



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: NEWBURGH INN & SPA-EV CHARGING
PROJECT NO.: 24-05
PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 126 & 17 / 90 ROUTE 17K
REVIEW DATE: 1 MARCH 2024
MEETING DATE: 7 MARCH 2024
PROJECT REPRESENTATIVE: COLLIERS ENGINEERING & DESIGN

1. Adjoiner's Notices must be sent out after this meeting.
2. Code Compliance Department's comments regarding potential existing violations on the site should be received.
3. The pavement in the area of the proposed EV stations is in very poor condition. Parking spot delineation is non-existent. There appears to be debris and former bumper blocks strewn in the area.
4. Screening of the facility and infrastructure for it should be addressed.
5. The plans identify trees and brush to be removed as needed. It is requested that additional detail be provided.
6. The plans must be submitted to Orange County Planning Department as project is located on a State highway.
7. The code requires a 35 foot landscape buffer along NYS Route 17K. Planning Board should evaluate any requirements to meet that section of the code for the Amended Site Plan.
8. The Site Plan should identify a Bulk Table for the entire site. Amended Site Plans cause any pre-existing non-conforming bulk requirements to be lost.
9. The emergency access drive leading out to Restaurant Depot is in a complete state of disrepair. A makeshift gate has been constructed at this location.
10. Housekeeping at the facility should be evaluated with regard to compliance with State Building Code.
11. The Planning Board may wish to perform a field review of the project site.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in cursive script, appearing to read "Patrick J. Hines".

Patrick J. Hines

Principal

PJH/kbw



ChargeSmart EV

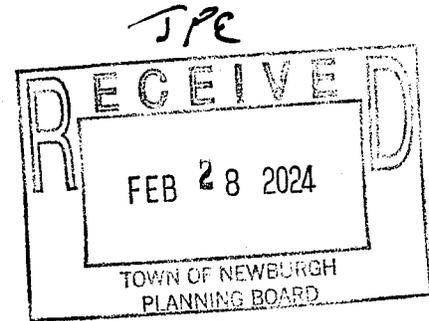
January 29, 2024

Attn: Planning Board

Town of Newburgh

21 Hudson Valley Professional Plaza

Newburgh, NY 12550



Re: Newburgh Inn and Spa EV Charging by ChargeSmartEV

Project # 2024-045

Dear Town of Newburgh Planning Board:

ChargeSmartEV is proposing a project to install Electric Vehicle Charging Stations at Newburgh Inn and Spa located at 90 Route 17k Newburgh, NY 12550. The scope of work is attached and includes Qty 5 32A Dual Port Pedestal Mount Chargers that will accommodate EV charging in Qty 10 parking spaces. See attached documents in support of this project.

- Application Package w/ Signed Proxy & Signed Checklist
- Long Form EAF Application
- Preliminary Engineer Drawings include:
 - Site Plan
 - Charger Layout
 - Charger Specs
 - Sign and Bollard Details

Thanks,

Bridget O'Connor

Bridget O'Connor

607-220-6014

**TOWN OF NEWBURGH
APPLICATION FOR
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550**

DATE RECEIVED: _____ **TOWN FILE NO:** _____
(Application fee returnable with this application)

1. Title of Subdivision/Site Plan (Project name):
_____ Newburgh Inn and Spa _____

2. Owner of Lands to be reviewed:
Name Newburgh Inn and Spa
Address 90 Route 17k Newburgh, NY 12550
Phone 917-498-0031

3. Applicant Information (If different than owner):
Name ChargeSmartEV Bridget O'Connor
Address 5 Southside Dr. Suite 11-184
Clifton Park, NY 12065
Representative Bridget O'Connor
Phone 607-220-6014
Fax _____
Email bridget@chargesmartev.com

4. Subdivision/Site Plan prepared by:
Name ChargeSmartEV Bridget O'Connor
Address 5 Southside Dr. Suite 11-184
Clifton Park, NY 12065
Phone/Fax 607-220-6014

5. Location of lands to be reviewed:
_____ 90 Route 17k Newburgh, NY 12550 _____

6. Zone Commercial-Hotel **Fire District** Newburgh
Acreage _____ **School District** Newburgh

7. Tax Map: Section 95 **Block** 1 **Lot** 16 & 17

8. Project Description and Purpose of Review:

Number of existing lots NA Number of proposed lots NA

Lot line change NA

Site plan review _____

Clearing and grading _____

Other Installation of Electric Vehicle Charging Stations

PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT

9. Easements or other restrictions on property:

(Describe generally) none applicable to this project

10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:

Signature Bridget O'Connor Title Director of Deployment

Date: 10/3/2023

NOTE: If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

Newburgh Inn Suites and Spa

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. Environmental Assessment Form As Required
2. Proxy Statement
3. Application Fees
4. Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1. Name and address of applicant
2. Name and address of owner (if different from applicant)
3. Subdivision or Site Plan and Location
4. Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. Date of plan preparation and/or plan revisions
9. Scale the plan is drawn to (Max 1" = 100')
10. North Arrow pointing generally up

can be provided
in final plans

11. X Surveyor,s Certification

12. X Surveyor's seal and signature

Can be provided
on final plans

13. Name of adjoining owners

14. NA Wetlands and 100 ft. buffer zone with an appropriate note regarding
D.E.C. or A.C.O.E. requirements

15. NA Flood plain boundaries

16. NA Certified sewerage system design and placement by a Licensed Professional
Engineer must be shown on plans in accordance with Local Law #1 1989

17. X Metes and bounds of all lots

18. X Name and width of adjacent streets; the road boundary is to be a minimum
of 25 ft. from the physical center line of the street

19. NA Show existing or proposed easements (note restrictions)

20. NA Right-of-way width and Rights of Access and Utility Placement

21. NA Road profile and typical section (minimum traveled surface, excluding
shoulders, is to be 18 ft. wide)

22. X Lot area (in sq. ft. for each lot less than 2 acres)

23. X Number of lots including residual lot

24. NA Show any existing waterways

25. NA A note stating a road maintenance agreement is to be filed in the County
Clerk's Office where applicable

Can be provided
on final plans

26. Applicable note pertaining to owners review and concurrence with plat
together with owner's signature

27. NA Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.

28. X Show all existing houses, accessory structures, wells and septic systems on
and within 200 ft. of the parcel to be subdivided

29. NA Show topographical data with 2 or 5 ft. contours on initial submission

Can be provided
on final plans

30. _____ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
31. NA If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
32. NA Number of acres to be cleared or timber harvested
33. NA Estimated or known cubic yards of material to be excavated and removed from the site
34. NA Estimated or known cubic yards of fill required
35. NA The amount of grading expected or known to be required to bring the site to readiness
36. NA Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.
- _____
- _____
37. NA Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
- _____
- _____

Can be provided
on final plans

38. _____ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: Dejian Xu
Licensed Professional

Date: 2/29/2024

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Bridget O'Connor
APPLICANT'S NAME (printed)

Bridget O'Connor
APPLICANTS SIGNATURE

10/2/2023
DATE

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Luis Tappan, **DEPOSES AND SAYS THAT HE/SHE**

RESIDES AT 142 Fostertown Rd. Newburgh, NY 12550

IN THE COUNTY OF Orange

AND STATE OF New York

AND THAT HE/SHE IS THE OWNER IN FEE OF _____

Newburgh Inn Suites & Spa

**WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH
PLANNING BOARD AND Bridget O'Connor/Charge Smart IS AUTHORIZED
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.**

DATED: 10/03/23



OWNERS SIGNATURE

Luis Tappan

OWNERS NAME (printed)



WITNESS' SIGNATURE

**NAMES OF ADDITIONAL
REPRESENTATIVES**

Cindy Sagastume

WITNESS' NAME (printed)

PLANNING BOARD DISCLAIMER STATEMENT
TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

10/3/2023

DATED

ChargeSmartEV

APPLICANT'S NAME (printed)

Bridget O'Connor

APPLICANT'S SIGNATURE

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

X _____ **NONE**

_____ **NAME, ADDRESS, RELATIONSHIP OR INTEREST**
(financial or otherwise)

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

_____ **TOWN BOARD**
_____ **PLANNING BOARD**
_____ **ZONING BOARD OF APPEALS**
_____ **ZONING ENFORCEMENT OFFICER**
_____ **BUILDING INSPECTOR**
_____ **OTHER**

10/3/2023

DATED

ChargeSmartEV Bridget O'Connor

INDIVIDUAL APPLICANT

CORPORATE OR PARTNERSHIP APPLICANT

BY: _____
(Pres.) (Partner) (Vice-Pres.)
(Sec.) (Treas.)

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 10/3/2023

NAME OF PROJECT: Newburgh Inn and Spa EV Charging

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

COLOR OF THE EXTERIOR OF BUILDING:

ACCENT TRIM:

Location: _____

Color: _____

Type (material): _____

PARAPET (all roof top mechanicals are to be screened on all four sides):

ROOF:

Type (gabled, flat, etc.): _____

Material (shingles, metal, tar & sand, etc.): _____

Color: _____

WINDOWS/SHUTTERS:

Color (also trim if different): _____

Type: _____

DOORS:

Color: _____

Type (if different than standard door entrée): _____

SIGN:

Color: See attached Sign Detail _____

Material: _____

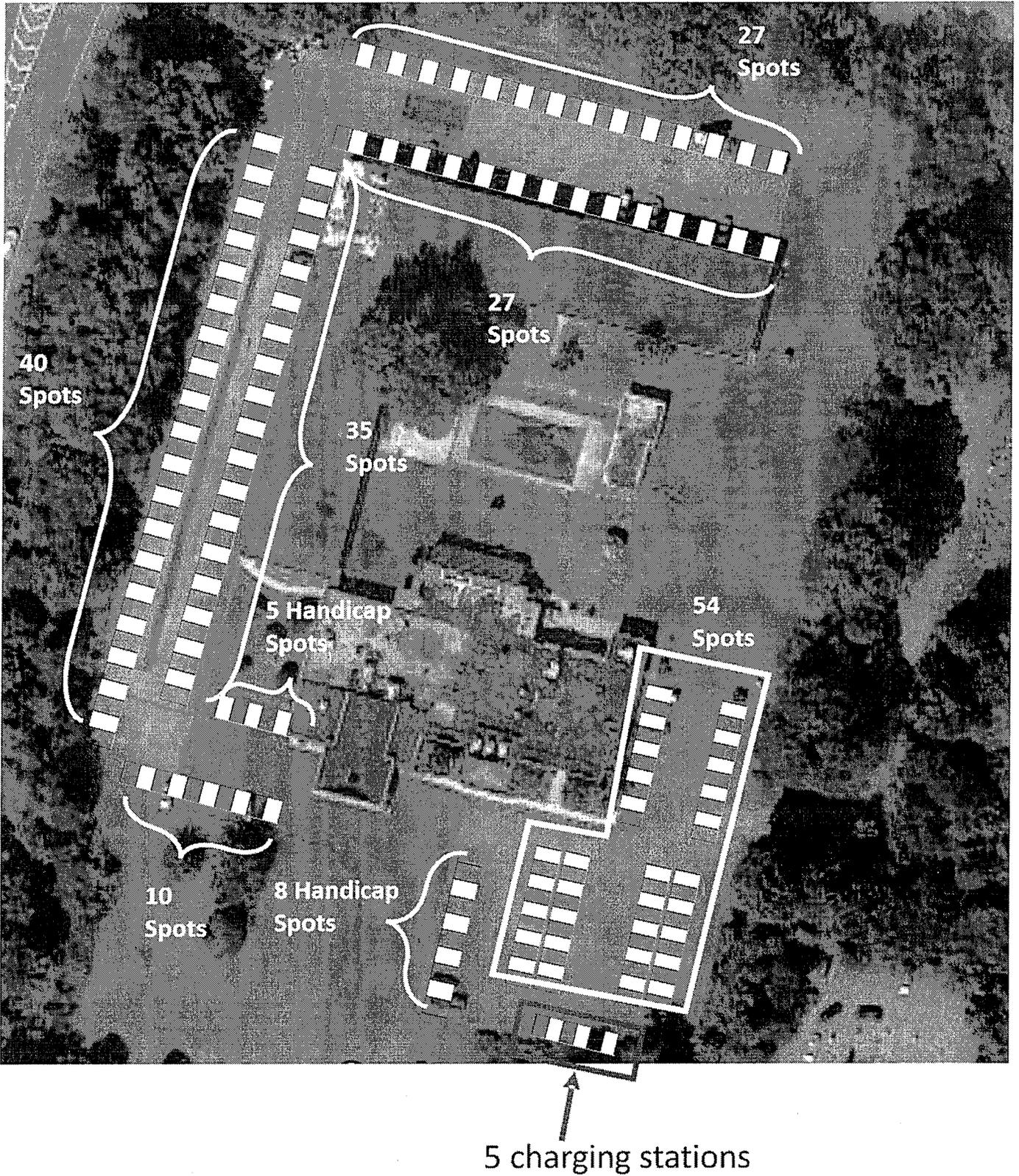
Square footage of signage of site: _____

ChargeSmartEV Bridget O'Connor

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Bridget O'Connor

Signature



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| Part 1 – Project and Sponsor Information | | | |
|---|--|---|--|
| Newburgh Inn and Spa-EV Charging Stations by ChargeSmart EV | | | |
| Name of Action or Project: Newburgh Inn and Spa/Hudson Valley Hotel | | | |
| Project Location (describe, and attach a location map): 90 NY 17k Newburgh, NY 12550 | | | |
| Brief Description of Proposed Action: ChargeSmart EV is proposing a project that will install Qty 5 32A Dual Port charging stations at the Newburgh Inn & Spa. The stations will accommodate the charging of 10 vehicles. | | | |
| Name of Applicant or Sponsor: ChargeSmart EV-Bridget O'Connor | | Telephone: 607-220-6014 E-Mail: bridgeto@chargesmartev.com | |
| Address: 5 Southside Drive Suite 11-184 | | | |
| City/PO: Clifton Park | | State: NY | Zip Code: 12065 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: The Town of Newburgh requires a building permit | | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? _____ 1 acres | | | |
| b. Total acreage to be physically disturbed? _____ .25 acres | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 1 acres | | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland | | | |

| 5. Is the proposed action, | NO | YES | N/A |
|---|---|---|-------------------------------------|
| a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | NO <input type="checkbox"/> | YES <input checked="" type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____ | NO <input checked="" type="checkbox"/> | YES <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | NO <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> | |

PROJECT NOTES

1. SITE INFORMATION OBTAINED FROM THE FOLLOWING:
 - A. COLLIERS ENGINEERING & DESIGN DID NOT VISIT THIS SITE TO VERIFY EXISTING CONDITIONS. ANY CONFLICT WITH THE PROPOSED DESIGN MUST BE DISCUSSED WITH THE CONSTRUCTION MANAGER.
 - B. A SURVEY HAS NOT BEEN CONDUCTED BY COLLIERS ENGINEERING AND DESIGN. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 - C. EXISTING CONDITIONS & DEMOLITION PLAN ENTITLED "NOWAB HOTELS, CORP." PREPARED BY MASER CONSULTING OF NEWBURGH, NY DATED 06/24/09.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. THE PROPOSED FACILITY WILL COMPLY WITH ALL STATE AND LOCAL STORMWATER ORDINANCES.
10. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
11. THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
13. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.

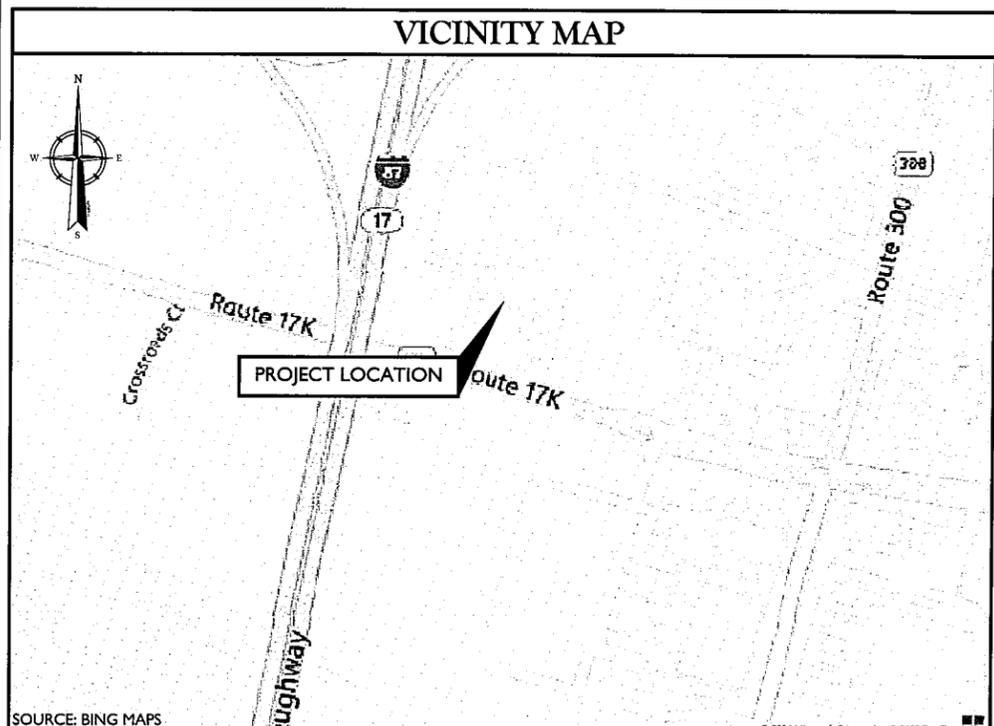
**COPYRIGHT © 2024
COLLIERS ENGINEERING & DESIGN
ALL RIGHTS RESERVED**
THIS DRAWING AND ALL THE INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF COLLIERS ENGINEERING & DESIGN.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.



ChargeSmart EV
SITE NAME:
NEWBURGH INN SUITES AND SPA

90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY



CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

| | |
|--|---|
| 1. 2020 BUILDING CODE OF NYS, INCORPORATING THE 2018 IBC | 8. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81 IEEE C2 LATEST EDITION |
| 2. 2017 NEC | 9. TELCORDIA GR-1275 |
| 3. 2020 NYS FIRE CODE | 10. ANSI T1.311 |
| 4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-16 | 11. PROPOSED USE: ELECTRIC VEHICLE CHARGING |
| 5. AMERICAN CONCRETE INSTITUTE | 12. SECTION 625 OF THE NATIONAL ELECTRICAL CODE (NFPA 70) |
| 6. CONSTRUCTION TYPE: IIB | |
| 7. USE GROUP: S2 | |

PROJECT INFORMATION

SITE INFORMATION

LATITUDE: 41.50624° (GOOGLE EARTH)
 LONGITUDE: -74.07375° (GOOGLE EARTH)
 GROUND ELEVATION: 382± AMSL (GOOGLE EARTH)
 JURISDICTION: NEWBURGH TOWNSHIP
 COUNTY: ORANGE COUNTY

APPLICANT

COMPANY: CHARGESMART EV
 ADDRESS: 5 SOUTHSIDE DRIVE, SUITE 11-184
 CITY, STATE, ZIP: CLIFTON PARK, NY 12065

PROPERTY OWNER

OWNER: WABNO HOSPITALITIES
 ADDRESS: 90 ROUTE 17K
 CITY, STATE, ZIP: NEWBURGH, NY 12550

ENGINEERING COMPANY

COMPANY: COLLIERS ENGINEERING & DESIGN, INC
 ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100
 CITY, STATE, ZIP: MT. LAUREL, NJ 08054
 CONTACT: STEPHANIE MULHERN
 OWNES: (856) 797-0412
 E-MAIL: STEPHANIE.MULHERN@COLLIERSENG.COM

SCOPE OF WORK

- SUPPLY AND INSTALL (1) PANEL BOARD
- SUPPLY AND INSTALL (1) METER/DISCONNECT
- SUPPLY AND INSTALL (5) 7.2kW DUAL ELECTRIC VEHICLE CHARGERS
- SUPPLY AND INSTALL (6) CONCRETE PADS
- SUPPLY AND INSTALL REQUIRED CONDUIT/WIRING
- PROVIDE TRENCHING/RESTORATION AS REQUIRED

SHEET INDEX

| SHEET | DESCRIPTION |
|-------|-------------------|
| T-1 | TITLE SHEET |
| GN-1 | PROJECT NOTES |
| C-1 | SITE PLAN |
| C-2 | PARTIAL SITE PLAN |
| A-1 | PROJECT DETAILS |
| A-2 | PROJECT DETAILS |
| A-3 | PROJECT DETAILS |

Colliers Engineering & Design
www.colliersengineering.com

Copyright © 2024, Colliers Engineering & Design. All Rights Reserved. This drawing and all the information contained herein are authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.

ChargeSmart EV

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

811
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

| SCALE | JOB NUMBER |
|----------|------------|
| AS SHOWN | 2390213 |

| REV | DATE | DESCRIPTION | DRAWN BY | CHECKED BY |
|-----|----------|-------------------|----------|------------|
| B | 01/24/24 | ISSUED FOR REVIEW | RMD | DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD | DX |

Dejian Xu
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 104788
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0017609

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:
NEWBURGH INN SUITES AND SPA
90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY

Colliers Engineering & Design
NEWBURGH
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT, P.C.

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

DESIGN CRITERIA

1. **NOTABLE CODE ITEMS:**
 - 1.1. WHERE PROVIDED, ELECTRIC VEHICLE CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70. ELECTRIC VEHICLE CHARGING SYSTEM EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2202. ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2594.
 2. **NFPA-70 NATIONAL ELECTRIC CODE:**
 - 2.1. ALL WORK WITHIN THESE DRAWINGS SHALL ADHERE TO NEC 625 ELECTRIC VEHICLE CHARGING SYSTEM.
- 625.1 SCOPE**
- THIS ARTICLE COVERS THE ELECTRICAL CONDUCTORS AND EQUIPMENT EXTERNAL TO AN ELECTRIC VEHICLE THAT CONNECTS AN ELECTRIC VEHICLE TO A SUPPLY OF ELECTRICITY BY CONDUCTIVE, INDUCTIVE, OR WIRELESS POWER TRANSFER (CONTACTLESS INDUCTIVE CHARGING) MEANS, AND THE INSTALLATION OF EQUIPMENT AND DEVICES RELATED TO ELECTRIC VEHICLE CHARGING.
 - INFORMATIONAL NOTE NUMBER 1: FOR INDUSTRIAL TRUCKS, SEE NFPA 505-2013, FIRE SAFETY STANDARD FOR POWERED INDUSTRIAL TRUCKS INCLUDING TYPE OF DESIGNATIONS, AREAS OF USE, CONVERSIONS, MAINTENANCE AND OPERATION.
 - INFORMATIONAL NOTE NUMBER 2: UL 2594-2013, STANDARD FOR ELECTRIC VEHICLE SUPPLY EQUIPMENT, IS A SAFETY STANDARD FOR CONDUCTIVE ELECTRIC VEHICLE SUPPLY EQUIPMENT. UL 2202-2009, STANDARD FOR ELECTRIC VEHICLE CHARGING SYSTEM EQUIPMENT, IS A SAFETY STANDARD FOR CONDUCTIVE ELECTRIC VEHICLE CHARGING EQUIPMENT.

GENERAL ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR SHALL PROVIDE TYPE-WRITTEN SCHEDULES OF ALL CIRCUITRY IN ALL PANELS. SCHEDULES SHALL MATCH THE LOADS SHOW IN THE PROJECT PANEL SCHEDULE INCLUDED IN THESE DRAWINGS. ALL SPARE PANEL SPACES SHALL BE FULLY PROTECTED WITH METAL BLANKS.
2. ELECTRICAL DEVICES, MATERIALS AND PACKAGED EQUIPMENT SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL) SUCH AS UNDERWRITERS LABORATORIES INC. (UL), FOR THE INTENDED USE, AND SHALL BEAR ITS LABEL. NOTE THAT THE NRTL APPROVAL OF INDIVIDUAL COMPONENTS OF PACKAGED EQUIPMENT DOES NOT CONSTITUTE APPROVAL OF THE ENTIRE PACKAGE.
3. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NFPA) AND THE BUILDING CODE REFERENCED ON SHEET T-1.
4. OWNER IS TO PAY FOR ALL REQUIRED FEES AND THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS. THE ELECTRICAL CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO OWNER PRIOR TO THE COMPLETION OF THE PROJECT.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS, NOT NECESSARILY DETAIL ON THESE DRAWINGS, TO RENDER THE ELECTRICAL INSTALLATION COMPLETE AND OPERATIVE, AND IN COMPLIANCE WITH APPLICABLE CODES.
6. ALL WIRING SHALL BE COPPER CONDUCTOR, MINIMUM SIZE #12 AWG, UNLESS OTHERWISE NOTED..
7. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING EQUIPMENT AND NOTE CONDITIONS AND AREAS WHERE WORK WILL OCCUR IN THE FIELD.
8. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH AND MEET ALL REQUIREMENTS OF SERVING UTILITY COMPANY.
9. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO AVOID CONFLICTS OF EQUIPMENT INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL EQUIPMENT LOCATIONS, WIRING DEVICES AND LIGHTING WITH ENGINEER PRIOR TO INSTALLATION.
10. ELECTRICAL CONTRACTOR SHALL SUBMIT EQUIPMENT SHOP DRAWINGS FOR APPROVAL BY ENGINEER PRIOR TO COMMENCING INSTALLATION.
11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING, AND PAINTING ASSOCIATED WITH ELECTRICAL WORK.
12. ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL INSTALLED UNDER THIS CONTRACT TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY THE OWNER. CONTRACTOR AGREES TO REPLACE ANY DEFECTIVE EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER FOR THE DURATION OF THE GUARANTEE PERIOD.
13. CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, EXCAVATION AND BACKFILL ASSOCIATED WITH THE ELECTRICAL WORK. PRIOR TO PERFORMING ANY EXCAVATIONS, THE CONTRACTOR SHALL CONTACT THE STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
14. CONTRACTOR SHALL PROTECT EXISTING ASPHALT PARKING LOTS, DRIVEWAYS AND CONCRETE CURBING THROUGHOUT THE PROJECT DURATION. CONTRACTION TO REPAIR PARKING LOTS, DRIVEWAY AND CURBING DAMAGED AS A RESULT OF ELECTRICAL WORK. REPAIRS SHALL MATCH EXISTING CONDITIONS OF BETTER.
15. SITE RESTORATION - WHERE AND AS INDICATED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL REPLACE ALL SURFACED DISTURBED AND SHALL RESTORE PAVING, CURBING, SIDEWALKS, DRIVEWAYS, SHRUBBERY, GRASS AREAS AND ALL OTHER SURFACES DISTURBED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE WORK BEGAN, FURNISHING ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY THERETO. THE CONTRACTOR SHALL, AT SAID CONTRACTOR'S OWN EXPENSE AND THE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, CLEAN UP AND CORRECT UNSIGHTLINESS, INCONVENIENCE, HAZARD OR DAMAGE CAUSED BY WATER, MUD, STONES, DUST, RUBBISH, CONSTRUCTION DEBRIS, TRAFFIC, WORKMEAN OR THE GENERAL OPERATIONS. WHEEL TRACKS, PATHS, PUDDLES, DAMAGED GROWTH, RAGGED EDGES, UNDESIRABLE SPOIL FROM EXCAVATION AND ROUGH SLOPES ARE TO BE REMOVED, OBLITERATED, CORRECTED, GRADED, LEVELED, PATCHED OR SMOOTHED. ALL ADJACENT AREAS THAT HAVE BEEN DAMAGED OR THAT REQUIRE REGRADING SHALL BE SMOOTHED AND WORKED TO MAKE THE PROJECT AREA BLEND INTO EXISTING CONDITIONS. PROVIDE TOPSOIL, SEED AND MULCH WHERE REQUIRED FOR GRASS ESTABLISHMENT.

WIRING METHODS

1. ALL WIRING METHODS AND INSTALLATION PRACTICES SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LOCAL STATE CODES AND OTHER APPLICABLE LOCAL CODES.
2. SYSTEM CONDUCTORS SHALL BE RATED FOR 90° C, WET RATED, UV RESISTANT AND A MINIMUM OF 600V RATED.
3. SYSTEM CIRCUIT CONDUCTORS SHALL BE IDENTIFIED AT ALL TERMINATIONS, CONNECTIONS AND SPLICE POINTS AS REQUIRED PER NEC ARTICLE 690.31 (B) (1).
4. DC ELECTRICAL SYSTEM CONDUCTOR COLOR CONVENTIONS SHALL BE MARKED AS FOLLOWS:

| DC CONDUCTOR MARKING CONVENTIONS | | | |
|----------------------------------|---------------|---|-------------------|
| | UNGROUND | SOLID GROUND | FUNCTIONAL GROUND |
| POSITIVE | RED | REF NEC ARTICLE 200 FOR GROUNDED CONDUCTOR JACKETING REQUIREMENTS | RED |
| NEGATIVE | BLACK | | BLACK |
| GROUND | GREEN OR BARE | GREEN OR BARE | GREEN OR BARE |

5. LOW VOLTAGE AC CONDUCTORS (<= 600V) MUST BE 600V AND 90° C RATED
6. THREE PHASE AC ELECTRICAL SYSTEM CONDUCTOR COLOR CONVENTIONS SHALL BE MARKED AS FOLLOWS:

| AC CONDUCTOR MARKING CONVENTIONS | | | |
|----------------------------------|----------|---------------------|---------------|
| | 120/280V | 277/480V & 347/600V | 1000V < |
| PHASE A | BLACK | BROWN | BLACK |
| PHASE B | RED | ORANGE | RED |
| PHASE C | BLUE | YELLOW | BLUE |
| NEUTRAL | WHITE | GRAY | - |
| GROUND | GREEN | GREEN | GREEN OR BARE |

7. ALL WIRES INSTALLED IN FREE AIR TO BE SECURED VIA MECHANICAL MEANS. CONDUCTORS TO BE SECURED IN A MANNER THAT ENSURES PROTECTION AGAINST ABRASION, SHARP EDGES AND POTENTIAL INSULATION DAMAGING ELEMENTS.
8. CONDUCTORS ROUTED OUT OF A CONDUIT SHALL BE SUPPORTED AND SECURED AT INTERVALS DEFINED BY THE NEC.
9. CONDUCTORS ROUTED IN VERTICAL RACEWAYS SHALL BE SUPPORTED AS REQUIRED IN NEC 300.19.

GROUNDING NOTES

1. ALL ENCLOSURES AND NON-CURRENT CARRYING METALLIC PARTS OF THE ELECTRICAL SYSTEM, RACEWAY SYSTEMS AND EQUIPMENT GROUND BUSES SHALL BE GROUNDED TO THE GROUNDING SYSTEM VIA EQUIPMENT GROUNDING CONDUCTORS (EGC). GROUND CONTINUITY SHALL BE MAINTAINED THROUGHOUT.
2. EQUIPMENT GROUNDING CONDUCTORS SHALL BE SIZED PER NEC 250.122.
3. GROUNDING RODS SHALL BE 10'-0" LONG 3/4"Ø COPPER CLAD UNLESS OTHERWISE SPECIFIED.
4. GROUND RODS, GROUNDING ELECTRODE CONDUCTORS AND CONNECTIONS TO BE MADE A MINIMUM OR 30" BELOW GRADE UNLESS OTHERWISE SPECIFIED.

CONDUIT, CABLE TRAY AND RACEWAY NOTES

1. CONDUIT AND CABLE ROUTES ARE DIAGRAMMATIC AND REQUIRE CONTRACTOR FIELD VERIFICATION. SIGNIFICANT DEVIATION FROM THE PROPOSED ROUTE MUST BE COORDINATED PRIOR TO INSTALLATION.
2. WHERE CIRCUIT ROUTING IS NOT SHOWN AND THE DESTINATION IS INDICATED, THE CONTRACTOR SHALL DETERMINE AND COORDINATE THE EXACT ROUTE PRIOR TO INSTALLATION.
3. ALL OUTDOOR CONDUIT SHALL HAVE RAIN-TIGHT CONNECTORS AND COUPLINGS.
4. IN ADDITION TO THOSE SHOWN IN THE DRAWINGS, CONTRACTOR SHALL DETERMINE AND PROVIDE ENCLOSURES AS NECESSARY TO FACILITATE THE INSTALLATION OF WIRING. BENDS IN CONDUIT BETWEEN PULL BOXES SHALL NOT EXISTING 360° OF BEND.
5. PULL AND JUNCTION BOXES SHALL BE SIZED IN COMPLIANCE WITH NEC ARTICLE 314.
6. CONDUIT TO BE ROUTED IN A MANNER THAT DOES NOT OBSTRUCT EQUIPMENT WORKING CLEARANCES AND ACCESSIBILITY.
7. ALL OUTDOOR RATED ENCLOSURES SHALL BE NEMA 3R.
8. WHEN TRANSITIONING FROM FREE AIR TO CONDUIT, A LISTED FITTED SHALL BE USED TO PREVENT THE ENTRY OF MOISTURE.

Colliers Engineering & Design

www.colliersengineering.com

Copyright © 2014, Colliers Engineering & Design. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were rendered or to whom it is certified. This drawing may not be copied, re-used, disclosed, distributed or relied upon for any other purpose without the express written consent of Colliers Engineering & Design.



ChargeSmart EV

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 23902013

| REV | DATE | DESCRIPTION | DRAWN BY | CHECKED BY |
|-----|----------|-------------------|----------|------------|
| B | 01/24/24 | ISSUED FOR REVIEW | RMD | DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD | DX |

Dejian Xu
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 104788
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0017609

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:

NEWBURGH INN SUITES AND SPA
90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY

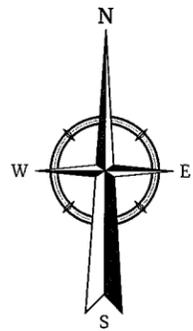
Colliers Engineering & Design
NEWBURGH
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SHEET TITLE:
PROJECT NOTES

SHEET NUMBER:
GN-1

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



PROPOSED PARKING
STALL (TYP. OF 10)
(TO BE UTILIZED BY
CHARGESMART EV)

Existing Utility Pole
(TO BE UTILIZED FOR
UTILITY SERVICE)

Approximate Location
of Existing Subject
Property Line

NEWBURGH INN
SUITES AND SPA

ROUTE 17K

SITE PLAN



SCALE : 1" = 60' FOR 22"X34"
(SCALE : 1" = 120' FOR 11"X17")



ChargeSmart EV



PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 23902013

| REV | DATE | DESCRIPTION | DRAWN BY | CHECKED BY |
|-----|----------|-------------------|----------|------------|
| B | 01/24/24 | ISSUED FOR REVIEW | RMD | DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD | DX |

Dejian Xu

NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 104788
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0017609

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:

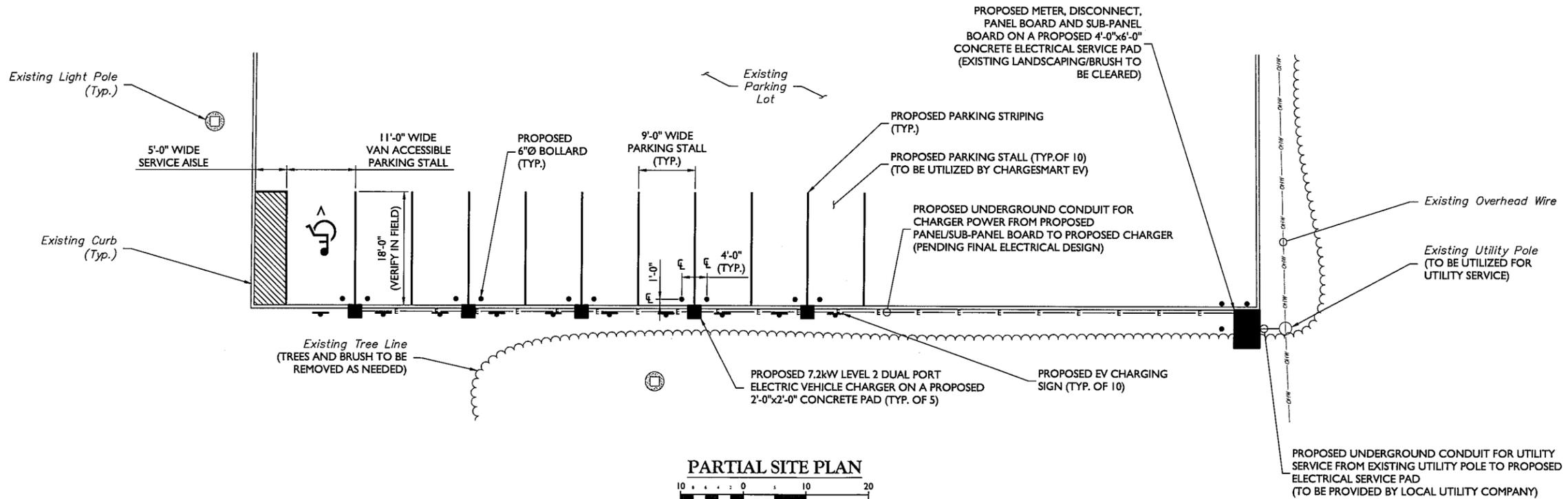
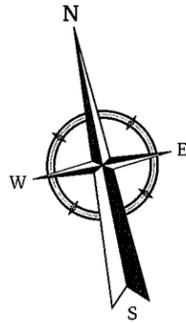
**NEWBURGH INN
SUITES AND SPA**
90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY



NEWBURGH
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-1



PARTIAL SITE PLAN
 SCALE : 1" = 10' FOR 22"x34"
 (SCALE : 1" = 20' FOR 11"x17")



ChargeSmart EV

PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 23902013

| REV | DATE | DESCRIPTION | DRAWN BY | CHECKED BY |
|-----|----------|-------------------|----------|------------|
| B | 01/24/24 | ISSUED FOR REVIEW | RMD | DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD | DX |

Dejian Xu
 NEW YORK LICENSED PROFESSIONAL ENGINEER
 LICENSE NUMBER: 104788
 COLLIER'S ENGINEERING & DESIGN CT, P.C.
 N.Y. C.O.A. #: 0017609

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:
NEWBURGH INN SUITES AND SPA
 90 ROUTE 17K
 NEWBURGH, NY 12550
 ORANGE COUNTY

Colliers Engineering & Design
 NEWBURGH
 555 HUDSON VALLEY AVENUE
 SUITE 101
 NEW WINDSOR, NY 12553
 Phone: 845.564.4495
 COLLIER'S ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT, P.C.

SHEET TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:
C-2

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.



ChargeSmart EV

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 23902013

| REV | DATE | DESCRIPTION | DRAWN BY | CHECKED BY |
|-----|----------|-------------------|----------|------------|
| B | 01/24/24 | ISSUED FOR REVIEW | RMD | DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD | DX |

Dejian Xu
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 104788
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0017609

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:

NEWBURGH INN SUITES AND SPA
90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY

Colliers Engineering & Design
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT, P.C.

SHEET TITLE: **PROJECT DETAILS**

SHEET NUMBER: **A-1**

COMMERCIAL ENERGY SERIES OVERVIEW

ChargeSmart EV

SLIM & DURABLE DESIGN

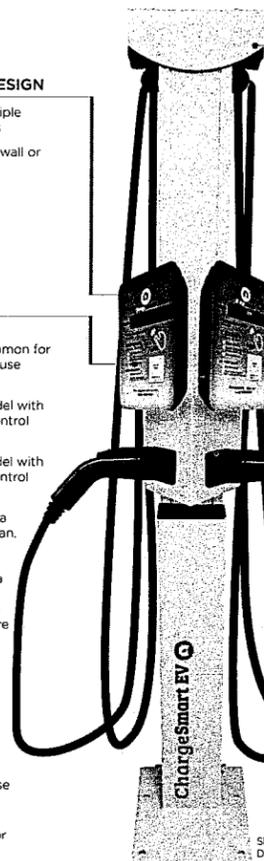
- Outdoor rated with multiple mounting configurations
- Small footprint whether wall or pedestal mounted

MULTIPLE MODELS

- Open Access Control**
Non-networked common for residential and fleet use
- RFID Access Control**
Non-networked model with RFID-card access control
- Ethernet**
Non-networked model with RFID-card access control
- Cellular / Networked**
When connected to a backend software plan, it unlocks features such as point of sale payment, usage data reporting, driver notifications, remote diagnostics, and more

UL-Listed meets safety criteria for use in North America

ADA COMPLIANT Meets standards for Americans with Disabilities Act



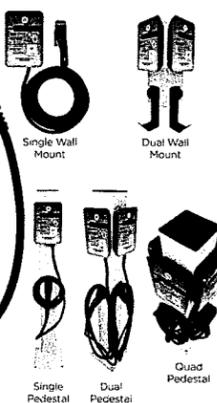
CABLE RETRACTOR

- Optional cable retractor extends the life of the cables by elevating them off the ground, also creating a safe environment

LEVEL 2 CHARGING STATION

- Up to 10x faster than a standard 110v plug, the Level 2 Series safely delivers up to 35 miles of driving range for every hour of charge time
- Adjustable output allows for the ideal power to match your supply panel, electric vehicle, and driving range.
- 3-Year Warranty (5-Year optional)

MOUNT CONFIGURATIONS



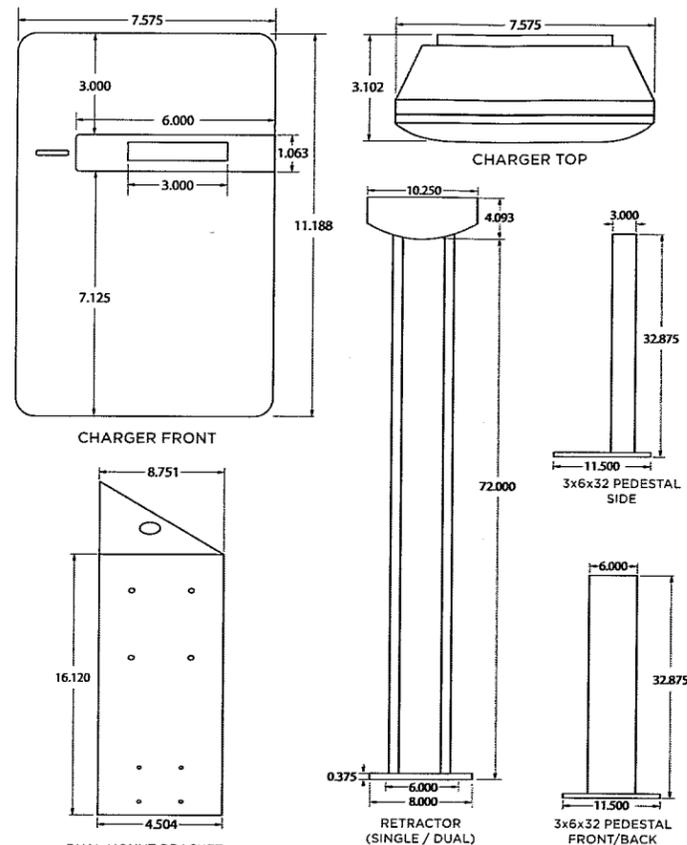
Shown as Dual Retractor Pedestal (Single configuration available)

ChargeSmart EV

5 Southside Dr. Suite 11-184 | Clifton Park, NY 12065 | info@ChargeSmartEV.com | 585-943-9980

COMMERCIAL ENERGY SERIES DIMENSIONS

ChargeSmart EV



ChargeSmart EV

5 Southside Dr. Suite 11-184 | Clifton Park, NY 12065 | info@ChargeSmartEV.com | 585-943-9980

COMMERCIAL ENERGY SERIES PRODUCT SPECIFICATIONS

ChargeSmart EV

| CONFIGURATION | OPEN-ACCESS | RFID ACCESS / W-L-F | NETWORKED |
|---------------------------|--|---|------------------|
| APPLICATION | COMMERCIAL | | |
| VOLTAGE (VAC) | 208/240VAC, Single Phase | | |
| FREQUENCY (Hz) | 60 Hz | | |
| CURRENT (RMS) | 32A / 7.6 kW | 40A / 9.6kW | |
| CIRCUIT BREAKER | 16A=20A / 24A=30A / 32A=40A / 40A=50A | | |
| CHARGING CONNECTOR | SAE J1772 | | |
| CHARGING CABLE LENGTH | 18 ft. | | |
| METERING ACCURACY | N/A | Embedded -3% | |
| REAL-TIME CLOCK | N/A | Yes (7 Days) | |
| WI-FI | N/A | 802.11 b/g/n | |
| CELLULAR | N/A | N/A | LTE / CDMA / GSM |
| ETHERNET | N/A | Available with 40A/9.6kW | |
| RFID | N/A | ISO 14443 A/B ISO 15693 NFC NEMA Inoperability Protocol | |
| DISPLAY | Color LED Status Lights | 116(L) x 8.5(w) x 37(H)mm, 5.57mm CHARACTER HEIGHT 5"8 DOT MATRIX OLED 20x2 Color LED Status Lights | |
| DATA PROTOCOL | N/A | OCPP 1.6J | |
| OPERATION TEMPERATURE | -30°C/-22°F to 50°C/122°F | | |
| STORAGE TEMPERATURE | -40°C/-40°F to 70°C/158°F | | |
| MOUNTING TYPE | Wall/Pedestal Mount | | |
| STORAGE TEMPERATURE | -40°C/-40°F to 70°C/158°F | | |
| IP PERFORMANCE | NEMA 4 | | |
| DIMENSION (LxWxH, INCHES) | 11.14 x 7.56 x 3.11" | | |
| IP PERFORMANCE | NEMA 4 | | |
| IMPACT RESISTANCE | IK10 | | |
| WEB PORTAL MANAGEMENT | N/A | Yes | |
| CERTIFICATION | N/A | UL 50/991/1449/1098/2231/2594 FCC Part 15B | |
| PEDESTAL DIMENSIONS | 3 x 6 x 32.875" | | |
| PEDESTAL CONSTRUCTION | Aluminum, Grey Powder-Coat Finish (RAL 7035), Stainless Steel Hardware | | |
| WARRANTY | 3 Year (5 Year Optional) | | |

ChargeSmart EV

5 Southside Dr. Suite 11-184 | Clifton Park, NY 12065 | info@ChargeSmartEV.com | 585-943-9980

CHARGESMART 7.2kW EV CHARGER

NOT TO SCALE



ChargeSmart EV

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE: AS SHOWN JOB NUMBER: 23902013

| REV | DATE | DESCRIPTION | DRAWN BY | CHECKED BY |
|-----|----------|-------------------|----------|------------|
| B | 01/24/24 | ISSUED FOR REVIEW | RMD | DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD | DX |

Dejian Xu
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 104788
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A # 0017609

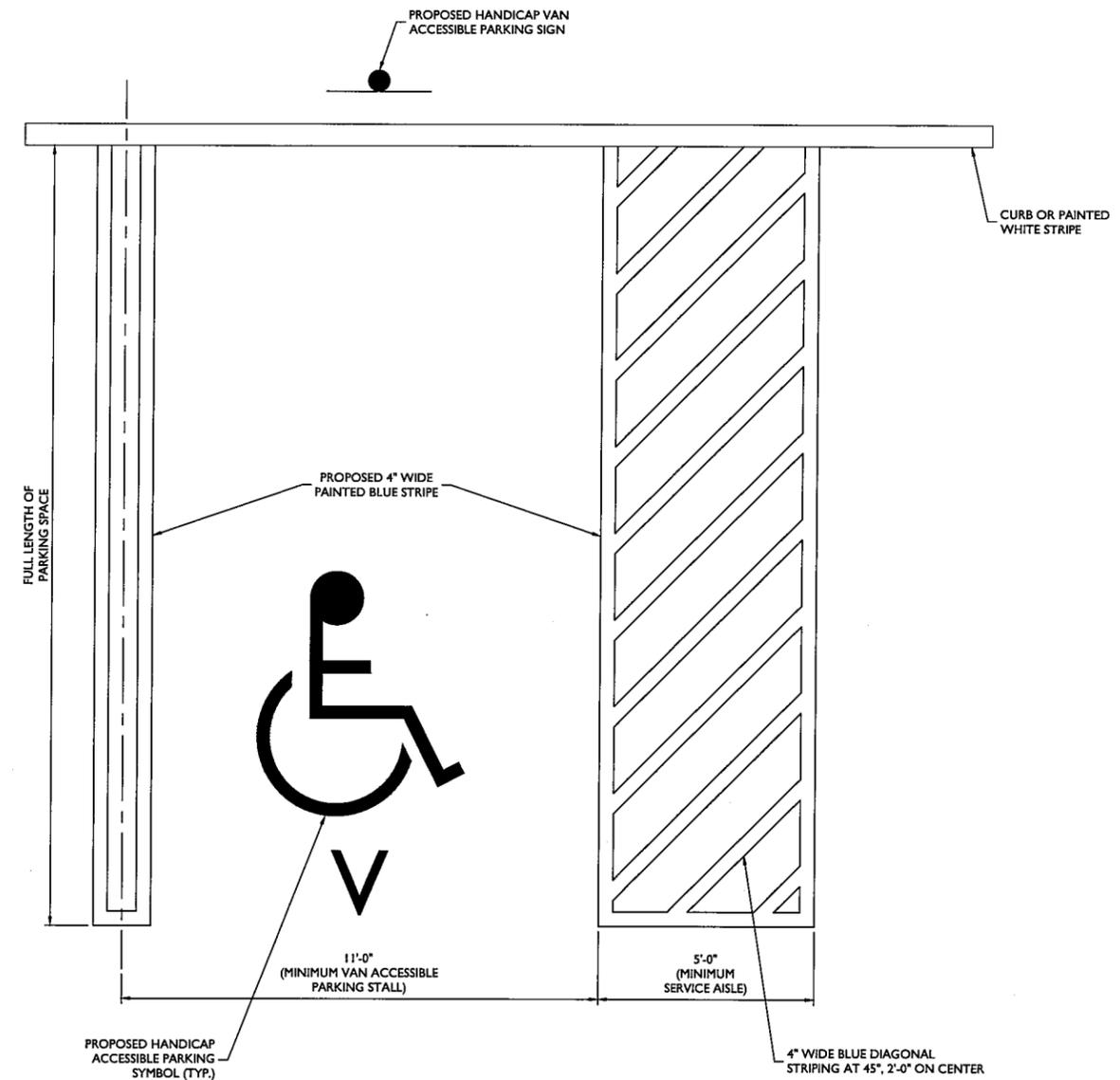
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:
NEWBURGH INN SUITES AND SPA
90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY

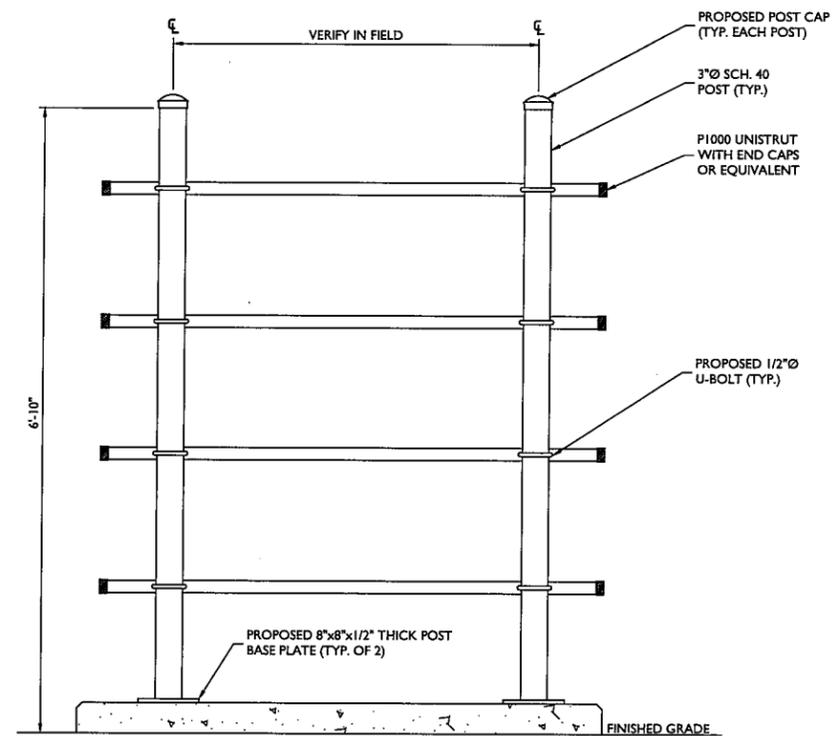
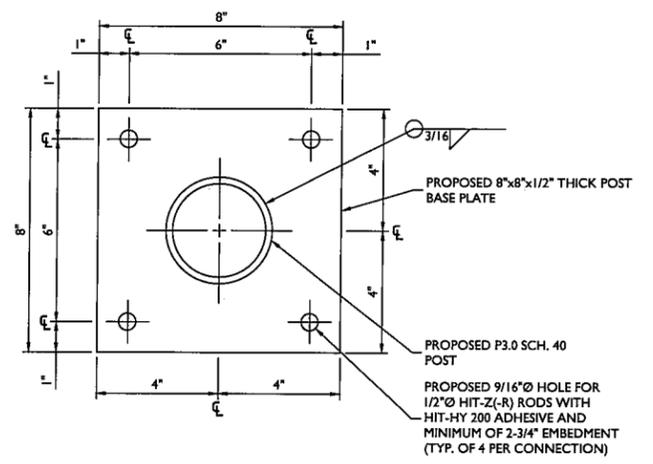
Colliers Engineering & Design
NEWBURGH
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN, ARCHITECTURE, LANDSCAPE ARCHITECTURE, SURVEYING CT, P.C.

SHEET TITLE: **PROJECT DETAILS**

SHEET NUMBER: **A-2**



TYPICAL ADA PARKING STALL DETAIL
NOT TO SCALE



BACKBOARD DETAIL
NOT TO SCALE

12.00' WIDTH



ChargeSmart EV

**TO LEARN HOW TO START
A CHARGING SESSION**



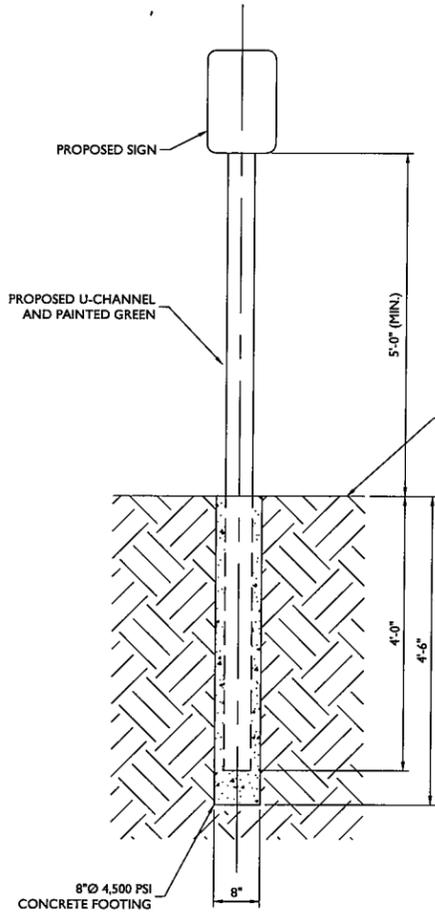
SCAN HERE

For support, please call:
949-945-2000

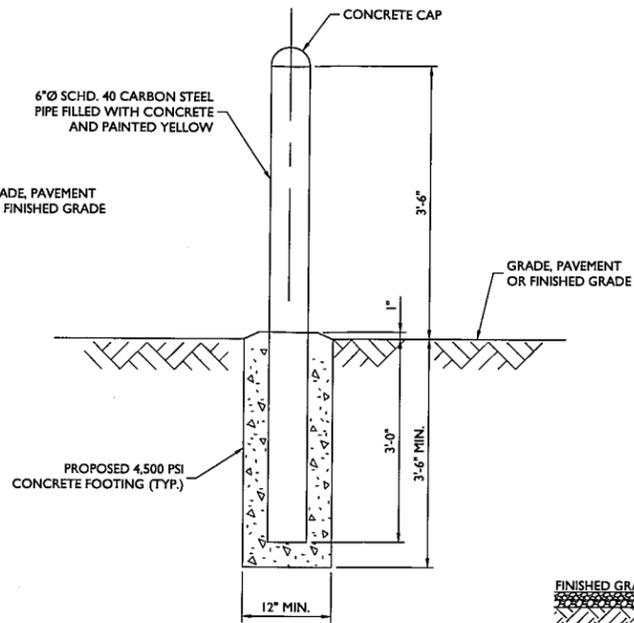
www.chargesmartev.com

18.00' WIDTH

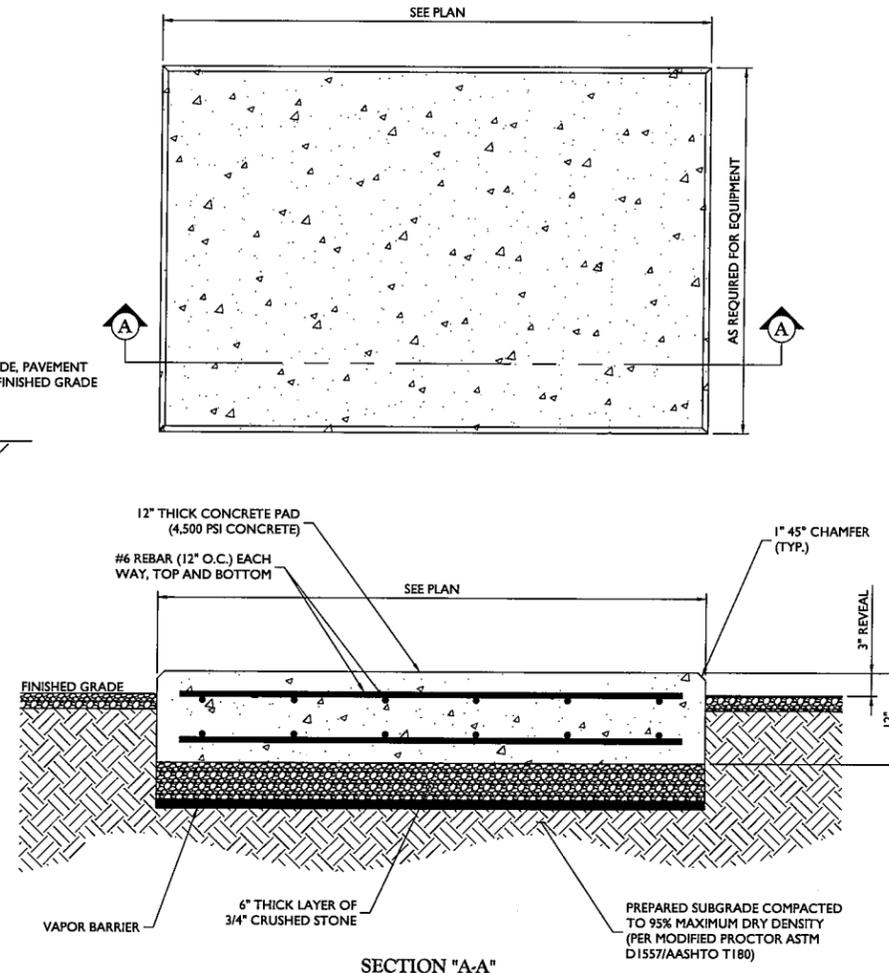
PARKING SIGN DETAIL
NOT TO SCALE



SIGN FOUNDATION DETAIL
NOT TO SCALE

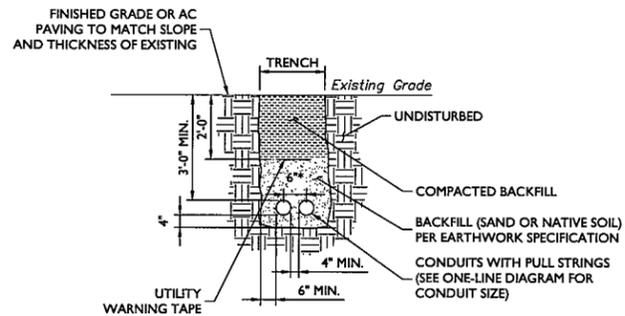


BOLLARD DETAIL
NOT TO SCALE



CONCRETE EQUIPMENT PAD DETAILS
NOT TO SCALE

NOTE:
TRANSFORMER PAD SIZE PENDING
TRANSFORMER MODEL AS DETERMINED
BY THE LOCAL UTILITY COMPANY.



* SEPARATION DIMENSION TO BE VERIFIED WITH
LOCAL UTILITY COMPANY REQUIREMENTS.

UTILITY CONDUIT RUN
NOT TO SCALE

DESIGN INFORMATION:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

1. FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDESIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

1. FORMWORK
 - 1.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
 - 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
2. REINFORCEMENT
 - 2.a. REINFORCING STEEL ASTM A615, GRADE 60, WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.

2.b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.

- | | |
|--|--------|
| 2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND | 3" |
| 2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5" | 2" |
| 2.b.3. AT BARS #5 OR LESS | 1 1/2" |
| 2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS | 1 1/2" |
| 2.b.5. SLABS AND WALLS | 3/4" |

2.c. CAST IN PLACE CONCRETE

- | | | |
|--|----------|-----|
| 2.c.1. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS: | | |
| 2.c.1.1. CLASS I FOOTINGS | 4500 PSI | 3" |
| 2.c.1.2. CLASS II INTERIOR ELEVATED SLABS AND WALLS | 4000 PSI | 4" |
| 2.c.1.3. CLASS V OTHER WORK | 4000 PSI | 4" |
| 2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS | 2000 PSI | N/A |
| 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE | | |
| 2.c.3. COARSE AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57, COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4". | | |
| 2.c.4. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1 | | |
| 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R. | | |
| 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4" | | |
| 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F | | |
| 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES. | | |



PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

811

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

| SCALE: | AS SHOWN | JOB NUMBER: | 23902013 |
|--------|----------|-------------------|-----------------------|
| REV | DATE | DESCRIPTION | DRAWN BY / CHECKED BY |
| B | 01/24/24 | ISSUED FOR REVIEW | RMD / DX |
| A | 01/19/24 | ISSUED FOR REVIEW | RMD / DX |

Dejian Xu
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 104788
COLLIERS ENGINEERING & DESIGN CT, P.C.
N.Y. C.O.A.#: 0017609

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:

**NEWBURGH INN
SUITES AND SPA**
90 ROUTE 17K
NEWBURGH, NY 12550
ORANGE COUNTY

Colliers Engineering & Design
NEWBURGH
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4495
COLLIERS ENGINEERING & DESIGN
ARCHITECTURE, LANDSCAPE ARCHITECTURE,
SURVEYING CT, P.C.

SHEET TITLE:
PROJECT DETAILS

SHEET NUMBER:
A-3

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY OR ENGINEERING MAP BEARING A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY MAPS WITH THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE LAND SURVEYOR OR PROFESSIONAL ENGINEER'S ORIGINAL WORK AND OPINION.