McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
PATRICK J. HINES

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS

PROJECT:	**PEAK SUMMIT SUBDIVISION**
PROJECT NO.:	**16-13**
PROJECT LOCATION:	**SECTION 17, BLOCK 1, LOT 40.2**
REVIEW DATE:	**23 AUGUST 2016**
MEETING DATE:	**1 SEPTEMBER 2016**
PROJECT REPRESENTATIVE:	**ZEN DESIGN**

1. Project proposes 3 lots on a common driveway. Approval from the Town Board for 3 lots accessing the shared driveway will be required.

2. Orange County Planning review and Orange County DPW approval are required as project accesses Fostertown Road/County Rt.86.

3. Septic design table identifies in ground systems while detail sheet contains what appears to be shallow absorbent trench systems. Shallow absorbent trench notes appear to conflict with elgen system details in some locations. An example being "field shall be 10 feet beyond edge of trenches before starting one on three" detail depicts 5 feet. Septic system should be coordinated between detail sheets, design notes, etc.

4. Lowest sewer elevations should be depicted on the plan sheets. Two of the lots have the sanitary sewer systems located behind and up gradient of the residential structures.

5. All adjoining wells should be depicted on the plans to assure adequate separation distances.

6. Limits of disturbance and calculated area of disturbance should be provided to determine if SWPPP is required.

7. Pipe size at county driveway crossing should be depicted.

8. Source of topography depicted on the plans should be identified in survey notes.

9. Common driveway access and maintenance agreement for that portion of the shared driveway is required to be submitted to Mike Donnelly's office for review and approval.

10. Check the 120 contour across proposed lot #3, there appears to be an added line.

11. Label separation distances between wells and septics, utilizing radius lines.

Respectfully submitted,

McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.

_____

Patrick J. Hines
Principal

PJH/kbw

ZEN Design Consultants, Inc.
6 OLD NORTH PLANK ROAD, SUITE 103
NEWBURGH, NEW YORK 12550
(845) 629-1567 (phone)
job# 15-035-KAL

PROJECT NARRATIVE

PROJECT:
Peak Summit Subdivision
Town Project **#2016-13**

PROPERTY LOCATION:
Fostertown Road

SBL:
17-1-40.2

ZONE:
R2 - Residential

ACRES:
3.58 +/- Acres

DESCRIPTION:

The submitted plan is a proposal for the subdivision of an existing property located along Fostertown Road, a county road, in the Town of Newburgh. The land is a gentle sloping parcel. We are proposing a (3) lot subdivision of this parcel. The new lots will be serviced by individual septic systems and private wells.

The newly created lots will have road frontage on Fostertown Road, a county road. I have met with the county highway department to choose the best location for the driveway access point. They prefer us to have a single driveway onto their road. We are proposing a common driveway for the three new lots. I have attached a letter from the county regarding their review of this proposed plan.

ORANGE COUNTY
DEPARTMENT OF PUBLIC WORKS

Christopher R. Viebrock, P.E.
Commissioner

P.O. Box 509, 2455-2459 Route 17M

Steven M. Neuhaus
County Executive

Goshen, New York 10924-0509
www.orangecountygov.com
TEL (845) 291-2750 **FAX (845) 291-2778**

August 5, 2016

Zen Design Consultants, Inc.
6 Old Plank Rd
Newburgh NY 12550
Attn: Ken Lytle

Re: Peak Summit Enterprises, Inc.- Three Lot Subdivision
County Route 86 – Fostertown Rd
Plans By: William Moreau.
Sheet Nos.: 1-4 dated: 7/30/16
Town of Newburgh, SBL: 17-1-40.2

Dear Mr. Lytle:

Orange County Department of Public Works: Highway Engineering can conceptually accept the location of the driveway entrances for the proposed common driveway.

We require a full set of site design plans, prepared in conformance with the Policy and Standards of the Orange County Department of Public Works, must be submitted to this department for review and approval under Section 239-f of the General Municipal Law and Section 136 of the Highway Law.

At the time a subdivision is submitted for review, we review all lots for conformance with the current Orange County Department of Public Works Policy and Standards.

If you have any questions, please contact this office at your earliest convenience.

Very Truly Yours,

Mike Carroll
Senior Engineer

Cc: John Ewas, Planning Board Chairman, Town of Newburgh Planning Board Via Email Planningboard@townofnewburgh.org

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: Peak Summit - 3 Lot Subdivision		
Project Location (describe, and attach a general location map): Fostertown Road, between Summit Ridge and New Road		
Brief Description of Proposed Action (include purpose or need): Subdivide this 3.58 acre parcel of land into (3) new residential building lots. Access to Fostertown Road, a county road, will be from a single point along said roadway.		
Name of Applicant/Sponsor: Peak Summit Enterprises, Inc.	Telephone: 845-629-1567 E-Mail: klytle@zendci.com	
Address: 6 Old North Plank Road		
City/PO: Newburgh	State: New York	Zip Code: 12550
Project Contact (if not same as sponsor; give name and title/role): Ken Lytle	Telephone: 845-629-1567 E-Mail: klytle@zendci.com	
Address: 6 Old North Plank Road		
City/PO: Newburgh	State: New York	Zip Code: 12550
Property Owner (if not same as sponsor):	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees ☑Yes ☐No	Town Board - 3 lot common driveway	
b. City, Town or Village Planning Board or Commission ☑Yes ☐No	Planning Board - Subdivision Approval	
c. City Council, Town or Village Zoning Board of Appeals ☐Yes ☑No		
d. Other local agencies ☐Yes ☑No		
e. County agencies ☑Yes ☐No	OCDPW - driveway entrance approval	
f. Regional agencies ☐Yes ☑No		
g. State agencies ☐Yes ☑No		
h. Federal agencies ☐Yes ☑No		

i. Coastal Resources.

i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? ☐Yes ☑No

ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? ☐Yes ☑No

iii. Is the project site within a Coastal Erosion Hazard Area? ☐Yes ☑No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐Yes ☑No

- **If Yes,** complete sections C, F and G.
- **If No,** proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐Yes ☑No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐Yes ☐No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐Yes ☑No

If Yes, identify the plan(s):

_____

_____

_____

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐Yes ☑No

If Yes, identify the plan(s):

_____

_____

_____

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☑ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R-2

b. Is the use permitted or allowed by a special or conditional use permit? ☑ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☑ No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?
Town of Newburgh Police

c. Which fire protection and emergency medical services serve the project site?
Cronomer Valley Fire Department

d. What parks serve the project site?
Cronomer Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.0 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☑ No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☑ Yes ☐ No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☑ No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum 40,000sf Maximum 73,874sf

e. Will proposed action be constructed in multiple phases? ☐ Yes ☑ No
i. If No, anticipated period of construction: 9 months
ii. If Yes:
- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? ☑ Yes ☐ No

If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	3	0	0	0
At completion of all phases	3	0	0	0

g. Does the proposed action include new non-residential construction (including expansions)? ☐ Yes ☑ No

If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? ☐ Yes ☑ No

If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: ☐ Ground water ☐ Surface water streams ☐ Other specify:

_____

iii. If other than water, identify the type of impounded/contained liquids and their source.

_____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

_____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) ☐ Yes ☑ No

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

_____

_____

iv. Will there be onsite dewatering or processing of excavated materials? ☐ Yes ☐ No

If yes, describe. _____

_____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? ☐ Yes ☐ No

ix. Summarize site reclamation goals and plan: _____

_____

_____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? ☐ Yes ☑ No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

_____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐Yes☐No
If Yes, describe:

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐Yes☐No
If Yes:

- acres of aquatic vegetation proposed to be removed:
- expected acreage of aquatic vegetation remaining after project completion:
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):
- proposed method of plant removal:
- if chemical/herbicide treatment will be used, specify product(s):

v. Describe any proposed reclamation/mitigation following disturbance:

c. Will the proposed action use, or create a new demand for water? ☑Yes☐No
If Yes:

i. Total anticipated water usage/demand per day: 1320 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐Yes☑No
If Yes:

- Name of district or service area:
- Does the existing public water supply have capacity to serve the proposal? ☐Yes☐No
- Is the project site in the existing district? ☐Yes☐No
- Is expansion of the district needed? ☐Yes☐No
- Do existing lines serve the project site? ☐Yes☐No

iii. Will line extension within an existing district be necessary to supply the project? ☐Yes☑No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project:
- Source(s) of supply for the district:

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐Yes☑No
If, Yes:

- Applicant/sponsor for new district:
- Date application submitted or anticipated:
- Proposed source(s) of supply for new district:

v. If a public water supply will not be used, describe plans to provide water supply for the project:
Individual Wells

vi. If water supply will be from wells (public or private), maximum pumping capacity: tbd gallons/minute.

d. Will the proposed action generate liquid wastes? ☐Yes☑No
If Yes:

i. Total anticipated liquid waste generation per day: gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐Yes☑No
If Yes:

- Name of wastewater treatment plant to be used:
- Name of district:
- Does the existing wastewater treatment plant have capacity to serve the project? ☐Yes☐No
- Is the project site in the existing district? ☐Yes☐No
- Is expansion of the district needed? ☐Yes☐No

- Do existing sewer lines serve the project site? ☐Yes ☐No
- Will line extension within an existing district be necessary to serve the project? ☐Yes ☐No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? ☐Yes ☑No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

Individual Septic System

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? ☐Yes ☑No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

_____ Square feet or _____ acres (impervious surface)

_____ Square feet or _____ acres (parcel size)

ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? ☐Yes ☐No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? ☐Yes ☐No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? ☐Yes ☑No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? ☐Yes ☑No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ☐Yes ☐No

ii. In addition to emissions as calculated in the application, the project will generate:

- _____Tons/year (short tons) of Carbon Dioxide (CO_2)
- _____Tons/year (short tons) of Nitrous Oxide (N_2O)
- _____Tons/year (short tons) of Perfluorocarbons (PFCs)
- _____Tons/year (short tons) of Sulfur Hexafluoride (SF_6)
- _____Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)
- _____Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐Yes ☑No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐Yes ☑No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐Yes ☑No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐Weekend ☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐Yes ☐No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐Yes ☐No

vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐Yes ☐No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐Yes ☐No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐Yes ☐No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐Yes ☐No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☐ Yes ☑ No

If yes:

i. Provide details including sources, time of day and duration:

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☐ No

Describe:

n.. Will the proposed action have outdoor lighting? ☐ Yes ☑ No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☐ Yes ☐ No

Describe:

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☑ No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☑ No

If Yes:

i. Product(s) to be stored

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities:

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☐ No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☐ No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction:
- Operation:

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction:
- Operation:

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☑ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☑ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☑ Residential (suburban) ☐ Rural (non-farm)
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	0.50	+0.50
• Forested	0	0	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	3.58	3.08	3.08
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____	0	0	0

c. Is the project site presently used by members of the community for public recreation? ☐Yes ☑No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐Yes ☑No
If Yes,
i. Identify Facilities:

_____
_____

e. Does the project site contain an existing dam? ☐Yes ☑No
If Yes:
i. Dimensions of the dam and impoundment:
- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

_____
_____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐Yes ☑No
If Yes:
i. Has the facility been formally closed? ☐Yes ☐ No
- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

_____
_____

iii. Describe any development constraints due to the prior solid waste activities: _____
_____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐Yes ☑No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

_____
_____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐Yes ☑ No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐Yes ☐No

☐ Yes – Spills Incidents database — Provide DEC ID number(s): _____
☐ Yes – Environmental Site Remediation database — Provide DEC ID number(s): _____
☐ Neither database

ii. If site has been subject of RCRA corrective activities, describe control measures: _____

_____
_____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐Yes ☑No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

_____
_____

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☐ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? tbd feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☑ No
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: tbd _____ %
_____ %
_____ %

d. What is the average depth to the water table on the project site? Average: tbd feet

e. Drainage status of project site soils: ☐ Well Drained: 85 % of site
☐ Moderately Well Drained: 15 % of site
☐ Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: ☑ 0-10%: 95 % of site
☑ 10-15%: 5 % of site
☐ 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☑ No
If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☐ Yes ☑ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☐ Yes ☑ No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☐ Yes ☑ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☑ No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐ Yes ☑ No

j. Is the project site in the 100 year Floodplain? ☐ Yes ☑ No

k. Is the project site in the 500 year Floodplain? ☐ Yes ☑ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☑ No
If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____

_____ _____ _____

_____ _____ _____

n. Does the project site contain a designated significant natural community? ☐Yes ☑No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): _____

ii. Source(s) of description or evaluation: _____

iii. Extent of community/habitat:

- Currently: _____ acres
- Following completion of project as proposed: _____ acres
- Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ☐Yes ☑No

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? ☐Yes ☑No

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ☐Yes ☑No

If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? ☐Yes ☑No

If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? ☐Yes ☑No

i. If Yes: acreage(s) on project site? _____

ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? ☐Yes ☑No

If Yes:

i. Nature of the natural landmark: ☐ Biological Community ☐ Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? ☐Yes ☑No

If Yes:

i. CEA name: _____

ii. Basis for designation: _____

iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? ☐ Yes ☑ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based:

_____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☐ Yes ☑ No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☑ No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☑ No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☑ No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

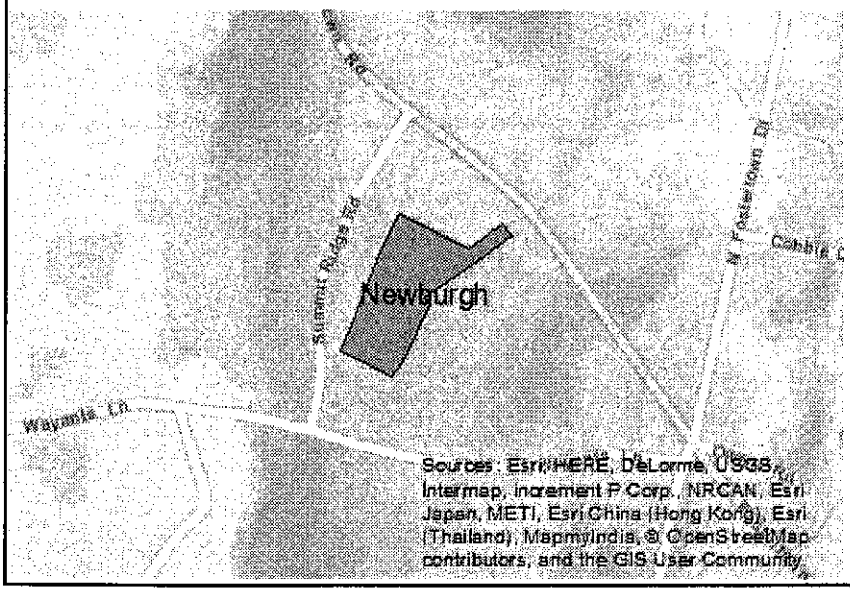
Applicant/Sponsor Name PENN SUMMIT Date 8/19/18

Signature _____ Title _____

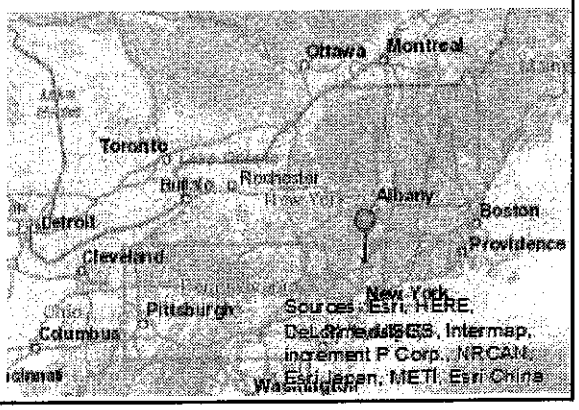
PRINT FORM

EAF Mapper Summary Report

Sunday, July 31, 2016 7:33 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No

E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

RECEIVED
AUG 22 2016

TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

DATE RECEIVED: _____ TOWN FILE NO: 2016-13
(Application fee returnable with this application)

1. ~~Title of Subdivision/Site Plan (Project name):~~ PENN SUMMIT ENTERPRISES SUBDIVISION

2. Owner of Lands to be reviewed:
   Name PENN SUMMIT ENTERPRISES
   Address 6020 NORTH PLANK ROAD
   NEWBURGH, N.Y. 12550
   Phone 845-629-1567

3. Applicant Information (If different than owner):
   Name SAME
   Address _____
   Representative KEN LYTLE
   Phone 845-629-1567
   Fax —
   Email KLYTLE@ZENDCI.com

4. Subdivision/Site Plan prepared by:
   Name ZEN DESIGN / WILLIAM S. MORAN, P.E.
   Address 6020 NORTH PLANK ROAD
   NEWBURGH, N.Y. 12550
   Phone/Fax 845-629-1567

5. Location of lands to be reviewed:
   ~~NORTH~~ POSTERTOWN ROAD

6. Zone R2 Fire District _____
   Acreage 3.58 School District NEWBURGH CITY

7. Tax Map: Section 17 Block 1 Lot 40.2

8. Project Description and Purpose of Review:
   Number of existing lots 1 Number of proposed lots 3
   Lot line change N/A
   Site plan review N/A
   Clearing and grading N/A
   Other N/A

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:
   (Describe generally) NONE

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature [signature] Title _____

Date: 8/18/16

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

PEAK SUMMIT SUBDIVISION
PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. ✓ Environmental Assessment Form As Required

2. ✓ Proxy Statement

3. ✓ Application Fees

4. ✓ Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. ✓ Name and address of applicant

2. ✓ Name and address of owner (if different from applicant)

3. ✓ Subdivision or Site Plan and Location

4. ✓ Tax Map Data (Section-Block-Lot)

5. ✓ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined

6. ✓ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot

7. ✓ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone

8. ✓ Date of plan preparation and/or plan revisions

9. ✓ Scale the plan is drawn to (Max 1" = 100')

10. ✓ North Arrow pointing generally up

11. ✓ Surveyor,s Certification

12. ✓ Surveyor's seal and signature

13. ✓ Name of adjoining owners

14. N/A Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements

15. N/A Flood plain boundaries

16. ✓ Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989

17. ✓ Metes and bounds of all lots

18. ✓ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street

19. ✓ Show existing or proposed easements (note restrictions)

20. ✓ Right-of-way width and Rights of Access and Utility Placement

21. ✓ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)

22. ✓ Lot area (in sq. ft. for each lot less than 2 acres)

23. ✓ Number of lots including residual lot

24. N/A Show any existing waterways

25. N/A A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable

26. ✓ Applicable note pertaining to owners review and concurrence with plat together with owner's signature

27. ✓ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.

28. ✓ Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided

29. ✓ Show topographical data with 2 or 5 ft. contours on initial submission

30. \ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number

31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed

32. N/A Number of acres to be cleared or timber harvested

33. N/A Estimated or known cubic yards of material to be excavated and removed from the site

34. N/A Estimated or known cubic yards of fill required

35. N/A The amount of grading expected or known to be required to bring the site to readiness

36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.

37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.

38. \ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: _____
Licensed Professional

Date: 8/19/16

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

STATEMENT TO APPLICANTS

RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW

The Town of Newburgh Clearing and Grading Control Law requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may by exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law. Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you many be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

TOWN OF NEWBURGH

APPLICATION FOR CLEARING AND GRADING

Name of applicant: PEAK SUMMIT ENTERPRISES

Name of owner on premises: KEN LYTLE

Address of owner: 6 OLD NORTH PLANK ROAD

Telephone number of owner: 845-629-1567

Telephone number of applicant: 845-629-1567

State whether applicant is owner, lessee, agent, architect, engineer or contractor:

Location of land on which proposed work will be done: FOSTERTOWN ROAD

Section: 17 Block: 1 Lot: 40.2 Sub. Div.: N/A

Zoning District of Property: R-2 Size of Lot: 3.59 ACRES

Area of lot to be cleared or graded: 0.5 ACRES

Proposed completion of date: TBD

Name of contractor/agent, if different than owner: KRL CONSTRUCTION INC.

Address: 6 OLD NORTH PLANK ROAD

Telephone number: 845-629-1567

Date of Planning Board Approval: TBD (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: [signature] Date: 8/19/16

Signature of applicant (if different than owner):

TOWN ACTION:

Examined: _____ 20 ____

Approved: _____ 20 ____

Disapproved: _____ 20 ____

FEE LAW SUMMARY

PENDING APPLICATIONS

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

(a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.

(b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

SEVERABILITY

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

EFFECTIVE DATE:

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

PENN SUMMIT ENTERPRISES
APPLICANT'S NAME (printed)

APPLICANTS SIGNATURE

8/18/16
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) _____, DEPOSES AND SAYS THAT HE/SHE

RESIDES AT _____

IN THE COUNTY OF _____

AND STATE OF _____

AND THAT HE/SHE IS THE OWNER IN FEE OF _____

_____

_____

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH PLANNING BOARD AND _____ IS AUTHORIZED TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: _____

_____
OWNERS SIGNATURE

_____

_____
OWNERS NAME (printed)

_____

_____

_____
WITNESS' SIGNATURE

NAMES OF ADDITIONAL REPRESENTATIVES

_____
WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

8/15/16
DATED

PEAK SUMMIT ENTERPRISES
APPLICANT'S NAME (printed)

APPLICANT'S SIGNATURE

DISCLOSURE ADDENDUM STATEMENT TO APPLICATION, PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

__X__ NONE

_____ NAME, ADDRESS, RELATIONSHIP OR INTEREST
(financial or otherwise)

_____

_____

_____

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

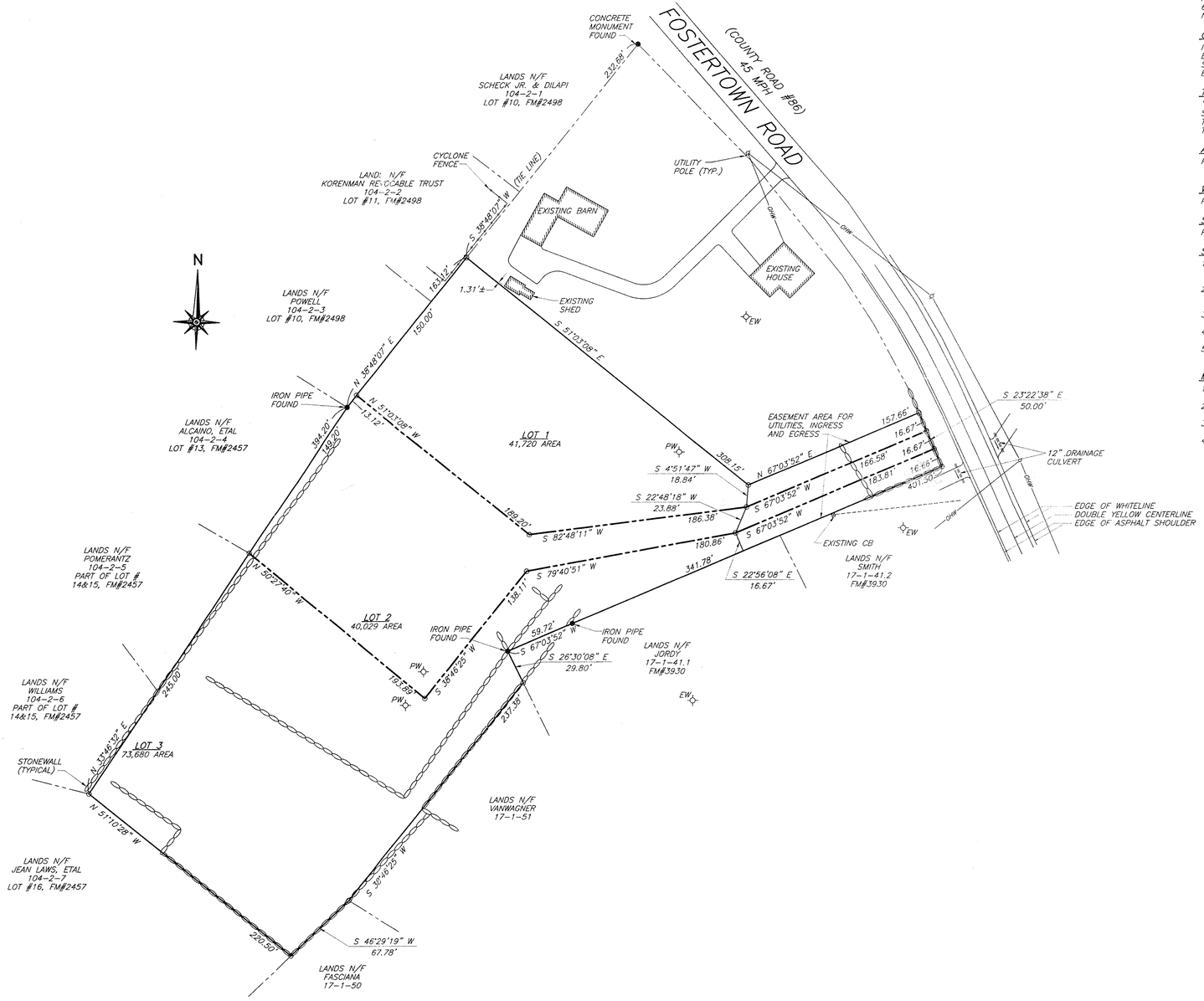
_____ TOWN BOARD
_____ PLANNING BOARD
_____ ZONING BOARD OF APPEALS
_____ ZONING ENFORCEMENT OFFICER
_____ BUILDING INSPECTOR
_____ OTHER

8/18/16
DATED

_____
INDIVIDUAL APPLICANT

PENIC SUMMIT ENTERPRISES
CORPORATE OR PARTNERSHIP APPLICANT

BY: _____
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)



OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

_____

PEAK SUMMIT ENTERPRISES, INC.

APPLICANT/OWNER

PEAK SUMMIT ENTERPRISES, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NY 12550

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON JUNE 7, 2016 BY ANTHONY D. VALDINA, L.S.

TOWN CERTIFICATION:

"I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAT HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

ADJOINING SEPTIC, WELL AND TOPOGRAPHY:

PROVIDED BY REFERENCED FILED MAPS

WELL NOTE:

PRIVATE WELL

SEWER NOTE:

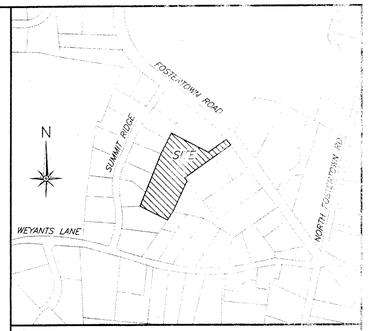
PRIVATE SEPTIC SYSTEM

SURVEY NOTES:

1. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE N.Y. STATE EDUCATION LAW.
2. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INK SEAL SHALL BE CONSIDERED TO BE VALID COPIES.
3. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. SURVEYED IN ACCORDANCE WITH FILED MAPS, DEEDS, AND PHYSICAL MONUMENTATION FOUND AT THE TIME OF SURVEY.
5. SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN UP TO DATE TITLE ABSTRACT REPORT.

MAP REFERENCES:

1. A MAP ENTITLED "SUMMIT RIDGE-SECTION A" FILED IN THE ORANGE COUNTY CLERK'S OFFICE 02/20/1970 AS MAP #2498.
2. A MAP ENTITLED "SUMMIT RIDGE-SECTION B" FILED IN THE ORANGE COUNTY CLERK'S OFFICE 08/05/1970 AS MAP #2547.
3. A MAP ENTITLED "ROBERT & MARLENE JORDY" FILED IN THE ORANGE COUNTY CLERK'S OFFICE 11/24/1976 AS MAP #3930.
4. A MAP ENTITLED "BARRY WHITE" FILED IN THE ORANGE COUNTY CLERK'S OFFICE 02/13/2009 AS MAP #41-09.



LOCATION MAP SCALE 1"=1000'

ZEN DESIGN CONSULTANTS, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NEW YORK 12550
(845)-629-1367 (phone)

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- EW EXISTING WELL
- PROPOSED HOUSE
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PROP. ROOF DRAIN OUTLET
- PROP. FOOTING DRAIN OUTLET

TOWN: NEWBURGH
ZONE: R2
TOTAL ACREAGE: 3.58±

SINGLE FAMILY

	REQUIRED	LOT #1	LOT #2	LOT #3
MINIMUM LOT AREA	40,000sf	41,720sf	40,029sf	73,680sf
MINIMUM YARDS				
FRONT	50'	57'	50'	120'
REAR	40'	53'	67'	79'
SIDE 1	30'	73'	79'	102'
SIDE BOTH	80'	163'	163'	191'
MINIMUM LOT				
WIDTH	150'	250'	194'	207'
DEPTH	150'	150'	164'	245'

COUNTY HIGHWAY NOTE:

"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

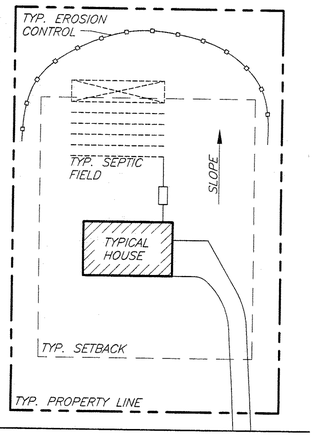
RECEIVED AUG 22 2016

SURVEYOR
ANTHONY VALDINA, L.S.

STATE OF NEW YORK ANTHONY D. VALDINA 049442 LICENSED LAND SURVEYOR

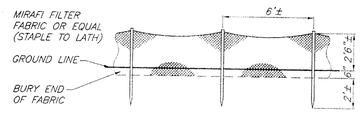
PEAK SUMMIT ENTERPRISES, INC.
3 LOT SUBDIVISION
SURVEY PLAT
FOSTERTOWN ROAD, SBL: 17-1-40.2
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
07/30/2016	1" = 50'	15-035-KAL	1 OF 4

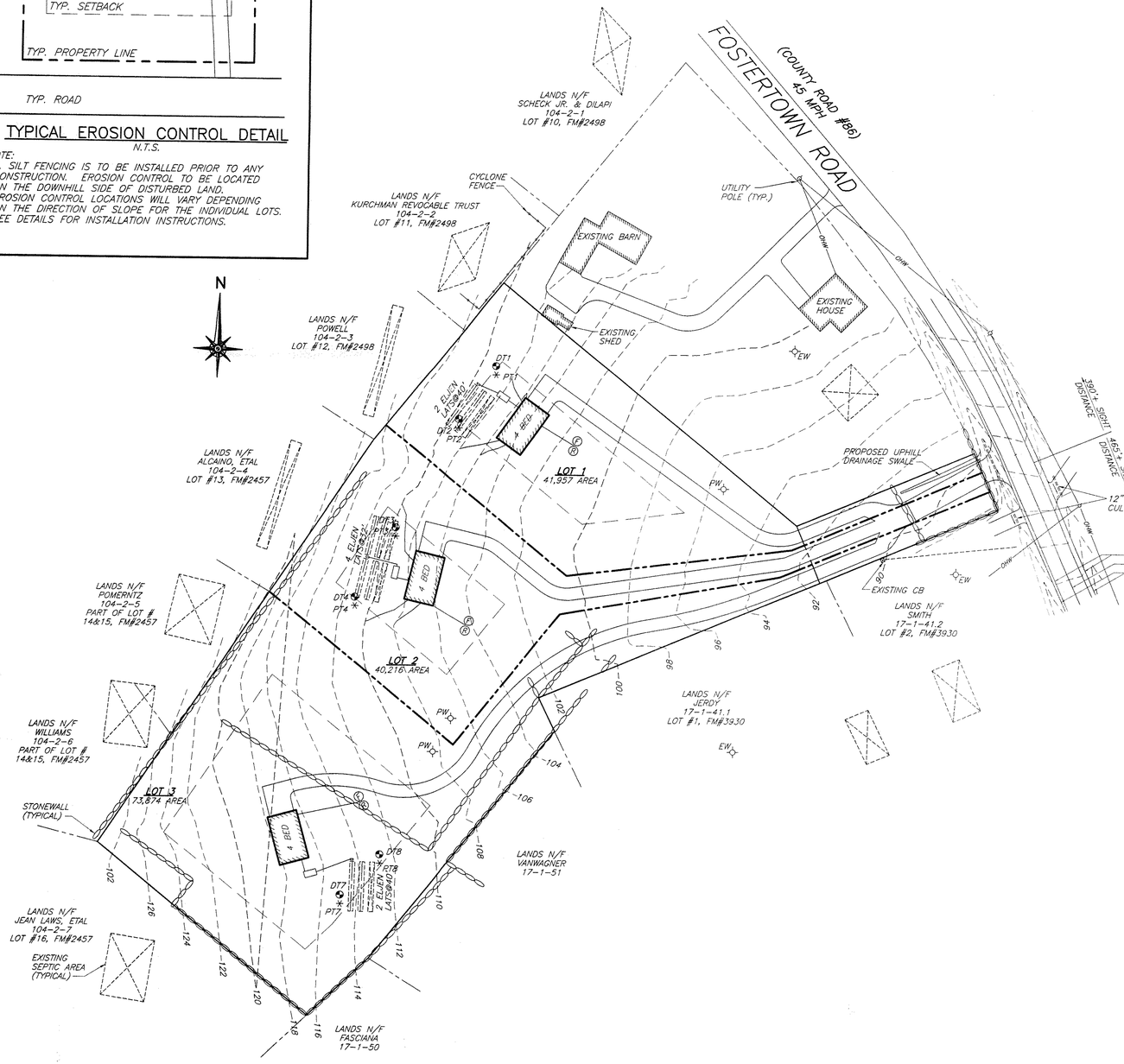


TYPICAL EROSION CONTROL DETAIL
N.T.S.

NOTE:
1. SILT FENCING IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. EROSION CONTROL TO BE LOCATED ON THE DOWNHILL SIDE OF DISTURBED LAND. EROSION CONTROL LOCATIONS WILL VARY DEPENDING ON THE DIRECTION OF SLOPE FOR THE INDIVIDUAL LOTS. SEE DETAILS FOR INSTALLATION INSTRUCTIONS.



SILT FENCE DETAIL
N.T.S.



OCDPW NOTES

1. BACKFILL MATERIALS:
   - ALL BACKFILL IS REQUIRED TO BE PLACED AND COMPACTED IN 12" LIFTS MAXIMUM.
   - PROVIDE CROSS SECTION DETAILS FOR BACKFILL REQUIREMENTS WITHIN THE ASPHALT, WITHIN 8 FEET OF THE EDGE OF PAVEMENT, AND 8 FEET BEYOND FROM THE EDGE OF PAVEMENT.
   - DRY K CRETE SHALL BE USED AT ALL ROAD CROSSING (TOWN ROADS), COMMERCIAL ENTRANCES, AND ALL TRENCHES WITHIN ASPHALT OR AS DIRECTED BY ORANGE COUNTY INSPECTOR.
   - ITEM NO. 4: ITEM 304.12 SUBBASE COURSE TYPE 2 IS REQUIRED TO BE USED AS BACKFILL FROM EDGE OF PAVEMENT OUT EIGHT FEET.
   - EXCAVATED MATERIAL IS ALLOWED TO BE USED AS BACKFILL MATERIAL BEYOND 8' FROM THE EDGE OF PAVEMENT. NO BOULDERS/ROCKS OVER 6 INCHES ARE ALLOWED TO BE USED AS BACKFILL.
   - MATERIAL TICKETS ARE REQUIRED TO BE PROVIDED TO THE ORANGE COUNTY INSPECTOR ON A DAILY BASIS FOR ALL MATERIAL USED IN THE COUNTY RIGHT OF WAY.
2. COMPACTION:
   - ALL OF THE NECESSARY MEANS ARE REQUIRED TO BE ON SITE TO PROPERLY COMPACT ALL TRENCHES OR EARTHWORK WITHIN THE COUNTY RIGHT OF WAY ON A DAILY BASIS.
   - VIBRATORY TRENCH ROLLER: PRIMARY COMPACTION EQUIPMENT
   - JUMPING JACK COMPACTOR: SECONDARY COMPACTION EQUIPMENT FOR USE IN TIGHT AREAS, WHERE THE VIBRATORY TRENCH ROLLER CANNOT BE USED
   - ASPHALT ROLLER IS REQUIRED TO COMPACT ASPHALT FOR ANY PAVING INSTALLED IN THE COUNTY RIGHT OF WAY.
3. ASPHALT RESTORATION:
   - ALL PAVEMENT IS REQUIRED TO BE RESTORED ON A DAILY BASIS.
   - RAGGED TRENCH EDGES MUST SAW CUT PRIOR TO ANY PAVING (TEMPORARY OR PERMANENT).
   - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE TOP 5" OF BINDER COURSE FLUSH WITH THE EXISTING PAVEMENT SURFACE THROUGHOUT THE DURATION OF THE PROJECT. FINAL ASPHALT RESTORATION IS TO BE COMPLETED AT THE COMPLETION OF THE PROJECT.
   - ALL TEMPORARY ASPHALT IS REQUIRED TO BE FIVE (5) INCHES THICK AND PLACED IN TWO (2) LIFTS OF 2 1/2 INCHES.
   - ALL EDGES OF EXISTING ASPHALT ARE REQUIRED TO BE SWEPT AND TACK COATED PRIOR TO PAVING.
   - ALL ASPHALT IS REQUIRED TO BE SAW CUT PARALLEL OR PERPENDICULAR TO THE TRENCH OR TO THE EXISTING ASPHALT. NO RAGGED EDGES ARE ACCEPTABLE.
   - ALL SAW CUTTING IS REQUIRED TO BE PERFORMED PRIOR TO PLACING ASPHALT BINDER. MILLING OUT THE JAGGED EDGES ON THE TOP COURSE OR FINAL ASPHALT IS NOT ACCEPTABLE BY ORANGE COUNTY.
   - ALL ASPHALT JOINTS ARE REQUIRED TO BE CRACK SEALED UPON COMPLETING FINAL PAVING.
4. LANDSCAPING:
   - NO PLANTINGS (SHUBS/TREES) OR LANDSCAPING FEATURES (GATES, FENCES, STONE PILLARS, STONE WALLS, SIGNS, ETC.) SHALL BE PLACED WITHIN THE COUNTY RIGHT OF WAY.
   - ALL DISTURBED AREAS ARE TO BE GRADED, SEEDED, AND STRAWED ON A DAILY BASIS.
   - ALL TREES AND DRIP LINES ARE REQUIRED TO BE COMPLETELY OUTSIDE OF THE COUNTY RIGHT OF WAY.
5. MONUMENTATION:
   - WHERE A PARCEL ABUTTING THE COUNTY HIGHWAY IS SUBDIVIDED, THE OWNER/APPLICANT SHALL BE REQUIRED TO PROVIDE PERMANENT MONUMENTATION OF THE HIGHWAY BOUNDARY IN A MANNER ACCEPTABLE TO THE COMMISSIONER OF PUBLIC WORKS OR HIS REPRESENTATIVE. MONUMENTATION SHALL BE INSTALLED BY A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN NEW YORK STATE.
   - PRECAST SURVEY CONCRETE MONUMENTS ARE REQUIRED TO BE INSTALLED AT ALL PROPERTY CORNERS ADJACENT TO THE COUNTY RIGHT OF WAY. THE PRECAST MONUMENT IS REQUIRED TO HAVE THE PROPERTY CORNER SCRIBED IN THE SURFACE OF THE CONCRETE MONUMENT.
6. GENERAL NOTES:
   - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS, GUIDE RAILS, GUIDE POSTS, CULVERT PIPES, MAILBOXES, HEADWALLS, ETC. WHICH MUST BE REMOVED FOR CONSTRUCTION. CONTRACTOR SHALL REINSTALL ANY REMOVED ITEMS ON A DAILY BASIS. ANY ITEMS DAMAGED BY REMOVAL OR REINSTALLATION SHALL BE REPLACED AND REINSTALLED BY THE CONTRACTOR WITH A NEW ITEM.
   - NO UTILITY WORK (WATER, SEWER STORM DRAINAGE) IS ALLOWED TO BE PERFORMED BETWEEN NOVEMBER 15 AND MARCH 15 WITHIN THE COUNTY RIGHT OF WAY.
   - NO TRACK EQUIPMENT IS ALLOWED ON THE COUNTY ROAD WITHOUT PLACING MATS, PLYWOOD, TIRES, ETC. TO PROTECT THE ASPHALT ROAD.
   - NO OPEN TRENCHES ARE ALLOWED TO REMAIN OPEN OVER NIGHT. ALL OPEN TRENCHES ARE REQUIRED TO BE BACK FILLED ON A DAILY BASIS.
   - NO ROAD PLATES ARE ALLOWED TO BE USED OVERNIGHT. ROAD PLATES ARE ONLY ALLOWED TO BE USED DURING DAILY OPERATIONS TO MAINTAIN TRAFFIC ON THE ROADWAY ROADWAY AND AT RESIDENTIAL/COMMERCIAL DRIVEWAYS.
   - THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER COORDINATION WITH HOMEOWNERS AND BUSINESSES TO ENSURE THAT THEY CAN ENTER AND EXIT THEIR DRIVEWAYS DURING THE COURSE OF DAY TO DAY OPERATIONS.
7. MAINTENANCE AND PROTECTION OF TRAFFIC:
   - PROVIDE NOTES THAT ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ORANGE COUNTY REQUIREMENTS. THE FOLLOWING SIGNS ARE REQUIRED TO BE PLACED IN EACH DIRECTION TO PERFORM THE WORK PER THE APPROVED PLANS: ROAD WORK 1500 FT, ROAD WORK 1000 FT, ROAD WORK 500 FT, ONE LANE ROAD AHEAD, FLAGGER SYMBOL ON EACH APPROACH WHEN TAKING A TRAVEL LANE.
   - WHEN WORK IS PERFORMED ON THE SHOULDER THE FOLLOWING SIGNS ARE REQUIRED: ROAD WORK 1500 FT, ROAD WORK 1000 FT, ROAD WORK 500 FT, NO SHOULDER. FLAGGER SYMBOLS ARE REQUIRED TO BE AVAILABLE FOR A NO SHOULDER WORK ZONE IN CASE FLAGGERS ARE USED TO DIRECT TRAFFIC.
   - THE MORE STRINGENT SIGN REQUIREMENTS OF ORANGE COUNTY SUFERSEDE ANY MUTCD REQUIREMENTS.
   - ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONSTRUCTION SIGNAGE SHALL BE INSTALLED AND IN PLACE PRIOR ANY WORK STARTING. ALL CONSTRUCTION SIGNAGE IS REQUIRED TO MEET THE REQUIREMENTS AS PER THE "NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND NYS SUPPLEMENT LATEST EDITION AND REVISIONS. THE CONSTRUCTION SIGNAGE SHALL BE INSTALLED ON BREAKAWAY POSTS OR ON WIND-MASTERS AND COVERED AND UNCOVERED ON A DAILY BASIS. THE CONTRACTOR MUST HAVE ALL THE NECESSARY CONSTRUCTION SIGNS TO PERFORM THE WORK SAFELY: I.E. ADDITIONAL SIGNAGE; ONE LANE ROAD AHEAD, FLAGGER SYMBOL, IF A LANE HAS TO BE CLOSED TO PERFORM WORK.
   - THE MORE STRINGENT SIGN REQUIREMENTS OF ORANGE COUNTY SUPERSEDE ANY MUTCD REQUIREMENTS.
   - ALL CONSTRUCTION SIGNAGE IS REQUIRED TO BE 730-05.02 -ASTM TYPE III (CLASS B) AS PER NYS STANDARD SPECIFICATIONS: CONSTRUCTION AND MATERIALS: HI-INTENSITY REFLECTIVE SHEETING OFTEN REFERRED TO AS HIGH INTENSITY. IT IS RECOMMENDED FOR HIGHWAY SIGNS, CONSTRUCTION SIGNS, DELINEATORS, AND OTHER WORK ZONE DEVICES.
   - WORK ZONE IS REQUIRED TO BE PROPERLY DELINEATED WITH CONES OR CONSTRUCTION BARRELS.
   - ORANGE COUNTY RESERVES THE RIGHT TO PRECLUDE ALL WORK AND LANE CLOSURES DURING ANY INCLEMENT WEATHER OR OTHER UNFORESEEN CIRCUMSTANCES (I.E. WET, ICY CONDITIONS, REDUCED VISIBILITY, TRAFFIC ACCIDENTS ON STATE, COUNTY, TOWN OR VILLAGE ROAD, OR OTHER EMERGENCIES).
   - NO LANES CLOSURES WILL BE PERMITTED FROM 12 NOON PRIOR TO A HOLIDAY AND UNTIL 10 AM THE DAY AFTER THE HOLIDAY.
   - FLAGGERS SHALL NOT CONTROL MORE THAN ONE APPROACH AT ANYTIME THROUGHOUT THE DURATION OF THE WORK ZONE. ADDITIONAL FLAGGERS ARE REQUIRED TO CONTROL ALL APPROACHES IN A WORK ZONE.
   - EIGHTEEN (18) INCH STOP AND SLOW PADDLES ARE REQUIRED TO DIRECT TRAFFIC.
   - TWO WAY RADIOS ARE REQUIRED FOR FLAGGERS TO COMMUNICATE WITH EACH OTHER.
8. OSHA REQUIREMENTS: MUST BE ADHERED TO AT ALL TIMES, I.E.

SHORING:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ANY TRENCH OR EXCAVATION THAT IS GREATER THAN 5 FEET DEEP OR WHICH, IN THE OPINION OF THE OCDPW INSPECTOR IN THE FIELD POSES A DANGER TO THE CONTRACTOR PERSONNEL ON THE JOB. THE CONTRACTOR HAS THE OPTION OF USING A PREFABRICATED SHORING SYSTEM, INSTALLING A TIMBER-CONSTRUCTED SYSTEM AS PER OSHA SPECIFICATIONS OR A TIMBER SYSTEM DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER. NO OTHER SHORING SYSTEM WILL BE APPROVED FOR USE ON THIS PROJECT.

COUNTY HIGHWAY NOTE:
"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

ZEN DESIGN CONSULTANTS, INC.
6 OLD NORTH PLANK ROAD
NEWBURGH, NEW YORK 12550
(845)-629-1567 (phone)

LEGEND
- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- EW EW — EXISTING WATER SERVICE
- PW PW — PROPOSED WATER SERVICE
- EW — EXISTING WELL
- PROPOSED HOUSE
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- (R) PROP. ROOF DRAIN OUTLET
- (F) PROP. FOOTING DRAIN OUTLET
- (C) PROP. CURB BOX LOCATION

EROSION CONTROL STANDARD NOTES

1. EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH A MATTER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
2. SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
3. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
4. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
5. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
6. MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
7. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
8. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCROACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
9. ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL.
10. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF ONE HUNDRED PERCENT (100%) OF STANDARD PROCTOR TEST METHOD OR 95% MODIFIED PROCTOR TEST METHOD WITH PROPER MOISURE CONTROL.
11. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEEDED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
12. PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
13. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
14. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
15. SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
16. THERE SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
17. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.

ENGINEER
WILLIAM MOREAU, P.E.

STATE OF NEW YORK — WILLIAM J. MOREAU — No. 060887 — LICENSED PROFESSIONAL ENGINEER

PEAK SUMMIT ENTERPRISES, INC.
3 LOT SUBDIVISION
LOT LAYOUT
FOSTERTOWN ROAD, SBL: 17-1-40.2
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
07/30/2016	1" = 50'	15-035-KAL	2 OF 4

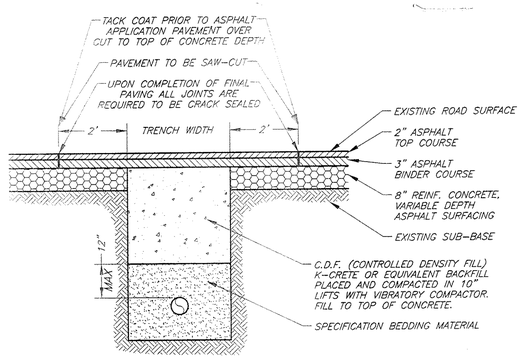
ZEN DESIGN CONSULTANTS, INC.
6 OLD N. PLANK RD. #103
NEWBURGH, NEW YORK 12550
(845)-629-1567 (office phone)

SEPTIC SYSTEM DESIGN DATA:

	LOT #1–INGROUND	LOT #2–INGROUND	LOT #3–INGROUND
PERCOLATION DATA ✳	PT1 24" DEEP 02/01/16 STABILIZED RATE– 03 MIN/INCH PT2 24" DEEP 02/01/16 STABILIZED RATE– 05 MIN/INCH	PT3 24" DEEP 02/01/16 STABILIZED RATE– 18 MIN/INCH PT4 24" DEEP 02/01/16 STABILIZED RATE– 22 MIN/INCH	PT7 24" DEEP 02/01/16 STABILIZED RATE– 04 MIN/INCH PT8 24" DEEP 02/01/16 STABILIZED RATE– 05 MIN/INCH
DEEP PIT DATA ◓	DT1 4'–2" DEEP 02/01/16 0"–6" TOPSOIL 6"–12" SANDY LOAM 12"–50" LOAM W/ SHALE DT2 4'–6" DEEP 02/01/16 0"–3" TOPSOIL 3"–24" SANDY LOAM 24"–54" LOAM W/ SHALE	DT3 4'–0" DEEP 02/01/16 0"–3" TOPSOIL 3"–48" SANDY LOAM DT4 4'–0" DEEP 02/01/16 0"–10" TOPSOIL 10"–24" GRAVELLY LOAM 24"–48" LIGHT BROWN LOAM	DT7 4'–4" DEEP 02/01/16 0"–3" TOPSOIL 3"–12" SILTY LOAM 12"–48" GRAVELLY LOAM DT8 4'–4" DEEP 02/01/16 0"–6" TOPSOIL 6"–18" SILTY LOAM 18"–52" GRAVELLY LOAM
DESIGN DATA	1.) NO OF BEDROOMS – 4 (MAX) 2.) DAILY FLOW – 440 G.P.D. 3.) SEPTIC TANK CAPACITY – 1,250 GAL. 4.) STABILIZED PERCOLATION RATE– 5 MIN/INCH 5.) ABSORPTION FIELD LENGTH– REQ'D (4BDRM)– 80 L.F. PROV'D–2 @ 40'= 80 L.F. (ELJEN SEPTIC SYSTEM)	1.) NO OF BEDROOMS – 4(MAX) 2.) DAILY FLOW – 440 G.P.D. 3.) SEPTIC TANK CAPACITY – 1,250 GAL. 4.) STABILIZED PERCOLATION RATE– 22 MIN/INCH 5.) ABSORPTION FIELD LENGTH– REQ'D (4BDRM)– 122 L.F. PROV'D–4 @ 32'= 128 L.F. (ELJEN SEPTIC SYSTEM)	1.) NO OF BEDROOMS – 4(MAX) 2.) DAILY FLOW – 440 G.P.D. 3.) SEPTIC TANK CAPACITY – 1,250 GAL. 4.) STABILIZED PERCOLATION RATE– 5 MIN/INCH 5.) ABSORPTION FIELD LENGTH– REQ'D (4BDRM)– 80 L.F. PROV'D–2 @ 40'= 80 L.F. (ELJEN SEPTIC SYSTEM)

GENERAL OCDPW NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS, GUIDE RAILS, GUIDE POSTS, CULVERT PIPES, MAILBOXES, HEADWALLS, ETC. WHICH MUST BE REMOVED FOR CONSTRUCTION. CONTRACTOR SHALL REINSTALL ANY REMOVED ITEMS ON A DAILY BASIS.
2. ANY ITEMS DAMAGED BY REMOVAL OR REINSTALLATION SHALL BE REPLACED AND REINSTALLED BY THE CONTRACTOR WITH A NEW ITEM.
3. NO UTILITY WORK (WATER, SEWER, STORM DRAINAGE) IS ALLOWED TO BE PERFORMED BETWEEN NOVEMBER 15 AND MARCH 15 WITHIN THE COUNTY RIGHT OF WAY.
4. NO TRACK EQUIPMENT IS ALLOWED ON THE COUNTY ROAD WITHOUT PLACING MATS, PLYWOOD, TIRES, ETC. TO PROTECT THE ASPHALT ROAD.
5. NO OPEN TRENCHES ARE ALLOWED TO REMAIN OPEN OVER NIGHT. ALL OPEN TRENCHES ARE REQUIRED TO BE BACKFILLED ON A DAILY BASIS.
6. NO ROAD PLATES ARE ALLOWED TO BE USED OVERNIGHT. ROAD PLATES ARE ONLY ALLOWED TO BE USED DURING DAILY OPERATIONS TO MAINTAIN TRAFFIC ON THE ROADWAY AND AT RESIDENTIAL AND/OR COMMERCIAL DRIVEWAYS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER COORDINATION WITH HOMEOWNERS AND BUSINESSES TO ENSURE THAT THEY CAN ENTER AND EXIT THEIR DRIVEWAYS DURING THE COURSE OF DAY TO DAY OPERATIONS.



OCDPW TRENCH DETAIL
N.T.S.

NOTES:
1. ASPHALT REPAIRS ARE REQUIRED TO BE FLUSH WITH EXISTING ASPHALT.
2. CRACK SEAL ALL JOINTS UPON COMPLETED PAVING.

SEPTIC SYSTEM GENERAL NOTES:

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINE ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITH IN 100' OF ANY WATER COURSE OR 50' OF DRAINAGE DITCH. THIS DISTANCE IS TO BE MEASURED FROM THE TOE OF ANY FILL PLACED.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION TO THE TOWN OF NEWBURGH FOR REVIEW AND APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
16. THE SEWAGE DISPOSAL SYSTEMS WERE NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOMMODATE THEM.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS–BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE PURCHASER SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENENCE PROCEDURES THAT MAY BE NECESSARY (REFER TO PAGES 58–61 OF THE NYSDOH DESIGN HANDBOOK FOR RECOMMENDED ROUTINE OPERATION AND MAINTENENCE ITEMS).
19. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPT.) SHALL INSPECT THE SANITARY FACILITIES (WATER, ANY TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE DWELLING, THE ENGINEER SHALL CERTIFY TO THE TOWN OF NEWBURGH THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.

STANDARD NOTES:

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

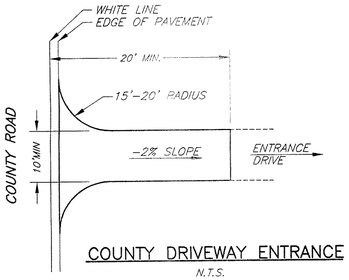
"APPENDIX 75–A, WASTE TREATMENT – INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
"WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES.

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE.

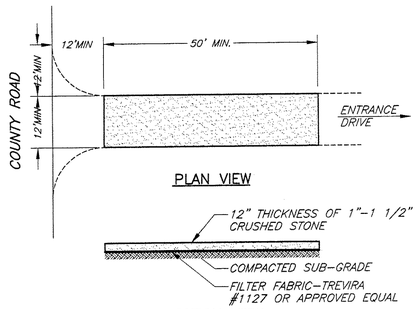
ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.



COUNTY DRIVEWAY ENTRANCE
N.T.S.

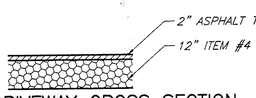
1. ALL EDGES OF THE NEW INSTALLED PAVED APRON ARE REQUIRED TO BE BACKED UP WITH ITEM#4 OR TOPSOILED, SEEDED AND STRAWED.
2. ALL DISTURBED AREAS ARE REQUIRED TO BE SEEDED AND STRAWED ON A DAILY BASIS.
3. SUBBASE MATERIAL IS REQUIRED TO NE NYS ITEM #4 NO. 304.12 TYPE 2 (CRUSHED STONE).



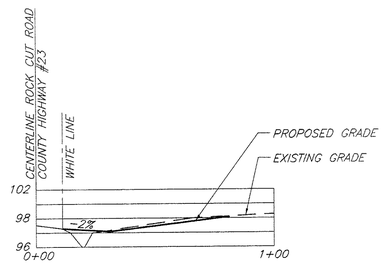
NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO THE PUBLIC R.O.W.

1. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS,
2. A CRUSHED STONE, VEHICLE WHEEL–CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1"–1 1/2" CRUSHED STONE, WILL BE AT LEAST 12' x 50' AND SHOULD BE PLACED ON COMPACTED SUB–GRADE AND SHALL BE MAINTAINED.
3. ALL DRIVEWAYS MUST BE STABILIZED WITH 1"–1 1/2" CRUSHED STONE OR SUB–BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.
4. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
5. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).
6. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.
7. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN. SEE SECTION VII. (SOIL EROSION & SEDIMENT CONTROL), PAGE 14.

COUNTY STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



COUNTY DRIVEWAY CROSS SECTION
N.T.S.



DRIVEWAY PROFILE
HORIZONTAL SCALE– 1"=30'
VERTICAL SCALE– 1"=10'

COUNTY SPECIAL DRIVEWAY NOTE:
THE PROPOSED COMMON DRIVEWAY, SHALL BE PAVED 15' WIDE FOR 50' MEASURED FROM THE EDGE OF THE WHITE LINE. THIS AREA MUST HAVE 12" ITEM #4 SUBBASE AND 2" ASPHALT TOP COURSE.

COUNTY HIGHWAY NOTE:
"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

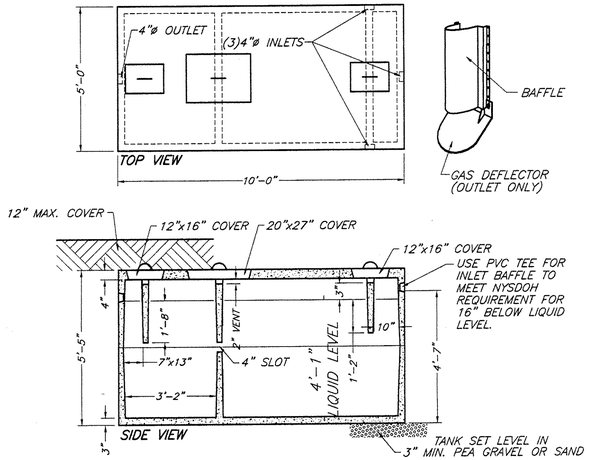
ENGINEER
WILLIAM MOREAU, P.E.

STATE OF NEW YORK · WILLIAM J. MOREAU · No. 050087 · LICENSED PROFESSIONAL ENGINEER

PEAK SUMMIT ENTERPRISES, INC.
3 LOT SUBDIVISION
SEPTIC DETAILS
FOSTERTOWN ROAD, SBL: 17–1–40.2
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
07/30/2016	N.T.S.	15–035–KAL	3 OF 4

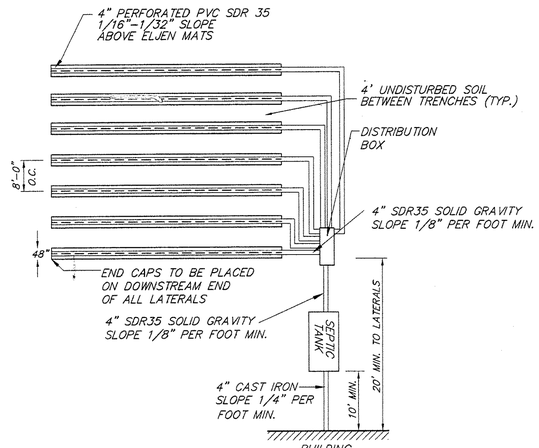
ZEN DESIGN CONSULTANTS, INC.
6 OLD N. PLANK RD. #103
NEWBURGH, NEW YORK 12550
(845)-629-1567 (office phone)



SPECIFICATIONS
CONCRETE MINIMUM STRENGTH– 4,000 PSI AT 28 DAYS
REINFORCEMENT– 6"x6"10GA. WWF, #3 REBAR
AIR ENTRAPMENT– 5%
CONSTRUCTION JOINT– BUTYL RUBBER – BASE CEMENT
PIPE CONNECTION– POLYLOC SEAL (PATENTED)
H20 LOADING ON REQUEST

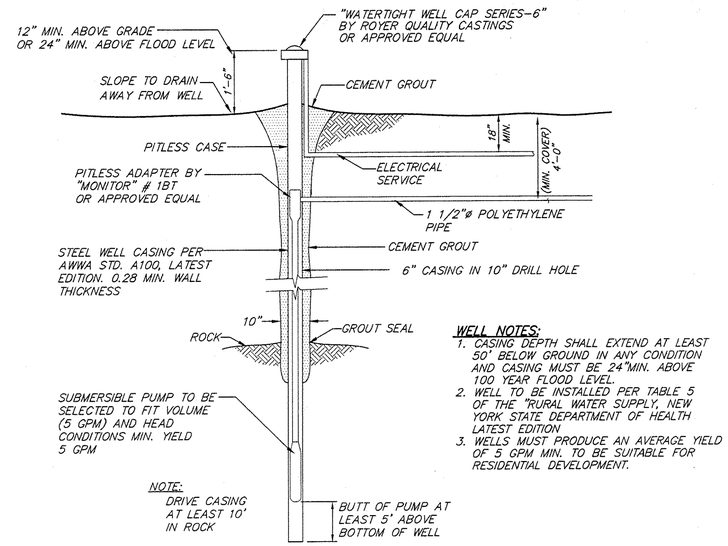
WOODARD 1250gal. SEPTIC TANK OR EQUAL

N.T.S.



TYPICAL PLAN VIEW (ELJEN SYSTEM)

N.T.S

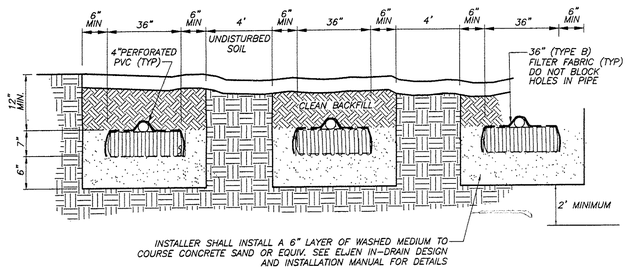


WELL NOTES:

1. CASING DEPTH SHALL EXTEND AT LEAST 50' BELOW GROUND IN ANY CONDITION AND CASING MUST BE 24"MIN. ABOVE 100 YEAR FLOOD LEVEL.
2. WELL TO BE INSTALLED PER TABLE 5 OF THE "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH LATEST EDITION
3. WELLS MUST PRODUCE AN AVERAGE YIELD OF 5 GPM MIN. TO BE SUITABLE FOR RESIDENTIAL DEVELOPMENT.

WELL DETAIL

N.T.S.



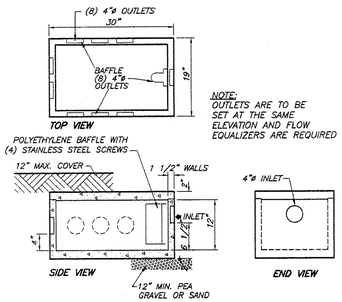
TRENCH CROSS SECTION FOR ELJEN SYSTEM

N.T.S.

SHALLOW ABSORPTION NOTES:

1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL AND BOTTOM OF TRENCHES SHALL BE 6" BELOW ORIGINAL GRADE.
2. USABLE FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
3. TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.
4. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30".
5. THE EDGE OF THE FILL MATERIAL SHALL BE TAPERED AT A SLOPE OF NO GREATER THAN ONE VERTICAL TO THREE HORIZONTAL, ON SLOPED SITES A DIVERSION DITCH SHALL BE PLACED ON THE UPHILL SIDE TO PREVENT RUNOFF FROM ENTERING THE FILL.
6. FILL SHALL EXTEND AT LEAST TEN FEET BEYOND THE ENDS OF TRENCHES BEFORE STARTING ONE ON THREE EDGES OF FILL.

ASTM C33 SAND SPECIFICATION		
SIEVE SIZE	SIEVE SQ. OPNG. SIZE	SPEC. % PASSING (WET SIEVE)
0.375"	9.5 mm	100.0–100.0
#4	4.75 mm	95.0–100.0
#8	2.36 mm	80.0–100.0
#16	1.18 mm	50.0–85.0
#30	600 um	25.0–60.0
#50	300 um	5.0–30.0
#100	150 mm	< 10.0
#200	75 um	< 5.0

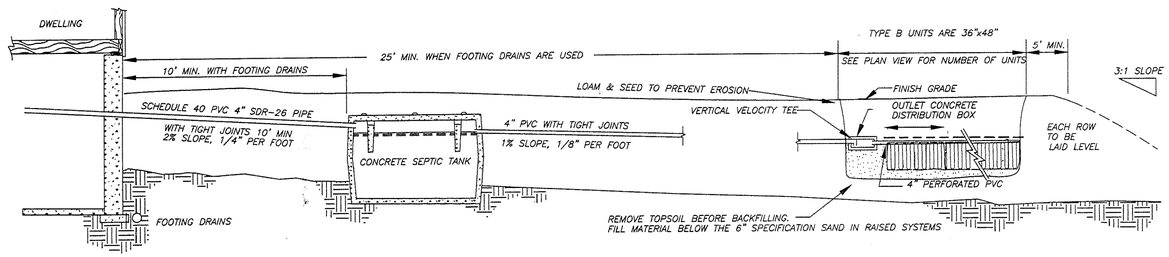


DISTRIBUTION BOX DETAILS

WOODARDS DB–9

SPECIFICATIONS
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS
REINFORCEMENT: FIBER, 10GA. WIRE MESH
AIR ENTRAINMENT: 5%
PIPE CONNECTION: POLYLOK SEAL (PATENTED)
LOAD RATING: 300 PSF

REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS (AS SHOWN IN NYS DEPARTMENT OF HEALTH DESIGN HANDBOOK FOR INDIVIDUAL RESIDENTIAL WASTEWATER TREATMENT SYSTEMS, ed. 1996)					
SYSTEM COMPONENTS	WELL OR SUCTION LINE	STREAM, LAKE, WATERCOURSE OR WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH
HOUSE SEWER	50' (25' FOR CAST OR PVC W/ O–RING)	25'	3'	10'	---
(WATERTIGHT JOINTS) SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'
ABSORPTION FIELD	100'	100'	20'	10'	50'
SEEPAGE PIT	150'	100'	20'	10'	50'
DRY WELL (ROOF AND FOOTING)	50'	25'	20'	10'	10'
RAISED OR MOUND SYSTEM	100'	100'	20'	10'	50'
INTERMITTENT SAND FILTER	100'	100'	20'	10'	50'
EVAPOTRANSPIRATION–ABSORPTION SYSTEM	100'	50'	20'	10'	50'
COMPOSTER	50'	50'	20'	10'	10'
SANITARY PRIVY PIT	100'	50'	20'	10'	20'
PRIVY, WATERTIGHT VAULT	50'	50'	20'	10'	10'



TYPICAL SECTION OF ELJEN IN–DRAIN SYSTEM

N.T.S.

COUNTY HIGHWAY NOTE:

"NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW."

ENGINEER
WILLIAM MOREAU, P.E.

STATE OF NEW YORK · WILLIAM J. MOREAU · No. 060881 · LICENSED PROFESSIONAL ENGINEER

PEAK SUMMIT ENTERPRISES, INC.
3 LOT SUBDIVISION
MISC.. DETAILS
FOSTERTOWN ROAD, SBL: 17–1–40.2
TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
07/30/2016	N.T.S.	15–035–KAL	4 OF 4