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CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: NEWBURGH TOWNE CENTER (COFINANCE INC.)
PROJECT NO.: 19-04
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 29.11
REVIEW DATE: 26 FEBRUARY 2019
MEETING DATE: 2 JANUARY 2020
PROJECT REPRESENTATIVE: MASER CONSULTING

1. Status of the US Army Corps of Engineers jurisdictional determination and permit review process should be discussed with the Planning Board.
2. NYSDEC water quality certification permit should be addressed with the Board.
3. Threatened or Endangered species issues should be addressed with the Board. Copies of all correspondence regarding items 1, 2, and 3 above should be submitted for the Board files.
4. Health Department approval for the water system with hydrants is required.
5. An SWPPP has been submitted and was under review by this office.
6. A split rail fence detail has been added to the plans. It is unclear where the split rail fence will be located.
7. Comments from the Code Enforcement Office and Jurisdictional Fire Department regarding hydrant location should be received.
8. The manhole details should be revised to identify that any alternations to an existing manhole must be core drilled to Town of Newburgh standards. The manhole must be provided with a flexible seal in accordance with Town of Newburgh standards.
9. The water line connection must be constructed such that potable water to the building is terminated, which fire protection water is turned off. Details should be added to the plans.

10. A detail of the Bay Filter product proposed for Stormwater Management should be added to the plans.
11. The surface chamber with sand filter details should evaluate whether geotextile fabric is required between stone layers and the concrete sand.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/jlc



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

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November 26, 2019

VIA EMAIL

Mr. James W. Osborne, P.E.
Town Engineer
Town of Newburgh
1469 Route 300
Newburgh, NY 12550

Re: Newburgh Towne Center – Expansion
Tax Lot 60-3-29.11
Town of Newburgh, Orange County, New York
MC Project No. 18000471A

Dear Mr. Osborne:

Attached is a copy of the current Grading, Drainage and Utility Plan we have developed for the above proposed project. The project consists of an expansion of the existing shopping center, Newburgh Towne Center located on NYS Route 300 and Meadow Hill Road. The applicant, Confinance Inc., proposes a \pm 19,541 sq. ft. addition to the existing building on tax lot 60-3-29.11. This expansion would be to the west of the Marshall's store.

The site is located within the Town of Newburgh's Consolidated Water District and the Crossroad Sewer District. The existing buildings are service by both municipal water service and a sanitary sewer service. A component of the proposed expansion will be modifications to the existing on-site water distribution and sanitary sewer infrastructure.

Using the 2014 DEC Design Standards for Wastewater Treatment Systems, the proposed use has an estimated average daily flow of 1,955 GPD. This is calculated as follows:

0.1 GPD per sq. ft. (Shopping Center/Grocery Store/Department Store) for the additional building area. Calculation = $0.1 * 19,541 \text{ sq. ft.} = 1,955 \text{ GPD}$

We request that you review the proposed additional flows generated from this project and initiate the sewer flow acceptance process. This was requested as part of the Planning Board review process.



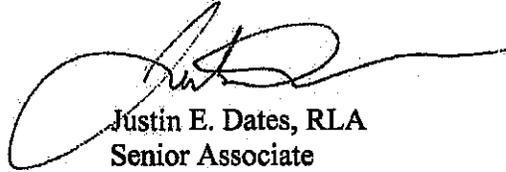


Mr. James Osborne
MC Project No. 18006812A
November 26, 2019
Page 2 of 2

If you have any questions, please do not hesitate to contact our office.

Very truly yours,

MASER CONSULTING P.A.

A handwritten signature in black ink, appearing to read 'Justin E. Dates', is written over a horizontal line. The signature is fluid and cursive.

Justin E. Dates, RLA
Senior Associate

JED/cw
Enclosures

R:\Projects\2018\18006812A-Newburgh Towne Center\Correspondence\OUT\191126_Osborne Flow.docx



CITY OF NEWBURGH

Office of the Engineer

83 Broadway, Newburgh, New York 12550

(845) 569-7447/Fax (845) 569-7349

www.cityofnewburgh-ny.gov

Jason C. Morris, P.E.
City Engineer
jmorris@cityofnewburgh-ny.gov

Chad M. Wade, R.L.A.
Assistant City Engineer
cwade@cityofnewburgh-ny.gov

December 3, 2019

James W. Osborne, PE
Town Engineer
Town of Newburgh
1496 Route 300
Newburgh, New York 12550

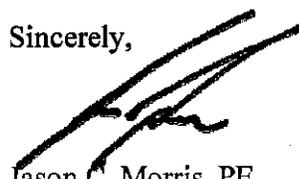
Re: Crossroads S.D. – City/Town of Newburgh Intermunicipal Agreement
Newburgh Towne Center Expansion Flow Acceptance Letter
Tax Lot 60-3-29.11
City of Newburgh Sewer Connection Approval (1,955 gpd)

Mr. Osborne,

Pursuant to the terms and conditions of the City-Town of Newburgh Intermunicipal Sewer Agreement dated May 6, 2004, permission is hereby granted for an increase in sewer flow to the Town of Newburgh's sewer main to serve the proposed expansion to the Newburgh Towne Center to be located on tax lot 60-3-29.11. The anticipated sewer flow increase of 1,955gpd from this proposed expansion will be counted toward the 3.8 million gallons per day capacity allocated to the Town, as stated in the City-Town Sewer Agreement. If any industrial processes are to be located within the facility and expected to discharge to the sewer system, the property owner shall notify the Town and City of Newburgh immediately to apply for an industrial discharge permit.

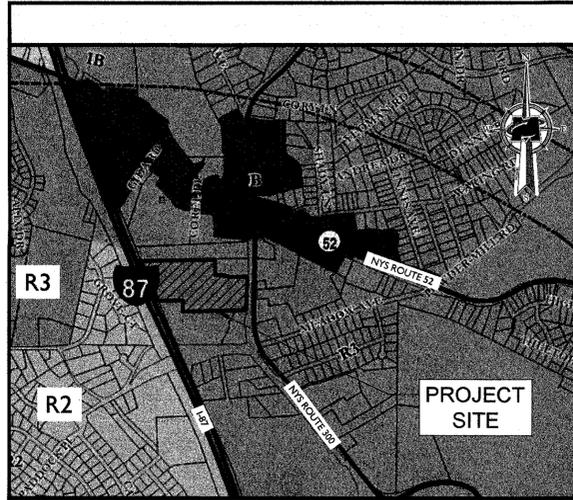
Please notify this office via email at least 48 hours prior to the commencement of sewer flows from this proposed facility. If you have any questions regarding this approval, please contact this office at your convenience.

Sincerely,



Jason C. Morris, PE
City Engineer

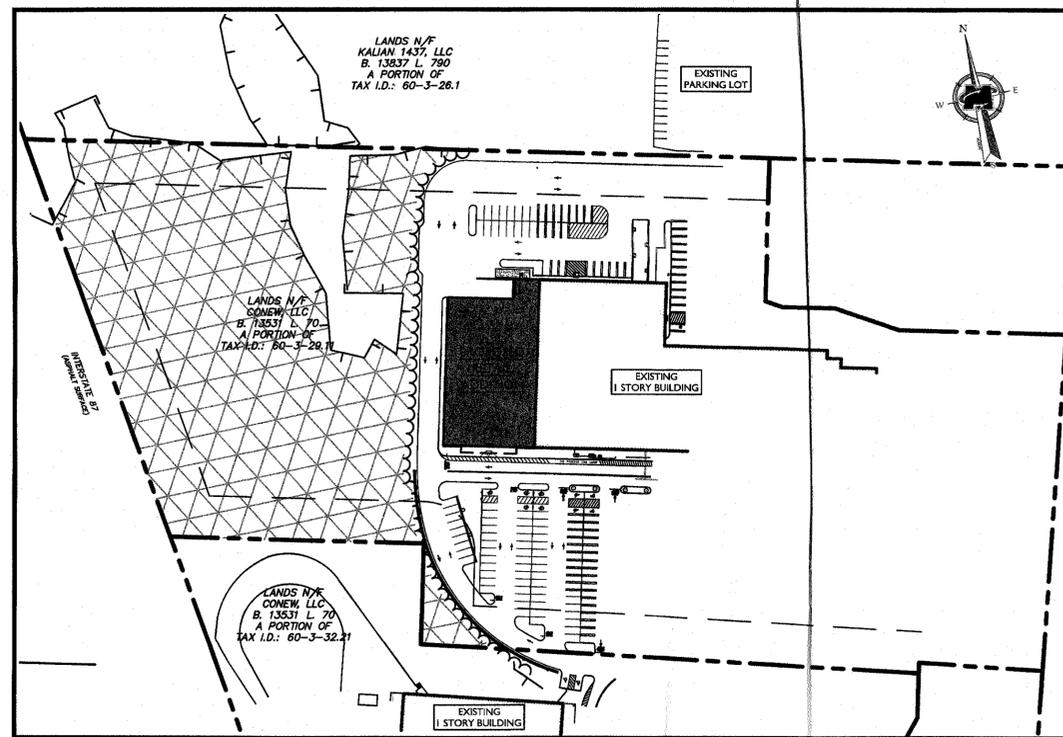
cc: Joseph P. Donat, City Manager
Michelle Kelson, Corporation Counsel
George Garrison, DPW Superintendent
Michael Batz, INFRAMARK
Gil Piaquadio, Town Supervisor
John P. Ewasutyn, Planning Board Chairman
Patrick Hines, PE, Town Consulting Engineer
Justin E. Dates, RLA, Maser Consulting



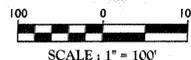
TOWN OF NEWBURGH ZONING MAP

SCALE: 1" = 1,000'

PRELIMINARY SITE PLANS FOR COFINANCE, INC NEWBURGH TOWNE CENTER SECTION 60, BLOCK 3, LOT 29.11 TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK STATE



KEY MAP



GENERAL INFORMATION

1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY MASER CONSULTING, P.A. AND PREPARED FOR GDPBJ LLC, LAST REVISED 1/17/2019
2. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW YORK STATE PLANE COORDINATE SYSTEM EAST ZONE AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
3. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAPS 36071C0139E, DATED AUGUST 3, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
4. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS" LATEST VERSION, AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
5. WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LOOP WITHIN THE SITE. WATERMAIN SIZE AND LOCATION IS REFERENCED FROM BEST AVAILABLE MAPPING.
6. SANITARY SEWER SERVICE SHALL BE PROVIDED BY A GRAVITY CONNECTION TO EXISTING SEWER MAIN WITHIN THE SITE. MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO MUNICIPAL AND ORANGE COUNTY COUNTY HEALTH DEPARTMENT REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS, EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY. SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
7. SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE-IRON-PIPE USING MECHANICAL OR SLIP ON JOINTS, FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
8. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
9. ELECTRIC, COMMUNICATIONS, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
10. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
11. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS, HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
12. REFUSE AND RECYCLABLES PICKUP SHALL BE AS SHOWN OF THE PLAN AND AS DEEMED ACCEPTABLE BY THE TOWN FIRE INSPECTORS OFFICE.
13. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
14. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
15. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
16. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
17. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY. CONSTRUCTION ON SITE SHALL BE IN COMPLIANCE WITH SITE PLANS APPROVED BY THE TOWN PLANNING BOARD.
18. EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
19. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
20. INFORMATION SHOWN HEREON IS INCORPORATED WITH THE CONTENTS OF THE FOLLOWING REPORTS:
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY MASER CONSULTING DATED, NOVEMBER 2019
 - WETLAND DELINEATION REPORT NEWBURGH TOWNE CENTER PREPARED BY MASER CONSULTING DATED, MARCH 4, 2019
21. PROPERTY DESCRIPTION:
 - TAX LOT: 60-3-29.11
 - LOT SIZE: 12.91 ACRES
 - ZONE: IB (INTERCHANGE BUSINESS)
 - PROPERTY LOCATION: 1431 NY-300, NEWBURGH, NY 12550

MASER CONSULTING, P.A.

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REV	DATE	DESCRIPTION

JUSTIN E. DATES
NEW YORK REGISTERED
LANDSCAPE ARCHITECT - LICENSE NUMBER: 001964

NEWBURGH TOWNE CENTER
FOR
COFINANCE, INC.

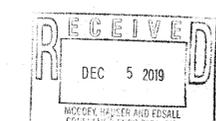
SECTION 60
BLOCK 3
LOT 29.11

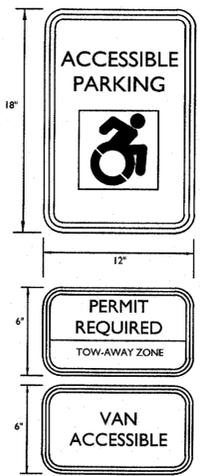
TOWN OF NEWBURGH
ORANGE COUNTY
NEW YORK STATE

NEW WINDSOR OFFICE
 535 Hudson Valley Avenue
 Suite 101
 New Windsor, NY 12553
 Phone: 845.564.4995
 Fax: 845.567.1025

SCALE: AS SHOWN	DATE: 11/26/2019	DRAWN BY: CDR	CHECKED BY: JED
PROJECT NUMBER: 18006812A	DRAWING NAME: C-COVER		
SHEET TITLE: COVER SHEET			
SHEET NUMBER: 01 of 15			

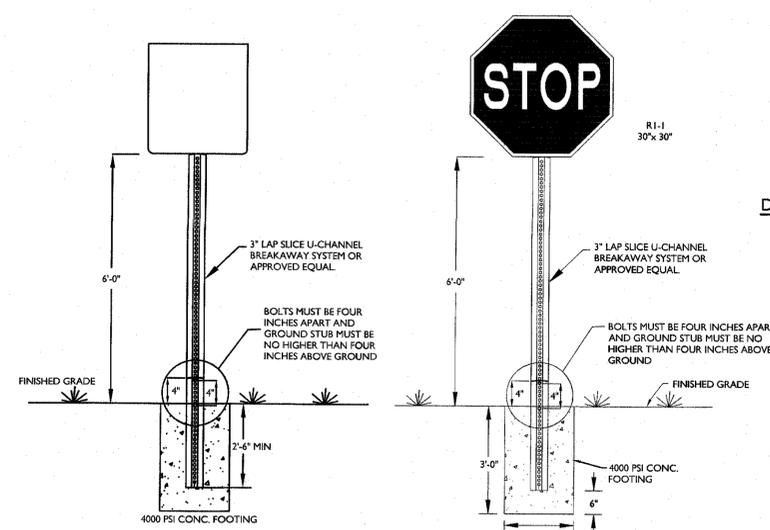
INDEX OF SHEETS		
SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	OVERALL EXISTING CONDITIONS PLAN	
3	SITE DEMOLITION PLAN	
4	DIMENSION PLAN	
5	GRADING, DRAINAGE, & UTILITY PLAN	
6	SOIL EROSION & SEDIMENT CONTROL PLAN	
7	SOIL EROSION & SEDIMENT CONTROL DETAILS	
8	LANDSCAPE PLAN	
9	LIGHTING PLAN	
10-15	CONSTRUCTION DETAILS	





NOTES:
1. SIGN COLORS TO BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.

SIGN FOR ACCESSIBLE PARKING SPACE

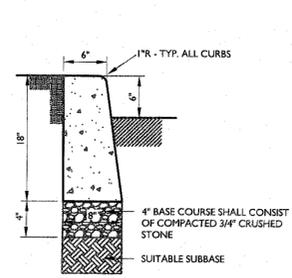


BREAKAWAY SIGN POST DETAIL

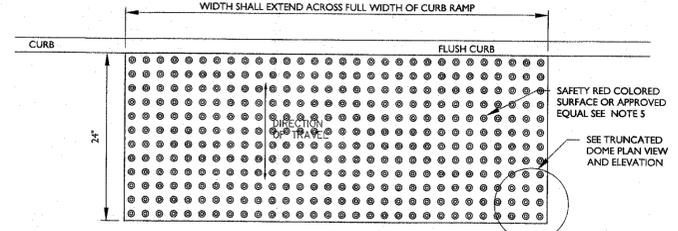
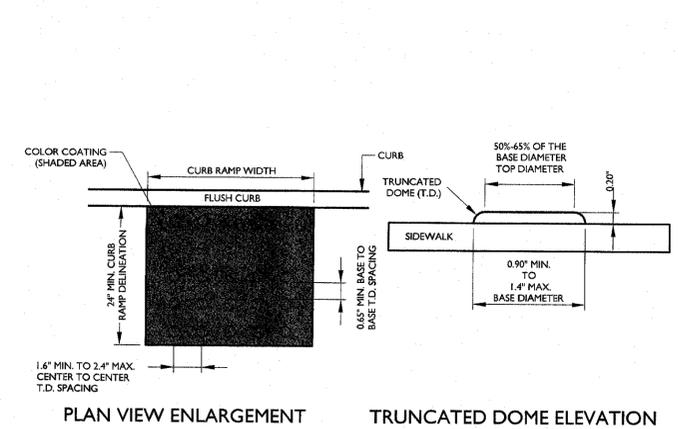
BREAKAWAY STOP SIGN WITH POST DETAIL



NO PARKING ANY TIME SIGN (R7-1)



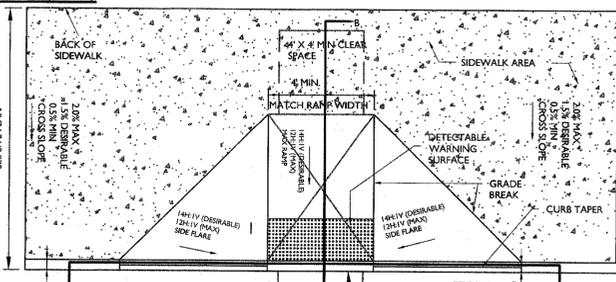
CONCRETE CURB FOR ON-SITE



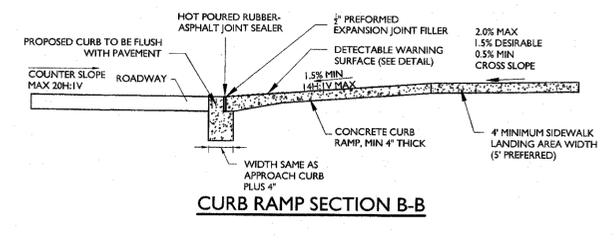
- NOTES:**
1. THE DETECTABLE WARNING SURFACE SHALL BE MANUFACTURED MATS THAT ARE EMBEDDED AND CAST-IN-PLACE IN THE CONCRETE.
 2. IN LIEU OF A CAST IN PLACE DETECTABLE WARNING SURFACE, THE CONTRACTOR MAY UTILIZE A SURFACE APPLIED DETECTABLE WARNING SURFACE WITH PRIOR APPROVAL OF THE UNDERSIGNED ENGINEER AND PRIOR TO POURING OF THE CONCRETE RAMP.
 3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SHOP DRAWING OF THE DETECTABLE WARNING SURFACE PRIOR TO CONSTRUCTION FOR APPROVAL.
 4. THE CONTRACTOR SHALL PROVIDE A MANUFACTURER CERTIFICATION THAT THE DETECTABLE WARNING SURFACE COMPLIES WITH THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE DEPARTMENT OF JUSTICE AND THE ADA STANDARDS AS SUPPORTED BY THE UNITED STATES ACCESS BOARD, AND THE STATE AND/OR LOCAL ADA STANDARDS.
 5. SAFETY RED SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. ALTERNATIVE COLOR MAY BE USED PROVIDED SUCH COLOR COMPLIES WITH CURRENT ADA STANDARDS.
 6. DETECTABLE WARNINGS SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES AND SHALL COMPLY DETECTABLE WARNINGS.
 7. TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 INCH (23 mm) MINIMUM AND 1.4 INCHES (36 mm) MAXIMUM, A TOP DIAMETER OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 65 PERCENT OF THE BASE DIAMETER MAXIMUM, AND A HEIGHT OF 0.2 INCH (5.1 mm).
 8. TRUNCATED DOMES IN DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 mm) MINIMUM AND 2.4 INCHES (61 mm) MAXIMUM, AND A BASE-TO-BASE SPACING OF 0.65 INCH (17 mm) MINIMUM, MEASURED BETWEEN THEIR MOST ADJACENT DOMES ON A SQUARE GRID.

DETECTABLE WARNING SURFACE

- CURB RAMP NOTES:**
1. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
 2. LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 3. CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
 4. CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DEVOTED ON SITE PLAN.
 5. MAXIMUM RAMP SLOPE MAY BE 12H:1V UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10H:1V UPON THE APPROVAL OF THE ENGINEER.
 6. MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50% OR THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPE MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
 7. ACCESSIBLE RAMP SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
 8. DEVIATION FROM THE CURB RAMP DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL, COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
 9. THE RAMP SURFACE SHALL BE A NON-SLIP, HAND BROOMED FINAL FINISH OF CONCRETE SURFACES.
 10. CONCRETE EXPANSION JOINTS SHALL BE FIRM SURFACES, WITH CONCRETE EDGES 1/4" BEVELED, AND WITH THE JOINT SURFACE NOT MORE THAN 1/4" BELOW THE ADJOINING CONCRETE SURFACE.
 11. CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
 12. THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONFINED AT THE BACK OF THE SIDEWALK.
 13. ON CURVED CROSSWALKS, THE MAXIMUM SEPARATION BETWEEN THE CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' BY 4' CLEAR ZONE. A SHOP DRAWING SHALL BE SUBMITTED PRIOR TO CONSTRUCTION FOR APPROVAL.

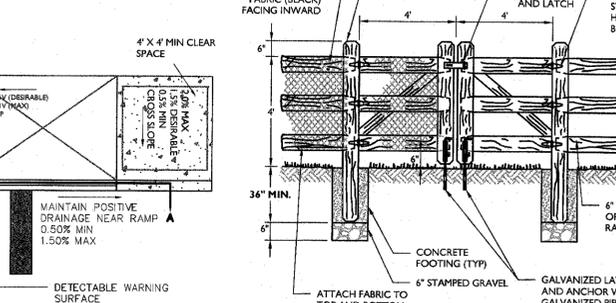


CURB RAMP SECTION A-A

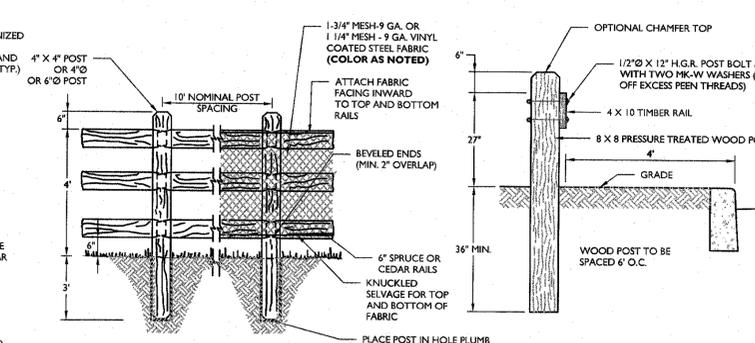


CURB RAMP SECTION B-B

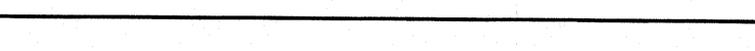
- NOTES:**
1. DEPRESSED CURB AT DETECTABLE WARNING SHALL BE A SMOOTH LEVEL SURFACE THAT IS FLUSH WITH THE ADJOINING PAVEMENT. NO BUMPS OR ROUGH SURFACE ARE ALLOWED. SUCH UNEVENNESS SHALL BE FILLED OR GRINDER SMOOTH.
 2. POSITIVE DRAINAGE SHALL BE MAINTAINED AT RAMP. RAMP SHALL SLOPE TOWARDS PAVEMENT. NO PONDING OF WATER IS PERMITTED AT CURB RAMP. PAVEMENT GRADES TO BE ADJUSTED AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
 3. CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
 4. MAXIMUM GUTTER DRAINAGE GRADE MAY BE INCREASED TO 2.00% UPON THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
 5. DEVIATION FROM THIS DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.



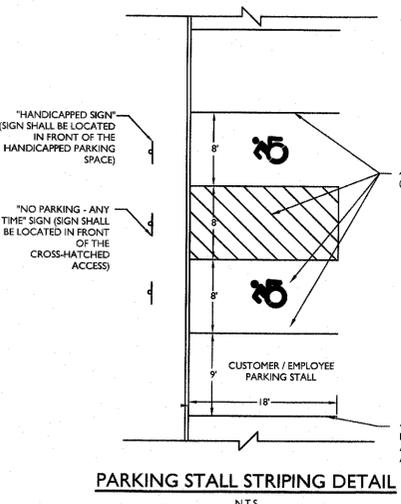
TYPICAL PARALLEL CURB RAMP



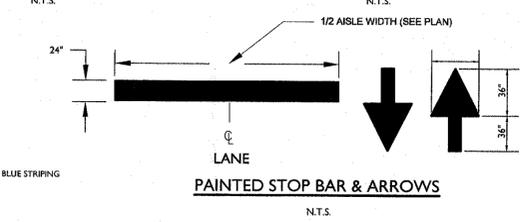
SPLIT RAIL FENCE GATE



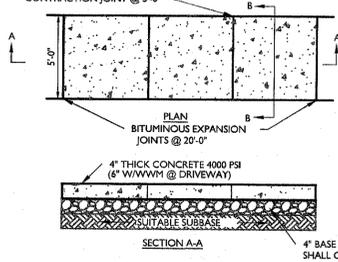
TIMBER GUIDRAIL



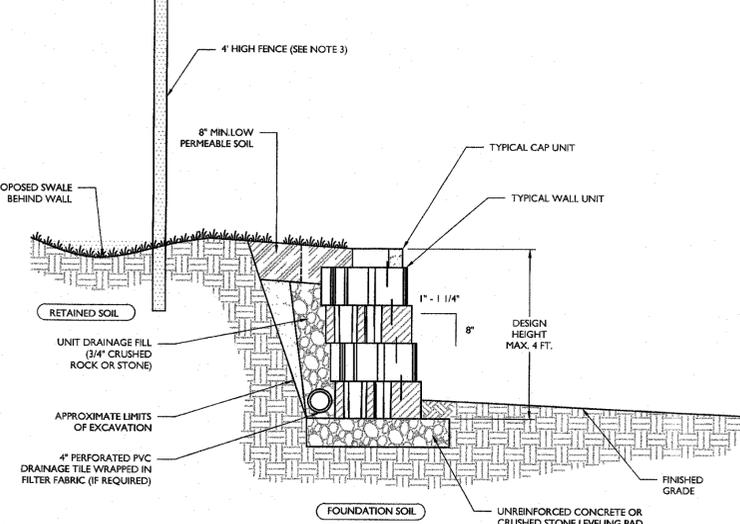
PARKING STALL STRIPING DETAIL



PAINTED STOP BAR & ARROWS



CONCRETE SIDEWALK



TYPICAL GRAVITY BLOCK WALL SECTION (MAXIMUM 4FT. DESIGN HEIGHT) DETAIL

- NOTES:**
1. MODULAR CONCRETE BLOCK WALL TO BE INSTALLED IN FIELD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. CONTRACTOR TO PROVIDE SITE SPECIFIC SHOP DRAWINGS AND STRUCTURAL DESIGN CALCULATIONS FOR EACH RETAINING WALL PREPARED BY A STATE LICENSED PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 3. A SAFETY BARRIER (FENCING) IS REQUIRED ON ALL WALLS WHERE THE WALL HEIGHT EXCEEDS 30 INCHES. PLACEMENT AND INSTALLATION METHODS OF THE PROPOSED FENCING TO BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

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555 Hudson Valley Avenue
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PROJECT NUMBER: 18006812A
DRAWING NAME: C-DTLS

SHEET NUMBER: 10 of 15

