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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: O'BRIEN/GREENSHIRE SUBDIVISION
PROJECT NO.: 20-05
PROJECT LOCATION: SECTION 11, BLOCK 1, LOT 92.42
REVIEW DATE: 11 DECEMBER 2020
MEETING DATE: 17 DECEMBER 2020
PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES

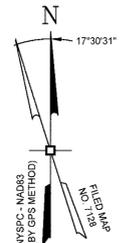
1. Project has received required variance from ZBA.
2. All previous comments from this office have been addressed.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

Patrick J. Hines
Principal

PJH/dns



WETLANDS REFERENCE

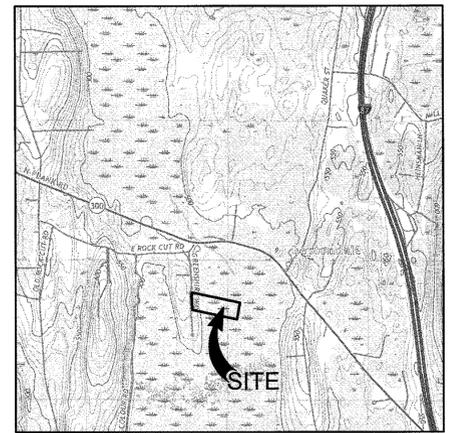
NYS DEC FEDERAL JURISTIONAL FRESHWATER WETLANDS NB-32 DELINEATED BY MICHAEL FRAATZ, BIOLOGIST, BUREAU OF ECOSYSTEM HEALTH, DEPARTMENT OF ENVIRONMENTAL CONSERVATION ON JULY 1, 2020.

BULK REQUIREMENTS

TOWN OF NEWBURGH - ZONING DISTRICT R1			
MINIMUM BUILDING REQUIREMENTS	REQUIRED	LOT 1	LOT 2
LOT AREA	40,000 SF	232,001 SF	212,676 SF
LOT WIDTH	150 FEET	249.15 FEET	168.75 FEET
LOT DEPTH	150 FEET	1124.96 FEET	1082.28 FEET
FRONT YARD	50 FEET	43.19 FEET	51.00 FEET
REAR YARD	40 FEET	994.03 FEET	981.76 FEET
SIDE YARD (ONE/BOTH)	30/80 FEET	45.59/157.01 FEET	40.61/107.39 FEET
LIVABLE FLOOR AREA	1,500 SF	> 1,500 SF	> 1,500 SF
MAXIMUM ALLOWABLE			
MAXIMUM BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT
MAXIMUM BUILDING COVERAGE	10%	1.7%	0.7%
MAXIMUM LOT COVERAGE	20%	3.0%	1.2%

LEGEND

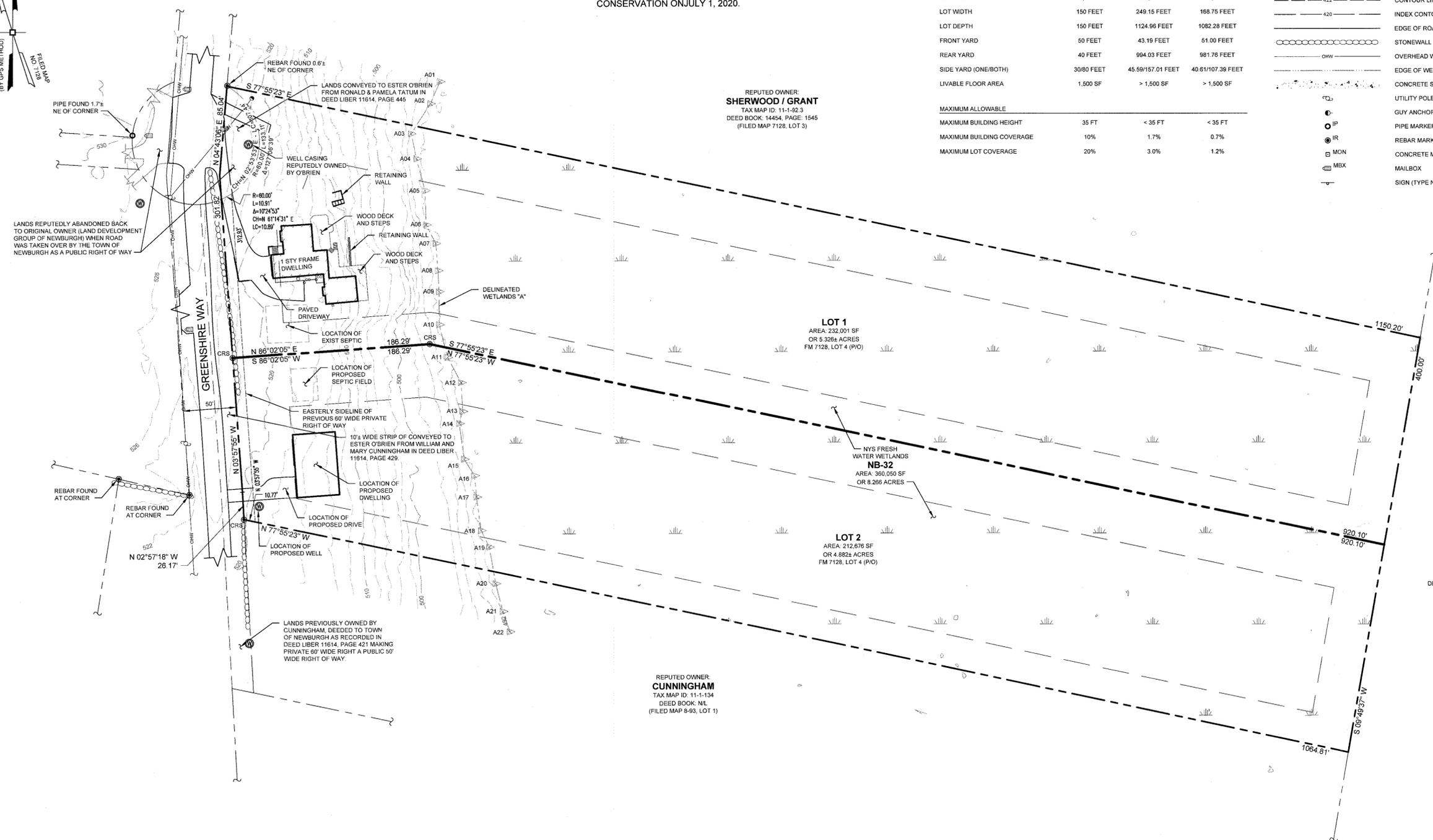
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- 422 --- CONTOUR LINE
- 420 --- INDEX CONTOUR LINE
- EDGE OF ROAD
- STONEWALL
- OVERHEAD WIRE
- EDGE OF WET AREA
- CONCRETE SURFACE
- UTILITY POLE
- GUY ANCHOR
- PIPE MARKER
- REBAR MARKER
- CONCRETE MONUMENT
- MAILBOX
- SIGN (TYPE NOTED)



LOCATION MAP
USGS NEWBURGH QUADRANGLE: 1" = 2000'

GENERAL NOTES:

- TOTAL AREA OF SUBJECT PARCEL: 10.208± ACRES
- TOTAL NUMBER OF LOTS: 2
- TAX MAP IDENTIFICATION NUMBER: SECTION 11, BLOCK 1, LOT 92-42
- DEED REFERENCE: DEED LIBER 12965, PAGE 730
- MAP REFERENCES:
 - A. A MAP ENTITLED, "SUBDIVISION PLAN OF LANDS OF GREENSHIRE WEST, INC. SECTION 11" DATED MARCH 1985 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON JULY 1, 1985 AS MAP NUMBER 7128.
 - B. A MAP ENTITLED, "SURVEY AND SUBDIVISION FOR CUNNINGHAM" DATED AUGUST 1987 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON FEBRUARY 5, 1993 AS MAP NUMBER 8-93.
 - C. A MAP ENTITLED, "SUBDIVISION PLAN OF LANDS OF LAND INVESTMENT GROUP OF NEWBURGH" DATED DECEMBER 1985 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON AUGUST 11, 1986 AS MAP NUMBER 7765.
- THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN UP TO DATE ABSTRACT OF TITLE.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC. FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEM) AS DERIVED FROM 2014 SOURCE LIBRARY. THE DEMS WERE PROVIDED BY NYS GIS.GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS OF RECORD.
- OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES OR IMPROVEMENTS ARE SHOWN FOR THE SPECIFIC PURPOSE OF INTERPRETATION OF COMPLIANCE WITH ZONING AND ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENTS TO THE LAND.
- CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO THE PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
- CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.
- ISSUING OF A NEW TITLE POLICY OR REDATING OF AN EXISTING POLICY REFERENCING THIS SURVEY WITHOUT THE BENEFIT OF AN UPDATE OF THIS SURVEY BY ENGINEERING & SURVEYING PROPERTIES, P.C. SHALL TERMINATE ANY LIABILITY EXPRESSED OR IMPLIED HEREON.
- UNAUTHORIZED COPIES MAY CONTAIN FRAUDULENT, INCORRECT, ERRONEOUS, OR MISLEADING INFORMATION OR OMIT IMPORTANT AND RELEVANT INFORMATION. DO NOT RELY ON UNAUTHORIZED COPIES. THE SEAL, SIGNATURE, AND CERTIFICATION ARE HEREBY REVOKED OR OTHERWISE VOID ON ALL UNAUTHORIZED COPIES. ALL ORIGINAL DOCUMENTS BEAR AN ORIGINAL IMPRESSION AND INK SIGNATURE.
- ALL UNDERGROUND UTILITIES AND/OR IMPROVEMENTS OR THE ENCROACHMENT OF SUCH IMPROVEMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF THE ENCROACHMENT OF SUCH UNDERGROUND IMPROVEMENTS EXIST OR ARE SHOWN HEREON, THE ENCROACHMENTS OF SUCH UNDERGROUND UTILITIES AND/OR IMPROVEMENTS ARE NOT COVERED BY THIS CERTIFICATE.



I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW:

JOHN O'BRIEN
ESTHER O'BRIEN

THAT THIS SURVEY MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. BASED ON DATA CONTAINED IN DEEDS OR MAPS OF RECORD LISTED HEREON, TOGETHER WITH EVIDENCE FOUND IN THE FIELD, AND THAT THERE ARE NO SURFACE ENCROACHMENTS EXCEPT AS OTHERWISE SHOWN HEREON, AS COMPLETED ON DECEMBER 27, 2018.

ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

REPUTED OWNER:
CUNNINGHAM
TAX MAP ID: 11-1-134
DEED BOOK: NIL
(FILED MAP 8-93, LOT 1)

REPUTED OWNER:
SHERWOOD / GRANT
TAX MAP ID: 11-1-82-3
DEED BOOK: 14454, PAGE: 1545
(FILED MAP 7128, LOT 3)

REPUTED OWNER:
CIANCIO
TAX MAP ID: 13-1-8-2
DEED BOOK: 5116, PAGE: 260

OWNER/APPLICANT:
JOHN J O'BRIEN
21 GREENSHIRE WAY
WALDEN, NY 12586

TOWN OF NEWBURGH
PLANNING BOARD APPROVAL BOX

No.	DATE	DESCRIPTION
0	12/04/19	LR/DOB
1	02/14/20	REVISED SURVEY TO INCLUDE 10' ROAD STRIP
2	07/08/20	REVISED SURVEY TO INCLUDE FEDERAL WETLANDS

DRAWING STATUS		ISSUE DATE:	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		07/08/20	
		SHEET	NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	1	OF 3
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/>	NYS DOT APPROVAL	N/A	OF N/A
<input type="checkbox"/>	OTHER	N/A	OF N/A
<input type="checkbox"/>	FOR BID	N/A	OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A	OF N/A

A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE LICENSED PROFESSIONAL LAND SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

BRIAN D. BARCOCK, L.S.
NEW YORK STATE LICENSE # 050830

50 0 25 50 100
1 inch = 50 ft.

ENGINEERING & SURVEYING PROPERTIES
Achieving Successful Results with Innovative Designs

71 CLINTON STREET
MONTGOMERY, NY 12549
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Fx: (845) 457-1899

BOUNDARY SURVEY & TOPOGRAPHIC MAPPING PLAN

O'BRIEN
21 GREENSHIRE WAY
TOWN OF NEWBURGH
ORANGE COUNTY / NEW YORK

JOB #: 1160.02 DRAWN BY: KMP/BDB
DATE: 12/04/19 SCALE: 1" = 50'
REVISION: 2 - 07/08/2020 TAX LOT: 11-1-92.42

RS-1

