

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT)
PATRICK J. HINES
LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: O'BRIEN/GREENSHIRE SUBDIVISION
PROJECT NO.: 20-05
PROJECT LOCATION: SECTION 11, BLOCK 1, LOT 92.42
REVIEW DATE: 29 JULY 2020
MEETING DATE: 6 AUGUST 2020
PROJECT REPRESENTATIVE: ENGINEERING & SURVEYING PROPERTIES

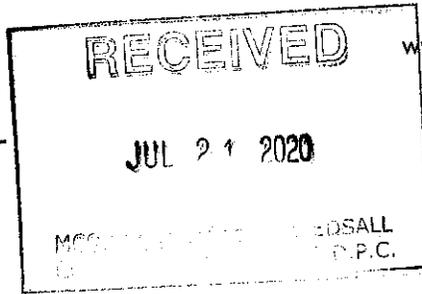
1. Existing structure on lot #1 does not meet the required front yard setback in the R-1 Zone. ZBA approval for the front yard setback on lot #1 is required. Pre-existing nonconforming protections are lost upon subdivision of the parcel.
2. A wetlands validation block should be added to the plans and signed by the appropriate surveyor and NYSDEC official.
3. The subsurface sanitary sewer disposal system design is for a 3-bedroom maximum house. Sheet C-1 identifies the proposed structure as a 3-bedroom home.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/dns



July 10, 2020

Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

ATTN: John Ewasutyn, Chairman

**RE: APPLICATION #2020-05
O'BRIEN SUBDIVISION
TAX LOT # 11-1-92.42**

Dear Mr. Ewasutyn:

Please find attached 14 copies of the Revised Subdivision Plan for the O'Brien Subdivision. The plans have been revised per a comment letter prepared by Mcgoey, Hauser and Edsall Consulting Engineers D.P.C. dated May 7, 2020. Below is a comment by comment response;

1. The NYSDEC Federal Juristional Freshwater Wetlands NB-32 has been delineated by NYSDEC personnel and survey located. The 100 foot adjacent wetland buffer has been added to the O'Brien Subdivision plan.
2. A title search has been performed to confirm the lands were conveyed to Ester O'Brien from Ronald and Pamela Tatum in Deed Liber 11614, Page 445 and plans have been updated accordingly.
3. Note #9 on sheet C-1 stipulates that a stakeout of the proposed dwelling, well and septic system with a plot plan submitted to the Building Department is required prior to receiving a building permit.
4. The topo in the wetland areas is shown and is flat.
5. The Revised Subdivision Plan for the O'Brien Subdivision is being copied to the Highway Superintendent so that comments on the driveway location may be received.
6. A boundary survey and topographic mapping plan signed by the surveyor of record has been included as part of the plan set.
7. The lowest sewerable and finished floor elevations have been shown on the subdivision system design.

If you have any additional questions and/or comments, please don't hesitate to contact this office.

Sincerely,
Engineering & Surveying Properties, PC



Ross Winglovitz, P.E.
Principal

CC: Mark Hall, Town of Newburgh Highway Superintendent

