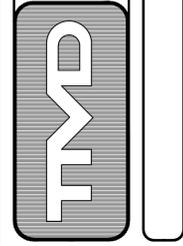
I PARKING AREA LIGHTING
SCALE: AS NOTED



J BORDER FENCE
N.T.S.

NO.	DATE	DESCRIPTION	BY
1.	1/21/17	PLANNING BOARD SUBMISSION 2	DJW
2.	4/19/17	NYSDC SUBMITTAL	DJW
3.	5/9/17	PLANNING BOARD SUBMISSION 3	DJW

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
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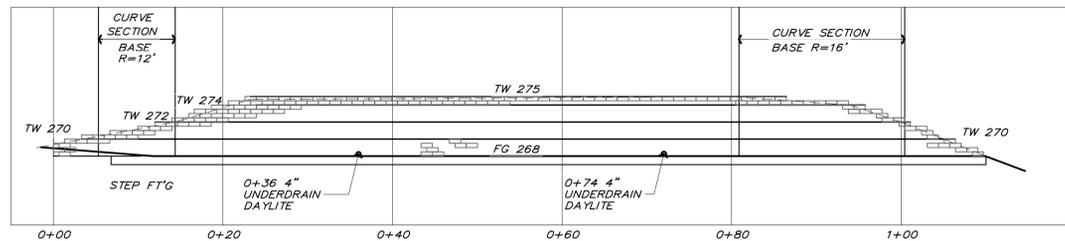
PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	SITE DETAILS 1
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP6
SHEET	6 OF 12

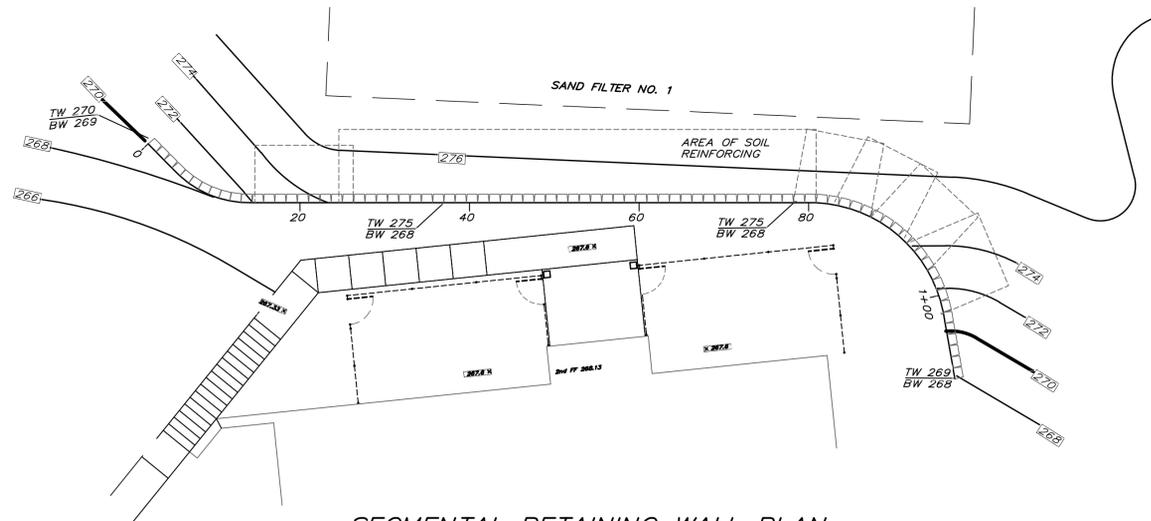


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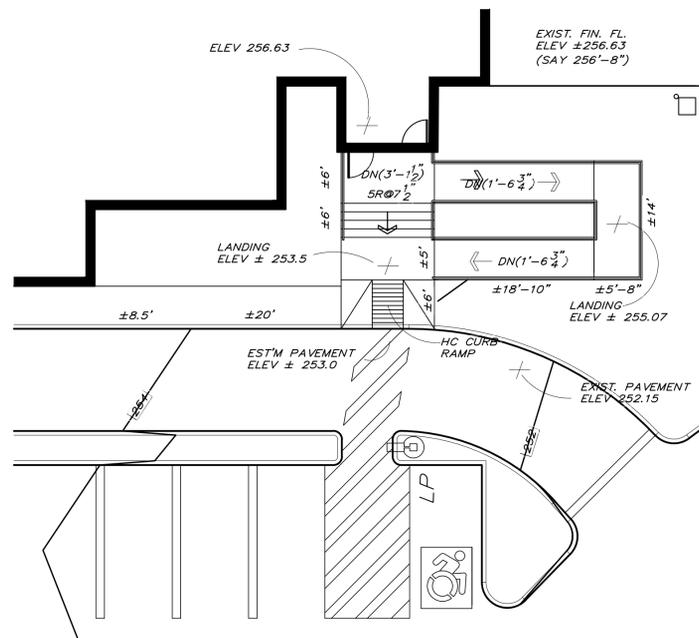
SEGMENTAL RETAINING WALL ELEVATION

SCALE: 1" = 10'



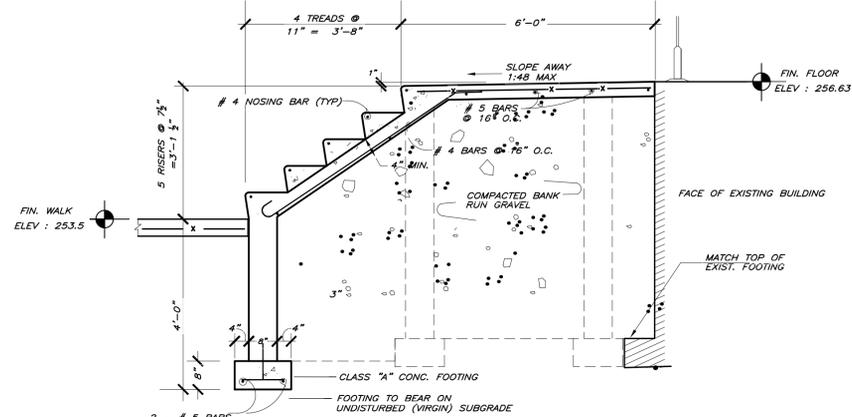
SEGMENTAL RETAINING WALL PLAN

SCALE: 1" = 10'

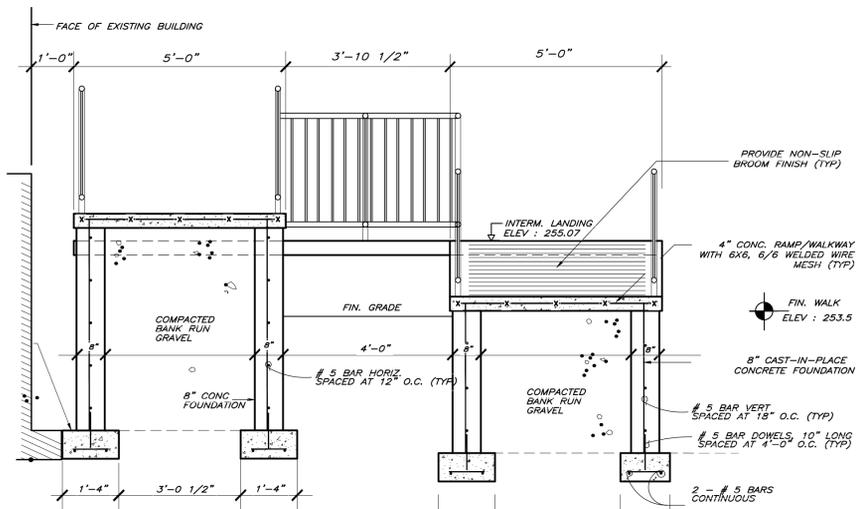


ACCESSIBLE ENTRY PLAN

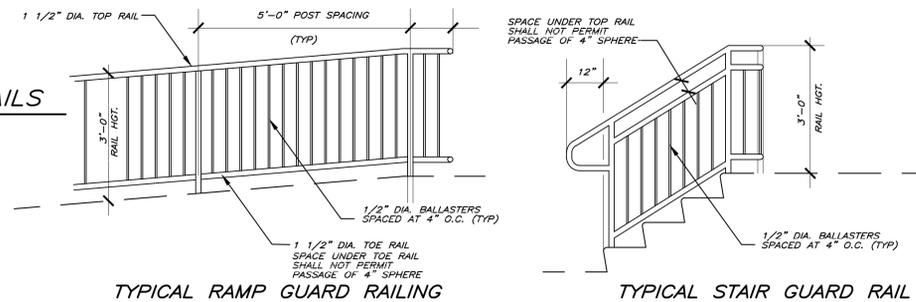
SCALE: 1" = 10'



SECTION THROUGH STAIR



SECTION THROUGH RAMPS

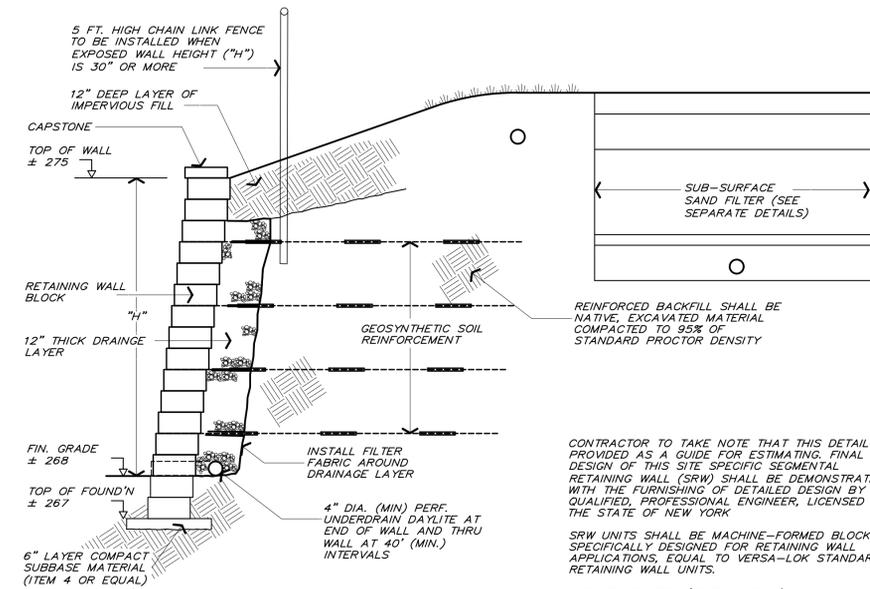


TYPICAL RAMP GUARD RAILING

TYPICAL STAIR GUARD RAIL

SEGMENTAL RETAINING WALL (SRW) DETAIL

SP7



REINFORCED BACKFILL SHALL BE NATIVE, EXCAVATED MATERIAL COMPACTED TO 95% OF STANDARD PROCTOR DENSITY

CONTRACTOR TO TAKE NOTE THAT THIS DETAIL IS PROVIDED AS A GUIDE FOR ESTIMATING. FINAL DESIGN OF THIS SITE SPECIFIC SEGMENTAL RETAINING WALL (SRW) SHALL BE DEMONSTRATED WITH THE FURNISHING OF DETAILED DESIGN BY A QUALIFIED, PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF NEW YORK

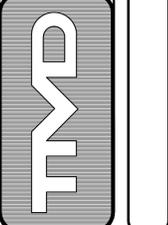
SRW UNITS SHALL BE MACHINE-FORMED BLOCKS, SPECIFICALLY DESIGNED FOR RETAINING WALL APPLICATIONS, EQUAL TO VERSA-LOK STANDARD RETAINING WALL UNITS.

SRW FOUNDATION (LEVELING PAD), BLOCK AND APPURTENANCES, GEOSYNTHETIC FABRIC AND REINFORCED BACKFILL SHALL BE INSTALLED AS PER MANUFACTURERS REQUIREMENTS TO PROVIDE A COMPLETE, FUNCTIONAL, NEAT AND ATTRACTIVE WALL.

SRW CAP STONED SHALL BE GLUED TO UNDERLYING WALL UNITS WITH ADHESIVE REQUIRED/APPROVED BY THE MANUFACTURER OF THE BLOCK.

NO.	DATE	DESCRIPTION	BY
1.	4/19/17	NYSEEC SUBMITTAL	DJW
2.	5/5/17	PLANNING BOARD SUBMISSION 3	DJW

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	SITE DETAILS 2
JOB	12003.1
DATE	MARCH 21, 2017
SCALE	AS NOTED
DWG.	SP7
SHEET	7 OF 12



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EXISTING TREE PROTECTION NOTES:

- EXISTING TREES WITHIN THE PROPERTY BEYOND THE LIMIT OF WORK SHALL BE SAVED AND ARE TO BE PROTECTED WITH ORANGE CONSTRUCTION FENCE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT THE EXISTING TREES LOCATED ON ADJOINING PROPERTIES NEAR THE PROPERTY BOUNDARY. INJURED TREES SHALL BE REPLACED WITH THE CONSENT OF THE ADJOINING OWNER.
- THE EXISTING MATURE TREE LOCATED IN THE OUTDOOR EXERCISE YARD NEAR THE BUILDING REAR EXIT RAMP SHALL BE PROTECTED FROM DAMAGE RESULTING FROM CONSTRUCTION. CONTRACTORS SHALL MAKE EVERY EFFORT NOT TO DAMAGE THIS TREE.

LANDSCAPE NOTES

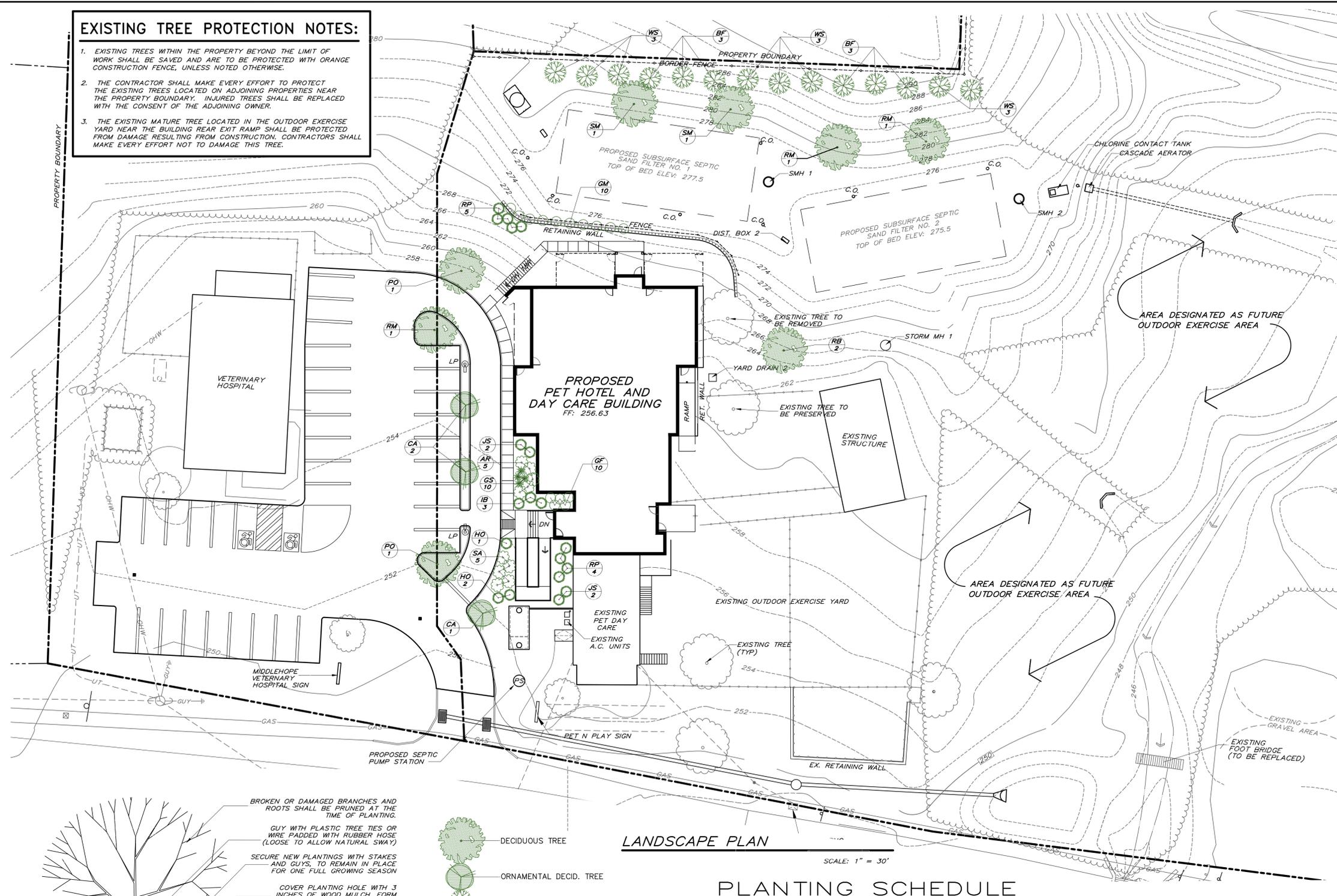
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT, UNDERGROUND AND ABOVE GROUND UTILITIES THAT WILL BE PRESENT WHEN THE PLANTING WORK IS CONDUCTED. CONFLICTS WITH PLANTING LOCATIONS AND UTILITIES OR STRUCTURES THAT REQUIRE THE RELOCATION OF PLANTINGS SHALL BE AT THE DIRECTION OF THE ENGINEER.
- UNLESS NOTED OTHERWISE, NEW PLANT MATERIAL SHALL BE NURSERY GROWN AND CONFORMING WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK", BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- PLANT MATERIAL SHALL BE SUBJECT TO THE ENGINEER'S REVIEW AND ACCEPTANCE PRIOR TO COMMENCING PLANT INSTALLATION.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY, AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE PLANT WAS DEEMED UNACCEPTABLE BY THE ENGINEER. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATION OF NEW PLANT MATERIAL SHALL BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH INSTALLATION.
- NEW PLANTINGS REMOVED FROM CANS SHALL HAVE THEIR ROOT BALLS SCARIFIED PRIOR TO PLACEMENT AND BACKFILL.
- NEW PLANTING ROOT BALLS SHALL HAVE ANY PLASTIC OR BURLAP WRAPPING REMOVED FROM THE ROOT BALL AND PLANT EXCAVATION PRIOR TO INSTALLATION.
- REFER TO PLANTING DETAIL FOR INSTALLATION OF NEW TREES AND SHRUBS.
- EXISTING GRASS AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF ACTIVITY.
- ALL NON-LANDSCAPED AND UNPAVED AREAS SHALL RECEIVE TOPSOIL SEED AND MULCH.
- PLANTING BEDS, TREE SAUCERS, AND GROUPS OF SHRUBS SHALL RECEIVE THREE (3") OF MULCH.
- THIS PLAN IS TO BE UTILIZED FOR LOCATION OF PROPOSED PLANT MATERIALS AND PLANTING DETAILS ONLY.

PERMANENT TURF GRASS SEEDING

- TOPSOIL SHALL BE SPREAD TO A COMPACTED UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 20 LBS. OF 5-10-10 COMMERCIAL FERTILIZER/1000 SQ. FT. (850 LBS./AC)
- TURF GRASS SEEDING SHALL BE INSTALLED AT 4-5 LBS./1000 SQ. FT. OF 100% TALL FESCUE, TURF TYPE, FINE LEAF, OR 2-4-3.2 LBS./1000 SF OF 80% KENTUCKY BLUEGRASS BLEND, AND 0.6-0.8 LBS./1000 SF OF PERENNIAL RYEGRASS

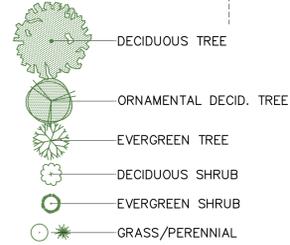
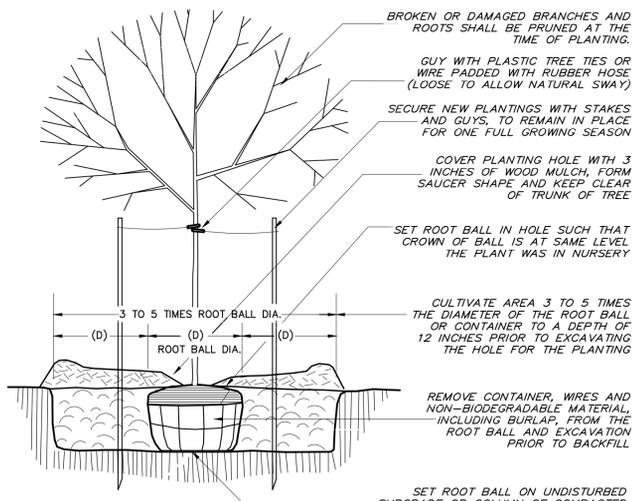
PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 1	SEPT. 1 - OCT. 1
DECIDUOUS	MARCH 1 - JUNE 1	OCT. 15 - DEC. 1
GROUND COVER	APRIL 1 - JUNE 1	NOT RECOMMENDED

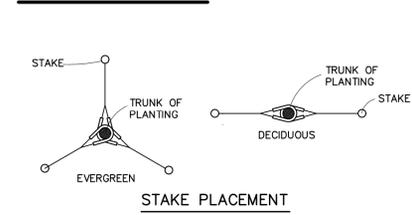


LANDSCAPE PLAN

SCALE: 1" = 30'



PLANTING KEY



PLANTING SCHEDULE

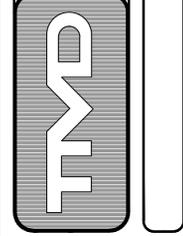
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/CALIPER	REMARKS
TREES					
BF	2	BALSAM FIR	ABIES BALSAMEA	6" TO 7" HEIGHT.	BALLED & BURLAP (B & B)
CA	3	SARGENT'S CRABAPPLE	MALUS SARGENTII	2"-2 1/2" CAL	(B & B)
PO	2	PIN OAK	QUERCUS PALUSTRIS	2"-2 1/2" CAL	(B & B)
RB	2	HERITAGE RIVER BIRCH	BETULA NIGRA HERITAGE	10'-12" HEIGHT	CLUMP
RM	3	OCTOBER GLORY RED MAPLE	ACER RUBRUM "OCTOBER GLORY"	2"-2 1/2" CAL	(B & B)
SM	2	SUGAR MAPLE	ACER SACCHARUM	2"-3 1/2" CAL	(B & B)
WS	5	WHITE SPRUCE	PICEA GLAUCA	6" TO 7" HEIGHT.	(B & B), HEAVY
SHRUBS					
AR	5	APPLE BLOSSOM ROSE	ROSA NOAMEL "APPLEBLOSSOM"	#2 CAN	
HO	3	WINTERBERRY HOLLY	ILEX VERTICILLATA "WINTERBERRY"	2'-3' HGT	
IB	3	NORDIC INKBERRY	ILEX GLABRA "CHAMZIN"	24"-30" HGT	
JS	4	SARGENT'S JUNIPER	JUNIPERUS CHINENSIS "SARGENTII"	15"-18" HGT.	
JW	4	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS "WILTONII"	#3 CAN	
SA	5	ALPINE SPIREA	SPIREA JAPONICA ALPILA	#3 CAN	
RP	9	PJM RHODODENDRON	RHODODENDRON "PJM"	30"-34" HGT.	(B & B)
GRASSES AND PERENNIALS					
GM	10	MOONBEAM COREOPSIS	COREOPSIS VERTICILLATA "MOONBEAM"	#2 CAN	
GF	10	SILVER POINTED FERN	ANTHYRIUM NIPPONICUM PICTUM	#2 CAN	
GS	10	STELLO D'ORO DALIY	HEMEROCALLUS STELLO D'ORO	#2 CAN	

SUBSTITUTIONS OF INDIVIDUAL VARIETYS SPECIFIED ABOVE WILL BE CONSIDERED BASED ON PLANT AVAILABILITY AND ACTUAL FIELD PLANTING CONDITIONS.



NO.	DATE	DESCRIPTION	BY
1.	5/5/17	PLANNING BOARD SUBMISSION 3	DJW

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE
LANDSCAPE PLAN

JOB 12003.1
DATE MARCH 21, 2017
SCALE AS NOTED

DWG. **SP8**
SHEET 8 OF 12

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STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

I. FOR ALL CONSTRUCTION ACTIVITIES SUBJECT TO THIS GENERAL PERMIT (GP-0-15-002)

EFFECTIVE: JANUARY 29, 2015 EXPIRES: JANUARY 28, 2020

A. GENERAL

- CONTRACTORS SHALL TAKE NOTICE THAT THE WATERS OF THE UNITED STATES ARE PROTECTED UNDER THE FEDERAL CLEAN WATER ACT (CWA). ANY UNLAWFUL DISCHARGE OF POLLUTANTS FROM CONSTRUCTION ACTIVITIES TO THE WATERS OF THE UNITED STATES ARE UNLAWFUL, UNLESS AUTHORIZED BY A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM ("NPDES") PERMIT. THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ("NYSDEC") ADMINISTERS THE STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") PERMIT PROGRAM, IN CONFORMANCE WITH THE FEDERAL STORM WATER (SWPDES) REGULATIONS.
- OWNER OR OPERATOR** — MEANS THE PERSON, PERSONS OR LEGAL ENTITY WHICH OWNS OR LEASES THE PROPERTY ON WHICH THE CONSTRUCTION ACTIVITY IS OCCURRING; AND/OR AN ENTITY THAT HAS OPERATIONAL CONTROL OVER THE CONSTRUCTION PLANS AND SPECIFICATIONS, INCLUDING THE ABILITY TO MAKE MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.
- CONTRACTORS SHALL TAKE NOTICE THAT THE OWNER OR OPERATOR HAS FILED OR IS ABOUT TO FILE A NOTICE OF INTENT ("NOI") WITH THE NYSDEC, AND IS THE PERMITTEE REFERRED TO HEREINAFTER. THIS "NOI" APPLICATION INCLUDES THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") PREPARED FOR THIS SUBDIVISION, AND APPLIES TO THE PUBLIC IMPROVEMENTS INDICATED ON THE SUBDIVISION PLAN. THE CONTRACTOR SHALL SUBMIT A SEPARATE SOIL EROSION AND SEDIMENTATION CONTROL PLAN WITH EACH APPLICATION FOR A BUILDING PERMIT.
- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE SPDES GENERAL PERMIT ISSUED FOR THIS PROJECT AND THE CONSTRUCTION OF THIS RESIDENTIAL SUBDIVISION. WITHOUT LIMITING THE FOREGOING, THE SWPPP PROVIDES THE DETAILED INFORMATION FOR COMPLIANCE.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, THE PERMITTEE MUST IDENTIFY THE CONTRACTORS AND SUBCONTRACTORS THAT WILL BE RESPONSIBLE FOR THE CONSTRUCTION, MONITORING, MAINTENANCE, REPAIRING AND REPAIRING OF SOIL EROSION AND SEDIMENT CONTROL PRACTICES INCLUDED IN THE SWPPP, AND THE CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL PUBLIC IMPROVEMENTS INDICATED ON THE SUBDIVISION PLAN. THE PERMITTEE SHALL HAVE EACH OF THESE CONTRACTORS AND SUBCONTRACTORS IDENTIFY AT LEAST ONE TRAINED INDIVIDUAL FROM THE COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE PERMITTEE SHALL ENSURE THAT AT LEAST ONE TRAINED INDIVIDUAL IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.**

B. PROJECT DESCRIPTION

- THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN ADDITION TO THE EXISTING PET HOTEL AND DAYCARE BUILDING, INCREASING THE NUMBER OF POTENTIAL BOARDERS.
- INCLUDED WITH THE BUILDING ADDITION IS A REVISED PARKING LOT AND ACCESS DRIVE, NEW SEPTIC DISPOSAL SYSTEM AND STORMWATER MANAGEMENT FEATURES.
- CONTRACTORS SHALL TAKE NOTICE THAT AS A CONTINUOUSLY OPERATING PET BOARDING FACILITY AND VETERINARY CLINIC, SPECIAL ATTENTION SHALL BE GIVEN TO ANY CONSTRUCTION ACTIVITY AND/OR INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES SO AS TO PROTECT THE SAFE ACCESS ROUTES FOR THE GENERAL PUBLIC. THESE LOCATIONS:

C. SITE DESCRIPTION

- THE SITE COVERS THREE SEPARATE PARCELS UNDER THE SAME OWNERSHIP. THESE PARCELS HAVE BEEN PREVIOUSLY IMPROVED WITH BUILDINGS, PARKING AREAS AND UNDERGROUND UTILITIES.
- SOILS LOCATED IN THE FRONT PORTION OF THE SITE TEND TO BE SILT LOAMS WITH A "D" HYDROLOGIC CLASSIFICATION. SOIL NEAR THE REAR PROPERTY LINE ARE MORE GRAVELLY AND HAVE AN "A" CLASSIFICATION.

D. RESPONSIBILITY AND IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN.

- THE OPERATOR IS THE PERMITTEE PURSUANT TO THE NEW YORK STATE SPDES PERMIT COVERING THE WORK. THE CONTRACTOR, AND HIS/HER SUBCONTRACTORS, IS THE OPERATOR CONTRACTOR AND SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SWPPP SAID SYSTEM IN ACCORDANCE WITH THE CONDITIONS OF SAID "SPDES" PERMIT.
- UPON COMPLETION OF THE WORK AND ACCEPTANCE OF THE STORMWATER POLLUTION PREVENTION SYSTEM CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, THE TOWN OF NEWBURGH WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SWPPP SAID SYSTEM IN ACCORDANCE WITH THE CONDITIONS OF SAID "SPDES" PERMIT.

E. CONSTRUCTION SEQUENCE

- INSTALL SILT FENCE, STRAW BALE DIKES AND OTHER EROSION CONTROL FEATURES AROUND PERIMETER OF AREAS TO BE DISTURBED. INSTALL CONSTRUCTION BARRICADE FENCE AROUND TREE TO BE SAVED AND TO SEPARATE CONSTRUCTION AREA FROM PERSONS USING THE EXISTING FACILITIES.
- PROVIDE SOLID WASTE CONTAINERS (e.g. DUMPSTERS, TRASH BINS, GARBAGE CANS) FOR DISPOSAL OF ANCILLARY CONSTRUCTION DEBRIS, TRASH AND GARBAGE.
- REMOVE SILT FENCE, STRAW BALE DIKES, STABILIZED CONSTRUCTION ENTRANCES AND OTHER TEMPORARY EROSION CONTROL FEATURES WHEN PERMANENT VEGETATIVE COVER HAS ESTABLISHED ON EXPOSED EARTH SURFACES, AND RISK OF SOIL EROSION IS LOW.

F. POLLUTION PREVENTION MEASURES

- THE CONTRACTOR SHALL PROVIDE DUST CONTROL, AS REQUIRED, ON A REGULAR BASIS TO ELIMINATE THE MOTION OF AIRBORNE SOIL PARTICLES. DUST CONTROL IS TO BE ACHIEVED BY SPRINKLING WITH WATER.
- THE CONTRACTOR SHALL PROVIDE LITTER CONTROL WITH THE USE OF COVERED TRASH RECEPTACLES, AND THE REGULAR CLEAN UP OF WASTE PAPER, WRAPPERS, CONTAINERS, PACKAGING AND SIMILAR TRASH GENERATED BY THE WORK AND WORKERS.
- ALL OILS, GREASE, SOLVENTS AND OTHER FLUIDS NECESSARY FOR THE MAINTENANCE AND OPERATION OF EQUIPMENT USED FOR THE WORK ARE TO BE HANDLED PROPERLY, CONTAINED AND COLLECTED FOR USE OR DISPOSAL AT THE APPROPRIATE RECYCLING CENTER OR COLLECTION SITE.
- DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS (SEE E. (5) ABOVE) AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS PERMITTED.

G. CONSTRUCTION WASTE MATERIAL

- DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS (SEE E. (5) ABOVE) AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS PERMITTED.

H. STRUCTURAL AND VEGETATIVE MEASURES FOR SOIL STABILIZATION, RUNOFF CONTROL AND SEDIMENT CONTROL

- TEMPORARY CONTROLS
 - DURING CLEARING OPERATIONS, WOOD CHIPS FROM GROUND UP BRANCHES AND SMALL TREES MAY BE SPREAD OVER HAIL ROADS TO MINIMIZE SOIL EROSION.
 - INSTALL SEDIMENT BARRIER (SILT) FENCE PRIOR TO ANY EXCAVATION WORK (INCLUDING STUMP REMOVAL).
 - INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE PRIOR TO CONSTRUCTION TRAFFIC ENTERING AND LEAVING SITE.
 - CONSTRUCT TEMPORARY DIVERSION SWALES AT ANY POINT WHERE SURFACE WATER CAN BE DIRECTED AWAY FROM DISTURBED SURFACES. IF A SURFACE WATER ROUTE CROSSES A DISTURBED AREA, PROVIDE A RIP-RAP CHANNEL AS SOON AS POSSIBLE AFTER THE CONSTRUCTION HAS PROCEEDED BEYOND THE WATER ROUTE.
 - PICK UP TRASH AND LIGHTWEIGHT RUBBISH THAT MAY BE SWEEP AWAY BY WIND.
 - FILL OR GRADE VEHICLE TRACKS TO AVOID EROSION.
- PERMANENT CONTROLS
 - SEED AND MULCH EXPOSED EARTH AREAS TO ESTABLISH PERMANENT VEGETATIVE COVER AS SOON AS PRACTICAL AFTER FINAL GRADING. MULCH SHALL FOLLOW SEEDING BY NO MORE THAN 24 HOURS.
- TEMPORARY CONTROLS THAT ARE TO BE CONVERTED TO PERMANENT STORMWATER MANAGEMENT FACILITIES
 - RIP-RAP OUTLET PROTECTION AND STONE LINED SWALES USED FOR SEDIMENT CONTROL SHALL BE RETAINED AS PERMANENT.
- IMPLEMENTATION SCHEDULE OF EROSION AND SEDIMENT CONTROLS
 - SEDIMENT BARRIER (SILT) FENCE SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
 - STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO HEAVY TRUCK TRAFFIC ENTERING OR LEAVING THE SITE.
 - TEMPORARY DIVERSION SWALES SHALL BE INSTALLED AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.
 - STRAW BALE DIKES SHALL BE PLACED WHERE NEEDED IN CONJUNCTION WITH TEMPORARY SWALES AND WATER BARS, AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.
 - DUST CONTROL SHALL BE CONDUCTED DURING DRY WEATHER AS NEEDED OR DIRECTED.

M. MAINTENANCE SCHEDULE FOR EROSION AND SEDIMENT CONTROLS

- SEDIMENT BARRIER (SILT) FENCE: MAINTAIN PER DETAIL.
- STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRAFFIC FROM TRIPPING OVER RUBBISH.
- INSPECT AFTER EACH RAIN AND PERIODICALLY REDRESS THE TOP AGGREGATE TO MAINTAIN EFFECTIVENESS.
- STRAW BALE DIKES REQUIRE FREQUENT INSPECTION AFTER EACH RAIN, AND SHALL BE REMOVED AND REPLACED WHEN THEY HAVE SERVED THEIR USEFULNESS.
- TEMPORARY SWALES SHALL BE INSPECTED AFTER EACH RAIN. REPAIR ANY EROSION DAMAGE AND REMOVE ANY ACCUMULATION OF SEDIMENT IN SWALE OR IN OUTLET AREA TO RESTORE OPERATION.

I. DRAINAGE CHARACTERISTICS AND CONTROL

- THE WORK AREA IS TRIBUTARY TO THE STATE HIGHWAY AND/OR THE UNNAMED STREAM CROSSING THE SITE ON THE NORTHERLY SIDE.
- DISTURBED, UNPROTECTED SOILS WILL TEND TO MIGRATE WITH RUNOFF WATER AND RISK CONTAMINATING SAID UNNAMED STREAM, MAINTAINING COVER OVER THESE BARE SOILS SIGNIFICANTLY REDUCES THIS UNDESIRABLE MIGRATION.
- SURFACE RUNOFF WATER THAT IS RELATIVELY CLEAN AND SEDIMENT FREE AND SHALL BE DIVERTED FROM THE WORK WHENEVER POSSIBLE.

II FOR CONSTRUCTION ACTIVITIES WITH WATER QUALITY & WATER QUANTITY CONTROLS

A. POST CONSTRUCTION STORMWATER CONTROLS:

POST CONSTRUCTION STORMWATER CONTROLS INCLUDE THE MAINTENANCE OF THE PROPOSED RAIN GARDENS, STONE INFILTRATION TRENCH AND STORMWATER POND. REFER TO THE GREEN INFRASTRUCTURE PLAN AND DETAILS FOR THE LOCATIONS AND CONSTRUCTION OF THESE STORMWATER CONTROLS.

B. DRAINAGE REPORT (SEE SEPARATE DOCUMENTS):

REFER TO SEPARATE REPORTS HEREBY MADE PART OF THIS SWPP PLAN:

C. MAINTENANCE SCHEDULE FOR POST-CONSTRUCTION STORM WATER CONTROL PRACTICES:

STORMWATER CONTROL DEVICES INCLUDING CATCH BASINS AND PONDS SHALL BE INSPECTED AND CLEANED WHEN SEDIMENT ACCUMULATIONS REACH 1/2 THE DESIGN DEPTH OF THE STRUCTURE. REMOVED SEDIMENT SHALL BE DEPOSITED IN SUCH A LOCATION AND MANNER THAT IT WILL NOT ERODE.

D. SITE ASSESSMENT AND INSPECTIONS:

- THE OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN (A) THE SWPPP OF THIS PERMIT HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO INSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION. FOLLOWING THE COMMENCEMENT OF CONSTRUCTION, SITE INSPECTIONS SHALL BE CONDUCTED BY THE QUALIFIED PROFESSIONAL AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. DURING EACH INSPECTION, THE QUALIFIED PROFESSIONAL SHALL RECORD THE FOLLOWING INFORMATION:
 - ON A SITE MAP, INDICATE THE EXTENT OF ALL DISTURBED SITE AREAS AND DRAINAGE PATHWAYS. INDICATE SITE AREAS THAT ARE EXPECTED TO UNDERGO INITIAL DISTURBANCE OR SIGNIFICANT SITE WORK WITHIN THE NEXT 14-DAY PERIOD;
 - INDICATE ON A SITE MAP ALL AREAS OF THE SITE THAT HAVE UNDERGONE TEMPORARY OR PERMANENT STABILIZATION;
 - INDICATE ALL DISTURBED SITE AREAS THAT HAVE NOT UNDERGONE ACTIVE SITE WORK DURING THE PREVIOUS 14-DAY PERIOD;
 - INSPECT ALL SEDIMENT CONTROL PRACTICES AND RECORD THE APPROXIMATE DEGREE OF SEDIMENT ACCUMULATION AS A PERCENTAGE OF THE SEDIMENT STORAGE VOLUME (FOR EXAMPLE, 10 PERCENT, 20 PERCENT, 50 PERCENT);
 - INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES AND RECORD ALL MAINTENANCE REQUIREMENTS SUCH AS VERIFYING THE INTEGRITY OF BARRIER OR CONTAINMENT SYSTEMS (GARDEN BERRS OR SILT FENCING) AND CONTAINMENT SYSTEMS (SEDIMENT BASINS AND SEDIMENT TRAPS).
- IDENTIFY ANY EVIDENCE OF RILL OR GULLY EROSION OCCURRING ON SLOPES AND ANY LOSS OF STABILIZING VEGETATION OR SEEDING MULCHING WHICH HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE DESIGN CAPACITY.
- DOCUMENT ANY EXCESSIVE DEPOSITION OF SEDIMENT OR PONDING WATER ALONG BARRIER OR DIVERSION SYSTEMS.
- RECORD THE DEPTH OF SEDIMENT WITHIN CONTAINMENT STRUCTURES, ANY EROSION NEAR OUTLET AND OVERFLOW STRUCTURES, AND VERIFY THE ABILITY OF ROCK FILTERS AROUND PERFORATED RISER PIPES TO PASS WATER;
 - ALL DEFICIENCIES THAT ARE IDENTIFIED WITH THE IMPLEMENTATION OF THE SWPPP.
- THE OPERATOR SHALL MAINTAIN A RECORD OF ALL INSPECTION REPORTS IN A SITE LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY UPON REQUEST. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION (1) THE OPERATOR SHALL CERTIFY IN THE SITE LOG BOOK THAT THE SWPPP, PREPARED IN ACCORDANCE WITH THIS PERMIT, MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. THE OPERATOR SHALL POST, AT THE SITE, IN A PUBLICLY-ACCESSIBLE LOCATION, A SUMMARY OF THE SITE INSPECTION ACTIVITIES ON A MONTHLY BASIS.
- PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT) OR THE END OF PERMIT TERM, THE OPERATOR SHALL HAVE THE QUALIFIED PROFESSIONAL PERFORM A FINAL SITE INSPECTION. THE QUALIFIED PROFESSIONAL SHALL CERTIFY THAT THE SITE HAS UNDERGONE FINAL STABILIZATION (2) USING EITHER VEGETATIVE OR STRUCTURAL STABILIZATION METHODS AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROLS EROSION CONTROL HAVE BEEN REMOVED (SUCH AS SILT FENCING) NOT NEEDED FOR LONG-TERM VED.
- THE OPERATOR SHALL CERTIFY THAT THE REQUIREMENTS OF THIS PERMIT HAVE BEEN SATISFIED WITHIN 48 HOURS OF ACTUALLY MEETING SUCH REQUIREMENTS.

E. STABILIZATION (3)

- THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE SOIL DISTURBANCE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY STABILIZATION MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL (S) SET FORTH IN THE TECHNICAL STANDARD, TO PREVENT SOIL FROM ERODING.
- FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM PERMANENT VEGETATIVE COVER WITH A STEM DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERSISTENT SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

F. MAINTENANCE

SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENT PONDS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE DESIGN CAPACITY.

IV RECORDS, REPORTING & RETENTION OF RECORDS

A. RECORD RETENTION — THE OWNER OR OPERATOR SHALL RETAIN A COPY OF THE NOI, NOI ACKNOWLEDGMENT LETTER, SWPPP, MS4 SWPPP ACCEPTANCE FORM AND ANY INSPECTION REPORTS THAT WERE PREPARED IN CONJUNCTION WITH THIS PERMIT FOR A PERIOD OF AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE ACHIEVES FINAL STABILIZATION. THIS PERIOD MAY BE EXTENDED BY THE DEPARTMENT, IN ITS SOLE DISCRETION, AT ANY TIME UPON WRITTEN NOTIFICATION.

B. ADDRESSES — WITH THE EXCEPTION OF THE NOI, NOT, AND MS4 SWPPP ACCEPTANCE FORM WHICH ARE TO BE SUBMITTED TO THE ADDRESS IN PART VI.1.1, ALL WRITTEN CORRESPONDENCE REQUESTED BY THE DEPARTMENT, INCLUDING INDIVIDUAL PERMIT APPLICATIONS, SHALL BE SENT TO THE ADDRESS OF THE APPROPRIATE DEPARTMENT REGIONAL OFFICE LISTED:

NYS DEPT. OF ENVIRONMENTAL CONSERVATION
DIVISION OF ENVIRONMENTAL PERMITS
21 SOUTH PUTTS CORNERS ROAD
NEW PALTZ, NY 12561-1696

TOWN OF WALKKILL
89 TOWER DRIVE BUILDING A
MIDDLETOWN, NY 10841

VII STANDARD PERMIT CONDITIONS

(DEPARTMENT: NYS DEPT. OF ENVIRONMENTAL CONSERVATION)

- DUTY TO COMPLY** — THE OPERATOR MUST COMPLY WITH ALL CONDITIONS OF THIS PERMIT AND ANY OTHER PERMITS ASSOCIATED WITH THIS PROJECT. THE OPERATOR MUST COMPLY WITH THE TERMS OF THE SWPPP. ANY PERMIT NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE CLEAN WATER ACT (CWA) AND THE ENVIRONMENTAL QUALIFICATION ACT. GROUNDS FOR AN INDIVIDUAL SPDES PERMIT, PERMIT REVOCATION OR MODIFICATION, OR DENIAL OF A PERMIT RENEWAL APPLICATION, INCLUDING BUT NOT LIMITED TO, NON-COMPLIANCE WITH THIS PERMIT OR ANY APPLICABLE SWPPP. THE DEPARTMENT MAY ORDER AN IMMEDIATE STOP TO ALL CONSTRUCTION ACTIVITIES AT THE SITE UNTIL THE VIOLATION IS REMEDIED. THE STOP WORK ORDER SHALL BE IN WRITING, SHALL DESCRIBE THE NON-COMPLIANCE IN DETAIL, AND SHALL BE SENT TO THE OWNER OR OPERATOR OR THE OWNER'S OR OPERATOR'S ON-SITE REPRESENTATIVE.
- CONTINUATION OF THE EXPIRED GENERAL PERMIT** — THIS PERMIT EXPIRES TWO (2) YEARS FROM EFFECTIVE DATE. HOWEVER, COVERAGE MAY BE OBTAINED UNDER THE EXPIRED GENERAL PERMIT, WHICH WILL CONTINUE IN FORCE AND EFFECT, UNTIL A NEW GENERAL PERMIT IS ISSUED. AFTER ISSUANCE OF A NEW GENERAL PERMIT, THOSE WITH COVERAGE UNDER GP-0-10-001 WILL HAVE SIX (6) MONTHS FROM THE EFFECTIVE DATE OF THE NEW GENERAL PERMIT TO COMPLETE THEIR PROJECT OR OBTAIN COVERAGE UNDER THE NEW PERMIT. UNLESS OTHERWISE NOTIFIED BY THE DEPARTMENT IN WRITING, AN OWNER OPERATOR AUTHORIZATION UNDER THE NEW GENERAL PERMIT MUST SUBMIT A NEW NOI (NOTICE OF INTENT) IN ACCORDANCE WITH THE TERMS OF SUCH NEW GENERAL PERMIT.
- ENFORCEMENT** — FAILURE OF THE OWNER OR OPERATOR, ITS CONTRACTORS, SUBCONTRACTORS AND/OR ASSIGNS TO STRICTLY ADHERE TO ANY OF THE PERMIT REQUIREMENTS CONTAINED HEREIN SHALL CONSTITUTE A PERMIT VIOLATION. THERE ARE SUBSTANTIAL CRIMINAL, CIVIL, AND ADMINISTRATIVE PENALTIES ASSOCIATED WITH VIOLATING THE PROVISIONS OF THIS PERMIT. FINES OF UP TO \$37,500 PER DAY FOR EACH VIOLATION AND IMPRISONMENT FOR UP TO FIFTEEN (15) YEARS MAY BE ASSESSED DEPENDING UPON THE NATURE AND DEGREE OF THE OFFENSE.
- NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE** — IT SHALL NOT BE A DEFENSE FOR AN OWNER OR OPERATOR IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE CONSTRUCTION ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT.
- DUTY TO MITIGATE** — THE OWNER OR OPERATOR AND ITS CONTRACTORS AND SUBCONTRACTORS SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN VIOLATION OF THIS PERMIT WHICH HAS A REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
- DUTY TO PROVIDE INFORMATION** — THE OWNER OR OPERATOR SHALL MAKE AVAILABLE FOR INSPECTION AND FOR INFORMATION AND RECORDS TO THE DEPARTMENT WITHIN FIVE (5) BUSINESS DAYS OF RECEIPT OF A DEPARTMENT REQUEST FOR SUCH INFORMATION, ANY INFORMATION REQUESTED FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS GENERAL PERMIT. THIS CAN INCLUDE, BUT IS NOT LIMITED TO, THE NOI, NOI ACKNOWLEDGMENT LETTER, SWPPP, MS4 SWPPP ACCEPTANCE FORM, EXECUTED MAINTENANCE AGREEMENT, INSPECTION REPORTS. FAILURE TO PROVIDE INFORMATION REQUESTED BY THE DEPARTMENT SHALL BE A VIOLATION OF THIS PERMIT.
- OTHER INFORMATION** — WHEN THE OWNER OR OPERATOR BECOMES AWARE THAT THEY FAILED TO SUBMIT ANY RELEVANT FACTS, OR SUBMITTED INCORRECT INFORMATION IN THE NOI OR ANY OTHER DOCUMENTS, OR HAVE MADE SUBSTANTIVE REVISIONS TO THE SWPPP (E.G. THE SCOPE OF THE PROJECT CHANGES SIGNIFICANTLY, THE POST-CONSTRUCTION STORMWATER MANAGEMENT SYSTEMS (GARDEN BERRS OR SILT FENCING) OR OTHER PARTS OF THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE, THERE IS AN INCREASE IN THE DISTURBANCE AREA OR IMPERVIOUS AREA) WHICH WERE NOT REFLECTED IN THE ORIGINAL NOI SUBMITTED TO THE DEPARTMENT, THEY SHALL PROMPTLY SUBMIT SUCH FACTS OF INFORMATION. FAILURE TO THE OWNER OR OPERATOR TO CORRECT OR SUPPLEMENT ANY INFORMATION IN ACCORDANCE WITH THE TERMS OF BECOMING AWARE OF THE DEFICIENCY SHALL CONSTITUTE A PERMIT VIOLATION.
- SIGNATORY REQUIREMENTS:**
 - ALL NOIS AND NOTS SHALL BE SIGNED AS FOLLOWS:
 - FOR A CORPORATION THESE FORMS SHALL BE SIGNED BY A RESPONSIBLE CORPORATE OFFICER, FOR THE PURPOSE OF THIS SECTION, A RESPONSIBLE CORPORATE OFFICER MEANS:
 - A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF A PRINCIPAL BUSINESS FUNCTION, OR ANY OTHER PERSON WHO PERFORMS POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION; OR
 - THE MANAGER OF ONE OR MORE MANUFACTURING, PRODUCTION OR SERVICE FACILITIES, PROVIDED THAT THE MANAGER IS AUTHORIZED TO MAKE MANAGEMENT DECISIONS WHICH GOVERN THE OPERATION OF THE REGULATED FACILITY INCLUDING HAVING THE EXPLOIT OR DEVELOP THE DUTY OF MAKING MAJOR CAPITAL INVESTMENT RECOMMENDATIONS, AND INITIATING AND DIRECTING OTHER OPERATIONAL MEASURES TO ASSURE LOW LEVEL ENVIRONMENTAL COMPLIANCE WITH ENVIRONMENTAL LAWS AND REGULATIONS; THE MANAGER CAN ENSURE THAT THE NECESSARY SYSTEMS ARE IN PLACE TO OBTAIN AND MAINTAIN ACCURATE INFORMATION FOR PERMIT APPLICATION REQUIREMENTS; AND WHERE AUTHORITY TO SIGN DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE PROCEDURES;
 - FOR A PARTNERSHIP OR SOLE PROPRIETORSHIP THESE FORMS SHALL BE SIGNED BY A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY; OR
 - FOR A MUNICIPALITY, STATE, FEDERAL, OR OTHER PUBLIC AGENCY THESE FORMS SHALL BE SIGNED BY EITHER A PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTION OFFICIAL FOR THE SECTION, A PRINCIPAL EXECUTIVE OFFICER OF A FEDERAL AGENCY INCLUDES:
 - THE CHIEF EXECUTIVE OFFICER OF THE AGENCY, OR 27 (PART VII.4.1.C)
 - A SENIOR EXECUTIVE OFFICER HAVING RESPONSIBILITY FOR THE OVERALL OPERATIONS OF A PRINCIPAL GEOGRAPHIC UNIT OF THE AGENCY (E.G., REGIONAL ADMINISTRATORS OF EPA).
 - THE SWPPP AND OTHER INFORMATION REQUESTED BY THE DEPARTMENT SHALL BE SIGNED BY A PERSON DESCRIBED IN PART VII.1.1, OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. A PERSON IS A DULY AUTHORIZED REPRESENTATIVE ONLY IF:
 - THE AUTHORIZATION IS MADE IN WRITING BY A PERSON DESCRIBED ABOVE
 - THE AUTHORIZATION SPECIFIES EITHER AN INDIVIDUAL OR A POSITION HAVING RESPONSIBILITY FOR THE OVERALL OPERATION OF THE REGULATED FACILITY OR ACTIVITY, SUCH AS THE POSITION OF PLANT MANAGER, OPERATOR OF A WELL, OR A WELL FIELD, SUPERINTENDENT, POSITION OF EQUIVALENT RESPONSIBILITY, OR AN INDIVIDUAL HAVING OVERALL RESPONSIBILITY FOR ENVIRONMENTAL MATTERS FOR THE COMPANY. (A DULY AUTHORIZED REPRESENTATIVE MAY BE EITHER A NAMED INDIVIDUAL OR ANY INDIVIDUAL OCCUPYING A NAMED POSITION) AND,
 - THE WRITTEN AUTHORIZATION SHALL INCLUDE THE NAME, TITLE AND SIGNATURE OF THE AUTHORIZED REPRESENTATIVE AND BE ATTACHED TO THE SWPPP.

L. PROPER OPERATION AND MAINTENANCE — THE OWNER OR OPERATOR SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF THIS PERMIT IN ACCORDANCE WITH THE SWPPP. THE OWNER OR OPERATOR SHALL INSTALL OR USED BY THE OWNER OR OPERATOR TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT AND WITH THE REQUIREMENTS OF THE SWPPP.

M. INSPECTION AND ENTRY — THE OWNER OR OPERATOR SHALL ALLOW THE REGIONAL OFFICIAL REPRESENTATIVE OF EPA, THE STATE, OR IN THE CASE OF A CONSTRUCTION SITE WHICH DISCHARGES THROUGH AN MS4, AN AUTHORIZED REPRESENTATIVE OF THE MS4 RECEIVING THE DISCHARGE, OR THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE REQUIRED BY LAW, TO: 29 (PART VII. M)

N. PERMIT ACTIONS — AT THE DEPARTMENT'S SOLE DISCRETION, THIS PERMIT MAY, AT ANY TIME, BE MODIFIED, SUSPENDED, REVOKED, OR RENEWED. THE FILING OF A REQUEST BY THE OWNER OR OPERATOR FOR A PERMIT MODIFICATION, REVOCATION AND REISSUANCE, TERMINATION, A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NONCOMPLIANCE DOES NOT LIMIT, DIMINISH AND/OR STAY COMPLIANCE WITH ANY TERMS OF THIS PERMIT.

O. DEFINITIONS — DEFINITIONS OF ANY KEY TERMS ARE INCLUDED IN APPENDIX A OF THIS PERMIT.

P. RE-OPENER CLAUSE — IF THERE IS EVIDENCE INDICATING POTENTIAL OR REALIZED IMPACTS ON WATERS OF THE STATE DUE TO ANY SUBSTANTIAL FACTS WHICH MAY AFFECT CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT, THE OWNER OR OPERATOR OF SUCH DISCHARGE MAY BE REQUIRED TO OBTAIN AN INDIVIDUAL PERMIT OR ALTER PART OF THE PERMIT IN ACCORDANCE WITH PART VII.K. OF THIS PERMIT OR THE PERMIT MAY BE MODIFIED TO INCLUDE DIFFERENT LIMITATIONS AND/OR REQUIREMENTS.

Q. PENALTIES FOR FALSIFICATION OF FORMS AND REPORTS — ARTICLE 17 OF THE ECL PROVIDES FOR A CIVIL PENALTY OF \$37,500 PER DAY PER VIOLATION OF THIS PERMIT OR ANY OTHER PERSON WHO PERFORMS POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION; OR

R. OTHER PERMITS — NOTHING IN THIS PERMIT RELIEVES THE OWNER OR OPERATOR FROM A REQUIREMENT TO OBTAIN ANY OTHER PERMITS REQUIRED BY LAW.

L. PROPERTY RIGHTS — THE ISSUANCE OF THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR ANY EXCLUSIVE PRIVILEGES, NOR DOES IT AUTHORIZE ANY INJURY TO PRIVATE PROPERTY NOR ANY INVASION OF PERSONAL RIGHTS, NOR ANY INFRINGEMENT OF FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS. OWNERS OR OPERATORS MUST OBTAIN ANY APPLICABLE CONVEYANCES, EASEMENTS, LICENSES AND/OR ACCESS TO REAL PROPERTY PRIOR TO COMMENCING CONSTRUCTION ACTIVITY.

L. SEVERABILITY — THE PROVISIONS OF THIS PERMIT ARE SEVERABLE, AND IF ANY PROVISION OF THIS PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCE, IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY.

K. DENIAL OF COVERAGE UNDER THIS PERMIT

1. AT ITS SOLE DISCRETION, THE DEPARTMENT MAY REQUIRE ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT TO APPLY FOR AND/OR OBTAIN EITHER AN INDIVIDUAL SPDES PERMIT OR ANOTHER SPDES GENERAL PERMIT. WHEN THE DEPARTMENT REQUIRES ANY DISCHARGER AUTHORIZED BY A GENERAL PERMIT TO APPLY FOR AN INDIVIDUAL SPDES PERMIT, IT SHALL NOTIFY THE DISCHARGER IN WRITING THAT A PERMIT APPLICATION IS REQUIRED. THIS NOTICE SHALL INCLUDE A BRIEF STATEMENT OF THE REASONS FOR THIS DECISION, AN APPLICATION FORM, A STATEMENT SETTING A TIME FRAME FOR THE OWNER OR OPERATOR TO FILE THE APPLICATION FOR AN INDIVIDUAL SPDES PERMIT, AND A DEADLINE, NOT SOONER THAN 180 DAYS FROM OWNER OR OPERATOR RECEIPT OF THE NOTIFICATION LETTER, WHEREBY THE AUTHORIZATION TO DISCHARGE UNDER THIS GENERAL PERMIT SHALL BE TERMINATED. APPLICATIONS MUST BE SUBMITTED TO THE APPROPRIATE REGIONAL OFFICE WITHIN THE TIME FRAME. THE DEPARTMENT MAY GRANT ADDITIONAL TIME UPON DEMONSTRATION, TO THE SATISFACTION OF THE REGIONAL WATER ENGINEER, THAT ADDITIONAL TIME TO APPLY FOR AN ALTERNATIVE AUTHORIZATION IS NECESSARY OR WHERE THE DEPARTMENT HAS NOT PROVIDED A PERMIT DETERMINATION IN ACCORDANCE WITH PART 621 OF THIS TITLE.

2. ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT MAY REQUEST TO BE EXCLUDED FROM THE COVERAGE UNDER THIS PERMIT BY APPLYING FOR AN INDIVIDUAL PERMIT OR ANOTHER GENERAL PERMIT. IN SUCH CASES, THE OWNER OR OPERATOR SHALL SUBMIT AN INDIVIDUAL APPLICATION OR AN ALTERNATIVE GENERAL PERMIT APPLICATION IN ACCORDANCE WITH THE REQUIREMENTS OF THIS GENERAL PERMIT, 40 CFR 122.26(C)(1)(ii) AND 6 NYCRR PART 621, WITH REASONS SUPPORTING THE REQUEST TO THE DEPARTMENT AT THE ADDRESS FOR THE APPROPRIATE DEPARTMENT OFFICE (SEE ADDRESSES IN APPENDIX F). THE REQUEST MAY BE GRANTED BY THE DEPARTMENT AT ITS SOLE DISCRETION.

3. WHEN AN INDIVIDUAL SPDES PERMIT IS ISSUED TO A DISCHARGER AUTHORIZED TO DISCHARGE UNDER A GENERAL SPDES PERMIT FOR THE SAME DISCHARGE(S), THE GENERAL PERMIT AUTHORIZATION FOR OUTFALLS AUTHORIZED UNDER THE INDIVIDUAL SPDES PERMIT IS AUTOMATICALLY TERMINATED ON THE EFFECTIVE DATE OF THE INDIVIDUAL PERMIT UNLESS TERMINATION IS EARLIER IN ACCORDANCE WITH 6 NYCRR PART 750.

L. PROPER OPERATION AND MAINTENANCE — THE OWNER OR OPERATOR SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF THIS PERMIT IN ACCORDANCE WITH THE SWPPP. THE OWNER OR OPERATOR SHALL INSTALL OR USED BY THE OWNER OR OPERATOR TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT AND WITH THE REQUIREMENTS OF THE SWPPP.

M. INSPECTION AND ENTRY — THE OWNER OR OPERATOR SHALL ALLOW THE REGIONAL OFFICIAL REPRESENTATIVE OF EPA, THE STATE, OR IN THE CASE OF A CONSTRUCTION SITE WHICH DISCHARGES THROUGH AN MS4, AN AUTHORIZED REPRESENTATIVE OF THE MS4 RECEIVING THE DISCHARGE, OR THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE REQUIRED BY LAW, TO: 29 (PART VII. M)

1. ENTER UPON THE OWNER'S OR OPERATOR'S PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT;

2. HAVE ACCESS TO AND COPY AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT, AND

3. INSPECT AT REASONABLE TIMES ANY FACILITIES OR EQUIPMENT INCLUDING MONITORING AND CONTROL EQUIPMENT).

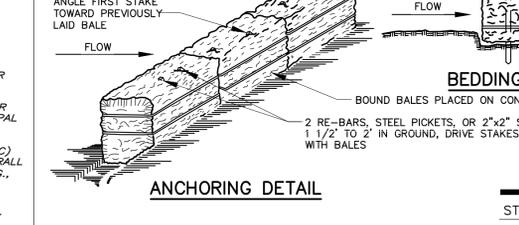
N. PERMIT ACTIONS — AT THE DEPARTMENT'S SOLE DISCRETION, THIS PERMIT MAY, AT ANY TIME, BE MODIFIED, SUSPENDED, REVOKED, OR RENEWED. THE FILING OF A REQUEST BY THE OWNER OR OPERATOR FOR A PERMIT MODIFICATION, REVOCATION AND REISSUANCE, TERMINATION, A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NONCOMPLIANCE DOES NOT LIMIT, DIMINISH AND/OR STAY COMPLIANCE WITH ANY TERMS OF THIS PERMIT.

O. DEFINITIONS — DEFINITIONS OF ANY KEY TERMS ARE INCLUDED IN APPENDIX A OF THIS PERMIT.

P. RE-OPENER CLAUSE — IF THERE IS EVIDENCE INDICATING POTENTIAL OR REALIZED IMPACTS ON WATERS OF THE STATE DUE TO ANY SUBSTANTIAL FACTS WHICH MAY AFFECT CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT, THE OWNER OR OPERATOR OF SUCH DISCHARGE MAY BE REQUIRED TO OBTAIN AN INDIVIDUAL PERMIT OR ALTER PART OF THE PERMIT IN ACCORDANCE WITH PART VII.K. OF THIS PERMIT OR THE PERMIT MAY BE MODIFIED TO INCLUDE DIFFERENT LIMITATIONS AND/OR REQUIREMENTS.

Q. PENALTIES FOR FALSIFICATION OF FORMS AND REPORTS — ARTICLE 17 OF THE ECL PROVIDES FOR A CIVIL PENALTY OF \$37,500 PER DAY PER VIOLATION OF THIS PERMIT OR ANY OTHER PERSON WHO PERFORMS POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION; OR

R. OTHER PERMITS — NOTHING IN THIS PERMIT RELIEVES THE OWNER OR OPERATOR FROM A REQUIREMENT TO OBTAIN ANY OTHER PERMITS REQUIRED BY LAW.



ANCHORING DETAIL BEDDING DETAIL SBD STANDARD SYMBOL

DRAINAGE AREA NO MORE THAN 1/4 AC. PER 100 FT. OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%

CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES (4") AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN AT AN ANGLE TOWARDS THE PREVIOUS LAID BALE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DIKE DETAILS (ALT. SILT FENCE)

N.T.S.

OWNER/OPERATORS CERTIFICATION (SEE PART 1.0 "RESPONSIBILITY")

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW"

NAME (PRINT) _____

TITLE _____ DATE _____

ADDRESS _____

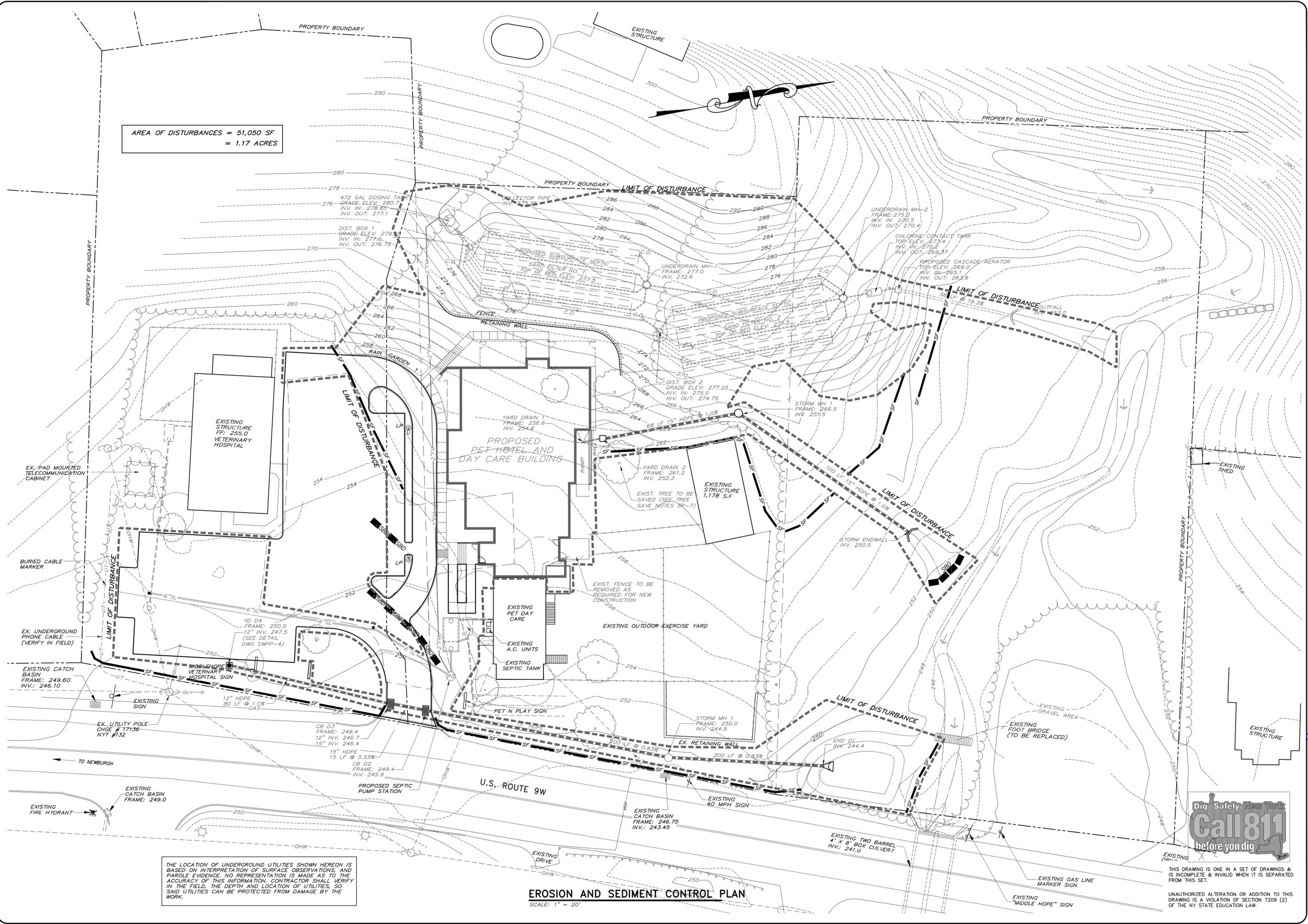
TELEPHONE _____ EMAIL _____

SIGNATURE _____

OWNER/OPERATORS CERTIFICATION (SEE PART 1.0 "RESPONSIBILITY")

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS

AREA OF DISTURBANCES = 51,050 SF
= 1.17 ACRES



THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD, THE DEPTH AND LOCATION OF UTILITIES, SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.

EROSION AND SEDIMENT CONTROL PLAN

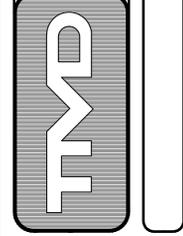
SCALE: 1" = 20'



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NY STATE EDUCATION LAW.

NO.	DATE	DESCRIPTION	BY

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	SOIL EROSION AND SEDIMENT CONTROL PLAN
JOB	12003.1
DATE	MARCH 21, 2017
SCALE	AS NOTED
DWG.	SWPP-2
SHEET	10 OF 12

THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD, THE DEPTH AND LOCATION OF UTILITIES, SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.



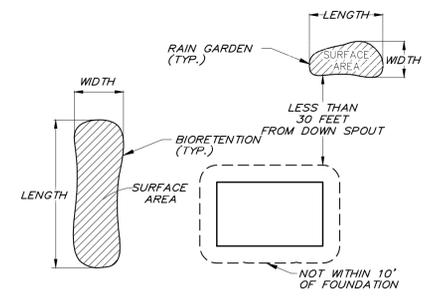
GREEN INFRASTRUCTURE LOCATION PLAN

SCALE: 1" = 80'

GENERAL NOTES

- GREEN INFRASTRUCTURE FEATURES SHOWN CAPTURE STORMWATER RUNOFF FROM IMPERVIOUS SURFACES NEARBY, AND PROVIDE A NATURAL MEANS OF TREATING THE RUNOFF AND REDUCING FLOW.
- GREEN INFRASTRUCTURE FEATURES ARE INTENDED TO MANAGE RELATIVELY CLEAN WATER, AND THEREBY SHALL ONLY BE CONSTRUCTED AFTER THE SITE SURFACES HAVE BEEN ESTABLISHED WITH THEIR RESPECTIVE FINISHED TREATMENT (EG: PAVEMENT, TURF, STONE)
- RAIN GARDENS REQUIRE WATER TO POND ON THEIR RESPECTIVE SURFACES, BUT SHALL BE CONSTRUCTED SUCH THAT EXCESSIVE RUNOFF CAN OVER FLOW AND SAFELY PASS WITHOUT DAMAGE TO SAID AREA.
- RAIN GARDENS AND INFILTRATION SWALES SHALL BE CONSTRUCTED WITH RELATIVELY FLAT SURFACE SLOPES (LEVEL IN ONE DIRECTION, NO MORE THAN 1/8 INCH PER FOOT IN THE DIRECTION OF FLOW)

LEGEND



TYPICAL GREEN INFRASTRUCTURE LAYOUT

N.T.S.

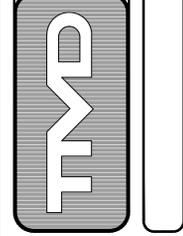


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T.M. DEPUY
 ENGINEERING & LAND SURVEYING, P.C.
 2656 ROUTE 302, MIDDLETOWN, NY 10941
 PHONE: (845) 361-5421 FAX: (845) 361-5229

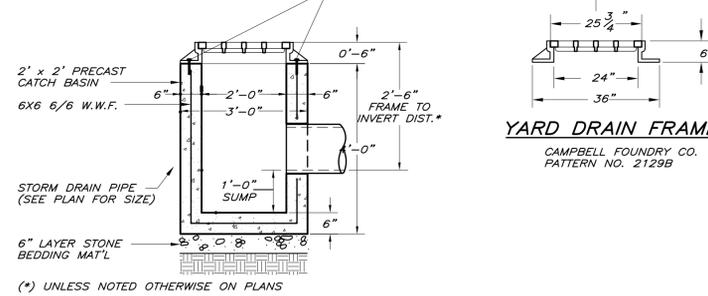
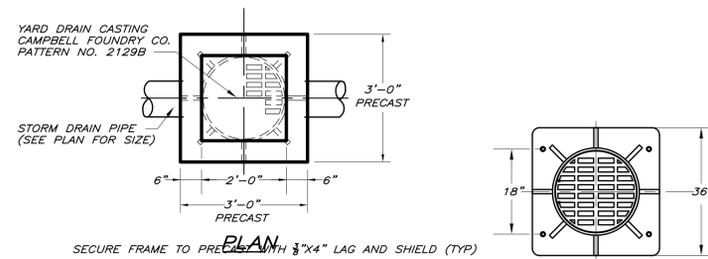
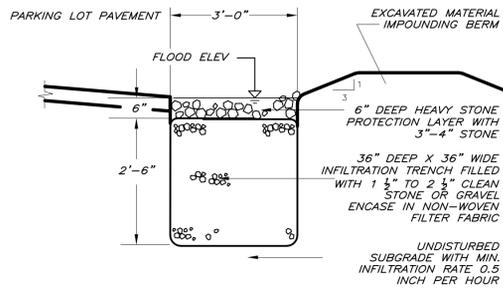
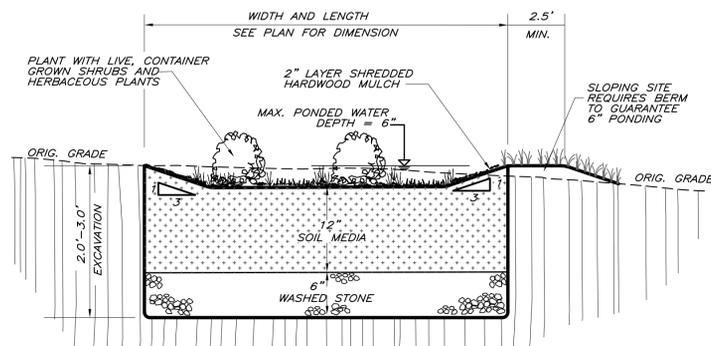
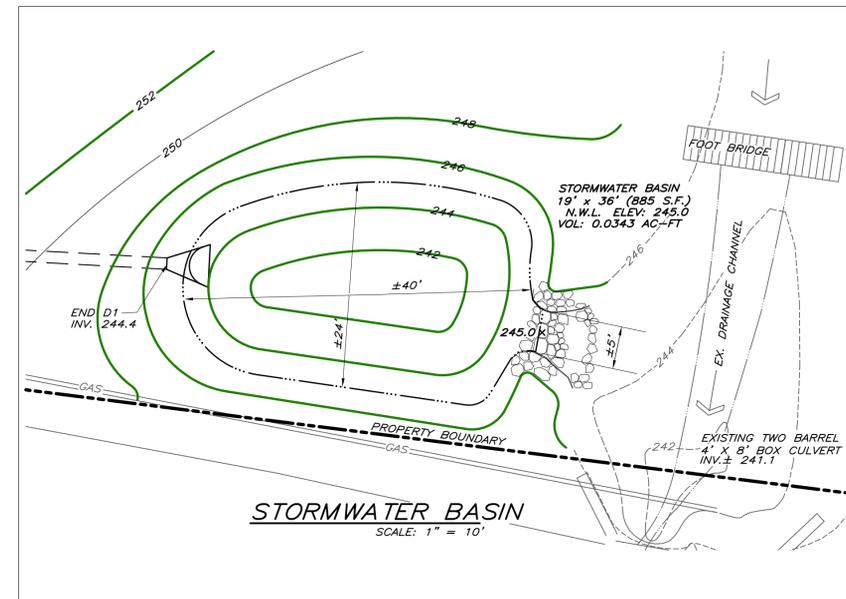
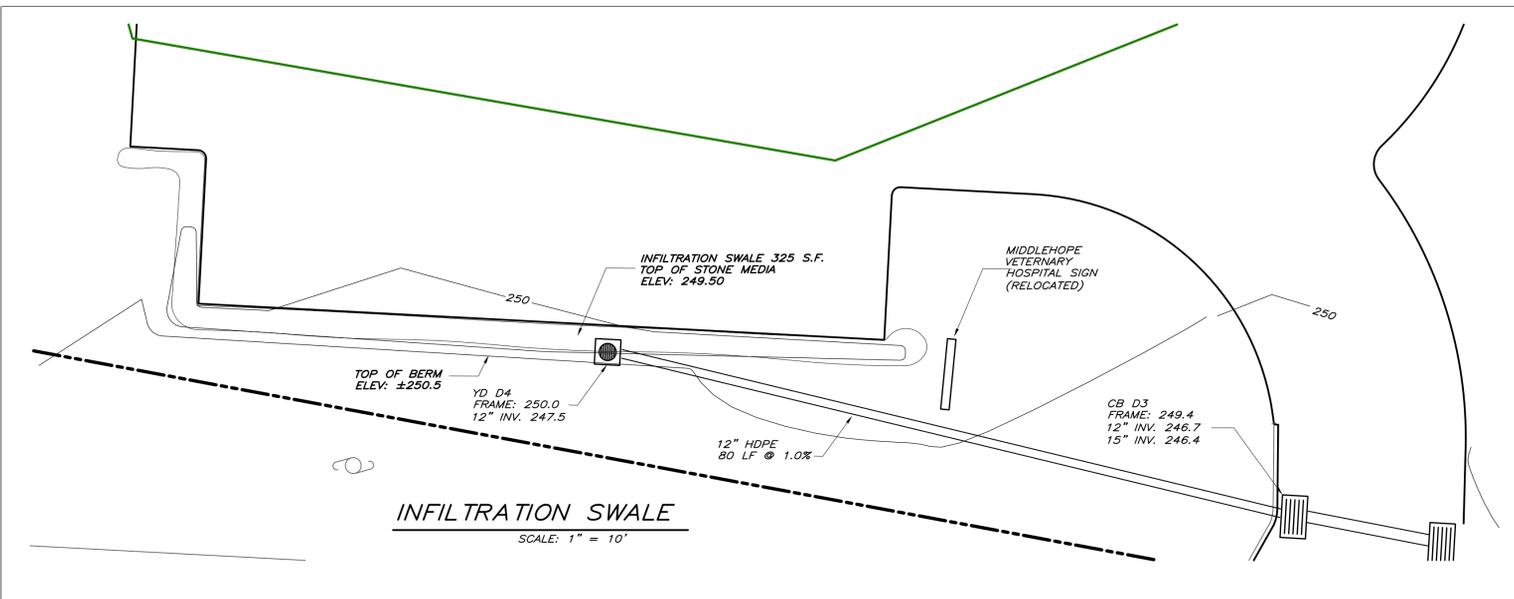
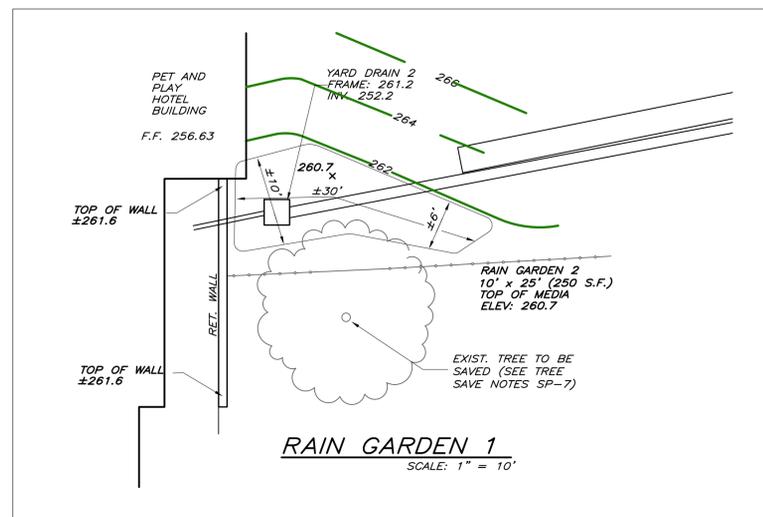
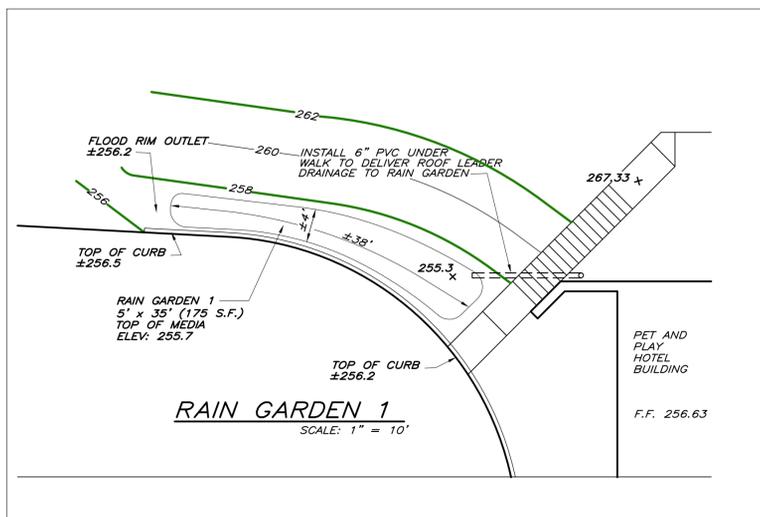


PROPOSED PET HOTEL AND DAY CARE FACILITY
 NY STATE ROUTE 9W
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK



TITLE: **GREEN INFRASTRUCTURE PLAN**
 JOB: 12003.1
 DATE: MARCH 21, 2017
 SCALE: AS NOTED

DWG. **SWPP-3**
 SHEET 11 OF 12



CONSTRUCTION NOTES:

- RAIN GARDEN IS TO BE CONSTRUCTED ONLY AFTER SURFACES THAT DRAIN TO IT ARE STABILIZED AND NOT SUBJECT TO EROSION. RUNOFF CONTAINING EXCESSIVE SEDIMENT SHOULD NOT BE DELIVERED TO THE RAIN GARDEN.
- EXCAVATE AREA DESIGNATED FOR THE RAIN GARDEN TO A DEPTH OF 2 FEET TO 3 FEET TO PROVIDE A LEVEL FLAT BOTTOM. SLOPING SITES REQUIRE CONSTRUCTION OF A BERM ON THE DOWNSLOPE EDGE TO PROVIDE 6 INCHES OF PONDING ON THE SURFACE.
- INSTALL 6 INCH LAYER OF CLEAN, WASHED GRAVEL (APPROX 1.5 INCH TO 2.0 INCH STONE). THIS PROJECT HAS WELL DRAINED SOIL, NO UNDERDRAIN IS PROPOSED.
- SOIL MEDIA BACKFILL SHALL BE A BLEND OF SAND (50%-70%) AND ORGANIC TOPSOIL (30%-50%). ORGANIC TOPSOIL SHALL CONTAIN 5% ORGANIC MATERIAL SUCH AS PEAT OR COMPOST, FREE OF STONES, ROOTS, WOODY DEBRIS AND ANIMAL WASTE.
- FINISHED SURFACE SHALL BE LEVEL OR GENTLY SLOPING (1/32\"/>

RAIN GARDEN CROSS-SECTION (TYPICAL)

N.T.S.

INFILTRATION TRENCH SECTION

SCALE: 1/2\"/>

YARD DRAIN OVEFLOW STRUCTURE FOR INFILTRATION TRENCH

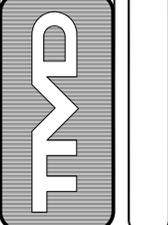
SCALE: 1/2\"/>



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NO.	DATE	DESCRIPTION	BY

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

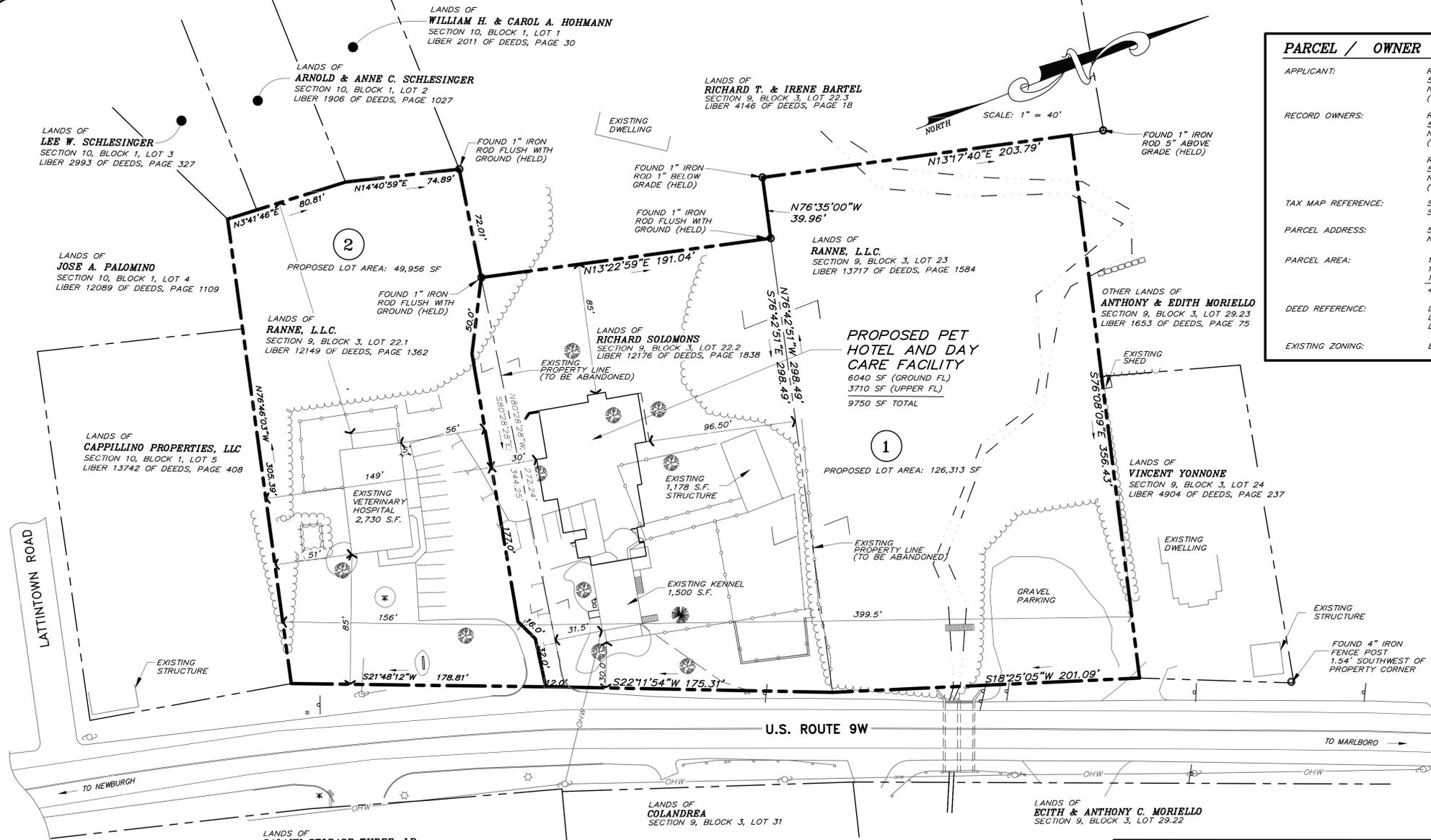


TITLE
GREEN INFRASTRUCTURE DETAILS

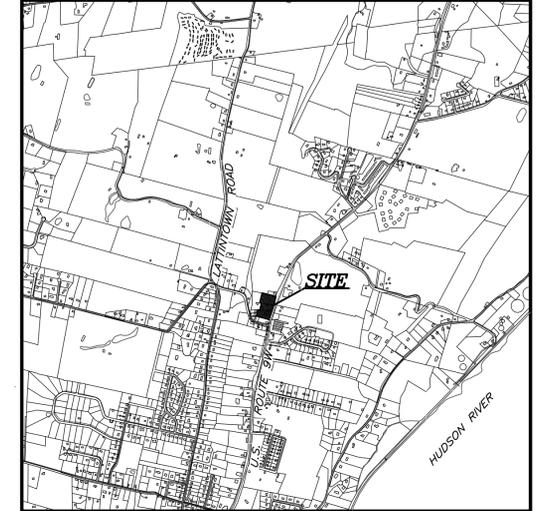
JOB 12003.1
DATE MAY 5, 2017
SCALE NONE

DWG. **SWPP-4**

SHEET 12 OF 12



PARCEL / OWNER DATA	
APPLICANT:	RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)
RECORD OWNERS:	RICHARD SOLOMONS 5349 U.S. ROUTE 9W NEWBURGH, NY 12550 (9-3-22.2)
TAX MAP REFERENCE:	SECTION 9, BLOCK 3, LOT 22.2 SECTION 9, BLOCK 3, LOT 23
PARCEL ADDRESS:	5351 U.S. ROUTE 9W NEWBURGH, NY 12550
PARCEL AREA:	1.245 ACRES (9-3-22.1) 1.189 ACRES (9-3-22.2) 1.612 ACRES (9-3-23) 4.046 ACRES TOTAL THREE PARCELS
DEED REFERENCE:	LIBER 12149, PAGE 1362 (9-3-22.1) LIBER 12176, PAGE 1838 (9-3-22.2) LIBER 13717, PAGE 1584 (9-3-23)
EXISTING ZONING:	B (BUSINESS)



LOCATION MAP
SCALE: 1" = 2000'

- SURVEY AND PARCEL NOTES**
- MAP REFERENCE: NYS DOT "SHEET NO. 5 & SHEET NO. 6, NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED JANUARY 15, 1910.
 - FIELD NOTE REFERENCE: NYS DOT FIELD NOTES FOR "NEWBURGH, CEDAR HILL CEMETERY, ORANGE CO., ROUTE 3, SEC. 6, S.H. 5007" DATED 1910.
 - MAP REFERENCE: NYS DOT "NEWBURGH-CEDAR HILL CEMETERY S.H. 5007" SHEET NO. 15 OF 24, DATED JULY 9, 1928.
 - MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 15A-B" DATED JULY 20, 1928.
 - MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14 & EASEMENT" DATED JULY 21, 1928.
 - MAP REFERENCE: NYS DOT "HIGHWAY NO. 5007, ORANGE COUNTY, MAP NO. 14.5" DATED DECEMBER 19, 1928.
 - MAP REFERENCE: NYS DOT "NEWBURGH-CEDAR HILL CEMETERY, S.H. NO. 5007, MAP NO. 60, PARCEL NO. 89, PHYLLIS TIBBY & LUCY BOLOGNESE, TOWN OF NEWBURGH" DATED DECEMBER 13, 1990.
 - MAP REFERENCE: "MINOR SUBDIVISION, LANDS OF MICHAEL J. AND DONNA M. ZAMBITO, 637 ROUTE 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED MARCH 19, 1989 AS PREPARED BY GERALD ZIMMERMANN, P.L.S. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 1988 AS FILED MAP #9098.
 - MAP REFERENCE: "MAP OF PROPOSED SUBDIVISION OF LANDS OF MORIELLO, NEW YORK STATE HIGHWAY ROUTE U.S. 9W, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK" DATED OCTOBER 5, 1999, REVISED OCTOBER 5, 1999 AS PREPARED BY BRUNNINER & LARIOS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 3, 1999 AS FILED MAP #246-99.
 - THIS LOT LINE CHANGE IS BEING CONSIDERED CONCURRENT WITH A SEPARATE SITE PLAN FOR A BUILDING ADDITION ON TAX PARCEL 9-1-22.2

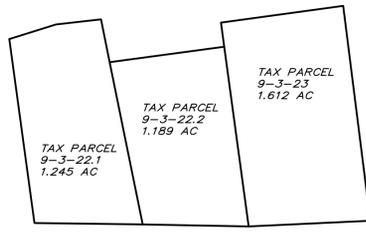
BOUNDARY PLAN
SCALE: 1" = 40'

ZONING DATA TABLE			
TOWN OF NEWBURGH - (B) BUSINESS ZONE			
ITEM	REQUIREMENTS	PARCEL 1	PARCEL 2
1. BUILDING USE	D-17 VET OFFICE/ /RELATED SERVICES	PET HOTEL	VETERINARY HOSPITAL
2. LOT AREA	40,000 S.F.	2,899 ACRES (126,313 S.F.)	1,147 ACRES (49,956 S.F.)
3. LOT WIDTH	150'	399.5'	156'
4. LOT DEPTH	150'	272'	305'
5. BUILDING SETBACKS			
o FRONT YARD	40'	30' (EXIST)	85' (EXIST)
o SIDE YARD	30'	30' (PROPOSED)	51' (EXIST)
o REAR YARD	40'	85'	158' (EXIST)
6. BUILDING HEIGHT	35 FEET	LESS THAN 35'	LESS THAN 35'
7. OFF STREET PARKING (B185-13)	ONE SPACE PER 200 S.F. GFA 9,750 SF (NEW) = 48.8 1 SPACE / 200 SF 2,730 SF (HOSP.) = 13.7 1 SPACE / 200 SF 1,500 SF (KENNEL) = 7.5 1 SPACE / 200 SF 1,178 SF (E.A.) = 1.2 1 SPACE / 1000 SF = 33.8 = 34	35 TOTAL SHARED SPACES (INC'D 2 ACCESSIBLE)	
8. LOT BUILDING COVERAGE	MAXIMUM 30%	12,428 SF x 100 = 9.8% 126,313 SF	2,730 SF x 100 = 5.5% 49,956 SF
9. LOT SURFACE COVERAGE	MAXIMUM 60%	12,864 SF x 100 = 10.2% 126,313 SF	15,693 SF x 100 = 31.4% 49,956 SF

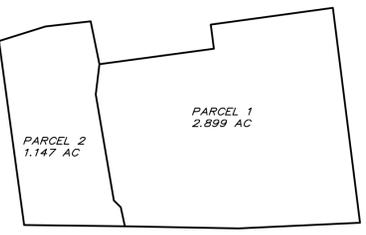
LOT LINE CHANGE AND
LAND CONSOLIDATION MAP
OF LANDS OF
**RANNE, LLC AND
RICHARD SOLOMONS**
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

FEBRUARY 7, 2017
SCALE: 1" = 40'

PROPERTY TRANSFER TABLE						
EXISTING PARCEL	EXISTING AREA	AREA EXCHANGE	REVISED NEW LOT	NEW AREA	NEW AREA	NEW AREA
9-3-22.1	1.245 ACRES 54,252 SQ. FT.	TO 9-3-22.2 (-) 0.098 ACRES 4,296 SQ. FT.	NEW TAX MAP PARCEL 2	1.147 ACRES 49,956 SQ. FT.		
9-3-22.2	1.189 ACRES 51,793 SQ. FT.	FROM 9-3-22.1 AND 9-3-23 0.098 ACRES 4,296 SQ. FT.	NEW TAX MAP PARCEL 1	2.899 ACRES 126,313 SQ. FT.		
9-3-23	1.612 ACRES 70,224 SQ. FT.	TO 9-3-22.2 (-) 1.612 ACRES 70,224 SQ. FT.				
TOTAL AREA	4.046 ACRES 176,269 SQ. FT.			4.046 ACRES 176,269 SQ. FT.		



EXISTING PARCELS
SCALE: 1" = 140'



PROPOSED PARCELS
SCALE: 1" = 140'

LEGEND	
SYMBOLS	ABBREVIATIONS
—	CB CATCH BASIN
—	CD/P PERF. SEPTIC CURTAIN DRAIN PIPE
—	CD/S SOLID SEPTIC CURTAIN DRAIN PIPE
—	CL CENTERLINE
—	CMP CORRUGATED METAL PIPE
—	CONC. CONCRETE
—	D.I.P. DUCTILE IRON PIPE
—	ELEV. ELEVATION
—	FFE FINISHED FLOOR ELEVATION
—	HOPE HIGH DENSITY POLYETHYLENE PIPE (SMOOTH INTERIOR)
—	HP HIGH POINT
—	INV INVERT
—	LF LINEAR FOOT
—	LP LOW POINT
—	LSE: LOWEST SEWER ELEVATION (INV)
—	MH MANHOLE
—	N.W.L. NORMAL WATER LEVEL (SURFACE ELEV)
—	PROP. PROPOSED
—	RCP REINFORCED CONCRETE PIPE
—	W.L. WATER LEVEL (SURFACE ELEV)

"Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's seal in red is a violation of Section 7208, Subdivision 2, of the New York State Education Law."

"Only copies from the original tracing of this survey map marked with the Land Surveyor's seal in red with original signature shall be considered valid, true copies."

"Certifications indicated herein signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveyors adopted by the Delaware-Hudson Land Surveyors Association. Said certifications shall run only to those named individuals and/or institutions for whom the survey was prepared. Certifications are not transferable to additional individuals, institutions, their successors and/or assigns, or subsequent owners."

I hereby certify to RANNE, LLC and the Town of Newburgh that this survey map is the result of an actual field survey prepared by T.M. DePuy Engineering & Land Surveying, P.C. on June 26, 2012.

THOMAS M. DEPUY, S.Y.S. License #049783

OWNERS ENDORSEMENT

I GRANT MY APPROVAL TO THE FILING OF THESE PLANS IN THE ORANGE COUNTY CLERK'S OFFICE

Owner _____ Date _____

Owner _____ Date _____

REV 3/2/2017

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Fish and Wildlife, New York Natural Heritage Program

625 Broadway, Fifth Floor, Albany, NY 12233-4757

P: (518) 402-8935 | F: (518) 402-8925

www.dec.ny.gov

April 17, 2017

Thomas M. DePuy
T.M. Depuy Engineering and Land Surveying
2656 Route 302
Middletown, NY 10941

Re: Pet Hotel and Day Care Facility, 5351 Route 9W
County: Orange Town/City: Newburgh

Dear Mr. DePuy:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

Enclosed is a report of rare or state-listed animals and plants, and significant natural communities that our database indicates occur in the vicinity of the project site.

For most sites, comprehensive field surveys have not been conducted; the enclosed report only includes records from our database. We cannot provide a definitive statement as to the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

Our database is continually growing as records are added and updated. If this proposed project is still under development one year from now, we recommend that you contact us again so that we may update this response with the most current information.

The presence of the plants and animals identified in the enclosed report may result in this project requiring additional review or permit conditions. For further guidance, and for information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 3 Office, Division of Environmental Permits, as listed at www.dec.ny.gov/about/39381.html.

Sincerely,



Andrea Chaloux
Environmental Review Specialist
New York Natural Heritage Program



The following state-listed animals have been documented in the vicinity of your project site.

The following list includes animals that are listed by NYS as Endangered, Threatened, or Special Concern; and/or that are federally listed or are candidates for federal listing.

For information about any permit considerations for your project, please contact the Permits staff at the NYSDEC Region 3 Office at dep.r3@dec.ny.gov, (845) 256-3054. For information about potential impacts of your project on these species, and how to avoid, minimize, or mitigate any impacts, contact the Region 3 Wildlife staff at Wildlife.R3@dec.ny.gov, (845) 256-3098.

The following species have been documented within 2.2 miles of the project site. Individual animals may travel 2.5 miles from documented locations. The main impact of concern for bats is the removal of potential roost trees.

COMMON NAME	SCIENTIFIC NAME	NY STATE LISTING	FEDERAL LISTING	
Indiana Bat <i>Summer maternity colony</i>	<i>Myotis sodalis</i>	Endanger ^{ed}	Endanger ^{ed}	1287

This report only includes records from the NY Natural Heritage database. For most sites, comprehensive field surveys have not been conducted, and we cannot provide a definitive statement as to the presence or absence of all rare or state-listed species. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

Information on this report is based on the NY Natural Heritage database. For more information on the NY Natural Heritage Program, please visit www.dec.ny.gov.

For more information on the NY Natural Heritage Program, please contact the Region 3 Wildlife staff at Wildlife.R3@dec.ny.gov, (845) 256-3098. For information about potential impacts of your project on these species, and how to avoid, minimize, or mitigate any impacts, contact the Region 3 Wildlife staff at Wildlife.R3@dec.ny.gov, (845) 256-3098.

T.M. DePUY ENGINEERING AND LAND SURVEYING, P.C.

2656 Route 302
Middletown, NY 10941

Tel # (845) 361-5421
Fax# (845) 361-5229

May 5, 2017

John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

Re: Proposed Pet Hotel &
Day Care Facility
Section 9, Block 3,
Lots 22.2, 23 & 22.1 (P/O)
Town of Newburgh Job #2012-19

Dear Mr. Chairman:

Enclosed please find the following items on the referenced project for review:

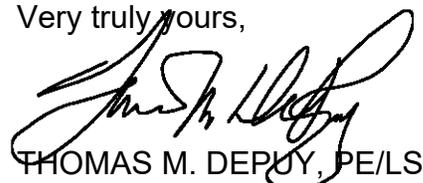
- 14 sets of Revised Site Plan Drawings
- 14 copies of Lot Line Change & Land Consolidation Map
- 14 copies of NYSDEC NY Natural Heritage Program letter dated 04/17/17
- One copy of SWPPP

The following is in response to McGoey, Hauser and Edsall Consulting Engineers D.P.C. comments of March 31, 2017:

1. So noted.
2. The site plan and PERM33 was been submitted to Siby Zachariah-Carbone at NYSDOT on 4/26/17.
3. See attached letter dated 04/17/17 from NY Natural Heritage Program; they indicated the area may have habitat for Indiana bat; therefore, will employ proper clearing technique (clearing between Nov 1st and March 31st)
4. Information forwarded to their attorney, Daniel Rusk on 04/17/17.
5. The landscape drawing has been revised; additional evergreen screening and buffer added on the westerly end of the project to aide in noise abatement. Additionally a solid fence has been added.
6. We submitted to NYSDEC on 04/18/17 for subsurface sanitary sewer approval.
7. We have noted that the drawing.
8. This has been corrected on the drawings.
9. Zoning data table has been corrected.
10. Disturbed area 1.2 acres; therefore a SWPPP has been prepared.

We wish to be placed on the May 18, 2017 agenda. Thank you.

Very truly yours,



THOMAS M. DEPUY, PE/LS

TMD/nk

Enclosures

cc: w/enc.via email – Patrick Hines, Town Engineer
Michael Donnelly, Town Attorney
Charlene Schaper

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STORMWATER POLLUTION PREVENTION PLAN

PREPARED FOR:
Middlehope Pet Hotel & Day Care Facility
5351 US Route 9W
Newburgh, New York 12550



Thomas M. DePuy, P.E. NYS LIC#57844

T.M. DEPUY Engineering & Land Surveying, PC
2656 NYS RTE 302 Middletown, NY 10941

SWPPP Preparer Certification

I hereby certify that the Stormwater Pollution Prevention Plan (SWPPP) for this project has been prepared in accordance with the terms and conditions of the GP-0-15-002. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of this permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Thomas M. DePuy, PE

DATE

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APPENDICES

Appendix A	Soil Mapping and Information United States Department of Agriculture Natural Resources Conservation Service
Appendix B	Town of Newburgh SWPPP Acceptance Form
Appendix C	Site Plan
Appendix D	Stormwater Runoff Analysis for Middlehope Pet Hotel and Day Care Facility, 5351 US RTE 9W, Town of Newburgh, Orange County, New York
Appendix E	Drawings SWPPP-1 thru SWPPP-4
Appendix F	SPDES Inspection Form Construction Activities
Appendix G	NOI Application
Appendix H	NYSDEC Receipt of NOI
Appendix I	Copy of NYSDEC SPDES Permit for Stormwater Discharge from Construction Activities Permit No. GP-0-05-002
Appendix J	Notice of Termination Form (to be finalized upon completion of the project)
Appendix K	Long Term Inspection Form for the Bio-Retention/Rain Garden Operation, Maintenance and Management Inspection Checklist
Appendix L	Draft Stormwater Control Facility Maintenance Agreement

1.0 PROJECT INFORMATION

1.1 Project Name and Location

Proposed Pet Hotel and Day Care Facility
5351 Route 9W
Newburgh, NY 12550

1.2 Property Owner Name and Address

RANNE, LLC
Richard Solomons
5351 Route 9W
Newburgh, NY 12550

1.3 Project Operator Name and Address

Charlene Schaper
5351 Route 9W
Newburgh, NY 12550

1.4 MS4 Community

Town of Newburgh
1496 Route 300
Newburgh, NY 12550

SWPPP Reviewer: Town Engineer, James Osborne
MS4 Officer: James Osborne, Engineer

2.0 PROJECT DESCRIPTION

2.1 Purpose and Intent of Proposed Development

RANNE, L.L.C. is proposing the consolidation of tax lot Section 9, Block 3, Lot 22.2 and 23 consisting of 1.189 acres and 1.612 acres, respectively, for a combined parcel area of 2.801 acres. They propose the development of 11,580 SF building to house the expansion of their pet hotel and dog daycare center. The project is situated on the westerly side of Route 9W 490 feet north of the intersection of US Route 9W and Lattintown Road.

The overall site topography slopes from the westerly side of the property to the northeasterly side of the property and towards the small intermittent stream which traverses the northerly end of the property.

The project will collect the roof stormwater and discharge it to a bio-retention basin located adjacent to the building, which will be collected and conveyed through a pipe system and ultimately discharge to the small onsite stream. The proposed parking lot expansion will sheet flow to a filter strip and the access drive will be collected in two catch basins will be piped and conveyed to the northerly end of the project site to another bio retention which will ultimately discharge to the small on site stream.

The project will be serviced by the Town of Newburgh water system and obtain its sewage disposal from the development of an on-site treatment facility which will discharge to the small stream that traverses the property. In addition to the building, some additional outside dog runs are also proposed and will be integrated with their existing facility presently located and operating on the property.

The soils consist of Erie Gravelly Silt Loam (D), Bath Nassau Channery Silt, Hoosic Gravelly Sandy Loam and Udorthents. See Appendix A for soil mapping information.

2.2 Project Disturbance Area

Total Project Property Area: 4.046 Acres

Total Disturbed Area: 1.20 Acres.

Existing Impervious Area: 0.596 Acres

Proposed Additional Impervious Area: 0.294 Acres

3.0 SEQUENCE OF MAJOR ACTIVITIES

3.1 Sequence of Major Activities

This SWPPP presents both temporary and permanent erosion and sediment controls to assist the owner/operator in compliance with the project's SPDES General Permit for construction activity which must be reviewed and accepted by the Town of Newburgh (See Appendix B, SWPPP Acceptance Form. All temporary erosion and sediment control mitigation measures shall be installed immediately before associated project areas are disturbed in anticipation of all soil disturbing activities to follow. The project will be constructed under one sequence with the site being developed as the building construction is undertaken.

In general, the following list is the construction sequence which will be followed during the project.

- Prior to Commencing work, contract "Dig Safely New York" to mark underground utilities
- Install silt fence, straw bale dikes and other erosion control features around perimeter of areas to be disturbed and properly indicate the limits of the ACOE wetlands areas and floodplain in order to prevent any disturbance of these areas as shown on the plans.
- Install a rock construction site entrance at point where access to the work is being obtained (adjacent to the existing parking I)
- Install diversion ditches and siltation ponds as indicated on drawing.
- Once areas are configured to finish grade; topsoil, seed and mulch as soon as possible.
- Remove silt fence, straw bale dikes, stabilized construction entrances and other temporary erosion control features when permanent vegetative cover has established on exposed earth surfaces, and risk of soil erosion is low. The siltation ponds are to be cleaned and the permanent outlet structures installed to be utilized as polishing ponds as required in the overall urban pollution control portion of the project.
- Consistent with the New York Guideline for Urban Erosion and Sediment Control, there shall not be more than five (5) acres of disturbed soil at any one time without prior written approval from the Department (NYSDEC).

3.2 Name of Receiving Waters

The stormwater is being collected to the northerly side of the project discharging to the Tributary of Lattintown Creek.

4.0. STRUCTURAL AND VEGETATIVE MEASURES FOR SOIL STABILIZATION, RUNOFF CONTROL AND SEDIMENT CONTROL

4.1 Temporary Controls

The construction is multi-phase with respect to initial disturbance, which will disturb approximately 1.2 acres. The layout of the applicable erosion and sedimentation control measures can be reviewed in Appendix C. (See Site Plan)

Install sediment barrier (silt) fence prior to any excavation work (including stump removal).

Install stabilized rock construction entrance prior to construction traffic entering and leaving site.

Construct temporary diversion swales at any point where surface water can be directed away from disturbed surfaces. If a surface water route crosses a disturbed area, provide a rip-rap channel as soon as possible after the construction has progressed beyond the water route.

Pick up trash and lightweight rubbish that may be swept away by wind.

Fill or grade vehicle tracks to avoid erosion.

4.2 Permanent Controls

Seed and mulch exposed earth areas to establish permanent vegetative cover as soon as practical after final grading. Mulch shall follow seeding by no more than 24 hours.

4.3 Temporary Controls That Are to Be Converted to Permanent Stormwater Management Facilities

None

4.4 Implementation Schedule of Erosion and Sediment Controls

Sediment barrier (silt) fence shall be installed prior to any site disturbance.

Stabilized rock construction entrance shall be installed prior to heavy truck traffic entering or leaving the site.

Temporary diversion swales shall be installed as the work proceeds across the project area.

Rock check dams shall be placed where needed in conjunction with temporary swales, as the work proceeds across the project area.

Dust control shall be conducted during dry weather as needed or directed.

4.5 Maintenance Schedule for Erosion and Sediment Controls

Sediment barrier (silt) fence: maintain per detail.

Stabilized rock construction entrance shall be maintained in a condition that prevents traffic from tracking sediment onto the existing gravel parking lot. Inspect after each rain and periodically redress the top aggregate to maintain effectiveness.

Rock check dams are to be inspected after each rain. Repair any erosion damage and remove any accumulation of sediment in swale or in outlet area to restore operation.

Temporary swales shall be inspected after each rain. Repair any erosion damage and remove any accumulation of sediment in swale or in outlet area to restore operation.

4.6 Stormwater Management and Water Quality Measures

Detailed stormwater analysis utilizing TR55 was conducted and revealed that detention is required to bring the post construction runoff back to the predevelopment runoff amount. This is summarized in Appendix D as described in "Stormwater Runoff Analysis for Middlehope Proposed Pet Hotel and Day Care Facility, 5351 Route 9W, Town of Newburgh, Orange County, New York" and illustrated in Appendix E on Drawings SWPPP-1 thru SWPPP-4.

4.7 Other Controls

Waste Materials

Foreign waste materials shall be collected and stored in a secured area until removal and disposal by a licensed solid waste management company. All trash and construction debris from the project area shall be disposed of in a portable container unit. No foreign waste materials shall be buried within the project area. All personnel shall be instructed regarding the correct procedure for waste disposal. Notices stating these practices shall be posted in the project trailer and the individual who manages day-to-day project operations shall be responsible for seeing that these procedures are followed.

Hazardous Waste

All Hazardous waste materials shall be disposed of in a manner specified by local or state regulations or by the manufacturer. Project personnel shall be instructed in these practices and the individual who manages day-to-day project operations shall be responsible for seeing that these practices are followed.

Sanitary Waste

Any sanitary waste from portable units shall be collected from the portable units by a licensed sanitary waste management contractor, as required by NYSDEC regulations.

Sediment Tracking by Vehicles

A stabilized construction entrance shall be installed (where depicted on attached plan) and maintained as necessary to help reduce vehicular tracking of sediment. The entrance shall be cleaned of sediment and redressed when voids in the crushed stone become filled and vehicular tracking of sediment is occurring. Dump trucks hauling materials to and from the construction project area shall be covered with a tarpaulin to reduce dust. Any sediment and debris tracked from work area along project adjacent roadways shall be immediately removed with a street sweeper or equivalent sweeping method. Further, sweeping of streets (including US Route 9W if necessary) adjacent to disturbed areas shall be performed prior to the end of each work day (at a minimum) when tracking of sediment is occurring.

Non Stormwater Discharges

Non-Stormwater discharges are not expected to exit the project area during construction.

4.8 Timing of Controls and Measures

In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York Standards and Specifications for Erosion and Sediment Control.

4.9 Certification of Compliance with Federal, State and Local Regulations

The stormwater pollution prevention plan reflects the New York State requirements for stormwater management and erosion and sediment control. To ensure compliance, this plan was prepared in accordance with New York State Standards. There are no other applicable State or Federal requirements for sediment and erosion plans (or permits), or stormwater management plans (or permits).

5.0 MAINTENANCE AND INSPECTION PROCEDURES

5.1 Erosion and Sedimentation Control Inspection and Maintenance Practices

A *Qualified Inspector* is to perform the inspections as outlined in the inspection form provided in Appendix F, SPDES Inspection Form Construction Activities.

These are the minimum required inspection and maintenance practices that shall be used to maintain erosion and sediment controls and are to be performed by a *Trained Individual*:

All control measures shall be inspected at least once each week and following any storm event of 0.5 inches or greater in a 24 hour period using the "SPDES Inspection

Form Construction Activities” in Appendix F.

- A copy of the signed Notice of Intent (NOI) must be posted onsite, in a publicly accessible location. (See Appendix G for NOI Application and see Appendix H for NYSDEC Receipt of NOI.
- A copy of the SWPPP and the SPDES general permit must be retained at the construction site.
- The operator shall prepare a written summary of the SWPPP’s status with respect to compliance with the General Permit (GP-0-15-002) (see Appendix I) at a minimum frequency of every three months during which coverage under the permit exists. The summary should address the status of achieving each component of the SWPPP.
- Prior to filing of the Notice of Termination (see Appendix J) or the end of permit term, the Operator shall preform a final project area inspection. This inspection shall certify that the project area has undergone final stabilization using either vegetative or structural stabilization methods and that all temporary erosion and sediment controls (such as silt fencing) not needed for long-term erosion control have been removed.
- All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours of report or as ordered by the owner’s representatives.
- Built up sediment shall be removed from any silt fence when it has reached one-third the height of the fence/dike.
- Sediment fencing, and wetland protection barrier shall be inspected for depth of sediment, and tears, to see if fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
- The construction entrances shall be cleaned of sediment and redressed when voids in the crushed stone become filled and vehicular tracking of sediment is occurring.
- Dust shall be controlled on access points and other disturbed areas subject to surface dust movement and blowing.
- Stabilization fabric and rock dams shall be inspected to ensure that slopes and swales are not being eroded. Fabric shall be replaced / reinstalled and rock dams added as necessary to prevent any such erosion.
- Inspection of diversion swales shall be conducted to check condition of swale.
- The temporary sediment basins (future permanent ponds) shall be inspected to check condition of basin.
- Inspection must verify that all practices are adequately operational, maintained

properly and that sediment is removed from all control structures.

- Inspection must look for evidence of soil erosion on the site, potential of pollutants entering drainage systems, problems at the discharge points, and signs of soil and mud transport from the site to the public road.
- The site operator or superintendent shall select the individuals who will be responsible for the inspections, maintenance, repair activities, and filling out the inspection and maintenance report.
- Personnel selected for inspection and maintenance responsibilities shall have received proper training in all the inspection and maintenance practices necessary for keeping the erosion and sediment control used on-site in good working order.
- The operator shall retain copies of inspection reports submitted in conjunction with this permit and records or all data used to complete the NOI to be covered by this permit for a period of at least three years from the date that the site is finally stabilized.

5.2 Post Construction Inspection and Maintenance Practices

Blackburne Farm Homeowners Association, Inc., its successors and/or assigns, will maintain operation of the site. Long-term inspection form the bio-retention/rain garden operation and maintenance referenced in Appendix K. Additionally, a stormwater management maintenance agreement between the Town of Goshen and the owner has been executed or about to be executed which requires the operation of maintenance of the permanent stormwater management facilities (See Appendix L for a draft copy of the agreement).

6.0 INVENTORY FOR POLLUTION PREVENTION PLAN

The materials or substances listed below are expected to be within the project area during construction:

- Portland cement concrete
- Fertilizers / seeding materials
- Stone
- Bituminous asphalt
- Petroleum based products
- Silt fence fabric
- Lumber
- Pavement marking paint
- Bonded fiber matrix material
- HDPE Geomembrane Material
- HDPE Pipe

7.0 SPILL PREVENTION

The following are the material management practices that shall be used to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff.

7.1 Good Housekeeping

The following good housekeeping practices shall be followed within the project areas during construction:

- An effort shall be made to store only enough products required to do the job.
- All materials stored within project areas shall be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure.
- Products shall be kept in their original containers with the original manufacturer's label.
- Substances shall not be mixed with one another unless recommended by the manufacturer.
- Whenever possible, all of a product shall be used up before disposing of the container.
- Manufacturers' recommendations for proper use and disposal shall be followed.
- The project superintendent shall inspect daily to ensure proper use and disposal of materials.

7.2 Hazardous Products

These practices are used to reduce the risks associated with hazardous materials:

- Products shall be kept in original containers unless they are not resalable.
- Original labels and material safety data shall be retained.
- If surplus product must be disposed of, manufacturers' or local and state recommended methods of proper disposal shall be followed.
- Material Safety Data Sheets for all hazardous products shall be within the project area for the duration of construction.

Product Specific Practices

The following product-specific practices shall be followed within the project areas:

Petroleum Products

All project related vehicles shall be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products shall be stored in

tightly sealed containers which are clearly labeled. Any asphalt substances used during construction shall be applied according to the manufacturer's recommendations.

Fertilizers

Fertilizers shall be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked into the soil to limit exposure to stormwater. Fertilizers shall be stored in a covered or other contained area.

Paints

All containers shall be tightly sealed and stored when not required for use. Excess paint shall not be discharged to the storm sewer system but shall be properly disposed of according to manufacturer's instructions or State regulations.

Concrete Trucks

Concrete trucks shall be allowed to wash out within project areas provided that the contractor provides an area which collects and contains any concrete / slurry material washed from trucks for recovery and disposal at a later time. No concrete / slurry shall be discharged from the property at any time of construction. If such washing is anticipated, the contractor shall submit a plan detailing the control of concrete / slurry to the engineer for approval.

7.3 Spill Control Practices

The contractor will be responsible for preparing a project area and specific spill control plan in accordance with local and NYS DEC regulations. At a minimum this plan should:

- Reduce stormwater contact if there is a spill.
- Contain the spill.
- Stop the source of the spill.
- Dispose of contaminated material in accordance with manufacturer's procedures, and NYSDEC regulations.
- Identify responsible and trained personnel.
- Ensure spill area is well ventilated.

8.0 **UPDATING THE SWPPP**

The SWPPP shall be updated/revised as conditions merit or as directed by the regulating authority. The attached inspection forms included with this document allows for the certification of any updates/revisions.

9.0 SWPPP CERTIFICATIONS

See the following Contractor's Certification Form on next page, which must be signed by the on-site contractors and trained personnel.

7,

10.0 DEFINITIONS

Qualified Inspector - means a person that is knowledgeable in the principles and practices of erosion and sediment control, such as a licensed Professional Engineer, Certified Professional in Erosion and Sediment Control (CPESC), licensed Landscape Architect, or other Department endorsed individual(s). It also means someone working under the direct supervision of the licensed Professional Engineer or licensed Landscape Architect, provided that person has training in the principles and practices of erosion and sediment control. Training in the principles and practices of erosion and sediment control means that an individual performing a site inspection has received four (4) hours of training, endorsed by the Department, from a Soil and Water Conservation District, CPESC, Inc. or other Department endorsed entity in proper erosion and sediment control principles no later than two (2) years from date this general permit is issued. After receiving the initial training, an individual working under the direct supervision of the licensed Professional Engineer or licensed Landscape Architect shall receive four (4) hours of training every three (3) years. Note: Inspections of any post-construction stormwater management practices that include structural components, such as a dam for an impoundment, shall be performed by a licensed Professional Engineer.

Trained Individual - means an employee from a contracting (construction) firm that has received four (4) hours of training, which has been endorsed by the Department, from a Soil and Water Conservation District, CPESC, Inc. or other Department endorsed entity, in proper erosion and sediment control principles no later than two (2) years from the date this general permit is issued. After receiving the initial training, the trained individual shall receive four (4) hours of training every three (3) years. This individual will be responsible for implementation of the SWPPP. The owner or operator shall ensure that at least one trained individual is on site on a daily basis when soil disturbance activities are being performed.

APPENDIX A

**SOIL MAPPING AND INFORMATION
United States Department of Agriculture
Natural Resources Conservation Service**

APPENDIX B
Town of Newburgh SWPPP ACCEPTANCE FORM

APPENDIX C

PROPOSED PET HOTEL AND DAY CARE FACILITY

SITE PLAN

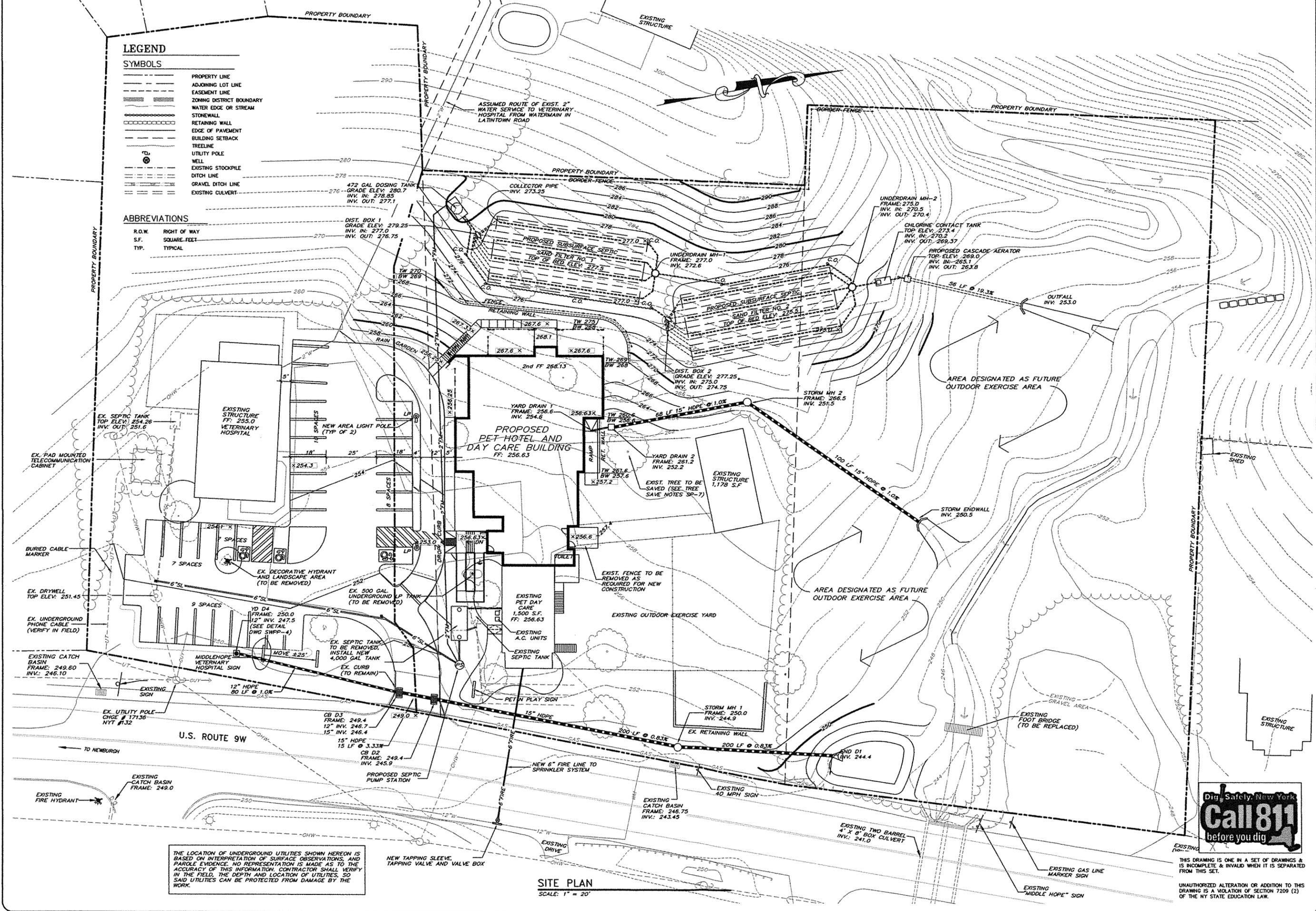
LEGEND

SYMBOLS

- PROPERTY LINE
- - - ADJOINING LOT LINE
- - - EASEMENT LINE
- - - ZONING DISTRICT BOUNDARY
- ~~~~~ WATER EDGE OR STREAM
- ▬▬▬ STONEWALL
- ▬▬▬ RETAINING WALL
- ▬▬▬ EDGE OF PAVEMENT
- ▬▬▬ BUILDING SETBACK
- ▬▬▬ TREELINE
- ⊕ UTILITY POLE
- ⊙ WELL
- ⊙ EXISTING STOCKPILE
- ▬▬▬ DITCH LINE
- ▬▬▬ GRAVEL DITCH LINE
- ▬▬▬ EXISTING CULVERT

ABBREVIATIONS

- R.O.W. RIGHT OF WAY
- S.F. SQUARE FEET
- TYP. TYPICAL



THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD, THE DEPTH AND LOCATION OF UTILITIES, SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.

SITE PLAN
SCALE: 1" = 20'



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NY STATE EDUCATION LAW.

NO.	DATE	DESCRIPTION	BY
1.	2/7/17	RET DROP OF AISLE	
2.	3/7/17	ZONING BOARD APPLICATION	
3.	3/21/17	PLANNING BOARD SUBMISSION 2	
4.	4/19/17	NYSDEC SUBMITAL	
5.	5/25/17	PLANNING BOARD SUBMISSION 3	

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	SITE PLAN
JOB	12003.1
DATE	OCTOBER 2016
SCALE	AS NOTED
DWG.	SP2
SHEET	2 OF 12

APPENDIX D

**STORMWATER RUNOFF ANALYSIS FOR
MIDDLEHOPE PROPOSED PET HOTEL AND
DAY CARE FACILITY
5351 ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK**

- See Report Separately -

TO BE INSERTED

APPENDIX E DRAWINGS

SWPPP-1 THRU SWPPP-4

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

I. FOR ALL CONSTRUCTION ACTIVITIES SUBJECT TO THIS GENERAL PERMIT (GP-0-15-002) EFFECTIVE: JANUARY 29, 2015 EXPIRES: JANUARY 28, 2020

A. GENERAL

- CONTRACTORS SHALL TAKE NOTICE THAT THE WATERS OF THE UNITED STATES ARE PROTECTED UNDER THE FEDERAL CLEAN WATER ACT (CWA) AND THE CWA'S STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES TO THE UNITED STATES ARE UNLAWFUL, UNLESS AUTHORIZED BY A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) ADMINISTERS THE STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) PERMIT PROGRAM. IN CONFORMANCE WITH THE FEDERAL STORM WATER (MS4) REGULATIONS.
- OWNER OR OPERATOR MEANS THE PERSON, PERSONS OR LEGAL ENTITY WHICH OWNS OR OPERATES THE PROPERTY ON WHICH THE CONSTRUCTION ACTIVITY IS OCCURRING; AND/OR AN ENTITY THAT HAS OPERATIONAL CONTROL OVER THE CONSTRUCTION PLANS AND SPECIFICATIONS, INCLUDING THE ABILITY TO MAKE MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.
- CONTRACTORS SHALL TAKE NOTICE THAT THE OWNER OR OPERATOR HAS FILED OR IS ABOUT TO FILE A NOTICE OF INTENT ("NOI") WITH THE NYSDEC, AND IS THE PERMITTEE REFERRED TO HEREINAFTER. THIS "NOI" APPLICATION INCLUDES THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") PREPARED FOR THE SUBDIVISION, AND APPLIES TO THE PUBLIC IMPROVEMENTS INDICATED ON THE SUBDIVISION PLANS. THE CONTRACTOR SHALL SUBMIT A SEPARATE SOIL EROSION AND SEDIMENTATION CONTROL PLAN WITH EACH APPLICATION FOR A BUILDING PERMIT.
- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE SPDES GENERAL PERMIT ISSUED UNDER THE AUTHORITY OF THE CONSTRUCTION OF THIS RESIDENTIAL SUBDIVISION. WITHOUT LIMITING THE FOREGOING, THE SWPPP PROVIDES THE DETAILED INFORMATION FOR COMPLIANCE.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, THE PERMITTEE MUST IDENTIFY THE CONTRACTORS AND SUBCONTRACTORS THAT WILL BE RESPONSIBLE FOR INSTALLING, CONSTRUCTING, REPAIRING, INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PRACTICES INCLUDED IN THE SWPPP, AND THE CONTRACTORS(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL THE POST-CONSTRUCTION MANAGEMENT PRACTICES INCLUDED IN THE SWPPP. THE PERMITTEE SHALL HAVE EACH OF THESE CONTRACTORS AND SUBCONTRACTORS IDENTIFY AT LEAST ONE TRAINED INDIVIDUAL FROM THE COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP. THE PERMITTEE SHALL ENSURE THAT AT LEAST ONE INDIVIDUAL IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.

B. PROJECT DESCRIPTION

- THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT AN ADDITION TO THE EXISTING PET HOTEL AND DAY CARE BUILDING, IN AN AREA OF POTENTIAL BOARDERS.
- INCLUDED WITH THE BUILDING ADDITION IS A REVISED PARKING LOT AND ACCESS DRIVE, NEW SEPTIC DISPOSAL SYSTEM AND STORMWATER MANAGEMENT FEATURES.
- CONTRACTORS SHALL TAKE NOTE THAT AS A CONTINUOUSLY OPERATING PET BOARDING FACILITY AND VETERINARY CLINIC, SPECIAL ATTENTION SHALL BE GIVEN TO ANY CONSTRUCTION ACTIVITY AND/OR INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES SO AS TO PROTECT THE SAFE ACCESS ROUTES FOR THE GENERAL PUBLIC TO THESE LOCATIONS.

C. SITE DESCRIPTION

- THE SITE COVERS THREE SEPARATE PARCELS UNDER THE SAME OWNERSHIP. THESE PARCELS HAVE BEEN PREVIOUSLY IMPROVED WITH BUILDINGS, PARKING AREAS AND UNDERGROUND UTILITIES.
- SOILS LOCATED IN THE FRONT PORTION OF THE SITE TEND TO BE SILT LOAMS WITH A "D" HYDROLOGIC CLASSIFICATION. SOIL NEAR THE REAR PROPERTY LINE ARE MORE GRAVELLY AND HAVE AN "A" CLASSIFICATION.

D. RESPONSIBILITY AND IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN.

- THE OPERATOR IS THE PERMITTEE PURSUANT TO THE NEW YORK STATE SPDES PERMIT COVERING THE WORK. THE CONTRACTOR, AS THE PERMITTEE FOR THE WORK, IS THE OPERATOR OF ANY EROSION CONTROL PRACTICE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, OR AS DIRECTED.
- UPON COMPLETION OF THE WORK AND ACCEPTANCE OF THE STORMWATER POLLUTION PREVENTION SYSTEM CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, THE TOWN OF NEWBURGH WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF SAID SYSTEM IN ACCORDANCE WITH THE CONDITIONS OF SAID "SPDES" PERMIT.

E. CONSTRUCTION SEQUENCE

- INSTALL SILT FENCE, STRAW BALE DIKES AND OTHER EROSION CONTROL FEATURES AROUND PERIMETER OF AREAS TO BE DISTURBED. INSTALL CONSTRUCTION BARRIAGE FENCE AROUND TREE TO BE SAVED AND TO SEPARATE CONSTRUCTION AREA FROM AREAS USING THE EXISTING FACILITIES.
- PROVIDE SOLID WASTE CONTAINERS (e.g. DUMPSTERS, TRASH BINS, GARBAGE CANS) FOR DISPOSAL OF MATERIALS FROM CONSTRUCTION, TRASH AND GARBAGE.
- REMOVE SILT FENCE, STRAW BALE DIKES, STABILIZED CONSTRUCTION ENTRANCES AND OTHER TEMPORARY EROSION CONTROL FEATURES WHEN PERMANENT VEGETATIVE COVER HAS ESTABLISHED ON EXPOSED EARTH SURFACES, AND RISK OF SOIL EROSION IS LOW.

F. POLLUTION PREVENTION MEASURES

- THE CONTRACTOR SHALL PROVIDE DUST CONTROL, AS REQUIRED, ON A REGULAR BASIS TO ELIMINATE THE MIGRATION OF AIRBORNE SOIL PARTICLES. DUST CONTROL IS TO BE ACHIEVED BY SPRINKLING WITH WATER.
- THE CONTRACTOR SHALL PROVIDE LITTER CONTROL WITH THE USE OF COVERED TRASH RECEPTACLES AND THE REGULAR USE OF WASTE PAPERS, WRAPERS, CONTAINERS, PACKAGING AND SIMILAR TRASH GENERATED BY THE WORK AND WORKERS.
- ALL OILS, GREASE, SOLVENTS AND OTHER FLUIDS NECESSARY FOR THE MAINTENANCE AND OPERATION OF EQUIPMENT USED FOR THE WORK ARE TO BE HANDLED PROPERLY, CONTAINED AND COLLECTED FOR USE OR DISPOSAL AT THE APPROPRIATE RECYCLING CENTER OR COLLECTION SITE.
- DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS PERMITTED.

G. CONSTRUCTION WASTE MATERIAL

- DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS (SEE E (5) ABOVE) AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS PERMITTED.

H. STRUCTURAL AND VEGETATIVE MEASURES FOR SOIL STABILIZATION, RUNOFF CONTROL AND SEDIMENT CONTROL

- TEMPORARY CONTROLS
 - DURING CLEARING OPERATIONS, WOOD CHIPS FROM GROUND UP BRANCHES AND SMALL TREES MAY BE SPREAD OVER HAIL ROADS TO MINIMIZE SOIL EROSION.
 - INSTALL SEDIMENT BARRIER (SILT) FENCE PRIOR TO ANY EXCAVATION WORK (INCLUDING STUMP REMOVAL).
 - INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE PRIOR TO CONSTRUCTION TRAFFIC ENTERING AND LEAVING SITE.
 - CONSTRUCT TEMPORARY DIVERSION SWALES AT ANY POINT WHERE SURFACE WATER CAN BE DIRECTED AWAY FROM DISTURBED SURFACES. IF A SURFACE WATER ROUTE CROSSES A DISTURBED AREA, PROVIDE A RIP-RAP CHANNEL, AS SOON AS POSSIBLE AFTER THE CONSTRUCTION HAS PROCEEDED BEYOND THE DISTURBED AREA.
 - PICK UP TRASH AND LIGHTWEIGHT RUBBISH THAT MAY BE SWEEP AWAY BY WIND.
 - FILL OR GRADE VEHICLE TRACKS TO AVOID EROSION.
- PERMANENT CONTROLS
 - SEED AND MULCH EXPOSED EARTH AREAS TO ESTABLISH PERMANENT VEGETATIVE COVER AS SOON AS PRACTICAL AFTER FINAL GRADING. MULCH SHALL FOLLOW SEEDING BY NO MORE THAN 24 HOURS.
- TEMPORARY CONTROLS THAT ARE TO BE CONVERTED TO PERMANENT STORMWATER MANAGEMENT FACILITIES
 - RIIP-RAP OUTLET PROTECTION AND STONE LINED SWALES USED FOR SEDIMENT CONTROL SHALL BE RETAINED AS PERMANENT.
- IMPLEMENTATION SCHEDULE OF EROSION AND SEDIMENT CONTROLS
 - SEDIMENT BARRIER (SILT) FENCE SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
 - STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO HEAVY TRUCK TRAFFIC ENTERING OR LEAVING THE SITE.
 - TEMPORARY DIVERSION SWALES SHALL BE INSTALLED AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.
 - STRAW BALE DIKES SHALL BE PLACED WHERE NEEDED IN CONJUNCTION WITH TEMPORARY SWALES AND WATER BARS, AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.
 - DUST CONTROL SHALL BE CONDUCTED DURING DRY WEATHER AS NEEDED OR DIRECTED.

5. MAINTENANCE SCHEDULE FOR EROSION AND SEDIMENT CONTROLS

- SEDIMENT BARRIER (SILT) FENCE: MAINTAIN PER DETAIL.
- STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRAFFIC FROM TRACKING SEDIMENT ONTO PUBLIC ROADWAYS. INSPECT AFTER EACH RAIN AND PERIODICALLY REDRESS THE TOP AGGREGATE TO MAINTAIN EFFECTIVENESS.
- STRAW BALE DIKES REQUIRE FREQUENT INSPECTION AFTER EACH RAIN, AND SHALL BE REMOVED AND REPLACED WHEN THEY HAVE SERVED THEIR USEFULNESS.
- TEMPORARY SWALES SHALL BE INSPECTED AFTER EACH RAIN. REPAIR ANY EROSION DAMAGE AND REMOVE ANY ACCUMULATION OF SEDIMENT IN SWALE OR IN OUTLET AREA TO RESTORE OPERATION.

I. DRAINAGE CHARACTERISTICS AND CONTROL

- THE WORK AREA IS TRIBUTARY TO THE STATE HIGHWAY AND/OR THE UNNAMED STREAM CROSSING THE SITE ON THE NORTHERLY SIDE.
- DISTURBED, UNPROTECTED SOILS WILL TEND TO MIGRATE WITH RUNOFF WATER AND RISK CONTAMINATING SAID UNNAMED STREAM, MAINTAINING COVER OVER THESE BARE SOILS SIGNIFICANTLY REDUCES THIS UNDESIRABLE MIGRATION.
- SURFACE RUNOFF WATER THAT IS RELATIVELY CLEAN AND SEDIMENT FREE AND SHALL BE DIVERTED FROM THE WORK WHENEVER POSSIBLE.

II FOR CONSTRUCTION ACTIVITIES WITH WATER QUALITY & WATER QUANTITY CONTROLS

A. POST CONSTRUCTION STORMWATER CONTROLS:

POST CONSTRUCTION STORMWATER CONTROLS INCLUDE THE MAINTENANCE OF THE PROPOSED RAIN GARDENS, STONE INFILTRATION TRENCH AND STORMWATER POND. REFER TO THE GREEN INFRASTRUCTURE PLAN AND DETAILS FOR THE LOCATIONS AND CONSTRUCTION OF THESE STORMWATER CONTROLS.

B. DRAINAGE REPORT (SEE SEPARATE DOCUMENTS):

REFER TO SEPARATE REPORTS HEREBY MADE PART OF THIS SWPPP PLAN.

C. MAINTENANCE SCHEDULE FOR POST-CONSTRUCTION STORM WATER CONTROL PRACTICES:

STORMWATER CONTROL DEVICES INCLUDING CATCH BASINS AND PONDS SHALL BE MAINTAINED WHEN SEDIMENT ACCUMULATION REACH 1/2 THE DESIGN DEPTH OF THE STRUCTURE. REMOVED SEDIMENT SHALL BE DEPOSITED IN SUCH A LOCATION AND MANNER THAT IT WILL NOT ERODE.

D. SITE ASSESSMENT AND INSPECTIONS:

- THE OPERATOR SHALL HAVE A QUALIFIED PROFESSIONAL CONDUCT AN ASSESSMENT OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND CERTIFY IN AN INSPECTION REPORT THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROLS DESCRIBED IN (C), THE SWPPP OF THIS PERMIT HAVE BEEN ADEQUATELY INSTALLED OR IMPLEMENTED TO INSURE OVERALL PREPAREDNESS OF THE SITE FOR THE COMMENCEMENT OF CONSTRUCTION. FOLLOWING THE COMMENCEMENT OF CONSTRUCTION, SITE INSPECTIONS SHALL BE CONDUCTED BY THE QUALIFIED PROFESSIONAL AT LEAST EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. DURING EACH INSPECTION, THE QUALIFIED PROFESSIONAL SHALL RECORD THE FOLLOWING INFORMATION:
 - ON A SITE MAP, INDICATE THE EXTENT OF ALL DISTURBED SITE AREAS AND DRAINAGE PATHWAYS. INDICATE SITE AREAS THAT ARE EXPECTED TO UNDERGO INITIAL DISTURBANCE OR SIGNIFICANT SITE WORK WITHIN THE NEXT 14-DAY PERIOD.
 - INDICATE ON A SITE MAP ALL AREAS OF THE SITE THAT HAVE UNDERGONE TEMPORARY OR PERMANENT STABILIZATION.
 - INDICATE ALL DISTURBED SITE AREAS THAT HAVE NOT UNDERGONE ACTIVE SITE WORK DURING THE PREVIOUS 14-DAY PERIOD.
 - INSPECT ALL SEDIMENT CONTROL PRACTICES AND RECORD THE APPROXIMATE DEGREE OF SEDIMENT ACCUMULATION AS A PERCENTAGE OF THE SEDIMENT STORAGE VOLUME (FOR EXAMPLE, 10 PERCENT, 20 PERCENT, 50 PERCENT).
 - INSPECT ALL EROSION AND SEDIMENT CONTROL PRACTICES AND RECORD ALL MAINTENANCE REQUIREMENTS SUCH AS VERIFYING THE INTEGRITY OF BARRIER OR DIVERSION SYSTEMS (EARTHEN BERMS OR SILT FENCING) AND CONTAINMENT SYSTEMS (SEDIMENT BASINS AND SEDIMENT TRAPS).
 - IDENTIFY ANY EVIDENCE OF RILL OR GULLY EROSION OCCURRING ON SLOPES AND ANY LOSS OF STABILIZING VEGETATION OR SEEDING/MULCHING. HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE DESIGN CAPACITY.
 - DOCUMENT ANY EXCESSIVE DEPOSITION OF SEDIMENT OR PONDING WATER ALONG BARRIER OR DIVERSION SYSTEMS.
 - RECORD THE DEPTH OF SEDIMENT WITHIN CONTAINMENT STRUCTURES, ANY EROSION NEAR OUTLET AND OVERFLOW STRUCTURES, AND VERIFY THE ABILITY OF ROCK FILTERS AROUND PERFORATED RISER PIPES TO PASS WATER.
- ALL DEFICIENCIES THAT ARE IDENTIFIED WITH THE IMPLEMENTATION OF THE SWPPP.
- THE OPERATOR SHALL MAINTAIN A RECORD OF ALL INSPECTION REPORTS IN A SITE LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY UPON REQUEST. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION (C) THE OPERATOR SHALL CERTIFY IN THE SITE LOG BOOK THAT THE SWPPP, PREPARED IN ACCORDANCE WITH THIS PERMIT, MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. THE OPERATOR SHALL POST, AT THE SITE, IN A PUBLICLY-ACCESSIBLE LOCATION, A SUMMARY OF THE SITE INSPECTION ACTIVITIES ON A MONTHLY BASIS.
- PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT) OR THE END OF PERMIT TERM, THE OPERATOR SHALL HAVE THE QUALIFIED PROFESSIONAL PERFORM A FINAL SITE INSPECTION. THE QUALIFIED PROFESSIONAL SHALL CERTIFY THAT THE SITE HAS UNDERGONE FINAL STABILIZATION (C) USING EITHER VEGETATIVE OR STRUCTURAL STABILIZATION METHODS AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROLS EROSION CONTROL HAVE BEEN REMOVED (SUCH AS SILT FENCING) NOT NEEDED FOR LONG-TERM YIELD.
- THE OPERATOR SHALL CERTIFY THAT THE REQUIREMENTS OF THIS PERMIT HAVE BEEN SATISFIED WITHIN 48 HOURS OF ACTUALLY MEETING SUCH REQUIREMENTS.

E. STABILIZATION (C)

- THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE SOIL DISTURBANCE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY STABILIZATION MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) SET FORTH IN THE TECHNICAL STANDARD, TO PREVENT SOIL FROM ERODING.
- FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A STEM DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

F. MAINTENANCE

- SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENT PONDS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE DESIGN CAPACITY.

IV RECORDS, REPORTING & RETENTION OF RECORDS

A. RECORD RETENTION - THE OWNER OR OPERATOR SHALL RETAIN A COPY OF THE NOI AND ACKNOWLEDGMENT LETTER, SWPPP, MS4 SWPPP, AND ALL INSPECTION REPORTS THAT WERE PREPARED IN CONJUNCTION WITH THIS PERMIT FOR A PERIOD OF AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE ACHIEVES FINAL STABILIZATION. THIS PERIOD MAY BE EXTENDED BY THE DEPARTMENT, IN ITS SOLE DISCRETION, AT ANY TIME UPON WRITTEN NOTIFICATION.

B. ADDRESSES - WITH THE EXCEPTION OF THE NOI, NOT, AND MS4 SWPPP ACCEPTANCE FORM (WHICH MUST BE SUBMITTED TO THE ADDRESS REFERENCED IN PART II.A.1), ALL WRITTEN CORRESPONDENCE REQUESTED BY THE DEPARTMENT, INCLUDING PERMIT APPLICATIONS, SHALL BE SENT TO THE ADDRESS OF THE APPROPRIATE DEPARTMENT REGIONAL OFFICE LISTED:

NYS DEPT. OF ENVIRONMENTAL CONSERVATION
DIVISION OF ENVIRONMENTAL PROTECTION
31 SOUTH PLAZA CORNER ROAD
NEW PLAZA, NY 12561-1696
TOWN OF WALLKILL
99 TOWER DRIVE BUILDING A
MIDDLETOWN, NY 10941

VII STANDARD PERMIT CONDITIONS

(DEPARTMENT:NYS DEPT. OF ENVIRONMENTAL CONSERVATION)

- DUTY TO COMPLY** - THE OPERATOR MUST COMPLY WITH ALL CONDITIONS OF THIS PERMIT. CONTRACTORS AND SUBCONTRACTORS ASSOCIATED WITH THE PROJECT MUST COMPLY WITH THE TERMS OF THE SWPPP. ANY PERMIT NONCOMPLIANCE CONSTITUTES A VIOLATION OF THE CLEAN WATER ACT (CWA) AND THE ENVIRONMENTAL CONSERVATION ACT AND IS GROUNDS FOR AN ENFORCEMENT ACTION AGAINST THE OWNER OR OPERATOR AND/OR THE CONTRACTOR/SUBCONTRACTOR. PERMIT REVOCATION OR MODIFICATION, OR DENIAL OF A PERMIT RENEWAL APPLICATION, INCLUDING THE ASSESSMENT AND EVALUATION OF THE INFORMATION SUBMITTED, IS AN APPLICABLE SWPPP, THE DEPARTMENT MAY ORDER AN IMMEDIATE STOP TO ALL CONSTRUCTION AT THE SITE UNTIL THE NONCOMPLIANCE IS REMEDIED. THE STOP WORK ORDER SHALL BE EXTENDED TO ALL AREAS WHERE THE NONCOMPLIANCE IN DETAIL AND SHALL BE SENT TO THE OWNER OR OPERATOR OR THE OWNER'S OR OPERATOR'S ON-SITE REPRESENTATIVE.
- CONTINUATION OF THE EXPIRED GENERAL PERMIT** - THIS PERMIT EXPIRES TWO (2) YEARS FROM EFFECTIVE DATE. HOWEVER, COVERAGE MAY BE OBTAINED UNDER THE EXPIRED GENERAL PERMIT, WHICH WILL CONTINUE IN FORCE AND EFFECT, UNTIL A NEW GENERAL PERMIT IS ISSUED. AFTER ISSUANCE OF A NEW GENERAL PERMIT, THOSE WITH COVERAGE UNDER GP-0-10-001 WILL HAVE SIX (6) MONTHS FROM THE EFFECTIVE DATE OF THE NEW GENERAL PERMIT TO COMPLETE THEIR PROJECT OR OBTAIN COVERAGE UNDER THE NEW PERMIT, UNLESS OTHERWISE NOTIFIED BY THE DEPARTMENT IN WRITING. AN OWNER OPERATOR AUTHORIZATION UNDER THE NEW GENERAL PERMIT MUST SUBMIT A NEW NOI (NOTICE OF INTENT) IN ACCORDANCE WITH THE TERMS OF SUCH NEW GENERAL PERMIT.
- ENFORCEMENT** - FAILURE BY THE OWNER OR OPERATOR, ITS CONTRACTORS, SUBCONTRACTORS, AGENTS AND/OR ASSIGNS TO STRICTLY ADHERE TO ANY OF THE PERMIT REQUIREMENTS CONTAINED HEREIN SHALL CONSTITUTE A PERMIT VIOLATION. THERE ARE SUBSTANTIAL CRIMINAL, CIVIL AND ADMINISTRATIVE PENALTIES ASSOCIATED WITH VIOLATING THE PROVISIONS OF THIS PERMIT. FINES OF UP TO \$37,500 PER DAY FOR EACH VIOLATION AND IMPRISONMENT FOR UP TO FIFTEEN (15) YEARS MAY BE ASSESSED DEPENDING UPON THE NATURE AND DEGREE OF THE OFFENSE.
- NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE** - IT SHALL NOT BE A DEFENSE FOR AN OWNER OR OPERATOR IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE CONSTRUCTION ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT.
- DUTY TO MITIGATE** - THE OWNER OR OPERATOR AND ITS CONTRACTORS AND SUBCONTRACTORS SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE SITE. THE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
- DUTY TO PROVIDE INFORMATION** - THE OWNER OR OPERATOR SHALL MAKE AVAILABLE TO THE DEPARTMENT FOR INSPECTION AND COPYING OF RECORDS REQUESTED FOR INSPECTION. INFORMATION FOR SUCH INFORMATION, ANY INFORMATION REQUESTED FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS GENERAL PERMIT, THIS CAN INCLUDE, BUT IS NOT LIMITED TO, THE NOI, NOI ACKNOWLEDGMENT LETTER, MS4 SWPPP ACCEPTANCE FORM, EXECUTED MAINTENANCE AGREEMENT, INSPECTION REPORTS, FAILURE TO ACKNOWLEDGMENT LETTERS REQUESTED BY THE DEPARTMENT SHALL BE A VIOLATION OF THIS PERMIT.
- OTHER INFORMATION** - WHEN THE OWNER OR OPERATOR BECOMES AWARE THAT THEY FAILED TO SUBMIT ANY RELEVANT FACTS, OR SUBMITTED INCORRECT INFORMATION IN THE NOI OR NOI ACKNOWLEDGMENT LETTER, OR HAVE MADE SUBSTANTIVE REVISIONS TO THE SWPPP (E.G. THE SCOPE OF THE PROJECT CHANGED, OR THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES CHANGE), THE OPERATOR SHALL PROMPTLY SUBMIT SUCH FACTS OF INFORMATION TO THE DEPARTMENT. FAILURE TO CORRECT OR SUPPLEMENT ANY RELEVANT FACTS WITHIN FIVE (5) BUSINESS DAYS OF BECOMING AWARE OF THE DEFICIENCY SHALL CONSTITUTE A PERMIT VIOLATION.

II. SIGNATORY REQUIREMENTS:

- ALL NOIS AND NOTS SHALL BE SIGNED AS FOLLOWS:
 - FOR A CORPORATION THESE FORMS SHALL BE SIGNED BY A RESPONSIBLE CORPORATE OFFICER FOR THE PURPOSE OF THIS SECTION. A RESPONSIBLE CORPORATE OFFICER MEANS:
 - A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF BUSINESS FUNCTIONS, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION;
 - THE MANAGER OF ONE OR MORE MANUFACTURING, PRODUCTION OR OPERATING FACILITIES, PROVIDED THE MANAGER IS AUTHORIZED TO MAKE MANAGEMENT DECISIONS WHICH GOVERN THE OPERATION OF SUCH FACILITY INCLUDING, BUT NOT LIMITED TO, THE AUTHORITY TO ACCEPT OR REFUSE CONTRACTS AND TO SIGN DOCUMENTS IN CONNECTION WITH OTHER COMPREHENSIVE MEASURES TO ASSURE LONG TERM ENVIRONMENTAL COMPLIANCE WITH ENVIRONMENTAL LAWS AND REGULATIONS; THE ANY DISCRETION TO MAKE SUCH DECISIONS; THAT IT IS NECESSARY TO ESTABLISHED OR ACTIONS TAKEN TO GATHER COMPLETE AND ACCURATE INFORMATION FOR PERMIT APPLICATION REQUIREMENTS; AND WHERE AUTHORITY TO SIGN DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE PROCEDURES;
 - FOR A PARTNERSHIP OR SOLE PROPRIETORSHIP THESE FORMS SHALL BE SIGNED BY A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY; OR
 - FOR A MUNICIPALITY, STATE, FEDERAL, OR OTHER PUBLIC AGENCY THESE FORMS SHALL BE SIGNED BY EITHER A PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL FOR PURPOSES OF THIS SECTION, A PRINCIPAL EXECUTIVE OFFICER OF A FEDERAL AGENCY INCLUDES:
 - THE CHIEF EXECUTIVE OFFICER OF THE AGENCY, OR (PART VII.H.1.C)
 - A SENIOR EXECUTIVE OFFICER HAVING RESPONSIBILITY FOR THE OVERALL OPERATIONS OF A PRINCIPAL GEOGRAPHIC UNIT OF THE AGENCY (E.G., REGIONAL ADMINISTRATORS OF EPA).
- THE SWPPP AND OTHER INFORMATION REQUESTED BY THE DEPARTMENT SHALL BE SIGNED BY A PERSON DESCRIBED IN PART VII.H.1, OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. A PERSON IS A DULY AUTHORIZED REPRESENTATIVE ONLY IF:
 - THE AUTHORIZATION IS MADE IN WRITING BY A PERSON DESCRIBED ABOVE
 - THE AUTHORIZATION SPECIFIES EITHER AN INDIVIDUAL OR A POSITION HAVING RESPONSIBILITY FOR THE OVERALL OPERATION OF THE REGULATED FACILITY OR ACTIVITY, SUCH AS THE POSITION OF PLANT MANAGER, OPERATOR OF A WELL OR A WELL FIELD, SUPERINTENDENT, POSITION OF EQUIVALENT RESPONSIBILITY, OR AN INDIVIDUAL POSITION HAVING OVERALL RESPONSIBILITY FOR ENVIRONMENTAL MATTERS FOR THE COMPANY. (A DULY AUTHORIZED REPRESENTATIVE MAY THIS BE EITHER A NAMED INDIVIDUAL OR ANY INDIVIDUAL OCCUPYING A NAMED POSITION) AND,
 - THE WRITTEN AUTHORIZATION SHALL INCLUDE THE NAME, TITLE AND SIGNATURE OF THE AUTHORIZED REPRESENTATIVE AND BE ATTACHED TO THE PERMIT.
- ALL INSPECTION REPORTS SHALL BE SIGNED BY THE QUALIFIED INSPECTOR THAT PERFORMS THE INSPECTION.
- THE MS4 SWPPP ACCEPTANCE FORM SHALL BE SIGNED BY THE PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL OF THE REGULATED, TRADITIONAL LAND USE CONTROL, MS4, OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. IT SHALL CONSTITUTE A PERMIT VIOLATION IF AN OWNER AND/OR IMPROPER SIGNATORY AUTHORIZES ANY REQUIRED FORMS, SWPPP AND/OR INSPECTION REPORTS.

L. PROPERTY RIGHTS - THE ISSUANCE OF THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR ANY EXCLUSIVE PRIVILEGE, NOR DOES IT AUTHORIZE ANY INJURY TO PRIVATE PROPERTY NOR ANY INVASION OF PERSONAL RIGHTS, NOR ANY INFRINGEMENT OF FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS. OWNERS OR OPERATORS OF SUCH PROPERTY ARE APPLICABLE CONVEYANCES, EASEMENTS, LICENSES AND/OR ACCESS TO REAL PROPERTY PRIOR TO COMMENCING CONSTRUCTION ACTIVITY.

J. SEVERABILITY - THE PROVISIONS OF THIS PERMIT ARE SEVERABLE, AND IF ANY PROVISION OF THIS PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT, OR THE CIRCUMSTANCE IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY.

K. DENIAL OF COVERAGE UNDER THIS PERMIT.

- AT ITS SOLE DISCRETION, THE DEPARTMENT MAY REQUIRE ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT TO APPLY FOR AND/OR OBTAIN EITHER AN INDIVIDUAL SPDES PERMIT OR ANOTHER SPDES GENERAL PERMIT. WHEN THE DEPARTMENT REQUIRES ANY DISCHARGER AUTHORIZED BY A GENERAL PERMIT TO APPLY FOR AN INDIVIDUAL SPDES PERMIT, IT SHALL NOTIFY THE DISCHARGER IN WRITING THAT A PERMIT APPLICATION IS REQUIRED. THIS NOTICE SHALL INCLUDE A BRIEF STATEMENT OF THE REASONS FOR THIS DECISION, AN APPLICATION FORM, A STATEMENT SETTING A TIME FRAME FOR THE OWNER OR OPERATOR TO FILE THE APPLICATION FOR AN INDIVIDUAL SPDES PERMIT, AND A DEADLINE, NOT SOONER THAN 180 DAYS FROM OWNER OR OPERATOR RECEIPT OF THE NOTIFICATION LETTER, WHEREBY THE AUTHORIZATION TO DISCHARGE UNDER THIS GENERAL PERMIT SHALL BE TERMINATED. APPLICATIONS MUST BE SUBMITTED TO THE APPROPRIATE REGIONAL OFFICE OF THE DEPARTMENT ADDITIONAL TIME UPON DEMONSTRATION, TO THE SATISFACTION OF THE REGIONAL WATER ENGINEER, THAT ADDITIONAL TIME TO APPLY FOR AN ALTERNATIVE AUTHORIZATION IS NECESSARY AND WHERE THE DEPARTMENT HAS NOT PROVIDED A PERMIT DETERMINATION IN ACCORDANCE WITH PART 621 OF THIS TITLE.
- ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT MAY REQUEST TO BE EXCLUDED FROM THE COVERAGE UNDER THIS PERMIT BY APPLYING FOR AN INDIVIDUAL PERMIT OR ANOTHER GENERAL PERMIT. IN SUCH CASES, THE OWNER OR OPERATOR SHALL SUBMIT AN INDIVIDUAL APPLICATION OR AN ALTERNATIVE GENERAL PERMIT APPLICATION IN ACCORDANCE WITH THE REQUIREMENTS OF THIS GENERAL PERMIT, 40 CFR 122.26(c)(1)(ii) AND 6 NYCRR PART 150.1 WITH REASONS SUPPORTING THE REQUEST. TO THE DEPARTMENT AT THE ADDRESS FOR THE APPROPRIATE DEPARTMENT OFFICE (SEE ADDRESSES IN APPENDIX F). THE REQUEST MAY BE GRANTED BY ISSUANCE OF AN INDIVIDUAL PERMIT OR ANOTHER GENERAL PERMIT AT THE DISCRETION OF THE DEPARTMENT.
- WHEN AN INDIVIDUAL SPDES PERMIT IS ISSUED TO A DISCHARGER AUTHORIZED TO DISCHARGE UNDER A GENERAL SPDES PERMIT FOR THE SAME DISCHARGE(S), THE GENERAL PERMIT AUTHORIZATION FOR OUTFALLS AUTHORIZED UNDER THE INDIVIDUAL SPDES PERMIT IS AUTOMATICALLY TERMINATED ON THE EFFECTIVE DATE OF THE INDIVIDUAL PERMIT UNLESS TERMINATION IS EARLIER IN ACCORDANCE WITH 6 NYCRR PART 750.

L. PROPER OPERATION AND MAINTENANCE - THE OWNER OR OPERATOR SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF SUCH DESIGN AND WHERE THE DEPARTMENT RELATED APPROVED WHICH ARE INSTALLED OR USED BY THE OWNER OR OPERATOR TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT AND WITH THE REQUIREMENTS OF THE SWPPP.

M. INSPECTION AND ENTRY - THE OWNER OR OPERATOR SHALL ALLOW THE REGIONAL WATER ENGINEER OR AUTHORIZED REPRESENTATIVE OF EPA, THE STATE OR, IN THE CASE OF A CONSTRUCTION SITE WHICH DISCHARGES THROUGH AN MS4, AN AUTHORIZED REPRESENTATIVE OF THE MS4 RECEIVING THE DISCHARGE, UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE REQUIRED BY LAW, TO: 29 (PART VII. M).

- ENTER UPON THE OWNER'S OR OPERATOR'S PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT;
- HAVE ACCESS TO AND COPY AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT; AND
- INSPECT AT REASONABLE TIMES ANY FACILITIES OR EQUIPMENT (INCLUDING MONITORING AND CONTROL EQUIPMENT).

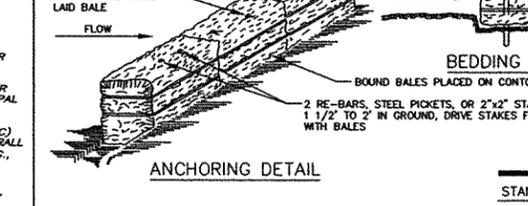
N. PERMIT ACTIONS - AT THE DEPARTMENT'S SOLE DISCRETION, THIS PERMIT MAY, AT ANY TIME, BE MODIFIED, SUSPENDED, REVOKED, OR RENEWED. THE FILING OF A REQUEST BY THE OWNER OR OPERATOR FOR A PERMIT MODIFICATION, REVOCATION AND RESURGANCE, TERMINATION, A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NONCOMPLIANCE DOES NOT LIMIT, DIMINISH AND/OR STAY COMPLIANCE WITH ANY TERMS OF THIS PERMIT.

O. DEFINITIONS - DEFINITIONS OF KEY TERMS ARE INCLUDED IN APPENDIX A OF THIS PERMIT.

P. RE-OPENER CLAUSE - THERE IS EVIDENCE INDICATING POTENTIAL OR REALIZED IMPACTS ON WATER QUALITY DUE TO STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT, THE OWNER OR OPERATOR OF SUCH DISCHARGE SHALL BE REQUIRED TO OBTAIN AN INDIVIDUAL PERMIT OR ALTERNATIVE GENERAL PERMIT IN ACCORDANCE WITH PART VII.K. OF THIS PERMIT OR THE PERMIT MAY BE MODIFIED TO INCLUDE DIFFERENT LIMITATIONS AND/OR REQUIREMENTS.

Q. PENALTIES FOR FALSIFICATION OF FORMS AND REPORTS - ARTICLE 17 OF THE ECL PROVIDES FOR A CIVIL PENALTY OF \$37,500 PER DAY PER VIOLATION OF THIS PERMIT, ARTICLES 175 AND 210 OF THE NEW YORK STATE PENAL LAW PROVIDE FOR A CRIMINAL PENALTY OF A FINE AND/OR IMPRISONMENT FOR FALSIFYING FORMS AND REPORTS REQUIRED BY THIS PERMIT.

R. OTHER PERMITS - NOTHING IN THIS PERMIT RELIEVES THE OWNER OR OPERATOR FROM A REQUIREMENT TO OBTAIN ANY OTHER PERMITS REQUIRED BY LAW.



CONSTRUCTION SPECIFICATIONS

- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES (4") AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN AT AN ANGLE TOWARDS THE PREVIOUS LAID BALE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DIKE DETAILS (ALT. SILT FENCE)

OWNER/OPERATORS CERTIFICATION (SEE PART I.D "RESPONSIBILITY")

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL, PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW."

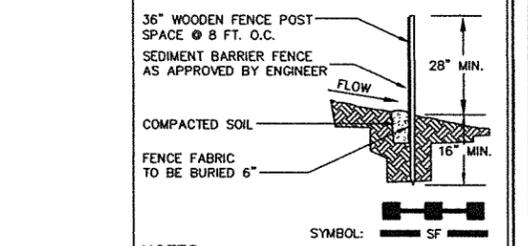
NAME (PRINT) _____ DATE _____
 TITLE _____
 ADDRESS _____
 TELEPHONE _____ EMAIL _____
 SIGNATURE _____

OWNER/OPERATORS CERTIFICATION (SEE PART I.D "RESPONSIBILITY")

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NAME (PRINT) _____ DATE _____
 TITLE _____
 ADDRESS _____
 TELEPHONE _____ EMAIL _____
 SIGNATURE _____

- FOOTNOTES:
- "COMMENCEMENT OF CONSTRUCTION" MEANS THE INITIAL REMOVAL OF VEGETATION AND DISTURBANCE OF SOILS ASSOCIATED WITH CLEARING, GRADING OR EXCAVATING ACTIVITIES OR OTHER CONSTRUCTION ACTIVITIES.
 - "FINAL STABILIZATION" MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER OF EIGHTY (80) PERCENT HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES SUCH AS THE USE OF MULCHES OR GEOTEXTILES HAVE BEEN EMPLOYED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES.
 - "STABILIZATION" MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIPRAP OR GABIONS).
 - "NOI" MEANS SOIL AND WATER CONSERVATION DISTRICT.
 - "SPDES" MEANS STATE POLLUTION DISCHARGE ELIMINATION SYSTEM.

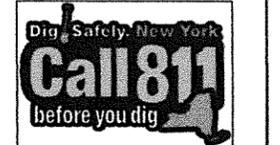


NOTES:

- SILT FENCE SHALL BE PREFABRICATED FENCE UNITS AS MANUFACTURED BY ENVROFORCE OR APPROVED EQUAL.
- SILT FENCE POSTS SHALL BE TWO INCH (2") SQUARE HARDWOOD POSTS, MIN. THREE FOOT (3') LONG, SPACED AT EIGHT FOOT (8') ON CENTER.
- WHEN TWO SECTIONS OF FENCE ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES (6") AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND ACCUMULATED SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE FENCE.

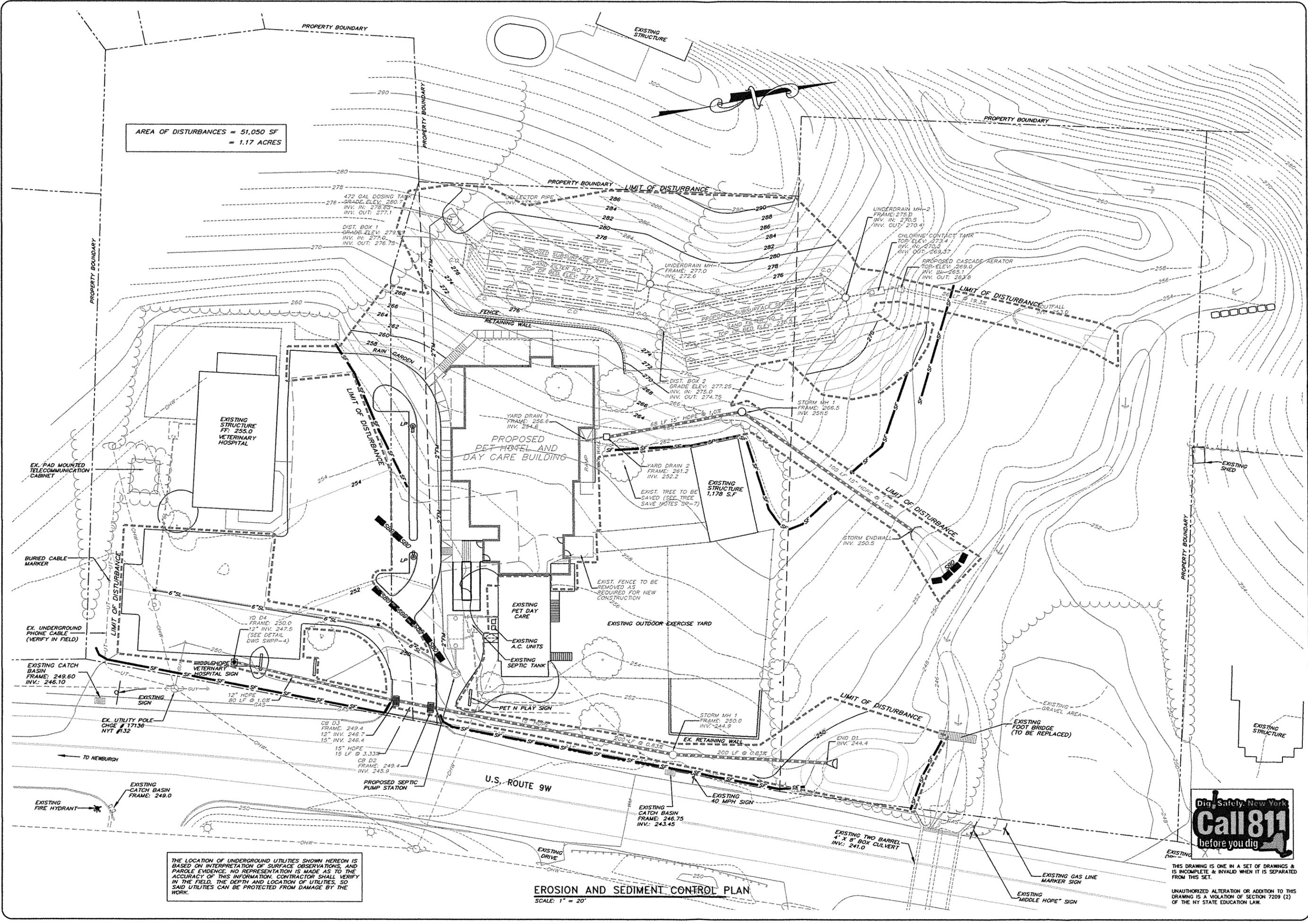
SILT FENCE

N.T.S.



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A



AREA OF DISTURBANCES = 51,050 SF
= 1.17 ACRES

THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS, AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD, THE DEPTH AND LOCATION OF UTILITIES, SO SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.

EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'



THIS DRAWING IS ONE IN A SET OF DRAWINGS & IS INCOMPLETE & INVALID WHEN IT IS SEPARATED FROM THIS SET.
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NO.	DATE	DESCRIPTION	BY

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2656 ROUTE 302, MIDDLETOWN, NY 10941
PHONE: (845) 361-5421 FAX: (845) 361-5229



PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE: SOIL EROSION AND SEDIMENT CONTROL PLAN
JOB: 12003.1
DATE: MARCH 21, 2017
SCALE: AS NOTED

DWG. SWPP-2
SHEET 10 OF 12

THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON INTERPRETATION OF SURFACE OBSERVATIONS AND PAROLE EVIDENCE. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL VERIFY IN THE FIELD THE DEPTH AND LOCATION OF UTILITIES. SAID UTILITIES CAN BE PROTECTED FROM DAMAGE BY THE WORK.

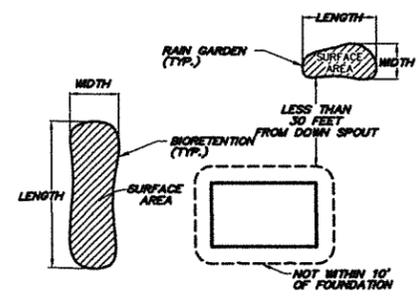


GREEN INFRASTRUCTURE LOCATION PLAN
SCALE: 1" = 80'

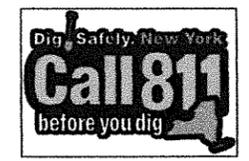
GENERAL NOTES

- GREEN INFRASTRUCTURE FEATURES SHOWN CAPTURE STORMWATER RUNOFF FROM IMPERVIOUS SURFACES NEARBY; AND PROVIDE A NATURAL MEANS OF TREATING THE RUNOFF AND REDUCING FLOW.
- GREEN INFRASTRUCTURE FEATURES ARE INTENDED TO MANAGE RELATIVELY CLEAN WATER, AND THEREBY SHALL ONLY BE CONSTRUCTED AFTER THE SITE SURFACES HAVE BEEN ESTABLISHED WITH THEIR RESPECTIVE FINISHED TREATMENT (EG: PAVEMENT, TURF, STONE)
- RAIN GARDENS REQUIRE WATER TO POND ON THEIR RESPECTIVE SURFACES, BUT SHALL BE CONSTRUCTED SUCH THAT EXCESSIVE RUNOFF CAN OVER FLOW AND SAFELY PASS WITHOUT DAMAGE TO SAID AREA.
- RAIN GARDENS AND INFILTRATION SWALES SHALL BE CONSTRUCTED WITH RELATIVELY FLAT SURFACE SLOPES (LEVEL IN ONE DIRECTION, NO MORE THAN 1/8" INCH PER FOOT IN THE DIRECTION OF FLOW)

LEGEND



TYPICAL GREEN INFRASTRUCTURE LAYOUT
N.T.S.



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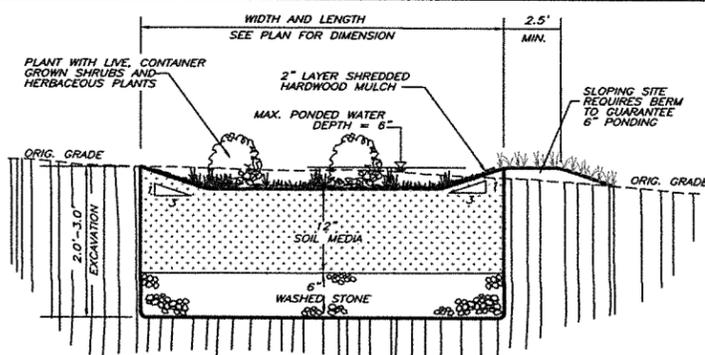
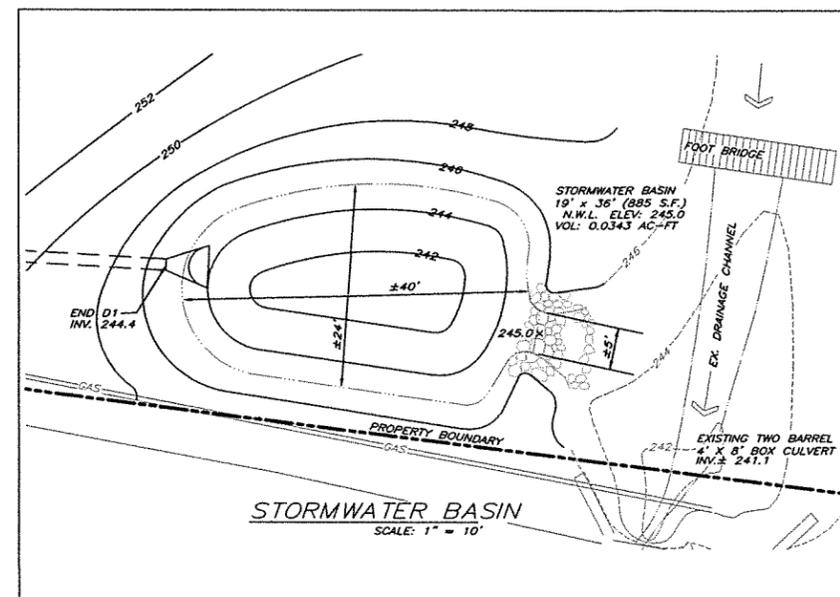
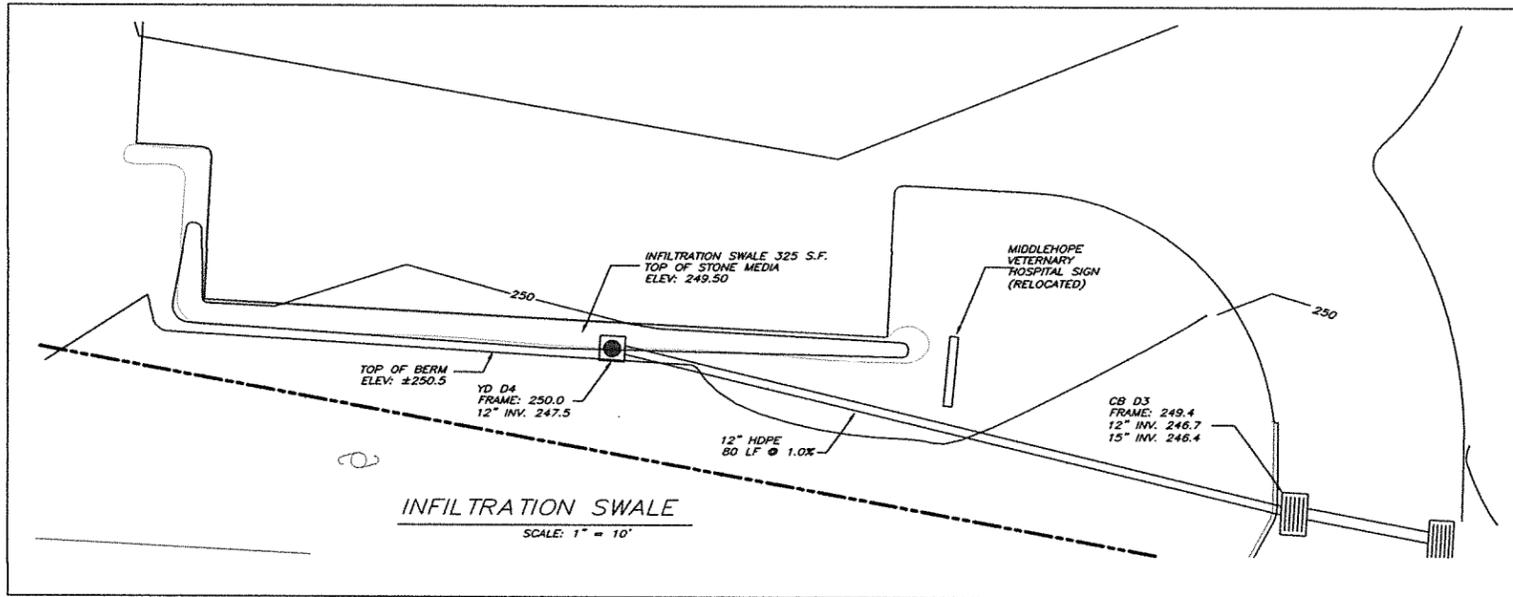
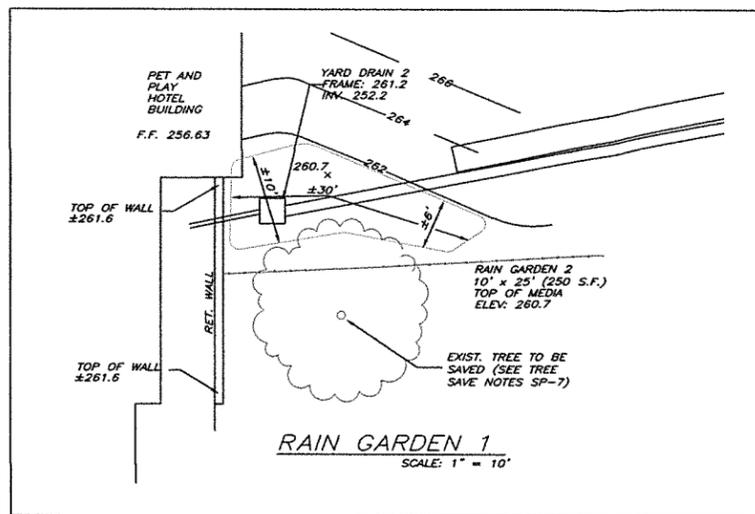
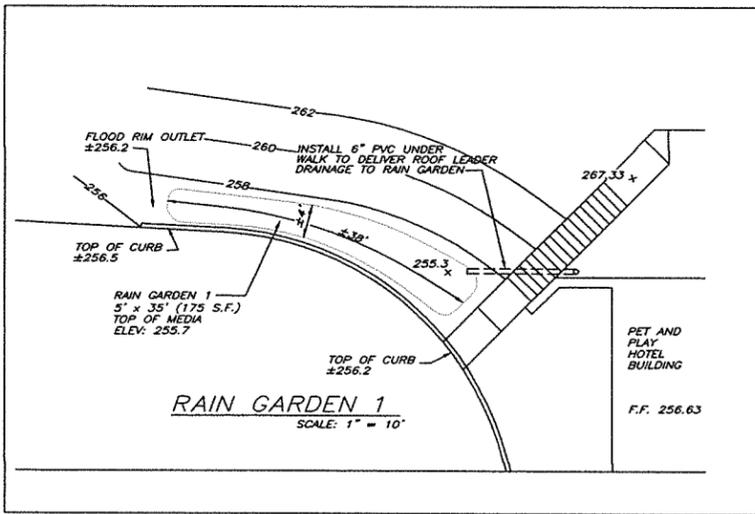
NO.	DATE	DESCRIPTION	BY

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
2808 ROUTE 302, MIDDLETOWN, NY 10841
PHONE: (914) 361-6432 FAX: (914) 361-8229

PROPOSED PET HOTEL AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE	GREEN INFRASTRUCTURE PLAN
JOB	12003.1
DATE	MARCH 21, 2017
SCALE	AS NOTED
DWG.	SWPP-3
SHEET	11 OF 12

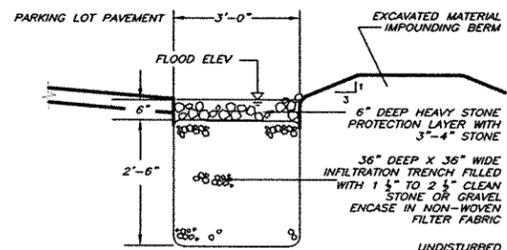


CONSTRUCTION NOTES:

- RAIN GARDEN IS TO BE CONSTRUCTED ONLY AFTER SURFACES THAT DRAIN TO IT ARE STABILIZED AND NOT SUBJECT TO EROSION. RUNOFF CONTAINING EXCESSIVE SEDIMENT SHOULD NOT BE DELIVERED TO THE RAIN GARDEN.
- EXCAVATE AREA DESIGNATED FOR THE RAIN GARDEN TO A DEPTH OF 2 FEET TO 3 FEET TO PROVIDE A LEVEL FLAT BOTTOM. SLOPING SITES REQUIRE CONSTRUCTION OF A BERM ON THE DOWNSLOPE EDGE TO PROVIDE 6 INCHES OF PONDING ON THE SURFACE.
- INSTALL 6 INCH LAYER OF CLEAN, WASHED GRAVEL (APPROX 1.5 INCH TO 2.0 INCH STONE). THIS PROJECT HAS WELL DRAINED SOIL, NO UNDERDRAIN IS PROPOSED.
- SOIL MEDIA BACKFILL SHALL BE A BLEND OF SAND (50%-70%) AND ORGANIC TOPSOIL (30%-50%). ORGANIC TOPSOIL SHALL CONTAIN 5% ORGANIC MATERIAL SUCH AS PEAT OR COMPOST, FREE OF STONES, ROOTS, WOODY DEBRIS AND ANIMAL WASTE.
- FINISHED SURFACE SHALL BE LEVEL OR GENTLY SLOPING (1/32" TO 1/16" PER FOOT). PLACE SMALL STONES AT INLET AND OVERFLOW POINTS TO
- RAPID ESTABLISHMENT OF NATIVE PLANT SPECIES IS THE ESSENCE OF A PROPERLY FUNCTIONING RAIN GARDEN. NEW PLANTINGS SHALL BE CONTAINER GROWN, AND PLACED AT 1 FOOT CENTERS OVER THE SURFACE AREA. SEEDS SHALL NOT BE USED. SEE SPECIFICATIONS FOR LIST OF ACCEPTABLE PLANTS.
- APPLY 2 INCH DEEP LAYER OF SHREDDED HARDWOOD MULCH OVER RAIN GARDEN SURFACE AFTER LIVE PLANTING IS COMPLETE TO MINIMIZE SOIL MIGRATION.

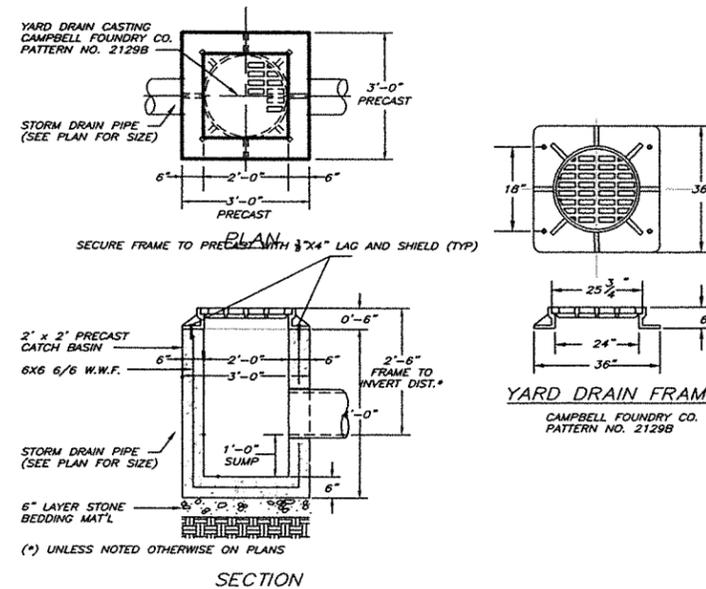
RAIN GARDEN CROSS-SECTION (TYPICAL)

N.T.S.



INFILTRATION TRENCH SECTION

SCALE: 1/2" = 1'-0"



YARD DRAIN

OVERFLOW STRUCTURE FOR INFILTRATION TRENCH

SCALE: 1/2" = 1'-0"

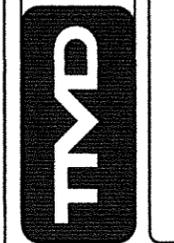


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PROPOSED PET HOTEL
AND DAY CARE FACILITY
NY STATE ROUTE 9W
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



TITLE
GREEN INFRASTRUCTURE DETAILS

JOB 12003.1
DATE MAY 5, 2017
SCALE NONE

DWG. **SWPP-4**

SHEET 12 OF 12

APPENDIX F

**SPDES INSPECTION FORMS
CONSTRUCTION ACTIVITIES**

APPENDIX G

NOI APPLICATION

APPENDIX H

NYSDEC RECEIPT OF NOI

**Insert
NYSDEC NOI Acknowledgment
when Received**

APPENDIX I

**COPY OF NYSDEC SPDES PERMIT FOR STORMWATER
DISCHARGE FROM CONSTRUCTION ACTIVITIES
PERMIT NO. GP-0-15-002**



Department of Environmental Conservation

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES

Form

CONSTRUCTION ACTIVITY

Permit No. P0000000

Issued Pursuant to Article 7 of Title 7 of the Environmental Conservation Law

Effective Date 9/00

Expiration Date 8/00

Modified Date

4/00 Corrected errors. Modified "N" Discharge A

Noted for 3/00 Updated references to New York State Standard Sedimentation and Settling Characteristics and for 00. The standard is revised as follows: 07.

Form Code: CPE Ad

Date 7/00

Address: NYS DEC, Department of Environmental Conservation, 615 Broadway, Albany, N.Y. 12242-3700

**NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES
FROM CONSTRUCTION ACTIVITIES**

Part I. PERMIT COVERAGE AND LIMITATIONS.....	0
A. Permit Area.....	0
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E. Erosion Control Techniques and Practices.....	9
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C. Construction Requirements for On-site or Off-site Work Permit Coverage.....	00
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E. Construction Owner or Operator.....	07
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B. Address.....	30
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F. Discharge Practices and Methods.....	30
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Part I. PERMIT COVERAGE AND LIMITATIONS

A. Permit Application

This permit covers discharges to surface waters of the State from the following construction activities described in 40 CFR Part 401.106(b)(1)(i)-(iii):

- 1. Construction activities that are part of a larger common plan of development or sale that includes routine maintenance activity that is not a separate project or construction project.
- 2. Construction activities that are part of a project that is subject to the National Pollutant Discharge Elimination System (NPDES) permit program and that are subject to water quality standards for pollutants in surface waters of the State.
- 3. Construction activities that are part of a project that is subject to the National Pollutant Discharge Elimination System (NPDES) permit program and that are subject to water quality standards for pollutants in surface waters of the State.

B. Effluent Limitations Applicable to Discharges from Construction Activities

Discharges from construction activities are subject to the effluent limitations applicable to discharges from construction activities under the National Pollutant Discharge Elimination System (NPDES) permit program.

- 1. The owner or operator of a construction project shall minimize the discharge of pollutants and shall comply with the water quality standards. The owner or operator shall also comply with the National Sanitation Standards for Effluent Discharge from Construction Activities and the National Sanitation Standards for Effluent Discharge from Construction Activities. The owner or operator shall also comply with the National Sanitation Standards for Effluent Discharge from Construction Activities and the National Sanitation Standards for Effluent Discharge from Construction Activities.

Part 8.00

discharges shall be controlled to meet the same or equivalent standards as the receiving water body.

Erosion and Sediment Controls. Discharges shall be controlled to minimize the discharge of pollutants and to meet applicable water quality standards. All discharges shall be controlled to meet the following requirements:

(i) Minimize erosion and sediment discharges to minimize pollutant discharges;

Control erosion discharges to minimize sediment discharge.

(iii) Minimize construction activity;

(iv) Minimize steep slopes;

Minimize discharges from the site.

(vi) Provide a sedimentation pond or other control measures to reduce pollutant discharges, where feasible;

Minimize erosion. Monitor erosion control measures to ensure they are effective and to prevent sediment discharges.

Unless infeasible, erosion control measures shall be installed and maintained throughout the construction period.

Soil Stabilization. If erosion control measures are not sufficient to prevent erosion, soil stabilization shall be implemented. For directly discharge to the 303(d) listed water body, A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZY, ZZ.

c. Dewatering. Discharges from dewatering operations shall be controlled to meet the same or equivalent standards as the receiving water body.

Perd.C.0.0.0

...rd... r... SMP.

... C... Pr... V... "C... Pr... 4 ... d... r... 4... r... T... C... r... d... r...

... Rd... C... r... r... r...

... T... discharges d... r... r... r...

... O... F... C... Cr... "R... r... 0... r... 4... discharge r... T... r... d... r...

... discharges d... r... r... r...

... A d... r... r... r...

... E... F... C... Cr... "R... r... 00... r... 4... discharge r... T... r... d... r...

... discharges d... r... r... r...

... A d... r... r... r...

b. Sizing Criteria for New Development in Enhanced Phosphorus Removal Watershed

... R... Rd... V... RR... Rd... W... V... W... RR... SMP... RR... T... W... r... r... 4... d... r... 4... r... d... r... S... 0.3... D... M...

... M... RR... Tr... R... T... W... Construction activities ... r... Perd I.C.0.0.0... r... site limitations ... r... r... impervious areas ... RR...

...rd SMP ... RR ... *infeasible*. The ... *site limitations* ... 00 ... W ... SWPPP. For ... *impervious area* ... RR ... SWPPP ... *infeasible*.

In no case shall the runoff reduction achieved from the newly constructed *impervious areas* be less than the Minimum RR as calculated using the criteria in Section 10.3 of the Design Manual. The ... W ... SMP.

... Pr ... V ... Pr ... 4 ... d ... 4 ... r ... T ... r ... d ...

... R ... C ... r ... r ... r ...

... T ... *discharges* d ... r ... r ...

... O ... F ... C ... Cr ... R ... C ... *discharge* r ... T ... r ...

... *discharges* d ... r ... r ...

... A d ... r ... r ... r ...

... E ... F ... C ... Cr ... R ... C ... *discharge* r ... T ... r ...

... *discharges* d ... r ... r ...

... A d ... r ... r ... r ...

c. Sizing Criteria for Redevelopment Activity

Prd.C.000

W... V... W... T... WQv ... redevelopment activity ... Redevelopment activities ... E... P... R... W... Pr... 0.3. A... C... S... 0.3 D... M... A... redevelopment activities ... WQv ... S... 4. D... M...

R... impervious cover ... impervious area. T... S... R... S... D... M... r...

C... W... d... impervious area ... SMP... WQv ... d... impervious area ... RR... SMP... RR...

3 C... 7... W... d... impervious area ... dd... r... d... S... 9.3 ... 9.4 D... M...

4 A... 3 above ... average ... A... d... S... 9.4 ... IV... D... M...

I... r... impervious area ... WQv ... r... d... S... 9.4 ... 4...

C... Pr... V... C... N... r... discharge r... r...

O... F... C... Cr... N... r... discharge r... r...

Permit

The Department shall determine whether a discharge is a discharge under the permit. The Department shall determine whether a discharge is a discharge under the permit. The Department shall determine whether a discharge is a discharge under the permit.

E. Eligibility Under This General Permit

- 1. This permit covers discharges from construction activity in surface waters of the State and groundwaters. Discharges from construction activities are eligible for coverage under this permit if they meet the following criteria:
 - 2. Eligible discharges are discharges from construction activities.
 - 3. Nonpoint runoff is eligible for coverage under this permit if it is a discharge from a construction activity. Nonpoint runoff is defined as runoff from a construction activity that is not a discharge from a construction activity. Nonpoint runoff is defined as runoff from a construction activity that is not a discharge from a construction activity. For more information regarding this permit, please contact the Department. For more information regarding this permit, please contact the Department.
 - 4. This permit covers discharges from construction activities. This permit covers discharges from construction activities. This permit covers discharges from construction activities.

F. Activities Which Are Ineligible for Coverage Under This General Permit

Activities which are not eligible for coverage under this permit are:

Part F.8.

Environmental Monitoring Act

d. Discharge

SHPA Section 4.09 NYS DEC

9. Discharges from construction activities... SPDES... construction activity... owner or operator

Part II. OBTAINING PERMIT COVERAGE

A. Notice of Intent (NOi) Submittal

A owner or operator construction activity... regulated, traditional land use control MS4... SWPPP... discharge... NOI... D... T... NO... P...VII.H.

NOTICE OF INTENT
NYS DEC, Bureau of Water Permits
625 Broadway, 4th Floor
Albany, New York 12233-3505

A owner or operator construction activity... regulated, traditional land use control MS4... SWPPP... regulated, traditional land use control MS4... NOI... "MS4 SWPPP Act"... P...VII.H... A owner or operator... NOI... NO... P...VII.H... P...A.

Part A.

The owner or operator of a SWPPP regulated and MS4 discharge owner or operator must submit a discharge permit application to the owner or operator of the regulated, traditional land use control MS4.

3. The owner or operator of a SWPPP regulated discharge "SWPPP Permittee" must submit a discharge permit application to the owner or operator of the regulated, traditional land use control MS4.
4. A discharge permit holder must submit a discharge permit application to the owner or operator of the regulated, traditional land use control MS4.

B. Permit Authorization

1. A owner or operator commence construction activity discharge permit holder.
2. A discharge permit holder owner or operator discharge permit holder.
3. The owner or operator of a SWPPP regulated discharge "SWPPP Permittee" must submit a discharge permit application to the owner or operator of the regulated, traditional land use control MS4.
4. A discharge permit holder must submit a discharge permit application to the owner or operator of the regulated, traditional land use control MS4.

Pr11.B.3)

□ *discharge* □ *construction activity* □
□

□ For *construction activities* □ *regulated, traditional land use control MS4:*

□ F □ *performance criteria* □ *construction activities* □ SWPPP □ *regulated* □ *MS4* □ *regulated, traditional land use control MS4:* □ *performance criteria* □ *construction activities* □ *regulated* □ *MS4* □ *regulated, traditional land use control MS4:*

□ S □ *performance criteria* □ *construction activities* □ SWPPP □ *regulated* □ *MS4* □ *regulated, traditional land use control MS4:* □ *performance criteria* □ *construction activities* □ *regulated* □ *MS4* □ *regulated, traditional land use control MS4:*

□ T □ *performance criteria* □ *construction activities* □ SWPPP □ *regulated* □ *MS4* □ *regulated, traditional land use control MS4:* □ *performance criteria* □ *construction activities* □ *regulated* □ *MS4* □ *regulated, traditional land use control MS4:*

□ For *construction activities* □ *regulated, traditional land use control MS4:*

□ F □ *MS4 SWPPP A* □

□ T □ *MS4 SWPPP A* □

4. T □ *owner's or operator's* □

Per11.B.4)

Each owner or operator of a D... SWPPP d...
...
SPDES ... NO...
Per11.

- Construction ... discharges ... owner or operator ... discharge ... Per11.B.

C. General Requirements For Owners or Operators With Permit Coverage

- The owner or operator ... SWPPP ... commencement of construction activity ... NOT ... Per11.V. ... SWPPP ... Per11.A.4.
- The owner or operator ... Per11.P.0 ... NOi Acknowledgment Letter, SWPPP MS4 SWPPP ... final stabilization ... NOT ...
- 3. The owner or operator ... construction activity ... regulated, traditional land use control MS4 ... owner or operator ... construction activity). A... owner or operator ...
- The owner or operator ...

Part III. STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

A. General SWPPP Requirements

1. A SWPPP must be prepared and in effect before any *owner or operator* commences *construction activity* required by this Ordinance. The SWPPP must describe the proposed construction activities to be performed and the measures to be taken to prevent stormwater runoff from the construction site. The SWPPP must be prepared in accordance with the requirements of Part I.C. of this Ordinance. The SWPPP must be prepared prior to the commencement of construction activity. A copy of the SWPPP must be submitted to the Department of Public Works for review and approval.
 2. The SWPPP must describe the measures to be taken to prevent stormwater runoff from the construction site. The SWPPP must describe the measures to be taken to prevent the discharge of pollutants from the construction site. The SWPPP must describe the measures to be taken to prevent the discharge of pollutants from the construction site.
 3. A SWPPP must be prepared by a *qualified professional* who is licensed to practice in the State of Florida. The SWPPP must be prepared by a *qualified professional* who is licensed to practice in the State of Florida.
 4. The *owner or operator* must submit a copy of the SWPPP to the Department of Public Works for review and approval. The *owner or operator* must submit a copy of the SWPPP to the Department of Public Works for review and approval. The *owner or operator* must submit a copy of the SWPPP to the Department of Public Works for review and approval.
1. The SWPPP must describe the measures to be taken to prevent stormwater runoff from the construction site.
 2. The SWPPP must describe the measures to be taken to prevent the discharge of pollutants from the construction site.
 3. The SWPPP must describe the measures to be taken to prevent the discharge of pollutants from the construction site.
 4. The SWPPP must describe the measures to be taken to prevent the discharge of pollutants from the construction site.

Prereq. 0.0.0.0.0.0

... sizing criteria ... D...

Id... sizing criteria ... Prd.C.

Id... performance criteria ... D... M... equivalent ... D... M...

d. S... r... d...

I... r... d...

A... d... d... T... r... d...

3. E... P... R... S... A... d... T... A... C... SWPPP ... performance criteria, E... P... R... S... A... SWPPP ...

C. Required SWPPP Components by Project Type

U... owners or operators ... construction activities ... Prereq. 0.0.0.0.0.0 ... Owners or operators ... construction activities ... Prereq. 0.0.0.0.0.0 ... 3 ...

Part IV. INSPECTION AND MAINTENANCE REQUIREMENTS

A. General Construction Site Inspection and Maintenance Requirements

- 1. The owner or operator shall ensure that the construction site is maintained in accordance with the SWPPP and Part IV.8. and C. of the permit.
- 2. The owner or operator shall ensure that the construction site is maintained in accordance with the SWPPP and Part IV.8. and C. of the permit.

B. Contractor Maintenance Inspection Requirements

- 1. The owner or operator shall ensure that construction activity is conducted in accordance with the SWPPP and Part IV.8. and C. of the permit.
- 2. For construction sites that require temporary stabilization, the trained contractor shall ensure that the site is maintained in accordance with the SWPPP and Part IV.8. and C. of the permit.
- 3. For construction sites that require final stabilization, the trained contractor shall ensure that the site is maintained in accordance with the SWPPP and Part IV.8. and C. of the permit.

C. Qualified Inspector Inspection Requirements

Part IV.C.4.

- Construction activities on the site shall be limited to the construction of the SWPPP and related structures.
- Construction activities shall be limited to the construction of the SWPPP and related structures.
- The permittee shall be responsible for the construction of the SWPPP and related structures.
- I. The permittee shall be responsible for the construction of the SWPPP and related structures. The *qualified inspector* shall be responsible for the construction of the SWPPP and related structures. The *qualified inspector* shall be responsible for the construction of the SWPPP and related structures. The *qualified inspector* shall be responsible for the construction of the SWPPP and related structures.
- Within the permit area, the permittee shall be responsible for the construction of the SWPPP and related structures. The *qualified inspector* shall be responsible for the construction of the SWPPP and related structures.
- A permittee shall be responsible for the construction of the SWPPP. The *qualified inspector* shall be responsible for the construction of the SWPPP.

Part V. TERMINATION OF PERMIT COVERAGE

A. Termination of Permit Coverage

- An *owner or operator* shall be responsible for the construction of the SWPPP and related structures. The *qualified inspector* shall be responsible for the construction of the SWPPP and related structures.

Per VII.N

N. Permit Actions

This permit may be suspended or terminated if the permittee fails to comply with the terms and conditions of the permit. The permittee shall be responsible for the cost of any suspension or termination of the permit. The permittee shall be responsible for the cost of any suspension or termination of the permit.

O. Definitions

Definitions shall be as set forth in Appendix A.

P. Re-Opener Clause

- 1. In the event that the permittee fails to comply with the terms and conditions of the permit, the permittee shall be responsible for the cost of any suspension or termination of the permit. The permittee shall be responsible for the cost of any suspension or termination of the permit.
- 2. Appendix A shall define the terms used in this permit. The permittee shall be responsible for the cost of any suspension or termination of the permit.

Q. Penalties for Falsification of Forms and Reports

In accordance with NYCRR Part 24.4 and 24.5, the permittee shall be responsible for the cost of any suspension or termination of the permit. The permittee shall be responsible for the cost of any suspension or termination of the permit.

R. Other Permits

Notwithstanding to whom this permit is issued, the permittee shall be responsible for the cost of any suspension or termination of the permit.

APPENDIX A

Definitions

Alter Hydrology from Pre to Post-Development Conditions means the change in hydrology from pre-development conditions to post-development conditions, including changes in peak flow, runoff volume, and timing of runoff.

Combined Sewer means a sewer that carries both sanitary sewage and stormwater.

Commence (Commencement of) Construction Activities means the initial disturbance of the ground surface for the purpose of construction activities, including clearing, grading, excavation, and foundation work.

Construction Activity(ies) means any clearing, grading, excavation, filling, demolition or other activity that disturbs the ground surface or involves the construction of a structure, including the installation of a stormwater management system.

Direct Discharge (to a specific surface waterbody) means that runoff flows from a site directly to a specific surface waterbody, such as a stream, river, or lake, without passing through a stormwater management system.

Discharge(s) means the release of stormwater from a site to a stormwater management system or to a surface waterbody.

Environmental Conservation Law (ECL) means the Environmental Conservation Law of the State of New York, Chapter 438 of the Laws of 1965, as amended.

Equivalent (Equivalence) means that a stormwater management system is designed to provide the same level of protection as a conventional stormwater management system.

Final Stabilization means that all soil disturbance activities have ceased and a uniform, vegetated surface has been established, with a minimum of 80 percent ground cover by vegetation.

the applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval.

General SPDES permit The applicant's SPDES permit shall comply with the NYCRR Part 201 of the State of New York's Environmental Conservation Law (ECL) and any applicable rules and regulations.

Groundwater(s) The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

Historic Property- The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

Impervious Area (Cover)- The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

Infeasible The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

Larger Common Plan of Development or Sale • The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

For detailed information regarding the permit process, please contact the appropriate regulatory agency. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

Minimize The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

Municipal Separate Storm Sewer (MS4) The applicant shall provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval. The applicant shall also provide a copy of the permit to the appropriate regulatory agency for review and approval.

determining what is

discharge or other discharge

- On or after the date of the State's discharge permit, the permittee shall comply with the permit conditions and shall not discharge any pollutant in violation of the permit conditions.
- Discharge of any pollutant from a combined sewer or POTW shall comply with the permit conditions.
- Wastewater from a combined sewer or POTW shall comply with the permit conditions.
- Wastewater from a POTW shall comply with the permit conditions.

National Pollutant Discharge Elimination System (NPDES) is a program under the Federal Water Pollution Control Act (Clean Water Act)

New Development is any new discharge of pollutants from a point source into navigable waters.

NOi Acknowledgment Letter is a letter from the permittee to the Department of Environmental Conservation (DEC) acknowledging the discharge of pollutants from a point source into navigable waters during construction activity.

Owner or Operator- is the person or entity that owns or operates a point source that discharges pollutants into navigable waters during construction activity.

Performance Criteria is the discharge limit for a pollutant from a "Required Effluent Limit" discharge point. The criteria are based on the National Sanitation Survey (NSS) and the National Sanitation Survey (NSS) Methodology Manual (NSM) published in 2001. The criteria are based on the Sanitary Criteria for Wastewater Treatment Plants (WTRP) published in 1971 by the P.R.C. and are as follows:

Pollutant is any substance that is discharged from a point source into navigable waters and that is listed in the National Sanitation Survey (NSS) Methodology Manual (NSM) published in 2001. The criteria are based on the Sanitary Criteria for Wastewater Treatment Plants (WTRP) published in 1971 by the P.R.C. and are as follows:

... of the ... or ... United States Department of Agriculture "USDA" ... Surface Waters of the State ...

Surface Waters of the State ...

Temporarily Ceased ...

Temporary Stabilization ...

Total Maximum Daily Loads (TMDL) ...

Trained Contractor ...

... of the ...

The *trained contractor* ...

Uniform Procedures Act (UPA) Permit- ...

APPENDIX C

Watersheds Where Enhanced Phosphorus Removal Standards Are Required

Watersheds where *owners or operators* of construction activities identified in Table 2 of Appendix B must prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the technical standard, New York State Stormwater Management Design Manual ("Design Manual").

- Eastern New York Coastal Watershed District and the Hudson River of the
- Onondaga Lake Watershed of the
- Syracuse and Lake Ontario Watershed of the
- Onondaga Lake Watershed of the
- Kayaker Lake Watershed of the

F r N Y C W r d E H d

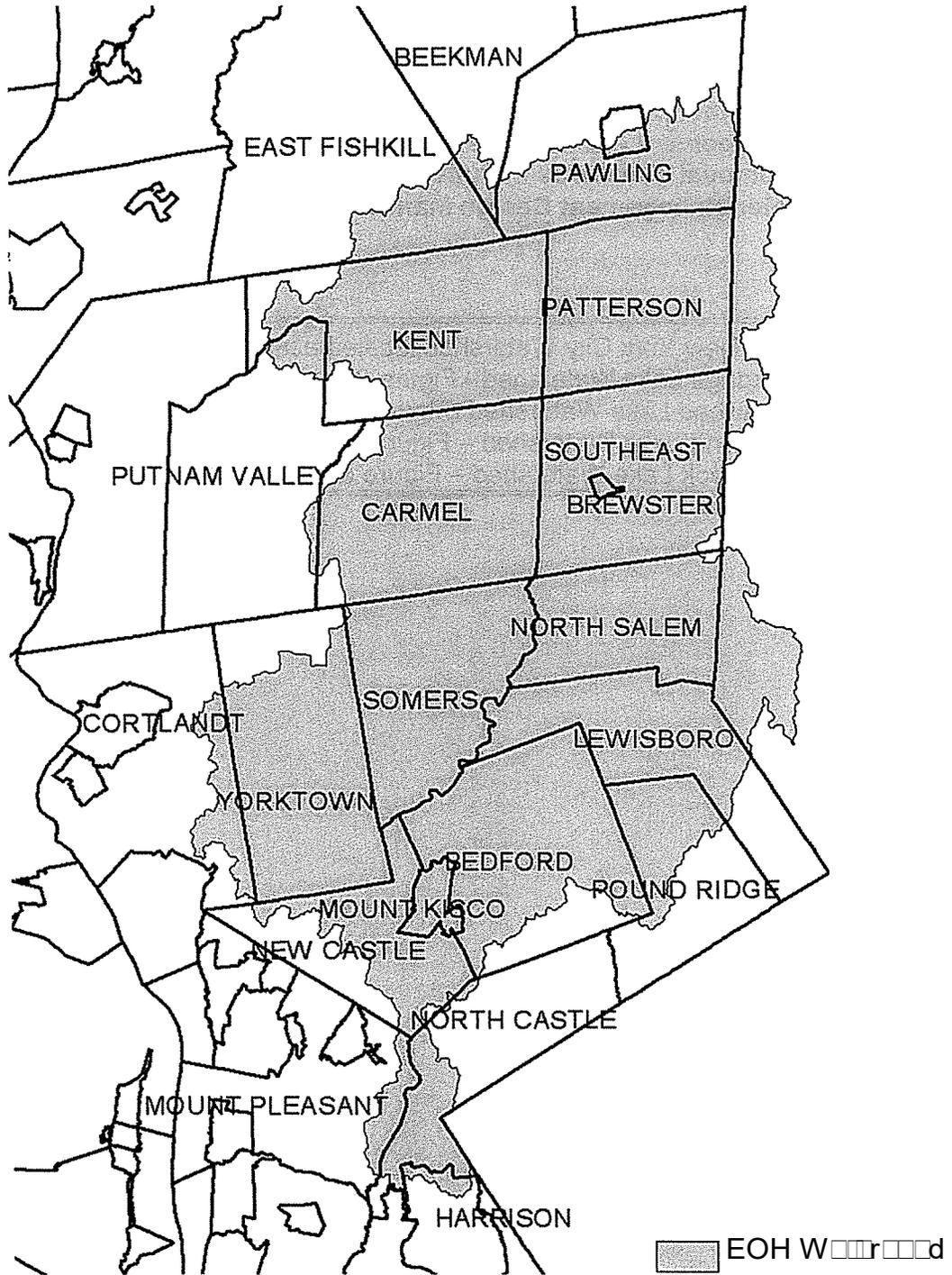


Figure 2 - Onondaga Lake Watershed

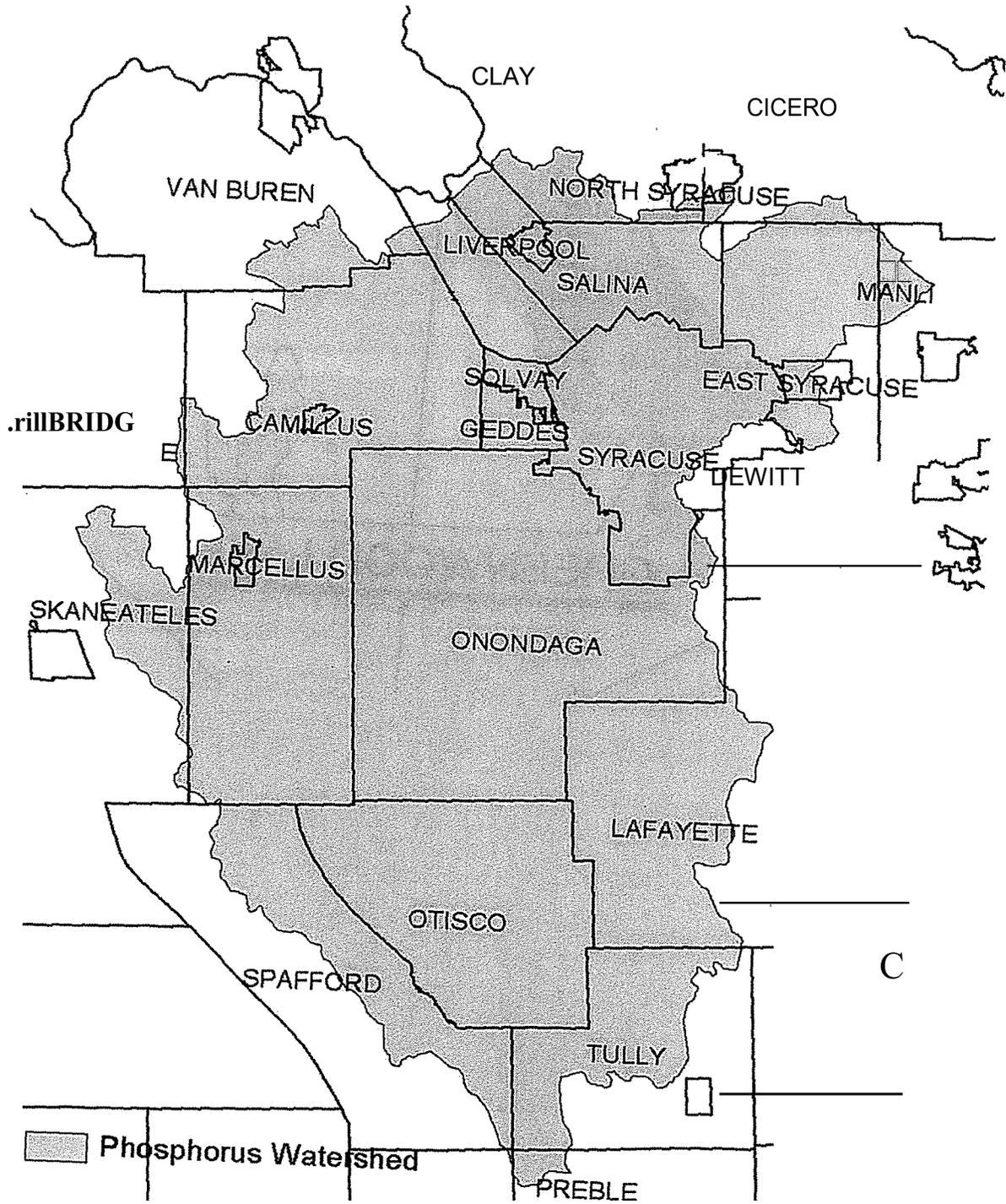


Figure 3 Greenwood Lake Watershed

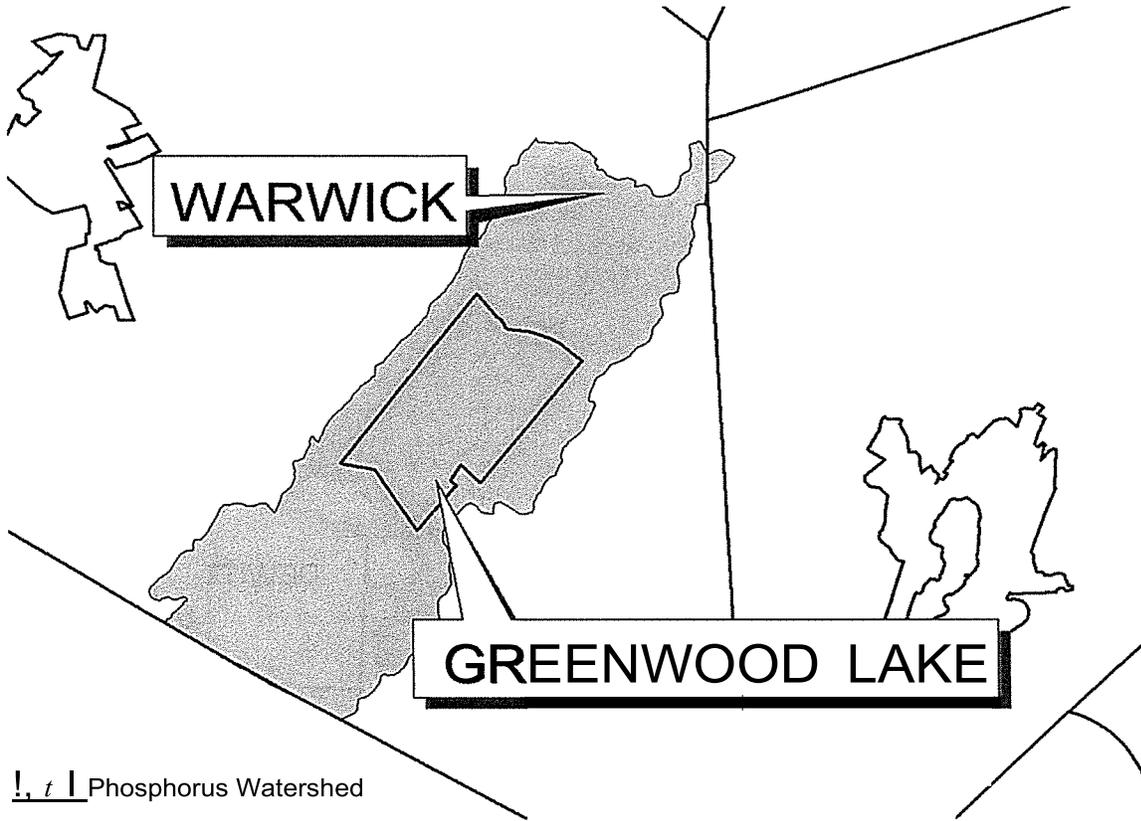


Figure 4 • Oscawana Lake Watershed

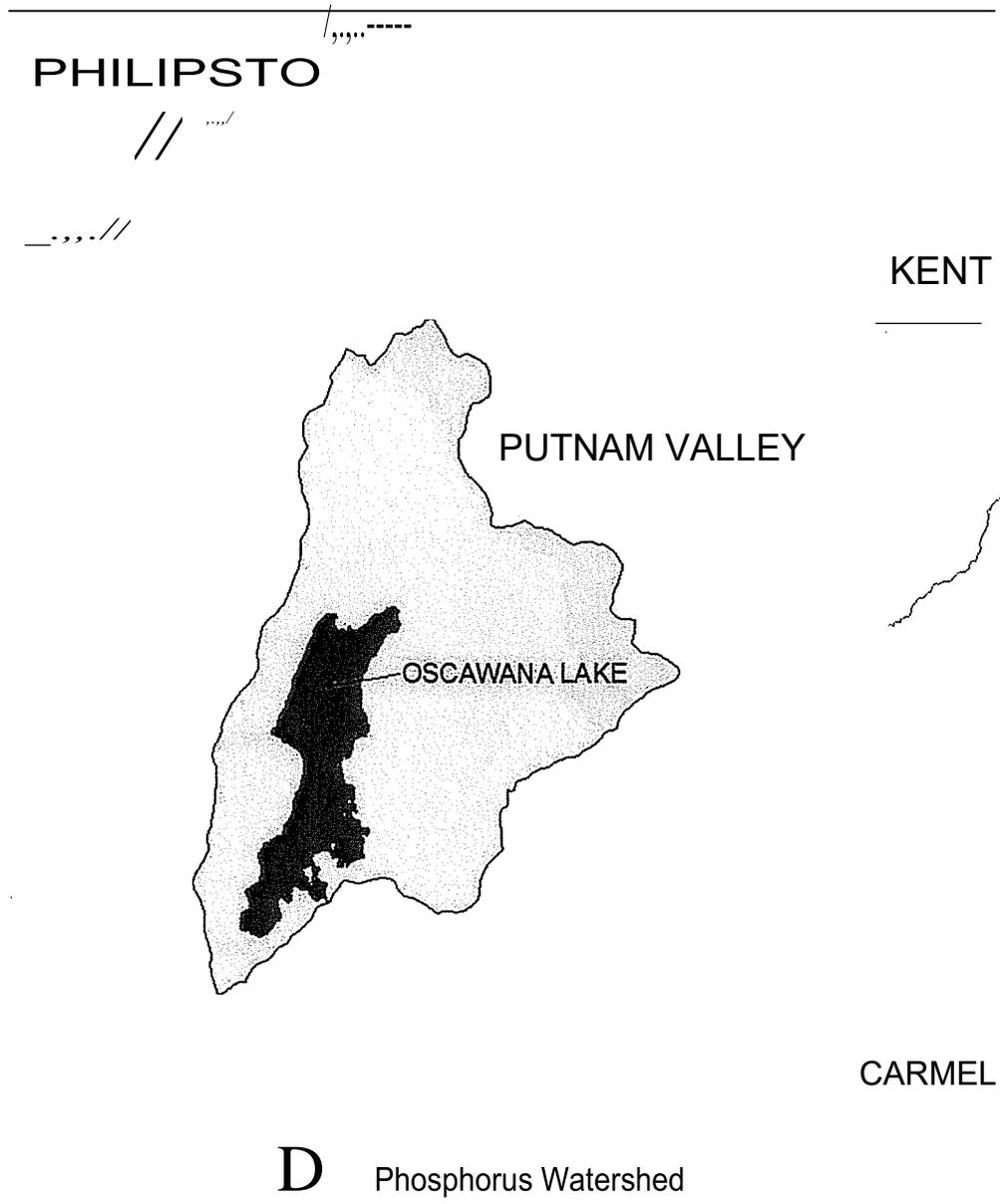
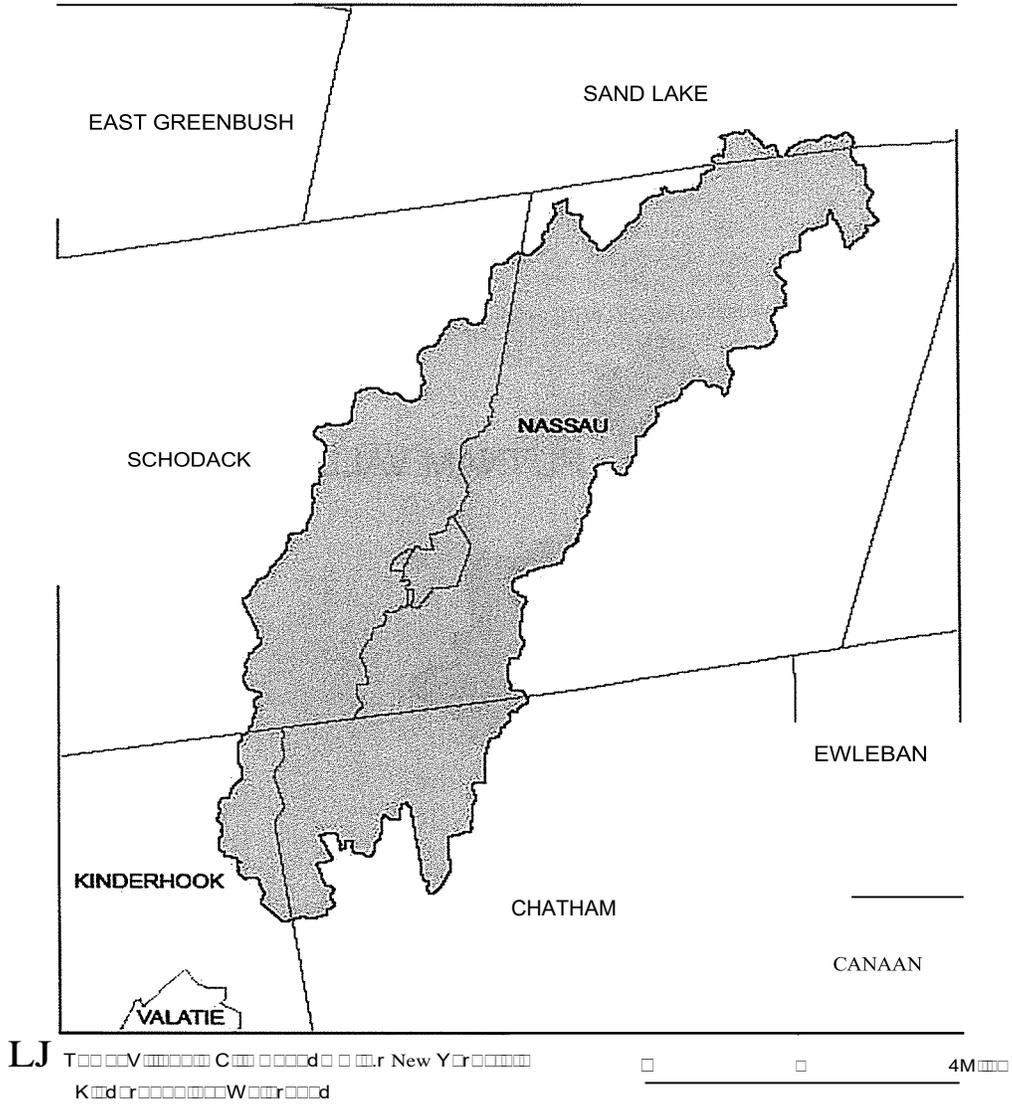


Figure 5: Kinderhook Lake Watershed



APPENDIX D

Watersheds where *owners or operators* of construction activities that involve soil disturbances between five thousand (5000) square feet and one (1) acre of land must obtain coverage under this permit.

Entire New York City Watershed that is located east of the Hudson River - See Figure 1 in Appendix C

APPENDIX F

LIST OF NYS DEC REGIONAL OFFICES

<u>REGION</u>	<u>COVERING THE FOLLOWING COUNTIES</u>	<u>DIVISION OF ENVIRONMENTAL PERMITS (DEP) PERMIT ADMINISTRATORS</u>	<u>DIVISION OF WATER (DOW) WATER {SPDES} PROGRAM</u>
1	NASSAU AND SUFFOLK	100 CIRCLE ROAD STONY BROOK NY 11790 TEL. 516 444 0300	100 CIRCLE ROAD STONY BROOK NY 11790 3409 TEL. 516 444 0400
2	BRONX KINGS NEW YORK QUEENS AND RICHMOND	HUNTERS POINT PLAZA 4740 44TH ST. LONG ISLAND CITY NY 11101 407 TEL. 718 481 4997	HUNTERS POINT PLAZA 4740 44TH ST. LONG ISLAND CITY NY 11101 407 TEL. 718 481 4933
3	DUTCHESS ORANGETE PUTNAM ROCKLAND SULLIVAN ULSTER AND WESTCHESTER	100 SOUTH PUTT CORNERS ROAD NEW PALTZ NY 12561 9 TEL. 845 255 3009	100 HILLSIDE AVENUE SUITE 10W WHITE PLAINS NY 10603 TEL. (914) 428 • 2505
4	ALBANY COLUMBIA DELAWARE GREENE MONTGOMERY OTSEGO RENSSELAER SCHENECTADY AND SCHOHARIE	1000 NORTH WESTCOTT ROAD SCHENECTADY NY 12305 004 TEL. 518 377 0009	1030 NORTH WESTCOTT ROAD SCHENECTADY NY 12305 004 TEL. 518 377 0040
5	CLINTON DELAWARE FRANKLIN FULTON HAMILTON SARATOGA WARREN AND WASHINGTON	1000 STATE ROUTE 8 RAY BROOK NY 12177 009 TEL. 518 897 0034	130 GOLF COURSE ROAD WARREN SARATOGA NY 12188 007 TEL. 518 333 0000
6	HERKIMER DEFFERSON LEWIS ONEIDA AND ST. LAWRENCE	STATE OFFICE BUILDING 307 WASHINGTON STREET WATERTOWN NY 13150 3787 TEL. 315 780 0004	STATE OFFICE BUILDING 107 PENNESEE STREET UTICA NY 13502 0088 TEL. 315 793 0004
7	ROOSELT CAYUGA CHENANGO CORTLAND MADISON, ONONDAGA, OSWEGOTO TIONA AND TOMPKINS	1000 ERIE BLVD. WEST SYRACUSE NY 13204 0400 TEL. 315 444 7438 ..	1000 ERIE BLVD. WEST SYRACUSE NY 13204 0400 TEL. 315 444 7000
8	CHEMUNGO PENNESEE LIVINGSTON, MONROE, ONTARIO ORLEANS SCHUYLER SENECA STEUBEN WAYNE AND YATES	1074 EAST AVON LIMA ROAD AVON NY 14449 009 TEL. 608 0000 0400	1074 EAST AVON LIMA RD. AVON NY 14449 009 TEL. 608 0000 0400
9	ALLEGANY CATTARAUGUS, CHAUTAUGUA ERIE NIAARA AND WYOMING	170 MICHIGAN AVENUE BUFFALO NY 14203 0999 TEL. 716 800 7000	170 MICHIGAN AVE. BUFFALO NY 14203 0999 TEL. 716 800 7070

APPENDIX J

**NOTICE OF TERMINATION FORM
(TO BE FINALIZED UPON COMPLETION OF THE PROJECT)**

APPENDIX K

**LONG TERM INSPECTION FORM FOR THE
BIO-RETENTION/RAIN GARDEN
OPERATION, MAINTENANCE AND MANAGEMENT
INSPECTION CHECKLIST**

Bio-Retention / Rain Garden Operation, Maintenance and Management Inspection Checklist

Project: Middlebrook Pond Hydrodynamic Design Facility

Location: 300 US Route 9 West, Northbrook

Site Status:

Date:

Time:

Inspector:

Maintenance Item	Satisfactory/Unsatisfactory	Comments
1. Debris Cleanout (Monthly)		
Remove debris from retention area and filter		
No debris from retention area		
Leakage from retention area		
2. Vegetation (Monthly)		
Plantings dead or dying		
Formed or unformed		
Plantings dead or dying		
No plantings dead or dying		
Grass mowed		
No dead grass		
3. Dewatering (Monthly)		
Dewatering system		
No dead grass		

Maintenance Item	Satisfactory/Unsatisfactory	Comments
4. Sediment Deposition (Annual)		
Sediment deposition in the inlet chamber		
Sediment deposition in the inlet chamber downstream of the inlet chamber		
5. Overflow Spillway (Annual, After Major Storms)		
Overflow spillway structure		
No sediment deposition		
No sediment deposition downstream		
6. Integrity of Filter Bed (Annual)		
Filter bed integrity check		
7. Inspection by Professional Engineer (Annual)		
Overall inspection by Professional Engineer (Satisfactory/Unsatisfactory) check		

Catchment area

Area of Trench

APPENDIX L

DRAFT

**STORMWATER CONTROL FACILITY MAINTENANCE
AGREEMENT**

STORMWATER CONTROL FACILITY
MAINTENANCE AGREEMENT
RANNE LLC
(AKA Middlehope Pet Hotel and Day Care Facility)
Job# 12003

Whereas, the Municipality of the Town of Newburgh (“Municipality”) and the RANNE LLC (Middlehope Pet Hotel and Day Care Facility) (“facility owner”) want to enter into an agreement to provide for the long term maintenance and continuation of stormwater control measures approved by the Municipality for the below named project, Proposed Pet Hotel and Day Care Facility.

Whereas, the Municipality and the facility owner desire that the stormwater control measures be built in accordance with the approved project plans and thereafter be maintained, cleaned, repaired, replaced and continued in perpetuity in order to ensure optimum performance of the components. Therefore, the Municipality and the facility owner agree as follows:

1. This agreement binds the Municipality and the facility owner, its successors and assigns, to the maintenance provisions depicted in the approved project plans which are attached as Schedule A of this agreement.
2. The facility owner shall maintain, clean, repair, replace and continue the stormwater control measures depicted in Schedule A as necessary to ensure optimum performance of the measures to design specifications. The stormwater control measures shall include, but shall not be limited to, the following: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices and reflection ponds.
3. The facility owner shall be responsible for all expenses related to the maintenance of the stormwater control measures and shall establish a means for the collection and distribution of expenses among parties for any commonly owned facilities.
4. The facility owner shall provide for the periodic inspection of the stormwater control measures, not less than once in every five year period, to determine the condition and integrity of the measures. Such inspection shall be performed by a Professional Engineer licensed by the State of New York. The inspecting engineer shall prepare and submit to the Municipality within 30 days of the inspection, a written report of the findings including recommendations for those actions necessary for the continuation of the stormwater control measures.
5. The facility owner shall not authorize, undertake or permit alteration, abandonment, modification or discontinuation of the stormwater control measures except in accordance with written approval of the Municipality.

6. The facility owner shall undertake necessary repairs and replacement of the stormwater control measures at the direction of the Municipality or in accordance with the recommendations of the inspecting engineer.

7. The facility owner shall provide to the Municipality within 30 days of the date of this agreement, a security for the maintenance and continuation of the stormwater control measures in the form of (a Bond, letter of credit or escrow amount).

8. This agreement shall be recorded in the Office of the County Clerk, County of Orange and shall be included in any offering plan and/or prospectus or lease. All rights, titles and privileges herein granted, including all benefits and burdens, shall run with the land and shall be binding upon and inure to the benefit of the parties hereto, their respective heirs, executors, administrators, successors, assigns and legal representatives

9. If ever the Municipality determines that the facility owner has failed to construct or maintain the stormwater control measures in accordance with the project plan or has failed to undertake corrective action specified by the Municipality or by the inspecting engineer, the Municipality is authorized to undertake such steps as reasonably necessary for the preservation, continuation or maintenance of the stormwater control measures and to affix the expenses thereof as a lien against the property.

10. In WITNESS WHEREOF, this agreement has been signed this _____ day of _____, 20____.

TOWN OF NEWBURGH

RANNE, LLC

By _____
Supervisor Gilbert J. Piaquadio

By _____
Richard Solomons, President

STATE OF NEW YORK)

) ss.:

COUNTY OF ORANGE)

On this day of _____, 20 , before me, the undersigned, a Notary Public in and for said State, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public – State of New York

STATE OF NEW YORK)

) ss.:

COUNTY OF ORANGE)

On this day of _____, 20 , before me, the undersigned, a Notary Public in and for said State, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her capacity, and that by his/her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public – State of New York