



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** NEWBURGH CHICKEN, LLC - POPEYES  
**PROJECT NO.:** 23-17  
**PROJECT LOCATION:** 197 SOUTH PLANK ROAD  
SECTION 60, BLOCK 3, LOT 6.1  
**REVIEW DATE:** 22 JANUARY 2024  
**MEETING DATE:** 1 FEBRUARY 2024  
**PROJECT REPRESENTATIVE:** DYNAMIC ENGINEERING

1. The project is a Type II Action under SEQRA. The applicant must coordinate with any outside agencies as a Lead Agency circulation was not required.
2. The applicants have proposed sidewalks along the entire frontage in the state highway right-of-way. The proposed sidewalk traverses the highway right-of-way and the site in some locations. NYSDOT approval of the sidewalks will be required as part of their review.
3. Status of NYSDOT review should be addressed with the Planning Board. It is noted the project now proposed a restrictive right in and right out only at NYS Route 52 access point. A proposed mountable concrete island “porkchop” has been depicted at that location.
4. It appears that site plan modifications may have impacted previously issued ZBA determinations on the site. It is requested that the applicant detail the changes to the site plan and modifications to the variances required such that a detailed referral can be made.
5. In response to our previous comments dated November 2023, the following items have been deferred for future submission:
  - a. Location of watermain within NYS Route 52.
  - b. Estimates for Stormwater Management, Erosion and Sediment Control and landscaping.
  - c. Full retaining wall design which can be deferred to building permit.
  - d. Preservation, ordinance and compliance; Chapter 172.
6. Submission to Orange County Planning was made by this office on 28 December 2023. The County Planning review timeframe would have lapsed as of 28 January 2024. Currently, no County comments have been received.
7. The re-submission letter identifies that a full Stormwater Pollution Prevention Plan (SWPPP) has been prepared in compliance with NYSDEC and Town of Newburgh requirements. The SWPPP is under review by this office. Separate comment memo will be issued.

**NEW YORK OFFICE**

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**PENNSYLVANIA OFFICE**

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8. The proposed watermain servicing the site contains a proposed "hot box". This is not required in the Town of Newburgh. A single waterline should be proposed up to the building where the fire service and potable waterline will then split per Town details. A copy of standard detail is attached. This design requires that the potable water be terminated should fire flow to the building be terminated.
9. A lighting plan has been prepared identifying the fixture light poles at 18-feet high.
10. Water service details should be upgraded with regard to providing a single pipe for fire flow with potable water to be taken from that.
11. The project requires architectural review by the Planning Board. It is noted a free-standing sign is proposed with a 20-foot height, measuring 54.6 square feet in size. The sign detail identifies 20-25 feet high. 20-foot maximum height is permitted based on setback provided.
12. Town of Newburgh requires parking spaces be painted with a double line, typical detail is attached.
13. The Planning Board may wish to consider whether to have a Public Hearing for the project, the project is a Type II action with no additional SEQRA required, and County Planning referral has timed out.

Respectfully submitted,

**MHE Engineering, D.P.C.**



Patrick J. Hines  
Principal  
PJH/dns

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January 22, 2024  
Via Hand Delivery

Town of Newburgh  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

Attn: John Ewasutyn  
Planning Board Chairman

**RE: Newburgh Chicken, LLC  
Proposed Site Improvements  
Section 60, Block 3, Lot 6.1  
197 South Plan Road  
Town of Newburgh  
Orange County, NY  
DEC # 1021 22-01041**

Dear Mr. Ewasutan,

On behalf of the applicant, Newburgh Chicken, LLC, this letter shall serve as the formal resubmission to the Town of Newburgh Planning Board for Site Plan approval for the above referenced project. Enclosed please find the following documents for your review:

- Eleven (11) signed and sealed copies of the Stormwater Pollution Prevention Plan, prepared by our office, dated January 2024;
- Eleven (11) signed and sealed copies of the Stormwater Facilities Maintenance Agreement, prepared by our office, dated January 2024;
- Eleven (11) signed and sealed copies of the Traffic Impact Study, prepared by Dynamic Traffic, LLC., dated 10/31/2023, last revised 1/19/2024; and
- Eleven (11) signed and sealed copies of the Preliminary and Final Site Plan, prepared by our office, dated 11/16/2023, last revised 1/17/2024.

The enclosed documents have been provided to address the review comments provided in the following:

- Newburgh Chicken Memorandum from Landscape Architect, prepared by: Karen Arent, dated November 22, 2023
- Technical Review Comments, prepared by Patrick J. Hines, dated November 29, 2023

- Review Comments for the Proposed Popeye's, prepared by Kenneth Wersted, PE, PTOE, dated December 4, 2023

In order to facilitate your review, below please find an itemized response to the aforementioned review letter:

**Newburgh Chicken Memorandum from Landscape Architect, prepared by : Karen Arent, dated November 22, 2023**

**Conditions**

1. *Tall retaining walls up to 12 feet in height are proposed on the south side of the property. These retaining walls will be very visible and the site is located at a highly traveled intersection. Include a detail and images of the proposed wall unit and show tall growing shrubs or ornamental grasses along the base of the retaining wall to soften.*

**The Landscape Plan (sheet 9 of 20) has been revised to propose ornamental grasses along the base of the retaining wall.**

2. *Because proposed retaining walls on site are so tall, geogrid may be needed as part of the design of the walls. There are existing trees along the southern property line that provide screening and greenery to this stretch of Route 300. If geogrid is needed, trees will need to be removed from the top of the proposed retaining wall which would negatively affect visual impacts of the site. Please also record the size and species of trees on the neighboring property within 10' of the property line to help determine if the trees will survive and be stable once the geo-grid for proposed walls is installed. Accurately show clearing limit lines, taking into account the area needed for geo-grid.*

**The Site Plan (sheet 4 of 20) has been revised to propose a gravity block retaining wall, which will not require a geogrid and therefore, will have less impact on the surrounding trees. A full tree survey is being conducted and will be provided under separate cover on a future technical revision of the Site Plan drawings.**

3. *Dry laid stone walls 30-36" in height are included in the Town of Newburgh design guidelines as a desirable site feature which contributes to the Town of Newburgh sense of place. There are many opportunities on the site to include these stone walls such as large curving arcs along the entrances and around corners of the property. These walls would be a particularly welcome addition to the site plan as this is a highly visible site on a busy intersection.*

**The Site Plan (sheet 4 of 20) has been updated to propose three (3) dry laid stone walls along the property frontage.**

4. *Show at least one additional native shade tree along the western property line and at least two near the north entrance to add more greenery to the intersection and to help shade the parking lot. Shade trees will provide shade and greenery without blocking views into the site.*

**The Landscape Plan (sheet 9 of 20) has been updated to propose additional native shade trees along the western property line and near the north entrance.**

5. *In our experience American Hollies do not grow well in this area. Where American Holly is proposed in plantings along the road, the consultant may want to propose a tight cluster of three Blue Point Junipers*

*instead. Where American Holly is shown by the proposed garbage enclosure at the corner of the site, two native shade trees may be proposed instead. These shade trees will help provide shade to the parking lot and should be placed 5' on center from edge of pavement.*

**The Landscape Plan (sheet 9 of 20) has been revised to remove the American Holly trees and replace them with clusters of Blue Point Junipers along the road and Emerald Green Arborvitaes near the trash enclosure. Additionally, two (2) Bowhall Maple plantings have been proposed near the trash enclosure.**

6. *Arrowwood Viburnums are unacceptable as they are highly susceptible to Viburnum leaf beetles which has decimated Viburnums in the area. Propose Leatherleaf Viburnum instead.*

**The Landscape Plan (sheet 9 of 20) has been revised to proposed Leatherleaf Viburnum in lieu of Arrowwood Viburnum.**

7. *Add the following warrantee notes to the plans per town of Newburgh regulations: WARRANTEE: Contractor shall warrantee all plant material to remain alive and be in a healthy, vigorous condition for a period of two years after final acceptance of planting work. Each growing period, Contractor shall replace all plants that are more than 25% dead or, as determined by the landscape architect's inspection memo, are in an unhealthy or unsightly condition. The contractor shall bear the cost of the complete replacement(s). Replacements shall be of the same size and species as specified on the planting list. Plants will be inspected upon completion of installation once a request for inspection has been submitted by the contractor and inspected again in the following four growing seasons.*

**Landscape Plan (sheet 9 of 20) has been updated to include a warrantee note stating "WARRANTEE: Contractor shall warrantee all plant material to remain alive and be in a healthy, vigorous condition for a period of two years after final acceptance of planting work. Each growing period, Contractor shall replace all plants that are more than 25% dead or, as determined by the landscape architect's inspection memo, are in an unhealthy or unsightly condition. The contractor shall bear the cost of the complete replacement(s). Replacements shall be of the same size and species as specified on the planting list. Plants will be inspected upon completion of installation once a request for inspection has been submitted by the contractor and inspected again in the following four growing seasons."**

8. *Planting and seeding notes and details must be included in the plan set.*

**The Landscape Plan (sheet 9 of 20) and Landscape Details (sheet 10 of 20) have been updated to include planting and seeding notes and details.**

9. *Maintenance notes for the health of plants for the life of the site must be included in the plan set.*

**The Landscape Plan (sheet 9 of 20) and Landscape Details (sheet 10 of 20) have been updated to include maintenance notes for the health of plants for the life of the site.**

10. *To ensure that lawns and planting areas on site will have sufficient quantity and quality of soil, add the following soil notes to the plans: Soil: There must be a minimum of 6" topsoil compost mix in lawn areas and a minimum of 24" in areas with shrubs, trees, and groundcovers. Scarify or dig all proposed planting areas to a depth of 12"-24"+ or as determined by Landscape Architect. Topsoil-compost mix shall consist of 85%-90% stockpiled topsoil (if available) and 10%-15% well-rotted compost. Topsoil shall be natural, friable, fertile soil, characteristic of productive soil in the vicinity, reasonably free from stones, clay lumps, roots and other foreign matter, with an acidity level between 5.5 and 7 pH. If stockpiled topsoil is not available, use purchased topsoil in sufficient quantity to complete the requirements as specified. Site soil shall meet the following particle size distributions: less than or equal to 15% of gravel (particle size greater than 2.00 mm), 40%-60% of sand (0.05-2 mm), 30%-40% of silt (0.002-0.05 mm), and 10%-20% clay (<0.002mm) and 10-15% well-rotted compost with an acidity level between 5.5 and 7.0 pH. Percentages are by weight. Topsoil and purchased soil shall be subject to approval by Landscape Architect.*

**The Landscape Plan (sheet 9 of 20) has been updated to include a note stating "Soil: There must be a minimum of 6" topsoil compost mix in lawn areas and a minimum of 24" in areas with shrubs, trees, and groundcovers. Scarify or dig all proposed planting areas to a depth of 12"-24"+ or as determined by Landscape Architect. Topsoil-compost mix shall consist of 85%-90% stockpiled topsoil (if available) and 10%-15% well-rotted compost. Topsoil shall be natural, friable, fertile soil, characteristic of productive soil in the vicinity, reasonably free from stones, clay lumps, roots and other foreign matter, with an acidity level between 5.5 and 7 pH. If stockpiled topsoil is not available, use purchased topsoil in sufficient quantity to complete the requirements as specified. Site soil shall meet the following particle size distributions: less than or equal to 15% of gravel (particle size greater than 2.00 mm), 40%-60% of sand (0.05-2 mm), 30%-40% of silt (0.002-0.05 mm), and 10%-20% clay (<0.002mm) and 10-15% well-rotted compost with an acidity level between 5.5 and 7.0 pH. Percentages are by weight. Topsoil and purchased soil shall be subject to approval by Landscape Architect."**

11. *Section 172-5 of the new Tree Preservation and Protection Local Law requires a tree survey for the entire site showing location, diameter, and species of all Significant trees on the site, and an identification of all Specimen Trees and Protected Trees. It also requires identification of which Significant Trees and Specimen Trees are to be protected, preserved, or undisturbed, to be removed or disturbed, and exempt from the calculation. Trees which are dead, diseased, or have been damaged must also be identified.*

**A tree survey for the entire site showing location, diameter, and species of all Significant Trees on the site is being conducted. Along with this survey, an identification of all Specimen Trees and Protected Trees, along with the identification of Significant, Specimen trees and trees which are dead, diseased, or have been damaged, will be provided completed. This information will be provided under separate cover on a future technical revision.**

12. *Trees that are inventoried should be tagged with metal tags and numbered according to the inventory. Numbered trees and corresponding inventory must be shown on the site plan.*

**Information regarding the tree inventory with corresponding metal tree tags will be provided under separate cover on a future technical revision.**

**Technical Review Comments, prepared by Patrick J. Hines, dated November 29, 2023**

1. *Planning Board should discuss the need for continuation of sidewalks along the entire property frontage as is standard practice for the Town of Newburgh on State highways.*

**The Site Plan (sheet 4 of 20) has been revised to continue the sidewalk along the entire property frontage.**

2. *The applicant's representative are requested to discuss the proposed full movement entrance at NYS Route 52. Existing traffic conditions limit access to this driveway making left turns very difficult out of and into the site. Ken Wersted's and NYSDOT comments on this access point should also be received early in the process.*

**The Site Plan (sheet 4 of 20) has been revised to propose a right-in/right-out driveway along NYS Route 52.**

3. *A permit for demolition of the site is required from the Town of Newburgh Building Department. A note should be specifically added to Sheet 3 identifying that a permit is required prior to any demolition.*

**The Demolition Plan (sheet 3 of 20) has been updated to include a note stating "A permit for demolition is required from the town of Newburgh prior to any demolition activity onsite."**

4. *Numerous Zoning Board of Appeals variance relief have been granted to the project. These are specifically identified in the project narrative submitted.*

**The variance relief that was granted has been modified as a result of the technical revisions to the Site Plan drawings. The Applicant will present the revisions to the variance relief to the Zoning Board of Appeals for approval.**

5. *The building is required to be provided with fire protection sprinklers in accordance with Chapter 107-17 thru 26. The water supply should be upgraded to provide for sprinklers. Sprinkler and potable water connections should be designed in accordance with the attached detail.*

**The Utility Plan (sheet 8 of 20) has been updated to propose a fire protection sprinklers in accordance with Chapter 107-17 thru 26. Further information regarding the fire service will be provided on the building construction drawings that will be provided during submission for a Building Permit.**

6. *Calculations supporting the size of the grease trap proposed on the sanitary sewer should be provided. NYSDEC has design standards for grease traps.*

**The Utility Plan (sheet 8 of 20) has been updated to include calculations supporting the size of the grease trap based upon NYSDEC standards.**

7. *The location of the water main in NYS Route 52 should be confirmed.*

**An updated survey including the location of the water main in NYS Route 52 will be included as a part of a future technical revision.**

8. *Standard notes for connection to the Town of Newburgh Water & Sewer must be added to the plans. Copy attached.*

**The Utility Plan (sheet 8 of 20) has been updated to include standard notes for connection to the Town of Newburgh Water & Sewer.**

9. *Orange County Planning Referral is required.*

**Per a message from Town of Newburgh Planning Board Chairman, John P. Ewasutyn, Orange County Planning Referral has not issued any comments.**

10. *The plans identify 43,130 square feet of disturbance. This equates to 0.99 acres. The applicants have identified that they are not required to receive coverage under the NYSDEC Stormwater SPDES Permit. This office recommends coverage under the permit to protect both the Town of Newburgh and the applicant from any circumstances which result in excavation, land disturbance or other activities including utility connections which are not currently identified on the plan to exceed one acre threshold. Project is in a very visible are / high traffic area such that review by outside agencies may occur.*

**The Drainage Plan (sheet 7 of 20) has been revised to incorporate a full stormwater design for coverage under the NYSDEC Stormwater SPDES Permit. We have also enclosed the updated Stormwater Pollution Prevention Plan (SWPPP). Please note, assumptions were made with respect to the seasonal high water table and permeability rates of the subsurface soils. Soils testing is being conducted and the design will be revised to address any changes as a result of the testing.**

11. *A Stormwater Facilities Maintenance Agreement will be required to be filed.*

**A Stormwater Facilities Maintenance Agreement, prepared by our office, has been included as a part of this resubmission.**

12. *Security for Stormwater Management and Landscaping are required. Cost estimates should be prepared and submitted for review. Town Board approval of the cost estimates and Inspection Escrow is required.*

**A Bond Estimate will be included as a part of a future technical revision once the design is finalized.**

13. *NYSDOT permits for off-site grading, utilities and access are required.*

**The Applicant acknowledges the need for NYSDOT Permits.**

14. *The applicant's representative are requested to evaluate the constructability of the retaining wall along the west property line. Wall is approximately 11 feet high in very close proximity to the adjoining property.*

**The Site Plan (sheet 4 of 20) has been revised to provided adequate spacing between the retaining wall and the western property line. A full retaining wall design will be included as a part of a future technical revision.**

15. *The existing Utility Notes on Sheet 8 with regard to water and sewer should state that existing water and sewer utilities are to be capped and new connections provided for the site.*

**The Utility Plan (sheet 8 of 20) has been revised to include notes stating that existing water and sewer utilities are to be capped and new connections provided for the site.**

16. *Compliance with the Town's Tree Preservation Ordinance Chapter 172 of the Town Code should be addressed.*

**A tree survey demonstrating compliance with Town's Tree Preservation Ordinance Chapter 172 of the Town Code is being conducted and will be provided under separate cover on a future technical revision of the Site Plan drawings.**

17. *The plans should address the existing catch basin at the Route 300 access drive. Modifications to this will be required. Consideration for relocation of the catch basin to capture runoff at the access drive should be considered.*

**The Demolition Plan (sheet 3 of 20) and Drainage Plan (sheet 7 of 20) have been updated to address the existing catch basin at the Route 300 access drive.**

18. *Show the 358 contour at the intersection of Route 300 and 52 in the vicinity of the existing catch basins.*

**The Grading Plan (sheet 6 of 20) has been revised to show the 358 contour at the intersection of Route 300 and 52 in the vicinity of the existing catch basins.**

19. *The EAF submitted for the Type II Action identifies potential habitat for Indiana Bat. Mitigation measures including tree cutting time frame restriction should be identified on the plans.*

**The Demolition Plan (sheet 3 of 20) has been updated to include a note pertaining to mitigation measures including tree cutting time frame restriction, for the Indiana Bat.**

20. *Address proposed 90° bends in proposed sanitary sewer laterals.*

**The Utility Plan (sheet 8 of 20) has been revised to eliminate the 90° bends in proposed sanitary sewer laterals.**

**Initial Proposal Review Comments for the Proposed Popeye's, prepared by Kenneth Wersted, PE, PTOE, dated December 4, 2023**

1. *The centerline of the Route 52 driveway is about 50 from the traffic signal stop bar. As such, a queue of two to three cars will block this access point. Turning left out and left in will be difficult through most of the day. Turn restrictions (allow right in/right out) are suggested.*

**The proposed driveway along NYS Route 52 will be modified to right turn in/right turn out only, as requested.**

2. *The centerline of the Route 300 driveway is about 200 feet from the signal stop bar. Left turns in will utilize the existing turn lane. Left turns out could be challenging during the afternoon peak periods but better than the Route 52 driveway. We concur with full access at this driveway but note that lefts out still have the potential to add congestion to Route 300.*

**Acknowledged.**

3. *A sidewalk is proposed on Route 52 connecting the adjacent CVS sidewalk to the applicants Route 52 driveway (+/-25'). To be consistent with other applications on busy commercial corridors, we suggest the sidewalk extend to the corner of Route 300 and south along the applicant's frontage to the driveway for the CVS/#1437 Rt 300.*

**The sidewalk is proposed to extend to the corner of Route 300 and to extend past the site driveway along Union Avenue (NYS Route 300).**

4. *Drivers on the southeast approach of Route 52 consistently use the shoulder to drive around vehicles turning left, or use it to turn right onto Route 300 (see image right). Plans should include and/or accommodate widening Route 52 to provide two lanes on this approach.*

**The applicant is committed to working with the Town and NYSDOT to facilitate the right-of-way dedication at the subject intersection along South Plank Road (NYS Route 52), as discussed at the Planning Board meeting.**

5. *The site offers a typical fast-food layout and has an efficient flow for pedestrians and traffic.*

**Acknowledged.**

6. *Garbage and fire truck access has been demonstrated; however, we defer any fire access review to the respective fire district. Delivery truck (medium sized tractor-trailer) access is also adequate, entering and exiting from Route 300. It's assumed that truck staging will occur on the east side of the building in the bypass lane. The applicant should confirm and describe when deliveries will generally occur.*

**Acknowledged. The frequency of deliveries was discussed at the Planning Board meeting.**

**TIS**

7. *Traffic counts were collected in October 2022. Were any counts of the DQ collected at that time?*

**Traffic counts of the Dairy Queen were not collected in October 2022. The capacity analyses within the TIS conservatively do not take credit for any existing traffic volumes on site.**

8. *The No-Build analysis includes adequately includes most of the area projects around the study area. The WellNow building shell has been constructed but has not been fit up or occupied. Does the 2% background growth rate account for this project?*

**The WellNow building trip generation has been added to the No Build traffic volumes, in addition to the 2% growth rate to account for future growth in traffic volumes.**

9. *The trip generation appropriately assumes the project will generate approximately 84 trips during the PM peak hour and 140 trips during the Saturday peak hour. The study also compared this traffic to the existing DQ. What are the trips for DQ based on?*

**The trip generation for the existing Dairy Queen was calculated using ITE Land Use Code 934 – Fast-Food Restaurant with Drive-Through Window.**

10. *Trip distribution and assignment appear reasonable. Was the proposed trip generation applied directly to the No-Build volumes? Was there any credit taken for trips generated by the existing DQ? Aren't these already included in traffic counts of Route 300 and Route 52?*

**The trip generation for the proposed Popeye's was applied directly to the No Build traffic volumes.**

11. *The intersection analysis indicates the Route 300/Route 52 intersection operates at LOS F on the northbound left movement, the eastbound approach, and LOS E on the southbound left movement. Overall, the intersection operates at LOS F during existing, no-build, and build conditions for the weekday PM and Saturday peak hours. Signal timing adjustments are proposed to mitigate the changes in operations as a result of the project, but they will not change the general operations of the intersection.*

**Acknowledged. As previously mentioned, the applicant is committed to working with the Town and NYSDOT to facilitate the right-of-way dedication at the subject intersection along South Plank Road (NYS Route 52), as discussed at the Planning Board meeting.**

12. *The site driveways are projected to operate at LOS C/D during the peak hours. The analysis likely doesn't account for the queuing present on the roads at these intersections. The Synchro models should be submitted electronically for review.*

**The Synchro models will be forwarded to Creighton Manning under separate cover.**

13. *Where does the project stand relative to NYSDOT's review?*

**The project has received Initial Proposal Review Comments from NYSDOT and is concurrently submitting a response to NYSDOT with this resubmission.**

Please review the enclosed documents towards issuance of Site Plan and Subdivision Approval at your earliest convenience.

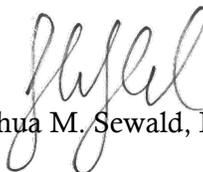
Should you have any questions, comments or require additional information, please do not hesitate to contact our office.

Sincerely,

**DYNAMIC ENGINEERING CONSULTANTS, PC**



Matthew J. Bersch, PE



Joshua M. Sewald, PE, PP

Enclosures

cc: Patrick Hines, MHE Engineering (via Newforma and w/enclosures)  
Kathleen Wersbe (via Newforma)  
Kenneth Wersted (via Newforma)  
Karen Arent (via Newforma)

# PRELIMINARY AND FINAL SITE PLAN

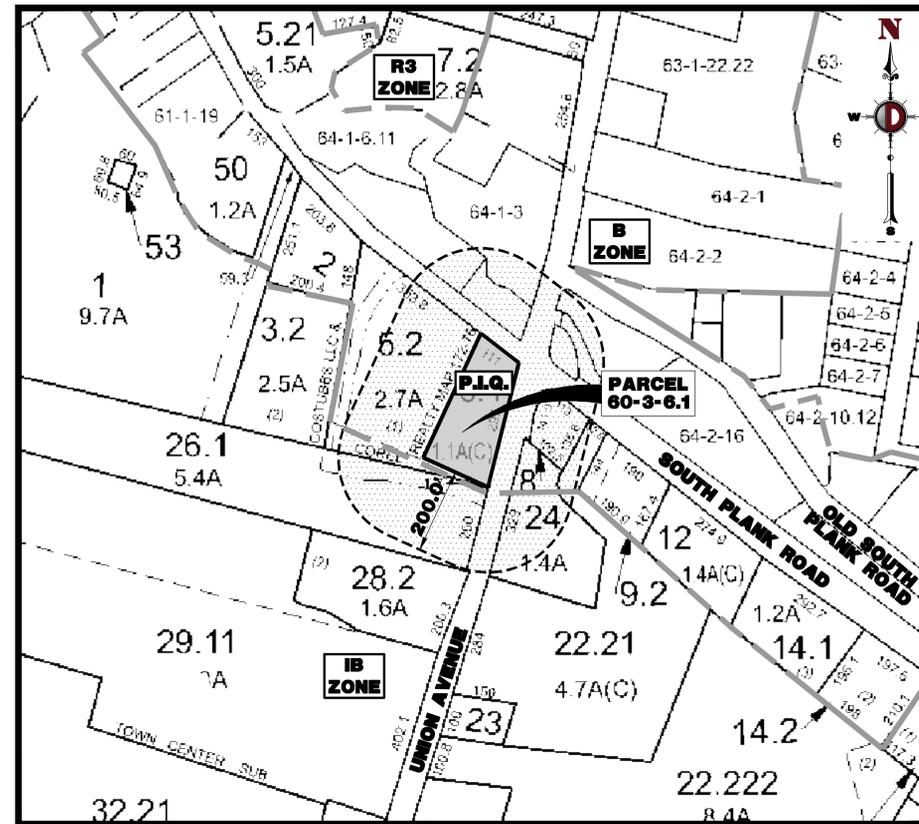
## FOR NEWBURGH CHICKEN, LLC PROPOSED POPEYES RESTAURANT

PARCEL: 60-3-6.1; TAX MAP SHEET #60 - LATEST REV. DATED 2023

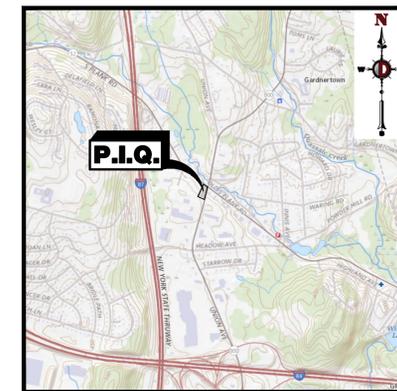
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

### 500' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
JBD INC 1451 RTE. 300 NEWBURGH NY 12550	60	7.2	CONEW, LLC 250 PHELLE AVE STE 600 SADDLE BROOK NJ 07663	60	29.11
JEMF PROPERTIES, LLC 2015 E 14TH ST BROOKLYN NY 11229	60	1	KANENPO, LLC 18 KINGWOOD LN POUGHKEEPSIE NY 12601	64	1.1
SOUTH PLANK HOLDINGS, LLC 269 NORTH PLANK RD STE 2 NEWBURGH NY 12550	60	2	J & B NORTH PLANK ROAD LLC 19 MADSTONE DR WALDEN NY 12586	64	2
JEMF PROPERTIES, LLC 2015 E 14TH ST BROOKLYN NY 11229	60	3.2	DANIEL C OLSON KAREN A OLSON 1445 ROUTE 300 NEWBURGH NY 12550	64	3
LLC 111 NORTH BROADWAY ASSOCIATES NEWBURGH GRAND LLC 384 S MAMARONECK AVE WHITE PLAINS NY 10605	60	5.2	STEVEN WAGNER KARLENE K WAGNER 1447 ST RTE 300 NEWBURGH NY 12550	64	4
LOUIS J GALLO JEAN F GALLO 2 KELLY CIR POUGHKEEPSIE NY 12601	60	6.1	GREGG GALATI ENTERPRISES LLC 209 SOUTH PLANK RD NEWBURGH NY 12550	64	6.11
AUTOMOTIVE AUDIO LTD 195 S PLANK RD NEWBURGH NY 12550	60	8	LITTLE BRICK HOUSE PROPERTIES LIE 1229 RTE 300 NEWBURGH NY 12550	64	1
NEDZAT KALICI MYRA KALICI 193 S PLANK RD NEWBURGH NY 12550	60	9.2	119 OLD SOUTH PLANK RD. LLC 30 SYCAMORE DR WALKILL NY 12589	64	2
GP OWNERSHIP LLC 15 S GETZEL BERGER BLVD UNIT 3 MONROE NY 10950	60	12	CARLOS LOPEZ JR. ANDREW LIGHTBODY 120 OLD SOUTH PLANK RD NEWBURGH NY 12550	64	1.1
NEW YORK TELEPHONE CO ZOUFT & PHELPS ADDISON TX 75001	60	22.21	JCH EXPANDING LLC 10 DEFOREST AVE NEWBURGH NY 12550	64	12.1
TREVOR OWENS NOREEN OWENS 18 VERDE CT MONTGOMERY NY 12549	60	23	JCH EXPANDING LLC 10 DEFOREST AVE NEWBURGH NY 12550	64	12.2
NELLA'S NEST NORTH CORP. 1430 ROUTE 300 NEWBURGH NY 12550	60	24	300 & PLANK, LLC 30 SYCAMORE DR WALKILL NY 12589	64	14.1
KALIAN 1437 LLC 60 E 42ND ST 1942 NEW YORK NY 10165	60	26.1	300 & PLANK, LLC 30 SYCAMORE DR WALKILL NY 12589	64	15
NEW YORK TELEPHONE CO ZOUFT & PHELPS ADDISON TX 75001	60	28.2	ADAMS ALCONQUIN PLAZA LLC P.O. BOX 4452 NEW WINDSOR NY 12553	64	16



AREA MAP  
1" = 200'



KEY MAP  
1" = 2000'

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### PLANNING BOARD APPROVAL

APPROVED AT THE PLANNING BOARD OF THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

BOARD ENGINEER DATE

PREPARED BY  
**DYNAMIC ENGINEERING CONSULTANTS, P.C.**  
1904 MAIN STREET  
LAKE COMO, NJ 07719  
WWW.DYNAMICCEC.COM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

## DYNAMIC ENGINEERING

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TITLE: **COVER SHEET**

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PROJECT: **NEWBURGH CHICKEN, LLC.  
PROPOSED POPEYES RESTAURANT**

JOB No: 1021 22-01041 DATE: 11/16/2023

DRAWN BY: RPK SCALE: (H) AS (V) NOTED

DESIGNED BY: JD SHEET No: **1**

CHECKED BY: RW

CHECKED BY: MB

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MATTHEW J. BERSCH

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 54522

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 54522

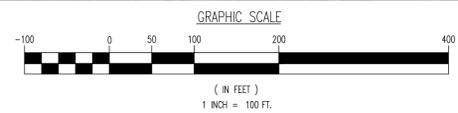
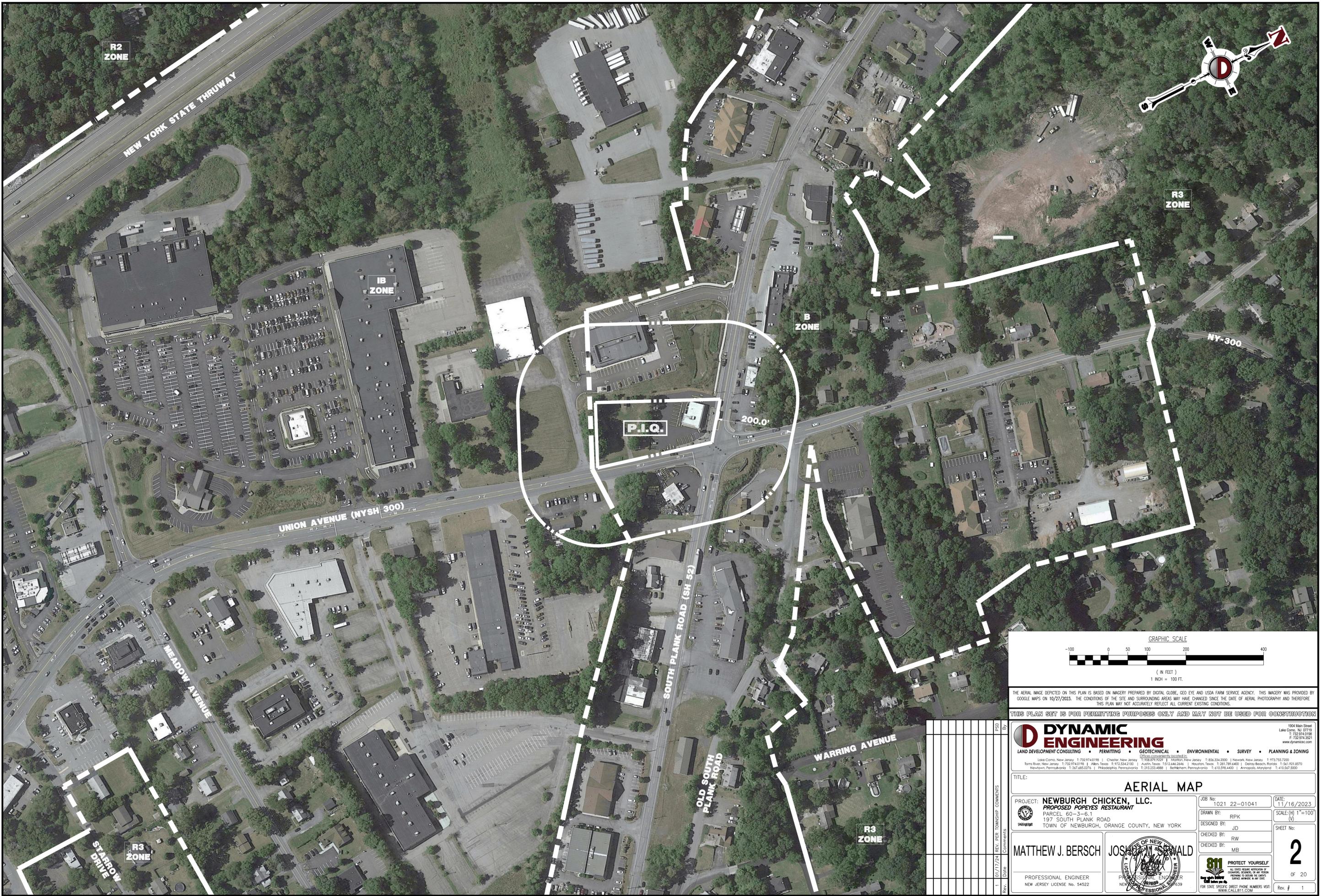
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Rev. # 1

Product: 01/22/24 - 10:00 AM, By: padonyom, File: \\spsc.local\c\folders\Data\DEPC PROJECTS\1021\_Panick\_Network, LLC\22-01041 Newburgh\_NY\Draw\Site Plans\10212201041\SK1.dwg, ---> 01 COVER SHEET

Plotted: 01/22/24 - 10:01 AM, By: pdmoyom, Product: Veri 24.3s (LMS Tech) Newburgh NY Dwg\Site Plans\10212201041SA1.dwg, ----> 02 AERIAL MAP  
 File: \\spec.local\server\Drawings\10212201041\PROJECTS\1021 Penkh Network, LC22-01041



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 10/27/2023. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 Newburgh, Pennsylvania 1-570-485-0276 | Philadelphia, Pennsylvania 1-215-253-4888 | Bethlehem, Pennsylvania 1-610-998-4400 | Annapolis, Maryland 1-410-547-5000

TITLE: **AERIAL MAP**

PROJECT: **NEWBURGH CHICKEN, LLC.  
 PROPOSED POPEYES RESTAURANT**

PARCEL: 60-3-G-1  
 197 SOUTH PLANK ROAD  
 TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB No: 1021 22-01041 DATE: 11/16/2023  
 DRAWN BY: RPK SCALE: (H) 1"=100'  
 DESIGNED BY: JD (V)  
 CHECKED BY: RW SHEET No:  
 CHECKED BY: MB

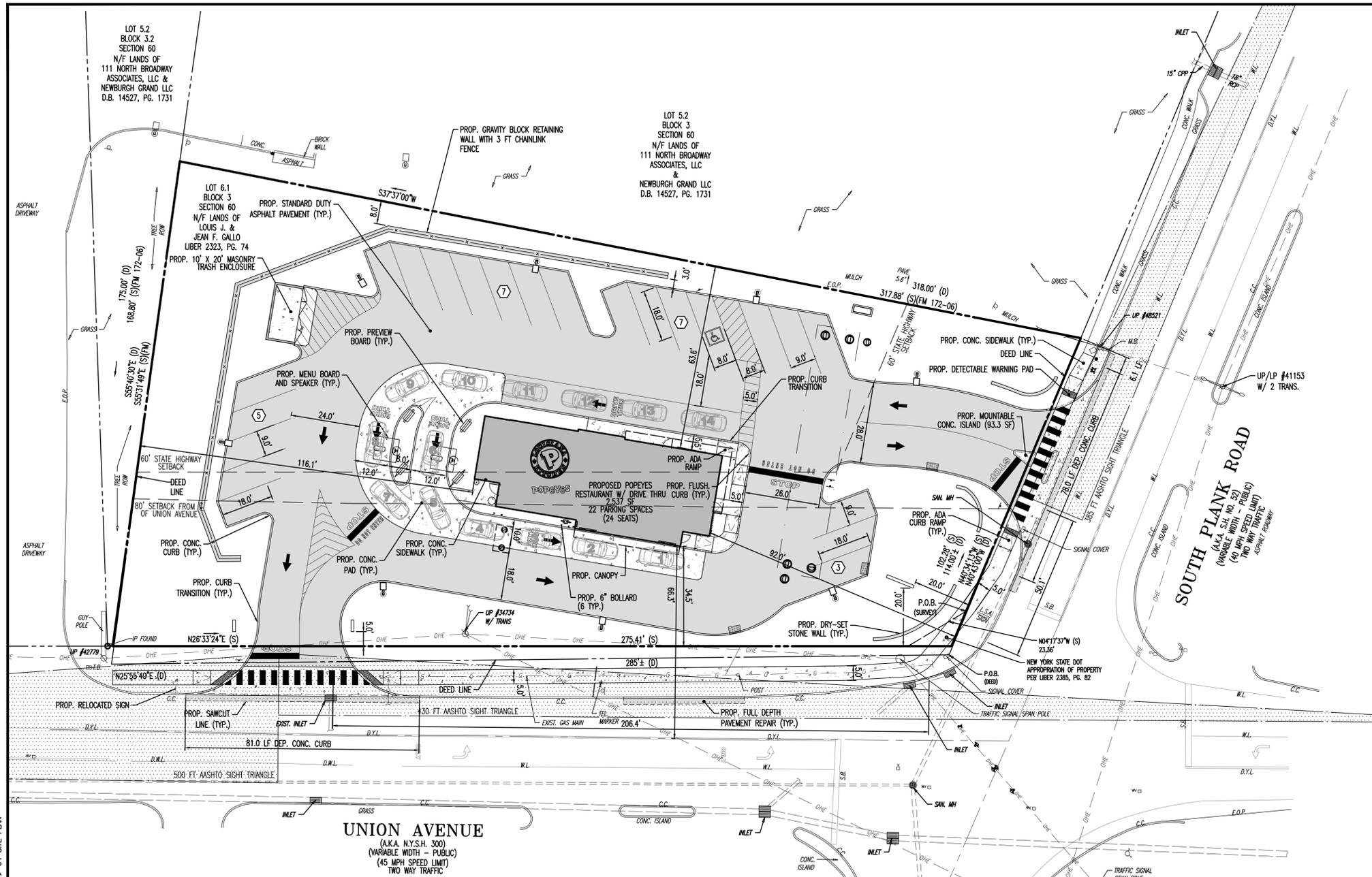
**MATTHEW J. BERSCH** **JOSUAH M. SERNALD**

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 54522  
 PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 5639

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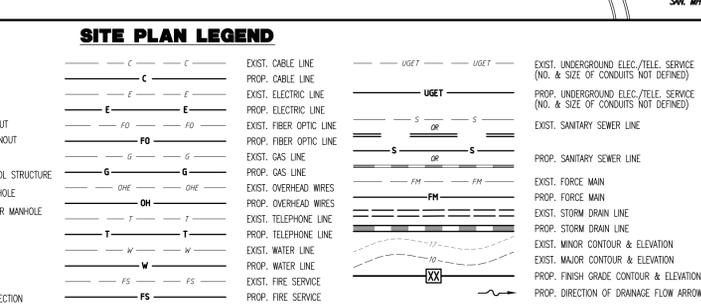
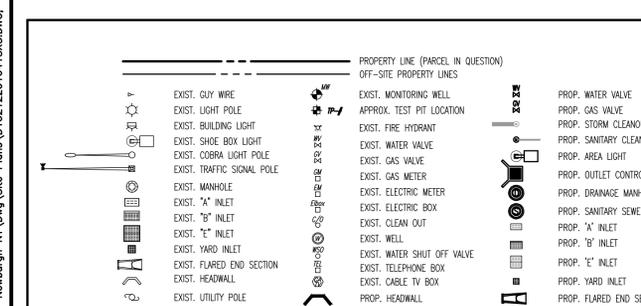
Rev. # 1





**GENERAL NOTES**

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
    - ALTA/NPS LAND TITLE SURVEY
    - GALLAS SURVEYING GROUP
    - 2885 U.S. ROUTE
    - NORTH BRUNSWICK, NJ 08902
    - SURVEYOR FILE NO. G22174
    - DATED: 10-07-2022 REV. 10-18-2022
  - APPLICANT: NEWBURGH CHICKEN, LLC  
301 ROUTE 17 NORTH, SUITE 802  
RUTHERFORD, NJ 07070
  - OWNER: LOUIS J. GALLO & JEAN F. GALLO  
2 KELLY CT.  
POUGHKEEPSIE, NY 12601
  - PARCEL DATA: PARCEL 60-3-6.1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH  
ORANGE COUNTY, NY
  - ZONE: ZONE B (BUSINESS ZONE)
  - EXISTING USE: FAST-FOOD RESTAURANT (EXISTING NON-CONFORMING USE) (§ 185-10, ATTACHMENT 11)
  - PROPOSED USE: FAST-FOOD RESTAURANT (PERMITTED USE\*) (§ 185-10, ATTACHMENT 11)
- \*PERMITTED USE PURSUANT TO SPECIAL PERMIT GRANTED BY THE ZONING BOARD OF APPEALS AT ITS OCTOBER 26, 2023 MEETING.
- NOTE: AS THE PROPOSED FAST FOOD RESTAURANT USE IS A NON-CONFORMING USE IN THE DISTRICT, THE ZBA HAS ADVISED IT ESTABLISHES THE BULK AND DIMENSIONAL REQUIREMENTS FOR THE USE ON THIS PROPERTY. PURSUANT TO THE SPECIAL PERMIT GRANTED BY THE ZBA AT ITS OCTOBER 26, 2023 MEETING, THE PROPOSED BULK AND DIMENSIONAL REQUIREMENTS LISTED BELOW WERE APPROVED FOR THIS PROPERTY.
- | ZONE REQUIREMENT                              | EXISTING            | PROPOSED            |
|---|---------------------|---------------------|
| MINIMUM LOT AREA                              | 42,212 SF (0.97 AC) | 42,212 SF (0.97 AC) |
| MINIMUM LOT WIDTH                             | 125.5 FT            | 125.5 FT            |
| MINIMUM LOT DEPTH                             | 297.0 FT            | 297.0 FT            |
| MINIMUM FRONT YARD SETBACK (SOUTH PLANK ROAD) | 13.9 FT             | 92.0 FT             |
| MINIMUM FRONT YARD SETBACK (UNION AVENUE)     | 23.3 FT             | 34.5 FT             |
| MINIMUM REAR YARD SETBACK                     | 79.4 FT             | 116.1 FT            |
| MINIMUM SIDE YARD SETBACK                     | 6.6 FT              | 63.6 FT             |
| MAXIMUM BUILDING HEIGHT                       | 54.0 FT             | 54.0 FT             |
| MAXIMUM LOT SURFACE COVERAGE                  | 49.4% (20,837 SF)   | 60.9% (25,709 SF)   |
| MAXIMUM BUILDING COVERAGE                     | 6.4% (2,691 SF)     | 6.0% (2,537 SF)     |
- N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE
- SCHEDULE OF ZONING REQUIREMENTS (§ 185-11, ATTACHMENT 13)
  - EXCEPTIONS TO DISTRICT REGULATIONS
    - NO BUILDING OR STRUCTURE SHALL BE PLACED WITHIN 60 (60) FEET OF THE CENTER LINE OF ROCKY HILL ROAD, DUBOIS LANE, FOREST ROAD, UNION AVENUE FROM THE NEW WINDSOR LINE NORTH TO UNION AVENUE EXTENSION, UNION AVENUE EXTENSION OR PLATTSKILL TURNPIKE. (§ 185-18.C.(4)(b)) **VARIANCE = 66.3 FT. PREVIOUS VARIANCE GRANTED AT OCTOBER 26, 2023 ZBA MEETING - 68.9 FT PROVIDED FROM E. OF UNION AVENUE**
    - FROM YARDS ADJACENT TO COUNTY AND STATE HIGHWAYS SHALL BE AT LEAST SIXTY (60) FEET IN DEPTH, EXCEPT WHERE THE MAJORITY OF EXISTING BUILDINGS ON EITHER SIDE OF THE ROAD WITHIN THREE HUNDRED (300) FEET FROM THE INTERSECTION OF THE NEAREST PROPERTY LINE AND STREET LINE ARE OF A LESSER AVERAGE DEPTH. IN SUCH CASE, THE FRONT YARD SETBACK SHALL BE FIFTY (50) FEET OR THE AVERAGE OF ALL LOT DEPTHS WITHIN SAID THREE HUNDRED (300) FEET, WHICHEVER IS GREATER. (§ 185-18.C.(4)(b)) **VARIANCE = 34.5 FT. PREVIOUS VARIANCE GRANTED AT OCTOBER 26, 2023 ZBA MEETING - 37.1 FT PROVIDED FROM NYSH-300 (UNION AVENUE)**
  - CORNER LOT REQUIREMENTS
    - FRONT YARD SETBACKS ARE REQUIRED ON BOTH STREET FRONTS, AND ONE YARD OTHER THAN SUCH FRONT YARDS SHALL BE DEEMED TO BE THE REAR YARD, AND THE OTHER YARD SHALL BE THE SIDE YARD. (§ 185-17A.)
    - AT ALL STREET INTERSECTIONS NO OBSTRUCTIONS TO VISION, SUCH AS BUT NOT LIMITED TO SHRUBBERY, LOW-BRANCHING TREES, FINISHED GRADE OF EARTH, EARTHWORK IN PROGRESS, BERMS, FENCES, WALLS, SIGNS OR VEHICLES SHALL BE ERRECTED OR PERMITTED TO A HEIGHT IN EXCESS OF TWO (2) FEET WITHIN THE TRIANGLE FORMED BY THE INTERSECTING STREET LINES AND A LINE DRAWN BETWEEN POINTS ALONG SAID STREET LINES FORTY (40) FEET DISTANT FROM THEIR POINT OF INTERSECTION. EXISTING TREES WITH BRANCHES WHICH ARE TRIMMED AWAY TO A POINT UP TO TEN (10) FEET ABOVE THE GROUND AREA MAY BE ALLOWED IN THIS AREA. TREE BRANCHES TO A HEIGHT IN EXCESS OF TEN (10) FEET ABOVE THE GROUND AND HIGHER MAY ALSO BE ALLOWED TO ENCRUSH ON THE AREA. (§ 185-17B.)
  - PARKING REQUIREMENTS
    - OFF-STREET PARKING SPACE REQUIREMENTS FOR NONRESIDENTIAL USES SUCH AS RESTAURANT, CLUB, EATING OR DRINKING PLACE, INCLUDING FAST-FOOD AND DRIVE-THROUGH FACILITIES SHALL BE ONE (1) SPACE PER FOUR (4) SEATS, OR PER FORTY (40) SQUARE FEET OF SEATING AREA OR AS REQUIRED BY THE PLANNING BOARD FOR RESTAURANTS DEMONSTRATING EXISTING PARKING SPACE NEEDS IN THE JUDGMENT OF THE PLANNING BOARD. (§ 185-13C.(1)(i))
    - IN ADDITION TO THE MINIMUM REQUIRED NUMBER OF OFF-STREET PARKING SPACES, THE PLANNING BOARD MAY REQUIRE A RESERVE AREA OF UP TO TWENTY PERCENT (20%) OF THE TOTAL AREA REQUIRED FOR OFF-STREET PARKING TO PROVIDE FOR ADDITIONAL PARKING. SHOULD FUTURE DEMAND FOR PARKING SPACES EXCEED THE NUMBER OF SPACES PROVIDED, SUCH RESERVE AREA WHICH SHALL NOT REDUCE THE MAXIMUM PERMITTED PERCENT OF LOT COVERAGE, MUST BE GRADED AND AVAILABLE FOR PARKING USE IF REQUIRED BUT NEED NOT BE SURFACED OR OTHERWISE DEVELOPED FOR PARKING USE UNLESS SUCH AREA IS REQUIRED AS DETERMINED BY RECONSIDERATION OF THE MINIMUM REQUIRED OFF-STREET PARKING SPACES BY THE PLANNING BOARD. (§ 185-13C.(4))
    - THE MINIMUM PARKING SPACE WIDTH SHALL BE NINE (9) FEET, AND THE MINIMUM LENGTH SHALL BE EIGHTEEN (18) FEET. EACH SPACE SHALL BE DELINEATED ON THE SURFACE OF THE PARKING AREA BY TWO (2) PAINTED LINES PARALLEL TO THE LONGEST DIMENSION OF THE SPACE, EACH OF WHICH LINES SHALL BE FOUR (4) INCHES IN WIDTH AND BEGINNING EIGHT (8) INCHES AND ENDING TWELVE (12) INCHES INSIDE BOTH DIVING LINES OF THE SPACE. (§ 185-13D.(5)(b)) **(COMPLIES)**
    - ALL OPEN PARKING AREAS SHALL BE SUITABLY LANDSCAPED IN PARKING LOTS WITH MORE THAN TWENTY (20) SPACES, AT LEAST FIVE PERCENT (5%) OF THE AREA OF THE PARKING LOT SHALL BE DEVOTED TO LANDSCAPING WITHIN THE INTERIOR OF THE PARKING LOT. SUCH LANDSCAPING SHALL BE IN ADDITION TO THAT WHICH MAY BE REQUIRED ALONG THE STREET LINE, THE LOT LINES OR THE BUILDING FOUNDATION. IN ALL PARKING LOTS PROVIDING EIGHT (8) OR MORE PARKING SPACES, ONE SHADE OR FLOWERING ORNAMENTAL TREE SHALL BE PLANTED FOR EACH EIGHT (8) PARKING SPACES, AND ANY ADDITIONAL NUMBER THEREOF, SAID TREE OR TREES TO BE PLANTED IN MEDIAN DIVIDERS, ISLANDS OR SUCH OTHER LOCATIONS AS MAY BE ACCEPTABLE TO THE PLANNING BOARD. (§ 185-13D.(9)(c)) **(COMPLIES)**
    - ALL PLANTING BEDS, LANDSCAPED ISLANDS AND PEDESTRIAN WALKWAYS, IF PROVIDED, SHALL BE PROTECTED BY CURBS, STUDY POSTS, BAILS OR WALLS 1 1/2 TO TWO FEET IN HEIGHT OR OTHER PROTECTIVE DEVICES AND SHALL BE OF SUFFICIENT WIDTH TO PREVENT DAMAGE OR HURRY TO BOTH PLANT MATERIALS AND PEDESTRIANS. ADDITIONAL BARRIERS MAY BE REQUIRED BY THE PLANNING BOARD TO GIVE BETTER PROTECTION AND TO IMPROVE PEDESTRIAN AND VEHICULAR CIRCULATION. (§ 185-13D.(9)(b)) **(COMPLIES)**
    - PARKING CALCULATION:  
(24 SEATS)\*(1 PARKING SPACE/4 SEATS) = 6 SPACES REQUIRED  
22 SPACES PROVIDED **(COMPLIES)**
  - LOADING REQUIREMENTS
    - FOR A BUILDING WITH A FLOOR AREA OF LESS THAN TWENTY-FIVE THOUSAND (25,000) SQUARE FEET, ONE (1) OFF-STREET TRUCK LOADING SPACE SHALL BE PROVIDED. (§ 185-13B.(6)) **VARIANCE GRANTED AT OCTOBER 26, 2023 ZBA MEETING - DESIGNATED LOADING ZONE NOT PROVIDED**
  - DRIVEWAY REQUIREMENTS
    - DRIVEWAYS SHALL BE DESIGNED WITH A GRADE NO MORE THAN ONE (1) INCH PER FOOT FROM EDGE OF PAVEMENT OR BACK OF CURB TO THE RIGHT-OF-WAY LINE. THE MINIMUM WIDTH OF THE DRIVEWAY PAVEMENT AT THE ROAD PAVEMENT LINE OR AT THE CURBLINE SHALL BE FIFTEEN (15) FEET, TAPERING TO A MINIMUM OF TEN (10) FEET AT THE RIGHT-OF-WAY LINE. (§ 185-13A.) **(COMPLIES)**
    - UNOBSTRUCTED ACCESS TO AND FROM A STREET SHALL BE PROVIDED. SUCH ACCESS SHALL CONSIST OF AT LEAST TWO (2) LANES OF TEN (10) FOOT WIDTH APPEACE. (§ 185-13D.(6)(a)) **(COMPLIES)**
    - NO ENTRANCE OR EXIT FOR AN ACCESSORY OFF-STREET PARKING AREA WITH OVER TEN (10) PARKING SPACES OR ANY LOADING BERTH SHALL BE LOCATED WITHIN ONE HUNDRED AND FIFTY (150) FEET OF A STREET INTERSECTION. (§ 185-13D.(6)(b)) **VARIANCE = 50.1 FT. PREVIOUS VARIANCE GRANTED AT OCTOBER 26, 2023 ZBA MEETING - 50.6 FT PROVIDED ALONG SOUTH PLANK ROAD**
  - FENCE AND WALL REQUIREMENTS
    - FENCES AND WALLS SHALL BE PERMITTED IN ANY YARD OR ALONG THE EDGE OF A YARD; HOWEVER, NO FENCE SHALL BE ERRECTED WITHIN THE RIGHT-OF-WAY OF A PUBLIC ROAD. (§ 185-16A.) **(COMPLIES)**
    - NO FENCES AND WALLS SHALL BE PERMITTED IN LOCATIONS WHERE THEY WILL INTERFERE WITH ADEQUATE SIGHT DISTANCE FOR VEHICLES EXITING FROM A DRIVEWAY ON THE PARCEL WHERE THE WALL OR FENCE IS TO BE CONSTRUCTED OR FROM DRIVEWAYS ON NEIGHBORING PROPERTY. (§ 185-16C.) **(COMPLIES)**
    - FENCES AND WALLS SHALL CONFORM TO CORNER LOT REQUIREMENTS WHERE APPLICABLE (SEE § 185-17, CORNER LOTS, OF THIS CHAPTER). (§ 185-16D.) **(COMPLIES)**
    - WITH THE EXCEPTION OF SUBSECTION D OF THIS SECTION, THERE SHALL BE NO RESTRICTION ON THE TYPE AND HEIGHT OF A FENCE OR WALL IN A NONRESIDENTIAL DISTRICT. (§ 185-16E.) **(COMPLIES)**
  - SIDEWALK REQUIREMENTS
    - SIDEWALKS SHALL BE LOCATED SUCH THAT THE TOP OF THE SIDEWALK IS TWO (2) FEET FROM THE INSIDE OF THE RIGHT-OF-WAY LINE. (§ 185-15A.) **(COMPLIES)**
  - CURB REQUIREMENTS
    - CURBS ARE TO BE SIX (6) INCHES WIDE AT THE TOP AND EIGHT (8) INCHES WIDE AT THE BOTTOM, WITH A TOTAL HEIGHT OF TWENTY (20) INCHES. THE FACE OF THE CURB SHALL BE EXPOSED SIX (6) INCHES AT THE EDGE OF THE PAVED ROADWAY. (§ 185-15B.(1)) **(COMPLIES)**
  - FAST-FOOD, DRIVE-THRU AND DRIVE-UP ESTABLISHMENT REQUIREMENTS
    - ALL DRIVE-THRU ASSESS SHALL EXIT INTO A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES 9W, 17K, 32, 52 OR 300. (§ 185-42A.(1)) **(COMPLIES)**
    - PARKING SHALL BE ADEQUATE FOR THE TYPE OF FACILITY PROPOSED, WITH THREE (3) ADDITIONAL SHORT-TERM SPACES DEVOTED SPECIALLY FOR PICK-UP OR DROP-OFF DELAYS FOR EACH DRIVE-UP, DRIVE-THRU, WALK-UP OR PICKUP WINDOW OR AREA INSIDE OR OUTSIDE OF THE BUILDING. (§ 185-42A.(3)) **(COMPLIES)**
    - PUBLIC ROADS AND INTERNAL DRIVE ASSES SHALL NOT BE OBSCURED BY WAITING DRIVE-THRU TRAFFIC. (§ 185-42A.(4)) **(COMPLIES)**
    - PARKING AREAS AND CIRCULATION DRIVES SHALL BE ADEQUATELY SEPARATED SO AS TO AVOID CONFLICT BETWEEN PARKING CARS AND WAITING DRIVE-THRU TRAFFIC. (§ 185-42A.(5)) **(COMPLIES)**
    - ADEQUATE STACKING SPACE WILL BE PROVIDED FOR WAITING DRIVE-THRU VEHICLES SUCH THAT THESE VEHICLES DO NOT INTERFERE WITH SIDE VEHICULAR OR PEDESTRIAN CIRCULATION. (§ 185-42A.(6)) **(COMPLIES)**
  - ANY SUCH USE SHALL MEET THE FOLLOWING CONDITIONS OF OPERATION:
    - PROVISION OF ADEQUATE FACILITIES AND PERSONNEL FOR DISPOSAL OF TRASH AND OTHER DEBRIS. (§ 185-42B.(2)) **(COMPLIES)**
    - PROVISION FOR CONTINUING MAINTENANCE OF THE EXTERIOR OF THE BUILDING AND THE GROUNDS, INCLUDING LANDSCAPING, SIGNS AND POLICING OF LITTER. (§ 185-42B.(3)) **(COMPLIES)**



**GENERAL NOTES (CONT.)**

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
- BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE EXCEPT SPECIALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. AS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RESUMPTION OF EACH PHASE DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY OTHER SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS EMPLOYEES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS PERSONNEL IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAM OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JUSTICE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- CONTRACTOR SHALL INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS. SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL SUCH AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL TREES OR VEHICLES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE "STORMWATER MANAGEMENT" REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE ROUTE MUST COMPLY WITH N.J.A.C. 52:27-2 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

**DYNAMIC ENGINEERING**  
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

1994 Main Street  
Lake Como, NJ 07719  
T: 908.919.0198  
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PROJECT: **NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT**

PARCEL: 60-3-6.1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

TITLE: **SITE PLAN**

Job No: 1021 22-01041  
DATE: 11/16/2023

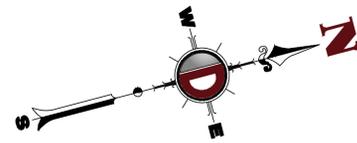
DRAWN BY: RPK  
DESIGNED BY: JD  
CHECKED BY: RW  
PROJECT YOURSELF

SCALE: (H) 1"=20'  
(V)

SHEET No: **4**

Rev. # 1

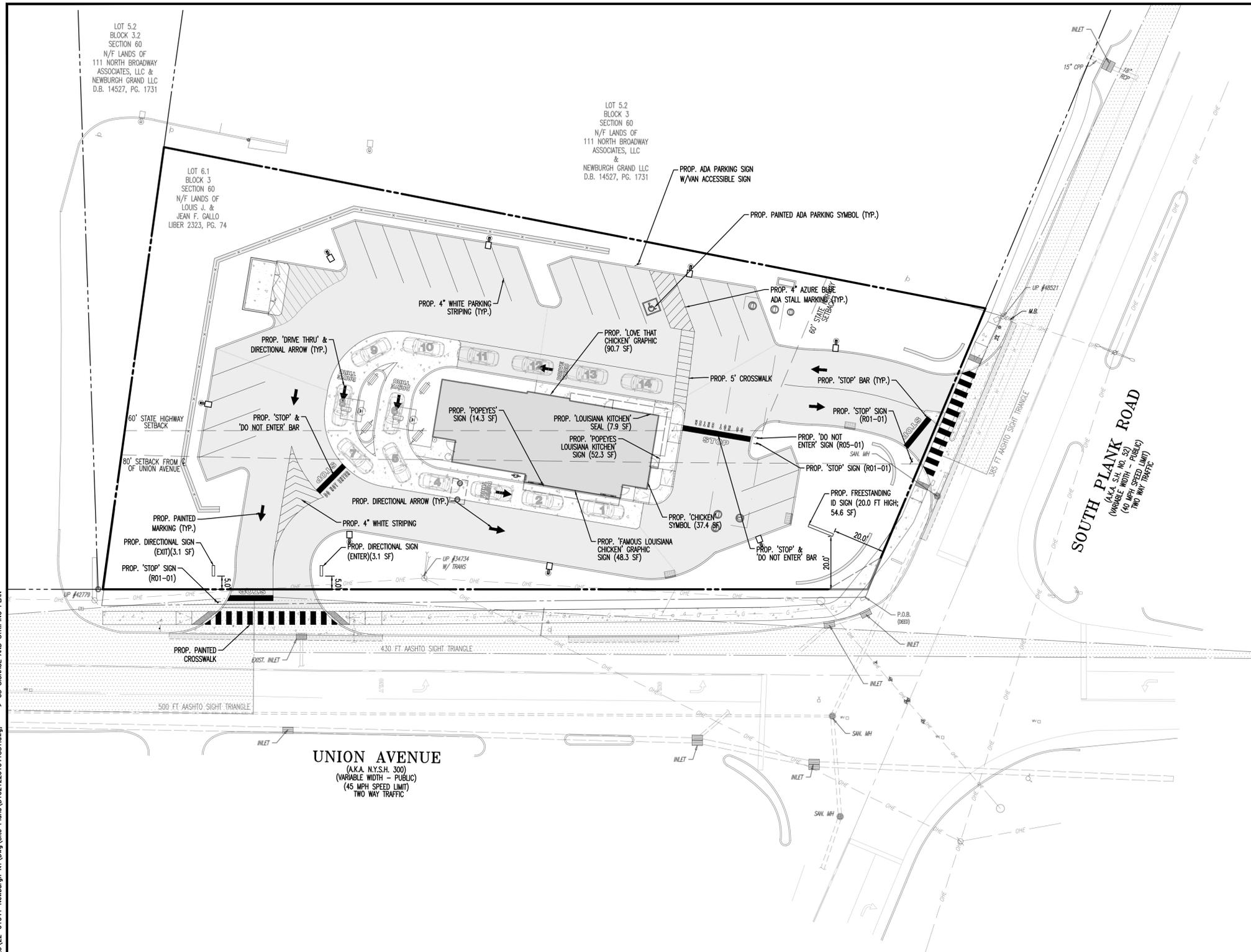
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE NO. 54522



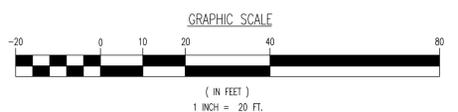
**SIGNAGE CHART**

SIGN	REQUIREMENT	PROPOSED
FREESTANDING [1] [12] [13] [14]		SOUTH PLANK ROAD (NY-52) NUMBER OF SIGNS: ONE (1) SIGN AREA: 35.4 SF SIGN HEIGHT: 17 FT SIGN SETBACK TO PROPERTY LINE: 20 FT UNION AVENUE (NY-300) NUMBER OF SIGNS: ONE (1) SIGN AREA: 35.4 SF SIGN HEIGHT: 17 FT SIGN SETBACK TO PROPERTY LINE: 20 FT
BUILDING MOUNTED [8] [9] [10]	NUMBER OF FACADE SIGNS: N/A MAXIMUM FACADE SIGN AREA: (W)(75%) = XX SF [7]	NORTH FACADE: NUMBER OF SIGNS: TWO (2) "POPEYES LOUISIANA CHICKEN" SIGN AREA: 52.3 SF CHICKEN SYMBOL SIGN AREA: 37.4 SF TOTAL: 89.7 SF (V) EAST FACADE: NUMBER OF SIGNS: TWO (2) FAMOUS LOUISIANA CHICKEN GRAPHIC AREA: 48.3 SF "POPEYES" SIGN AREA: 14.3 SF TOTAL: 62.6 SF SOUTH FACADE: NA WEST FACADE: NUMBER OF SIGNS: TWO (2) "LOVE THAT CHICKEN" GRAPHIC AREA: 90.7 SF "LOUISIANA KITCHEN" SEAL SIGN AREA: 7.9 SF TOTAL: 98.6 SF (V)
MENU SIGN	MAXIMUM SIGN HEIGHT: TOP OF WALL	NUMBER OF MENU SIGNS: FOUR (4) PREVIEW MENU SIGN: 2 @ 8.1 SF MENU SIGN: 2 @ 24.3 SF MENU SIGN HEIGHT: 5.3 FT DIRECTIONAL: 2 DIRECTIONAL SIGN AREA: 3.1 SF

- NOTES:
- THE AREA OF SIGN FACES ENCLOSED IN FRAMES OR CABINETS IS DETERMINED BASED ON THE OUTER DIMENSIONS OF THE FRAME OR CABINET SURROUNDING THE SIGN FACE. SIGN AREA DOES NOT INCLUDE FOUNDATIONS, SUPPORTS AND OTHER ESSENTIAL STRUCTURES WHICH ARE NOT SERVING AS A BACKDROP OR BORDER TO THE SIGN. ONLY ONE SIDE OF A DOUBLE-FACED SIGN IS COUNTED. (§ 185-14.f.(1)(a))
  - WHEN SIGNS ARE CONSTRUCTED OF INDIVIDUAL PIECES OR LETTERS ATTACHED TO A BUILDING WALL, THE SIGN AREA IS DETERMINED BY A PERIMETER DRAWN AROUND ALL THE PIECES OR LETTERS. (§ 185-14.f.(1)(c))
  - THE OVERALL HEIGHT OF A SIGN OR SIGN STRUCTURE IS MEASURED FROM THE GRADE DIRECTLY BELOW THE SIGN TO THE HIGHEST POINT OF THE SIGN OR SIGN STRUCTURE. (§ 185-14.f.(2))
  - WHERE ILLUMINATION OF SIGNS IS PERMITTED, SUCH ILLUMINATION MAY ONLY BE BETWEEN SUNDOWN AND 11:00 PM (OR CLOSE OF BUSINESS). ILLUMINATION SHALL ONLY BE OF AN EVEN INTENSITY AT ALL TIMES. ILLUMINATION MAY BE DIRECT (SHINING FORTH LIGHT FROM THE INTERIOR OF THE SIGN THROUGH TRANSLUCENT MATERIAL) OR IT MAY BE INDIRECT (WHEN THE LIGHT SOURCE IS NOT VISIBLE FROM ANY ADJOINING PROPERTY OR STREET AND IS DIRECTED UPON THE SIGN) AS SPECIFIED IN § 185-14.f.(3)
  - WHEN A SIGN EXTENDS OVER A PRIVATE AREA WHERE VEHICLES TRAVEL OR ARE PARKED, THE BOTTOM OF THE SIGN SHALL BE AT LEAST FOURTEEN (14) FEET ABOVE GRADE. VEHICLE AREAS INCLUDE DRIVEWAYS, ALLEYS, PARKING LOTS, LOADING, MANUEVERING AREAS, ETC. (§ 185-14.i.(9))
  - WHEN A SIGN EXTENDS OVER PRIVATE SIDEWALKS, WALKWAYS OR OTHER SPACES ACCESSIBLE TO PEDESTRIANS, THE BOTTOM OF THE SIGN SHALL BE AT LEAST EIGHT AND ONE-HALF (8.5) FEET ABOVE THE GRADE. (§ 185-14.i.(10))
  - SIGNS MAY BE ERECTED IN REQUIRED YARDS AND SETBACK AREAS, BUT NOT IN BUFFER AREAS, UNLESS OTHERWISE SPECIFIED IN THIS CHAPTER. (§ 185-14.i.(11))
  - A WALL SIGN'S LENGTH SHALL NOT EXCEED SEVENTY PERCENT (70%) OF THE WIDTH OF THE TENACITY OR BUILDING WALL TO WHICH IT IS MOUNTED. (§ 185-14.j.(1)(a))
  - ATTACHED WALL SIGNS MAY ONLY BE DIRECTLY ILLUMINATED. (§ 185-14.j.(1)(a))
  - ATTACHED WALL SIGNS SHALL NOT BE LOCATED ON THE REAR OF A BUILDING. (§ 185-14.j.(1)(i))
  - NO FREESTANDING SIGN SHALL BE LOCATED LESS THAN FIFTEEN (15) FEET FROM ANY FRONT OR SIDE PROPERTY LINE, OR A DISTANCE EQUAL TO THE HEIGHT OF SAID SIGN, WHICHEVER IS GREATER. (§ 185-14.k.(5)(a))
  - A FREESTANDING SIGN SHALL BE LOCATED NO LESS THAN TEN (10) FEET FROM ANY BUILDING, OR EQUAL TO THE HEIGHT OF THE SIGN, WHICHEVER IS GREATER. (§ 185-14.k.(5)(b))
  - FREESTANDING SIGNS MAY EITHER BE DIRECTLY OR INDIRECTLY ILLUMINATED. (§ 185-14.k.(5)(a))
  - A FREESTANDING SIGN SHALL BE NO MORE THAN THIRTY-FIVE (35) FEET IN HEIGHT ABOVE FINISHED GRADE. SIGNS WHICH EXCEED FOURTEEN (14) FEET IN HEIGHT SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND WINDS OF ONE-HUNDRED (100) MILES PER HOUR, AND SUCH SHALL BE CERTIFIED TO BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. (§ 185-14.l.(5)(c))
  - ONE (1) FREESTANDING SIGN MAY BE PLACED ON THE PREMISES SUBJECT TO THE FOLLOWING:  
A. SUCH SIGN SHALL ONLY BE ALLOWED IF THE BUILDING ON THE SITE IS SET BACK A MINIMUM OF THIRTY-FIVE (35) FEET FROM THE FRONT OF THE PROPERTY LINE. (§ 185-14.m.(2)(a))  
B. ON LOTS WITH A LOT WIDTH OF ONE-HUNDRED (100) FEET OR LESS, THE MAXIMUM SIGN AREA SHALL BE FORTY (40) SQUARE FEET, ON LOTS WITH A LOT WIDTH OF MORE THAN ONE-HUNDRED (100) FEET, THE MAXIMUM SIGN AREA SHALL BE SIXTY (60) SQUARE FEET. (§ 185-14.m.(2)(b))  
C. THE MAXIMUM HEIGHT SHALL BE FOURTEEN (14) FEET. ((§ 185-14.m.(2)(c)) (VARIANCE = 20 FT HIGH SIGN PROPOSED)
  - ATTACHED WALL, SUSPENDED WALL, PROJECTING, WINDOW AND ANNING SIGNS MAY BE PLACED ON THE PREMISES SUBJECT TO THE FOLLOWING CONDITIONS:  
A. THE TOTAL ALLOWABLE SIGN AREA FOR ALL PERMANENT SIGNS ON THE SITE, EXCEPT FREESTANDING SIGNS, SHALL BE AS FOLLOWS:  
i. IF THERE IS NO FREESTANDING SIGN ON THE SITE, THEN ONE (1) SQUARE FOOT OF SIGN AREA PER LINEAR FOOT OF BUILDING WALL THAT FRONTS ON A STREET IS ALLOWED. (§ 185-14.m.(1)(a)(i))  
ii. IF THERE IS A FREESTANDING SIGN ON THE SITE, THEN 3/4 SQUARE FOOT OF SIGN AREA PER LINEAR FOOT OF BUILDING WALL THAT FRONTS ON A STREET IS ALLOWED. (§ 185-14.m.(1)(a)(ii))  
B. THERE IS NO LIMIT ON THE NUMBER OF SUCH SIGNS ON A SITE SO LONG AS THEIR AGGREGATE SQUARE FOOTAGE IS WITHIN THEIR TOTAL ALLOWABLE AREA LIMIT. (§ 185-14.m.(1)(b))



**UNION AVENUE**  
(A.K.A. N.Y.S.H. 300)  
(VARIABLE WIDTH - PUBLIC)  
(45 MPH. SPEED LIMIT)  
TWO WAY TRAFFIC



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TITLE: **SIGNAGE AND STRIPING PLAN**

PROJECT: **NEWBURGH CHICKEN, LLC.**  
**PROPOSED POPEYES RESTAURANT**

JOB No: 1021 22-01041 DATE: 11/16/2023

PARCEL: 60-3-6-1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

DRAWN BY: XXX SCALE: (H) 1"=20'  
(V)

DESIGNED BY: JD SHEET No:

CHECKED BY: RW

CHECKED BY: MB

**MATTHEW J. BERSCH** **JOSUAH M. SNYDAL**

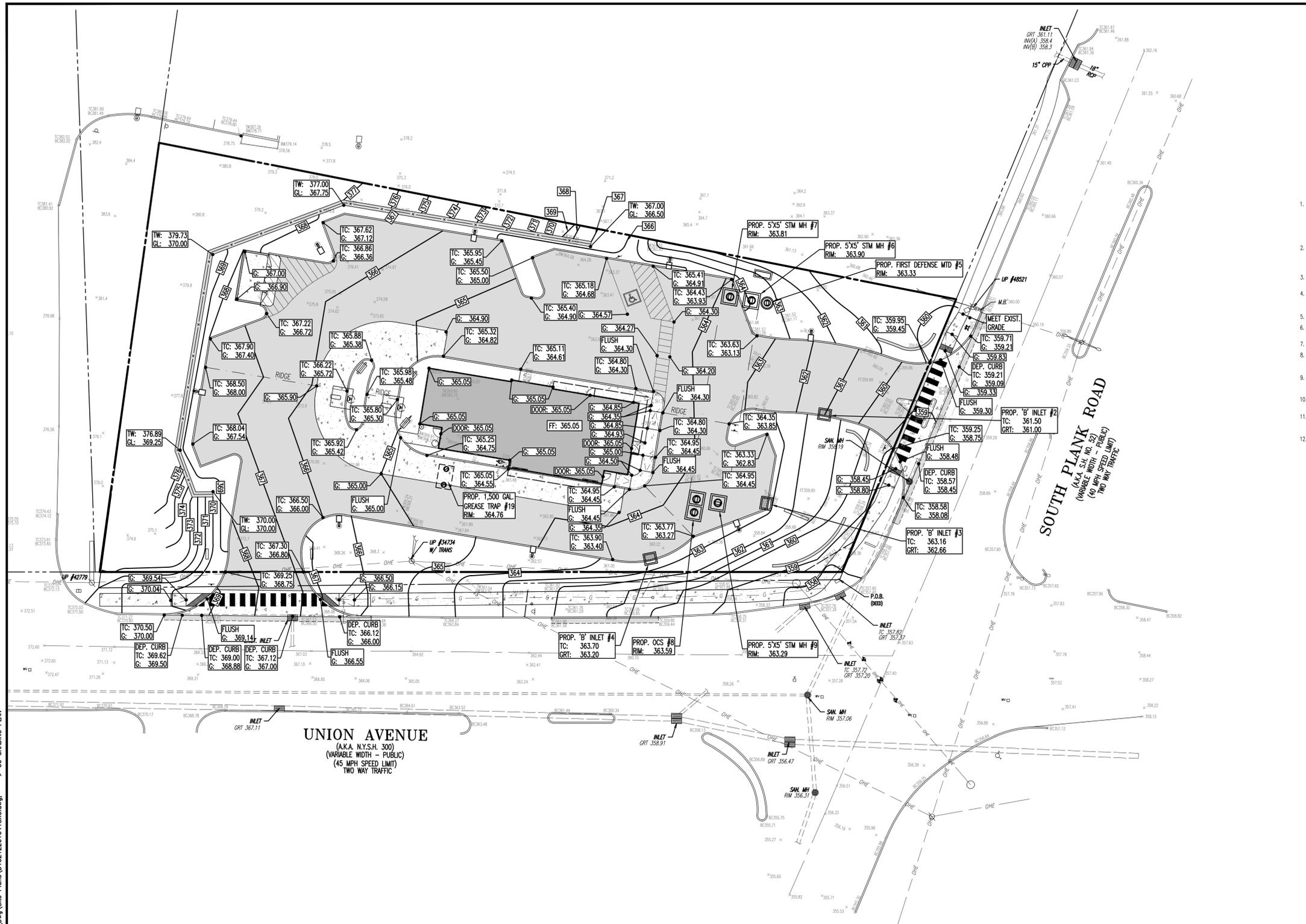
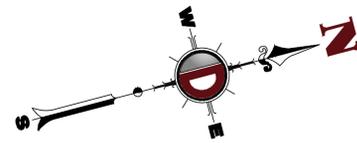
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**811 PROTECT YOURSELF**  
ALL UTILITIES REQUIRE NOTIFICATION OF EXISTING UTILITIES. IF ANY UTILITIES ARE LOCATED AT OR NEAR THE SITE, CALL 811 BEFORE ANY EXCAVATION OR DRILLING. FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: www.call811.com

Rev. # 1

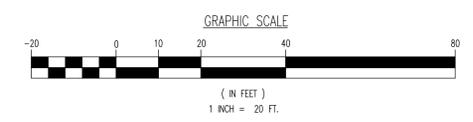
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### GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPARISON REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.2% MIN. SLOPE AGAINST ALL ISLAND CURBS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT CREDS. PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7995) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL, UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

CUT/FILL	
CUT VOLUME	3,894 Cu. Yd.
FILL VOLUME	1,053 Cu. Yd.
NET VOLUME	2,840 Cu. Yd. (CUT)



### GRADING/UTILITY GRAPHIC LEGEND

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "E" INLET</p> <p>EXIST. WATER INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>PROPERTY LINE (PARCEL IN QUESTION)</p> <p>OFF-SITE PROPERTY LINES</p> <p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS VALVE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>PROP. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "E" INLET</p> <p>PROP. WATER INLET</p> <p>PROP. FLARED END SECTION</p>	<p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p> <p>EXIST. FIRE SERVICE</p> <p>PROP. FIRE SERVICE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. FORCE MAIN</p> <p>PROP. FORCE MAIN</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR &amp; ELEVATION</p> <p>EXIST. MAJOR CONTOUR &amp; ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR &amp; ELEVATION</p> <p>PROP. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB &amp; FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL &amp; FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER).</p> <p>PROP. TOP OF EXTENDED CURB &amp; (G) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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PROJECT: **NEWBURGH CHICKEN, LLC.**  
**PROPOSED FOPPEY'S RESTAURANT**

197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB NO: 1021 22-01041  
DATE: 11/16/2023  
DRAWN BY: RPK  
SCALE: (H) 1"=20'  
(V)  
CHECKED BY: JD  
SHEET NO: 6  
CHECKED BY: RW  
CHECKED BY: MB

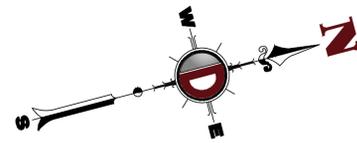
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NEW JERSEY LICENSE NO. 54522

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NEW JERSEY LICENSE NO. 54539

PROTECT YOURSELF  
ALL UTILITIES DEEPER THAN 48" SHALL BE MARKED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. PREPARE TO VERIFY THE SERVICE SPACES ARE AS SHOWN.

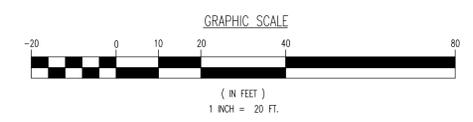
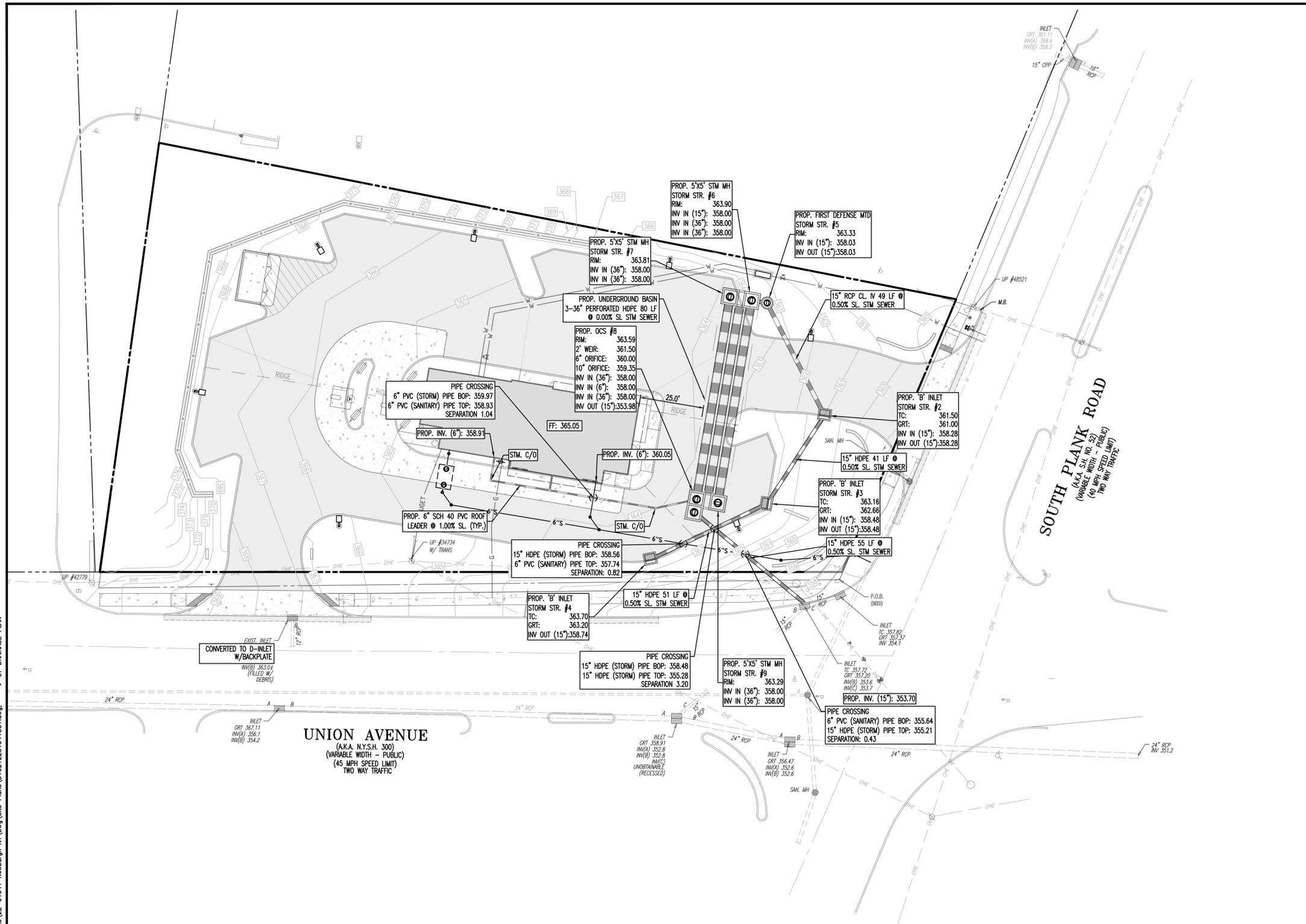
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**DRAINAGE NOTES**

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-900 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT, WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER TIGHT AND CONFORM TO ASTM C-443.
- HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2336 (12"-30" PIPE) AND ASTM F3981 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.



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TITLE: **DRAINAGE PLAN**

PROJECT: **NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT**

PARCEL: 60-3-6-1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB No: 1021 22-01041  
DATE: 11/16/2023  
DRAWN BY: RPK  
SCALE: (H) 1"=20' (V)  
DESIGNED BY: JD  
CHECKED BY: RW  
SHEET No: 7  
CHECKED BY: MB

**MATTHEW J. BERSCH** PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 54522

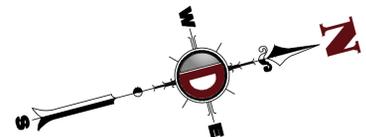
**JOSHUA M. SWALD** PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 6539

PROTECT YOURSELF  
ALL UTILITIES SHALL BE MARKED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
FOR STATE SPECIFICATIONS VISIT: www.call811.com

**GRADING/UTILITY GRAPHIC LEGEND**

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. BUILDING LIGHT</p> <p>EXIST. SHED BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. "E" INLET</p> <p>EXIST. "F" INLET</p> <p>EXIST. "G" INLET</p> <p>EXIST. "H" INLET</p> <p>EXIST. "I" INLET</p> <p>EXIST. "J" INLET</p> <p>EXIST. "K" INLET</p> <p>EXIST. "L" INLET</p> <p>EXIST. "M" INLET</p> <p>EXIST. "N" INLET</p> <p>EXIST. "O" INLET</p> <p>EXIST. "P" INLET</p> <p>EXIST. "Q" INLET</p> <p>EXIST. "R" INLET</p> <p>EXIST. "S" INLET</p> <p>EXIST. "T" INLET</p> <p>EXIST. "U" INLET</p> <p>EXIST. "V" INLET</p> <p>EXIST. "W" INLET</p> <p>EXIST. "X" INLET</p> <p>EXIST. "Y" INLET</p> <p>EXIST. "Z" INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>PROPERTY LINE (PARCEL IN QUESTION)</p> <p>OFF-SITE PROPERTY LINES</p> <p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS VALVE</p> <p>EXIST. SANITARY CLEANOUT</p> <p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. "E" INLET</p> <p>PROP. "F" INLET</p> <p>PROP. "G" INLET</p> <p>PROP. "H" INLET</p> <p>PROP. "I" INLET</p> <p>PROP. "J" INLET</p> <p>PROP. "K" INLET</p> <p>PROP. "L" INLET</p> <p>PROP. "M" INLET</p> <p>PROP. "N" INLET</p> <p>PROP. "O" INLET</p> <p>PROP. "P" INLET</p> <p>PROP. "Q" INLET</p> <p>PROP. "R" INLET</p> <p>PROP. "S" INLET</p> <p>PROP. "T" INLET</p> <p>PROP. "U" INLET</p> <p>PROP. "V" INLET</p> <p>PROP. "W" INLET</p> <p>PROP. "X" INLET</p> <p>PROP. "Y" INLET</p> <p>PROP. "Z" INLET</p> <p>PROP. FLARED END SECTION</p> <p>PROP. HEADWALL</p>	<p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p> <p>EXIST. FIRE SERVICE</p> <p>PROP. FIRE SERVICE</p> <p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. &amp; SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. FORCE MAIN</p> <p>PROP. FORCE MAIN</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR &amp; ELEVATION</p> <p>PROP. MINOR CONTOUR &amp; ELEVATION</p> <p>EXIST. MAJOR CONTOUR &amp; ELEVATION</p> <p>PROP. MAJOR CONTOUR &amp; ELEVATION</p> <p>EXIST. FINISH GRADE CONTOUR &amp; ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR &amp; ELEVATION</p> <p>EXIST. DIRECTION OF DRAINAGE FLOW ARROW</p> <p>PROP. DIRECTION OF DRAINAGE FLOW ARROW</p> <p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB &amp; FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL &amp; FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)</p> <p>PROP. TOP OF EXTENDED CURB @ FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB &amp; (G) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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### EXISTING UTILITY NOTES

**EXISTING WATER SERVICE NOTE:** CONTRACTOR TO LOCATE AND CAP EXISTING WATER SERVICE AT THE MAIN IN THE R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

**EXISTING GAS SERVICE NOTE:** CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

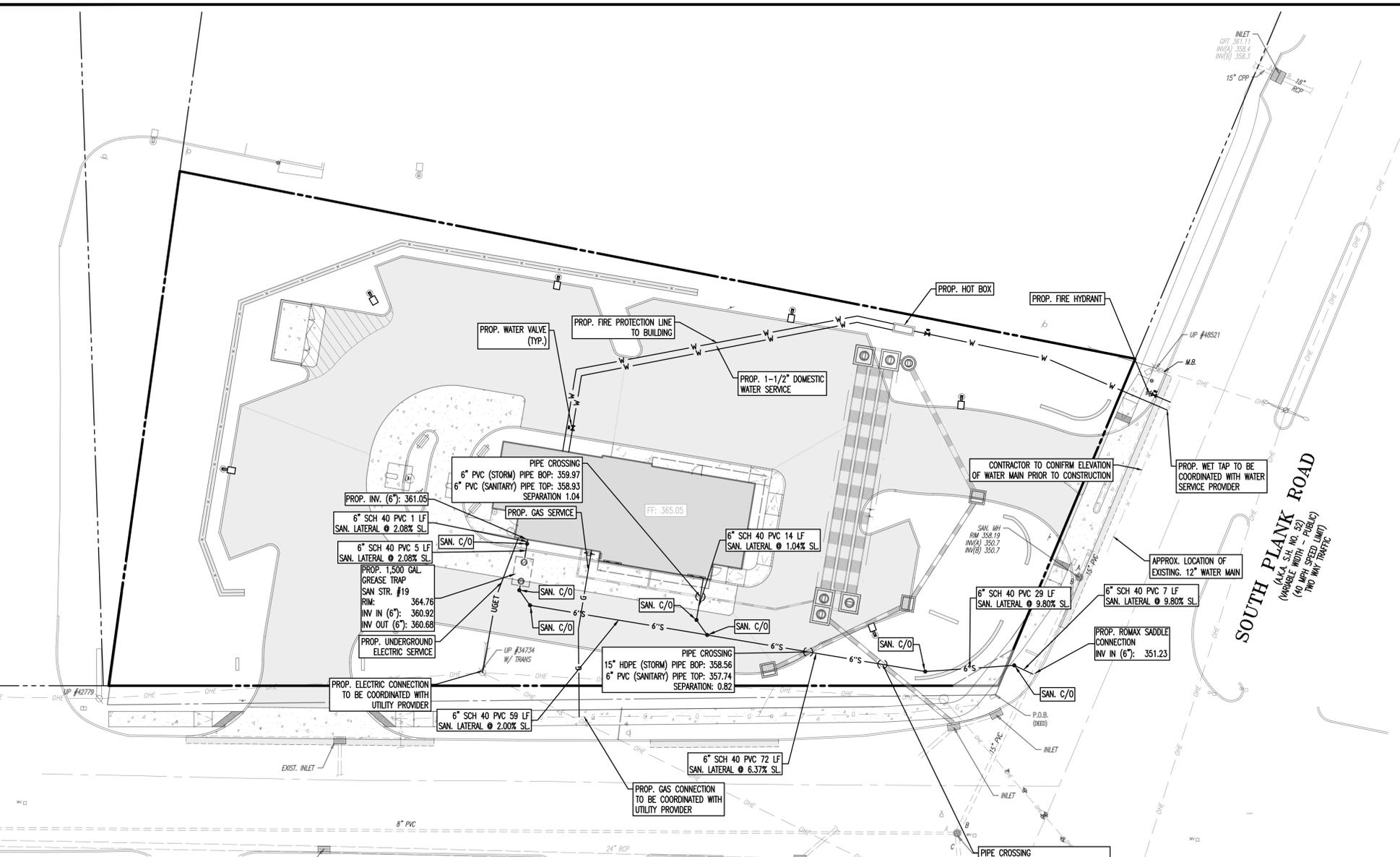
**SANITARY SEWER SERVICE NOTE:** CONTRACTOR TO LOCATE AND CAP EXISTING SEWER SERVICE AT THE MAIN IN THE R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

### UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE COMPLETE WORKING SERVICE.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWER CROSSING OVER SEWER LINES.
- ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONSTRUCTION.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS III UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MANDATORY PREFORMED FLEXIBLE JOINT SEAMANTS IN ACCORDANCE WITH ASTM C-990 TO BE UTILIZED TO PROVIDE A SILENT-JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER TIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILENT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

### TOWN OF NEWBURGH UTILITY NOTES

- TOWN OF NEWBURGH TOWN WATER SYSTEM NOTES**
- "CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH."
  - ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINTS.
  - THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
  - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
  - ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
  - TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
  - ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO ANSA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8 INCH MAIN VALVE OPENING, TWO 2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPPED YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
  - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 1/2 AND 1 INCH. MUELLER H-15000N OR B-25000N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 1/2 AND 1 INCH SIZES. CURB BOLLAS SHALL BE MUELLER H-10314N FOR 1/2 AND 1 INCH AND MUELLER H-10310N FOR 1 1/2 AND 2 INCH SIZES.
  - ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
  - THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO PUTTING THE WATER MAIN IN SERVICE. SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
  - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- TOWN OF NEWBURGH TOWN SEWER SYSTEM NOTES**
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
  - ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
  - ALL SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH GLASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
  - THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
  - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



### GREASE TRAP CALCULATION

**ESTIMATED PROPOSED MAXIMUM DAILY SEWER DEMAND PER NYSDEC TABLE B-3**

FAST FOOD RESTAURANT - 25 GALLONS PER DAY PER SEAT + 500 GALLONS PER DRIVE-UP WINDOW

PROPOSED POPPYE'S:  
 24 SEATS \* 25 GPD/SEAT = 600 GPD  
 2 DRIVE UP WINDOWS \* 500 GPD/WINDOW = 1000 GPD  
 TOTAL DOMESTIC MAXIMUM DAILY SEWER DEMAND = 1,600 GPD (1.1 GPM)

**ESTIMATED GREASE INTERCEPTOR VOLUME PER NYSDEC TABLE D-1**

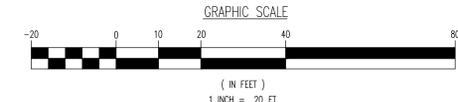
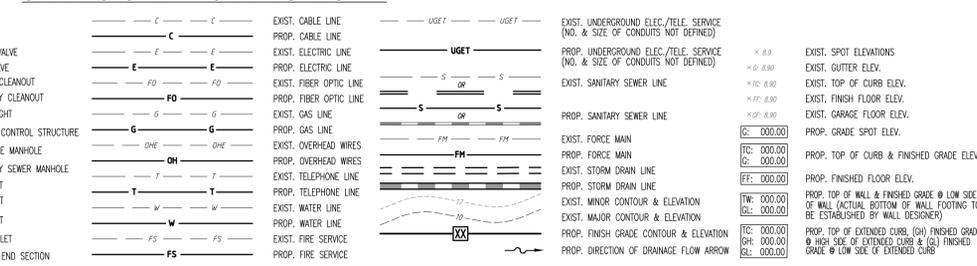
**UNION AVENUE**  
 (A.K.A. N.Y.S.H. 300)  
 (VARIABLE WIDTH - PUBLIC)  
 (45 MPH SPEED LIMIT)  
 TWO WAY TRAFFIC

**Table D-1 Gravity (Type II) Grease Interceptor Sizing Based on Grease-Laden Building Sewer Pipe Flowing Half Full**

Grease Interceptor Inlet Pipe Size (inches)	Flow (GPM)	Nominal Interceptor Volume (Gallons) (based on 30-minute settling time)
2"	10	500
3"	30	1,000
4"	65	2,000
5"	115	3,500
6"	188	6,000

PER THE CALCULATED FLOW OF 1.11 GPM A 500 GAL. NOMINAL INTERCEPTOR WITH A 2" INLET WOULD BE SUFFICIENT. THE PROPOSED INTERCEPTOR HAS BEEN CONSERVATIVELY SIZED AT 1,500 GAL. WITH A 6" INLET TO ACCOMMODATE PEAK DEMAND FLOWS.

### GRADING/UTILITY GRAPHIC LEGEND



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**UTILITY PLAN**

PROJECT: **NEWBURGH CHICKEN, LLC. PROPOSED POPPYE'S RESTAURANT**

PARCEL: 60-3-6-1  
 197 SOUTH PLANK ROAD  
 TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB No: 1021-22-01041  
 DATE: 11/16/2023

DRAWN BY: RPK  
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**MATTHEW J. BERSCH** PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 54522

**JOSHUA M. SWALD** PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 639

8 OF 20

PROTECT YOURSELF  
 ALL UTILITIES REQUIRE A PERMIT  
 FROM THE TOWN OF NEWBURGH  
 BEFORE ANY EXCAVATION  
 PREPARED TO ORDER THE SERVICE  
 OFFICE HOURS: 9 AM - 5 PM  
 FOR STATE-APPROVED DIRECT PHONE NUMBERS VISIT:  
 WWW.CALL811.COM

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 File: \\server.local\cadd\Drawings\Projects\1021\_Popkch\_Netwrk\_LC22-01041\_Newburgh\_NY\DWG\Site Plans\1021201041SU1.dwg, ----> 08 UTILITY PLAN  
 Plotted: 01/22/24 - 10:02 AM, By: padroym,  
 1  
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**PLANTING NOTES**

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REMOVE ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL BE EQUAL TO THAT SPECIFIED ABOVE.
6. INsofar as it is PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAVED WITH MULCH OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
11. NO PLANTS OR EXISTING COVERS SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED TREES SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES 1" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADERS OF TREES SHALL NOT BE CUT AND BRANCHES, HOWEVER, MUST BE STRENGTHENED.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LEAF OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCES AT THE DROP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
16. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
17. NEW PLANTING AREAS AND SOIL SHALL BE IMMEDIATELY BROADCAST OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
18. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.
19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOO STABILIZATION METHOD.

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PYRUS VARIETIES
CONIFERUS VARIETIES	QUERCUS VARIETIES
KOELERUTERA	SALIX WEEPING VARIETIES
LIQUIDAMBAR STRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON JULIFLORA	ZELKOVA VARIETIES
PLATANUS ACERIFOLIA	

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT. PRIOR TO PLANTING, FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOODING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

**PLANTING SPECIFICATIONS**

1. SCOPE OF WORK
  - A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
2. MATERIALS
  - A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION OR APPROVED EQUAL).
  - B. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
  - C. TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, PH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLUMPS.
  - D. MULCH - FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
3. FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
  - A. ORGANIC FERTILIZER - SHALL BE PROCESSER SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROHUMS".
  - B. ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1); NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, SOIL HUMUS AND 15% HUMIC ACIDS.
4. GENERAL WORK PROCEDURES
  - A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAYS WORK.
5. WEEDING
  - A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
6. TOPSOILING
  - A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
7. SOIL CONDITIONING
  - A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
    - 20 POUNDS "GRO-POWER"
    - 100 POUNDS AGRICULTURAL GYPSUM
    - 20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP

8. SOIL MODIFICATIONS
  - A. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. ADD MATERIAL WITH A PH HIGHER THAN 7.5.
  - B. MOODY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
  - C. MOODY EXTREMELY SANDY SOILS (MORE THAN 80% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

9. PLANTING
  - A. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
  - B. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED MIX MOIST THOROUGHLY:
    - 1 PART PEAT MOSS BY VOLUME
    - 1 PART COW MANURE BY VOLUME
    - 3 PARTS TOPSOIL BY VOLUME
  - C. 21 GRAM AGROFORM PLANTING TABLETS AS FOLLOWS:
    - 1 TABLET PER 1 GAL. PLANT
    - 3 TABLETS PER 5 GAL. PLANT
    - 4 TABLETS PER 15 GAL. PLANT
  - D. LARGER PLANTS (2") TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER
10. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
11. ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
12. PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
13. WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
14. PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7" BRANCHING HEIGHT.

10. FINISH GRADING
  - A. ALL AREAS WILL BE SEEDED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE.
  - B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
  - C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
11. GUARANTEE
  - A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.
12. CLEANUP
  - A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  - B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, FERTILIZER AND SUPPORT STAKE AND SOIL SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
  - C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGRASSING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERoded OR BARE AREAS.
13. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

**SEEDING SPECIFICATIONS**

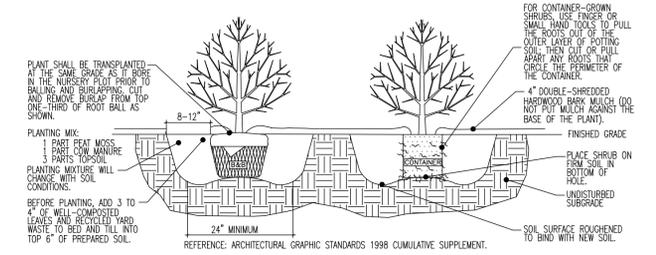
1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
 

PERENNIAL RYEGRASS	1/2 LB/1,000 SQ. FT.
KENTUCKY BLUEGRASS	1 LB/1,000 SQ. FT.
RED FESCUE	1 1/2 LBS/1,000 SQ. FT.
SPREADING FESCUE	1 1/2 LBS/1,000 SQ. FT.
FERTILIZER (20-10-10)	14 LBS/1,000 SQ. FT.
MULCH	90 LBS/1,000 SQ. FT.
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

**SEEDING SPECIFICATIONS**

DATE	REV.	REV. PER	TOWNSHIP	COMMENTS	PSD	BY
01/17/24	1	REV.	REV.	COMMENTS		

**THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY**

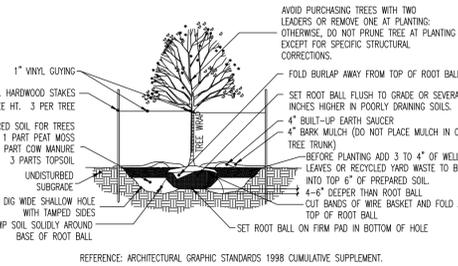


**DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL**

NOT TO SCALE

**NOTES:**

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

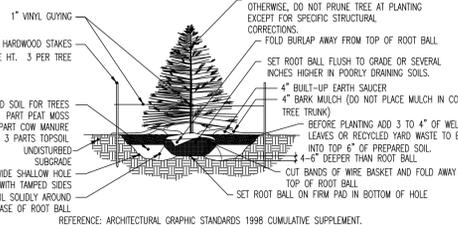


**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

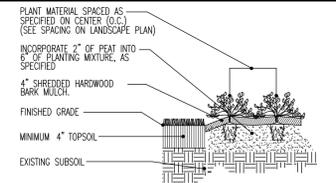
**NOTES:**

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



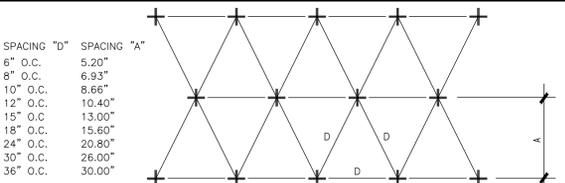
**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE



**PERENNIAL/GROUND COVER PLANTING DETAIL**

NOT TO SCALE



**PERENNIAL GROUNDCOVER/SPACING DETAIL**

NOT TO SCALE

**THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION**

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**LANDSCAPE DETAILS**

TITLE: \_\_\_\_\_

PROJECT: **NEWBURGH CHICKEN, LLC.**  
**PROPOSED POPEYES RESTAURANT**

197 SOUTH PLANK ROAD  
 TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB No: 1021 22-01041  
 DATE: 11/16/2023

DESIGNED BY: XXX  
 SCALE: (H) NOT TO (V) SCALE

CHECKED BY: JD  
 SHEET No: \_\_\_\_\_

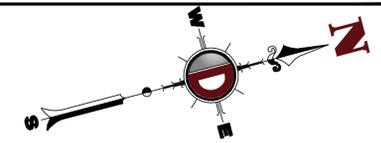
CHECKED BY: RW  
 CHECKED BY: MB

**MATTHEW J. BERSCH**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 54522

**JOSHUA M. SNYDAL**  
 PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE NO. 639

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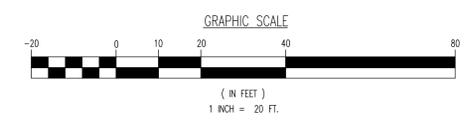


**LIGHTING NOTES**

1. THE AREA OF BRILLIANCE, CHARACTER, COLOR, DEGREE, DENSITY, INTENSITY, LOCATION AND TYPE OF ILLUMINATION SHALL BE THE MINIMUM NECESSARY TO PROVIDE FOR THE SECURITY OF THE PROPERTY AND THE SAFETY AND WELFARE OF THE PUBLIC. (§125-8.A) (COMPLIES)
2. ALL SOURCES OF ILLUMINATION ON NONPUBLIC PROPERTY, INCLUDING THE LIGHTING OF SIGNS, SHALL BE SHIELDED OR DIRECTED IN SUCH A MANNER THAT THE DIRECT RAYS THEREFROM ARE NOT CAST UPON ANY PROPERTY USED FOR RESIDENTIAL PURPOSES, OTHER THAN THE LOT ON WHICH SUCH ILLUMINATION IS SITUATED. (§125-8.B) (COMPLIES)
3. ILLUMINATION SHALL BE STEADY IN NATURE, NOT FLASHING, MOVING OR CHANGING IN BRILLIANCE, COLOR OR INTENSITY, EXCLUDING THE LIGHTING OF SIGNS CONVEYING INFORMATION, SUCH AS TIME AND TEMPERATURE. (§125-8.C) (COMPLIES)
4. THE DURATION, PERIOD OR TIME OF ILLUMINATION OF NONRESIDENTIAL PREMISES OPEN TO THE PUBLIC, ILLUMINATION SHALL BE EXTINGUISHED, EXCEPT THAT NECESSARY FOR THE SECURITY OF THE PROPERTY AND SAFETY OF PERSONS THEREON, ONE (1) HOUR AFTER THE PREMISES ARE CLOSED TO THE PUBLIC. (§125-8.D) (COMPLIES)
5. ILLUMINATION CONNECTED OR USED WITH A SIGN OR OTHERWISE WHICH COMPLETES FOR ATTENTION WITH OR MAY BE MISTAKEN FOR A TRAFFIC SIGNAL OR CREATES A DISTRACTIVE HAZARD TO TRAFFIC BY CLARE OR MOVEMENT IS PROHIBITED. (§125-8.E) (COMPLIES)

**GENERAL NOTES**

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDERAIL POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
6. THIS PLAN IS REFERRED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.



**UNION AVENUE**  
(A.K.A. N.Y.S.H. 300)  
(VARIABLE WIDTH - PUBLIC)  
(45 MPH. SPEED LIMIT)  
TWO WAY TRAFFIC

**SOUTH PLANK ROAD**  
(A.K.A. S.H. NO. 52)  
(VARIABLE WIDTH - PUBLIC)  
(40 MPH. SPEED LIMIT)  
TWO WAY TRAFFIC

NOTE: DECORATIVE BUILDING MOUNTED LIGHT SPECIFICATIONS TO BE PROVIDED BY THE ARCHITECT

Plotted: 01/22/24 - 10:02 AM, By: padayom, Product: Ver: 24.3s (LMS Tech) File: \\server.local\cadd\users\padayom\Projects\1021\_Parkth Network, LLC\22-01041 - Newburgh NY\DWG\Site Plans\10212201041SI1.dwg, ----> 11 LIGHTING PLAN

LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	90 LF	C-1	7	9 FT	SINGLE	1.00	CORONET	STRIP LIGHT	LS1-STFU-4FT-MED-3500K-UNV-1
	8	A-3	104	18 FT	SINGLE	1.00	GE LIGHTING SOLUTIONS	TYPE II	EALP03_C24V730-----ELS-EA-DF3-BLCKIES

ISO CURVES ARE MAINTAINED AND SHOWN AT 1.0, 0.5, AND 0.1 FC.  
 (FM) - FLUSH MOUNT FOUNDATION (PEF) - PEDESTAL FOUNDATION  
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

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1994 Main Street  
Lake Como, NJ 07719  
T: 732.974.0198  
F: 732.974.3521  
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---

TITLE: **LIGHTING PLAN**

---

PROJECT: **NEWBURGH CHICKEN, LLC.  
PROPOSED POPEYES RESTAURANT**

197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

---

JOB No: 1021 22-01041 DATE: 11/16/2023

DRAWN BY: ARK SCALE: (H) 1"=20'  
(V)

DESIGNED BY: JD SHEET No:

CHECKED BY: RW

CHECKED BY: MB

---

**MATTHEW J. BERSCH** **JOSHUA M. SNYDAL**

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 54522

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 6339

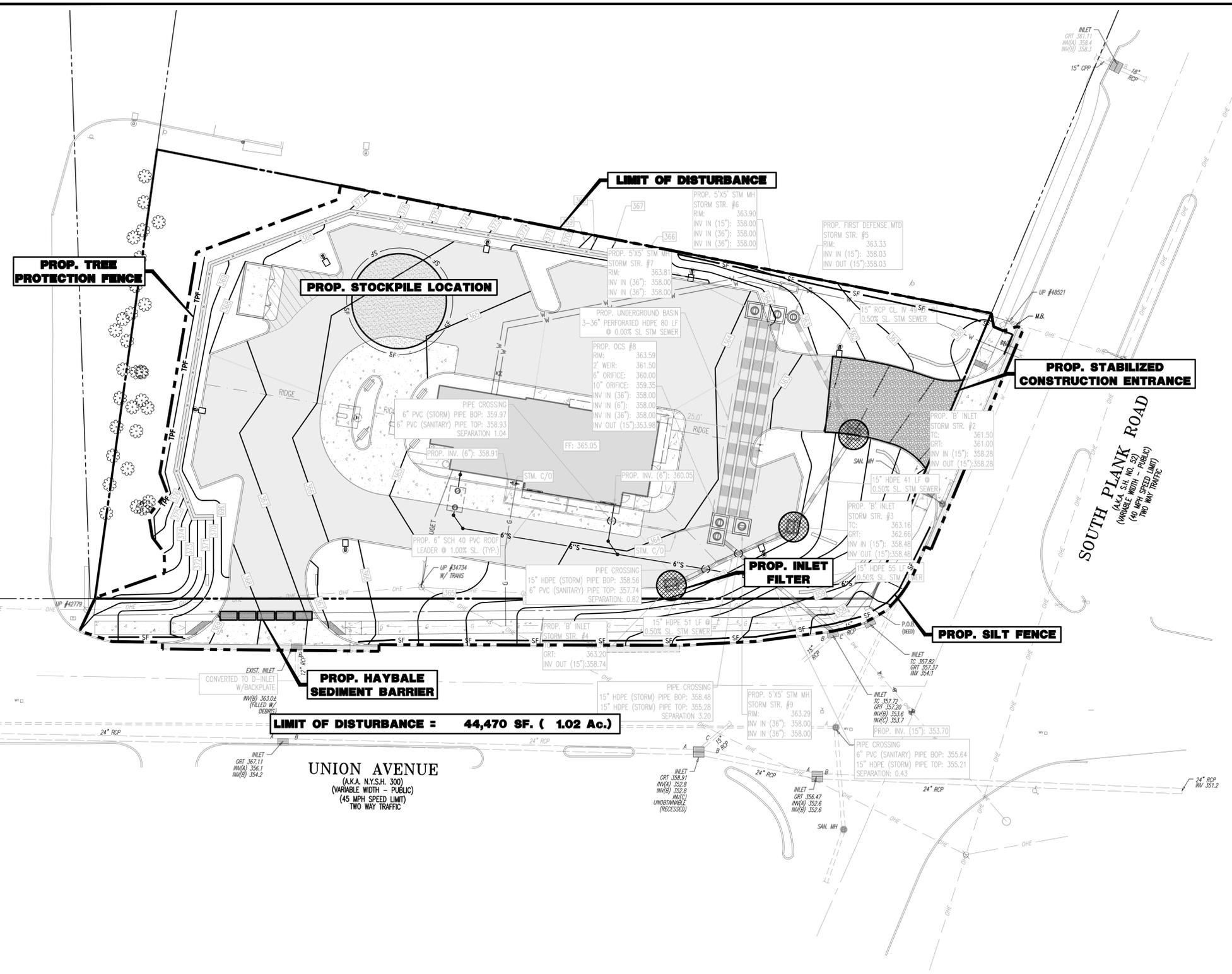
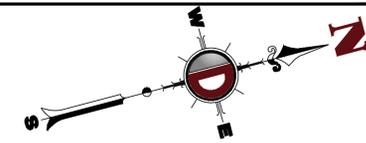
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**11**

OF 20

Rev. # 1

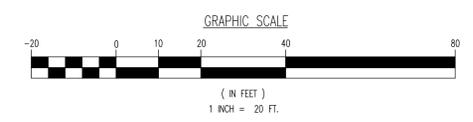




LIMIT OF DISTURBANCE = 44,470 SF. ( 1.02 Ac.)

UNION AVENUE  
(A.K.A. N.Y.S.H. 300)  
(VARIABLE WIDTH - PUBLIC)  
(45 MPH. SPEED LIMIT)  
TWO WAY TRAFFIC

SOUTH PLANK ROAD  
(A.K.A. S.H. NO. 52)  
(VARIABLE WIDTH - PUBLIC)  
(40 MPH. SPEED LIMIT)  
TWO WAY TRAFFIC



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Trenton, NJ: 973.974.0198 | Allentown, PA: 973.974.0198 | Austin, TX: 973.974.0198 | Houston, TX: 973.974.0198 | Denver, CO: 973.974.0198  
New York, NY: 973.974.0198 | Philadelphia, PA: 973.974.0198 | Baltimore, MD: 973.974.0198 | Washington, DC: 973.974.0198

---

**TITLE: STORMWATER POLLUTION PREVENTION PLAN**

PROJECT: **NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT**

PARCEL: 60-3-6-1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB No: 1021 22-01041 DATE: 11/16/2023

DRAWN BY: RPK SCALE: (H) 1"=20' (V)

DESIGNED BY: JD SHEET No:

CHECKED BY: RW

CHECKED BY: MB

**MATTHEW J. BERSCH**

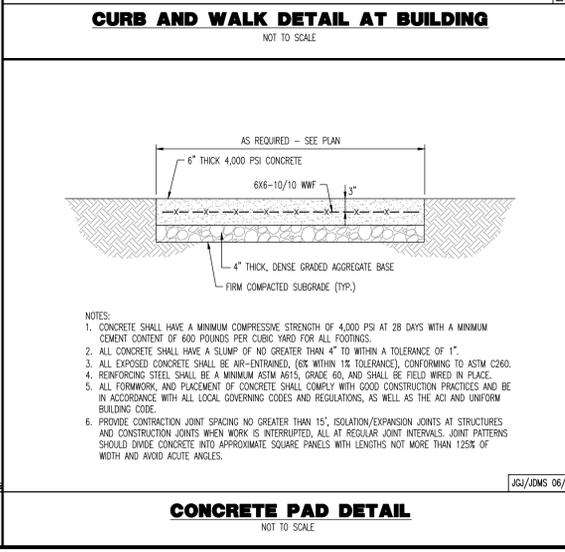
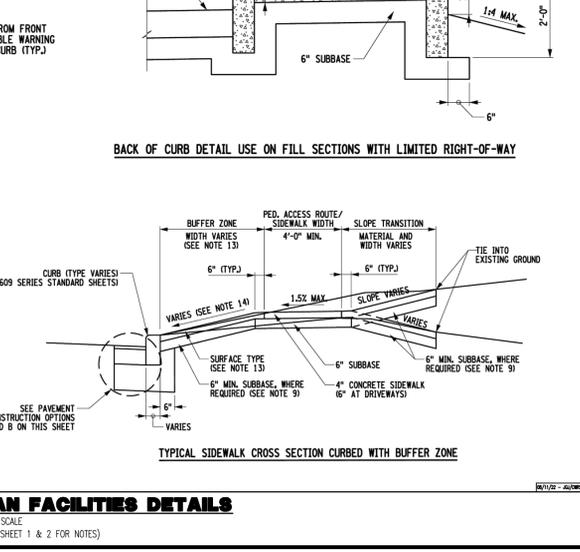
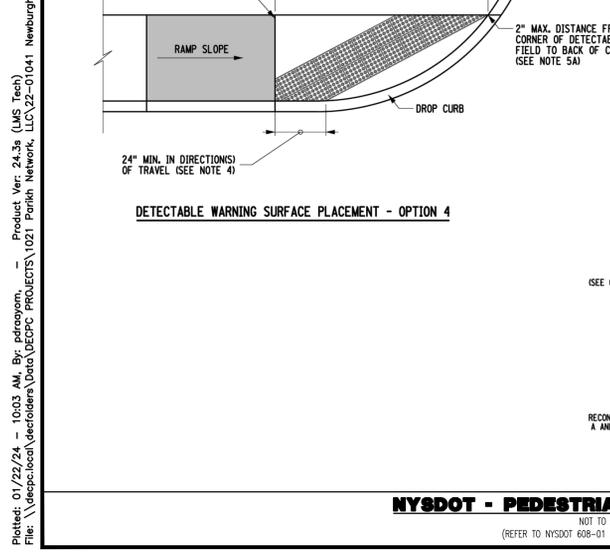
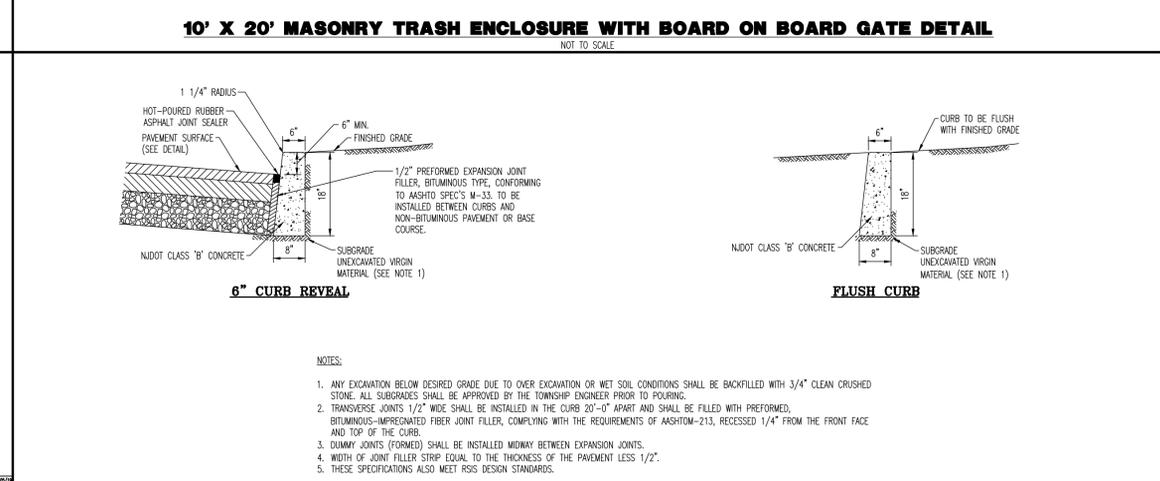
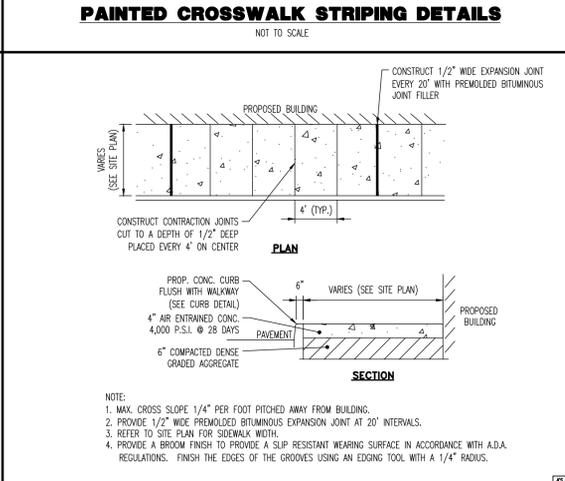
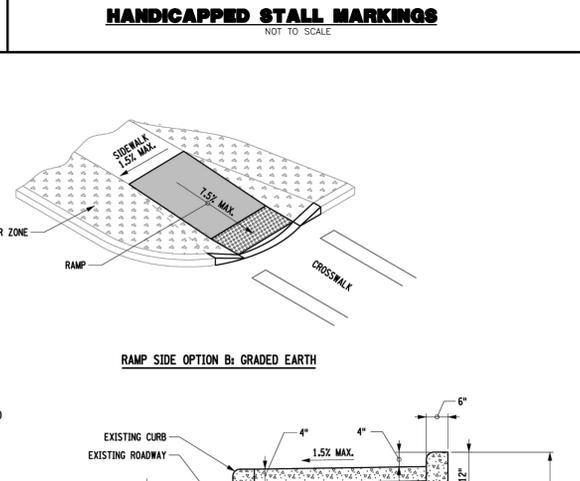
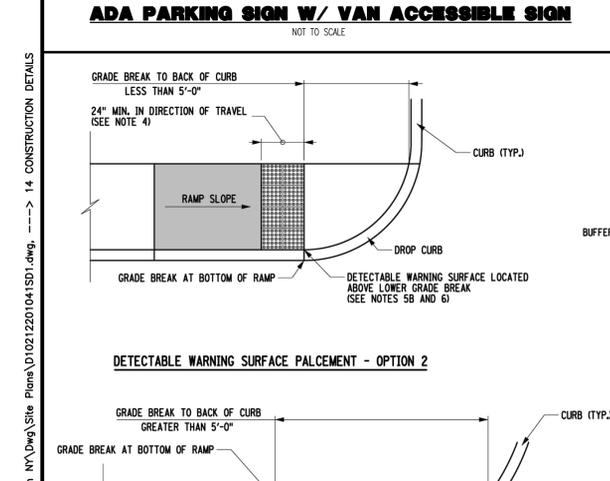
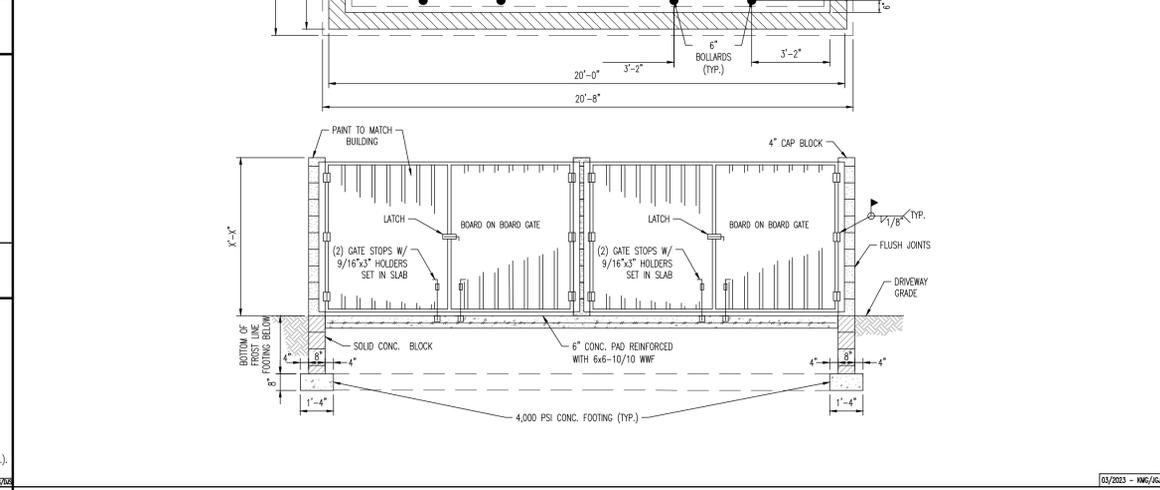
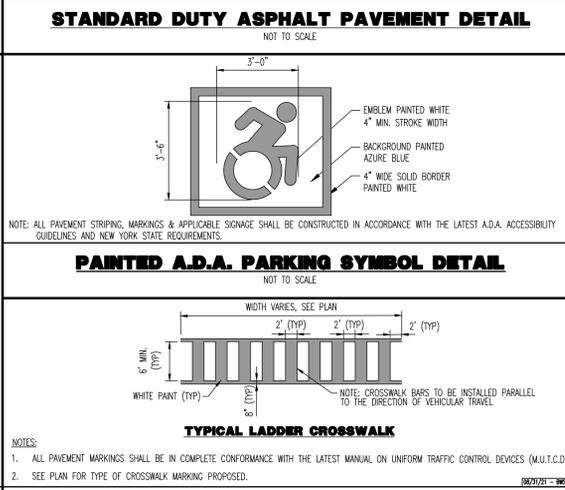
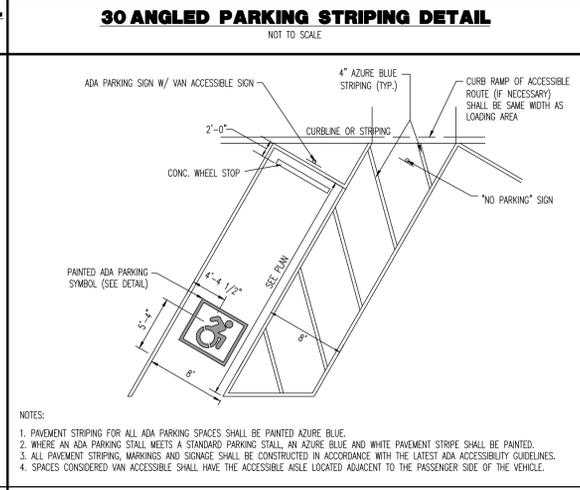
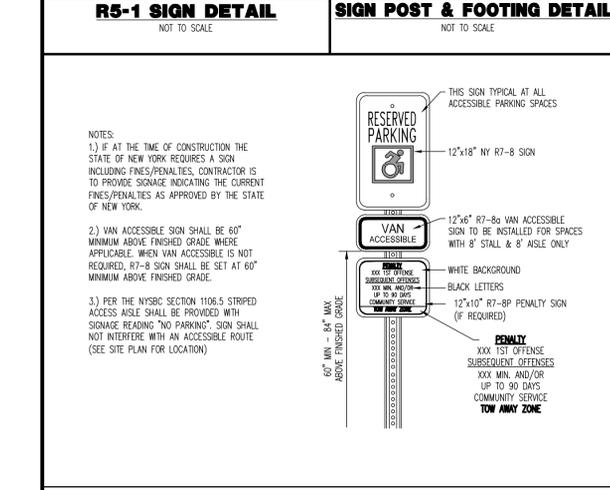
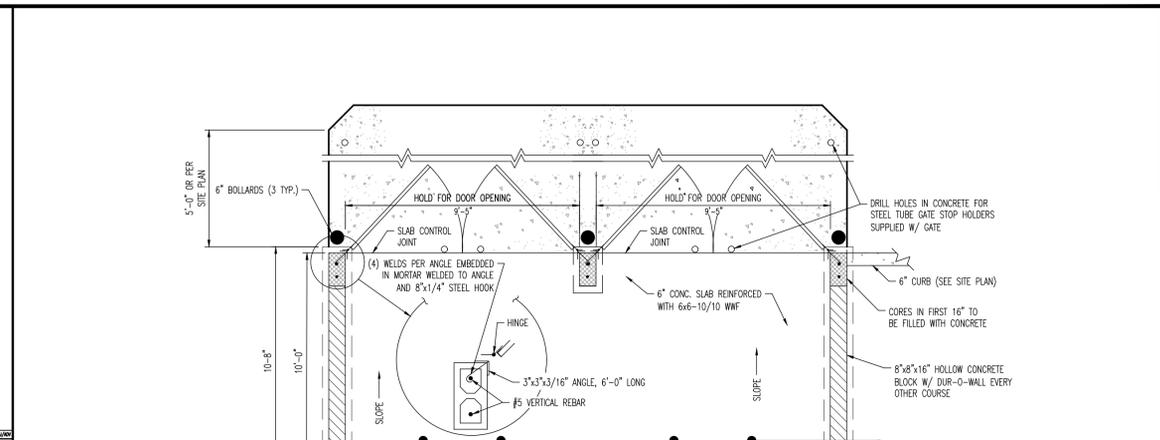
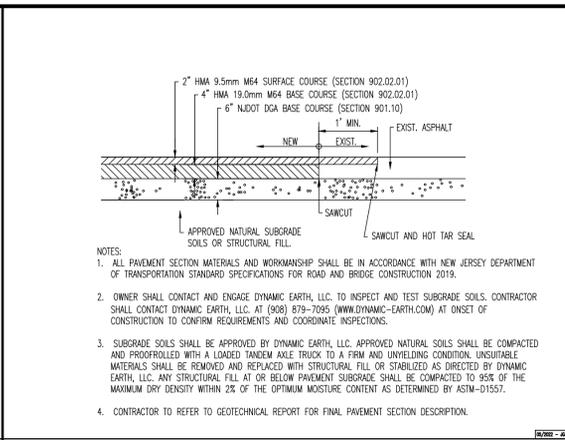
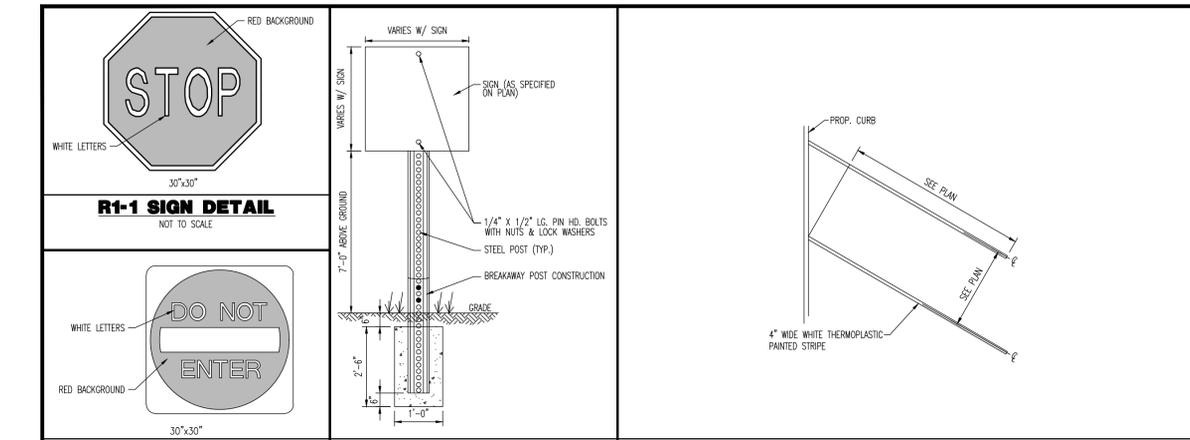
PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 54522

13

OF 20

Rev. # 1

Product Ver: 24.3s (LMS Tech)  
 File: \\vepc.local\cadd\Drawings\Site Plans\10212201041SE1.dwg  
 Newburgh, NY: 10/22/24 10:03 AM By: pdorayom, PROJECTS\1021 22-01041  
 13 STORMWATER POLLUTION PREVENTION PLAN



### CONCRETE CURB DETAIL

NOT TO SCALE

NOT TO SCALE

### CONCRETE PAD DETAIL

NOT TO SCALE

### CONSTRUCTION DETAILS

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PROJECT: **NEWBURGH CHICKEN, LLC.**  
**PROPOSED FOPPEYS RESTAURANT**

PARCEL: 60-3-G-1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

TITLE: \_\_\_\_\_

DATE: 11/16/2023

DESIGNED BY: RPK

CHECKED BY: JD

SCALE: (H) NOT TO SCALE

SHEET No: \_\_\_\_\_

JOB No: 1021 22-01041

DRAWN BY: RPK

CHECKED BY: RW

DATE: 01/17/24

REVIEWED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 54522

PROFESSIONAL ENGINEER  
NEW JERSEY LICENSE No. 539

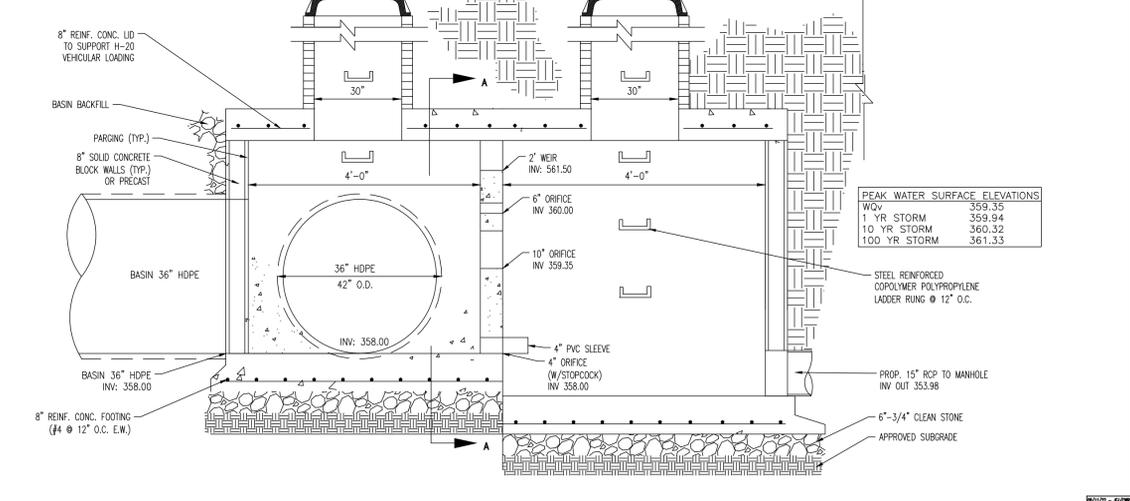
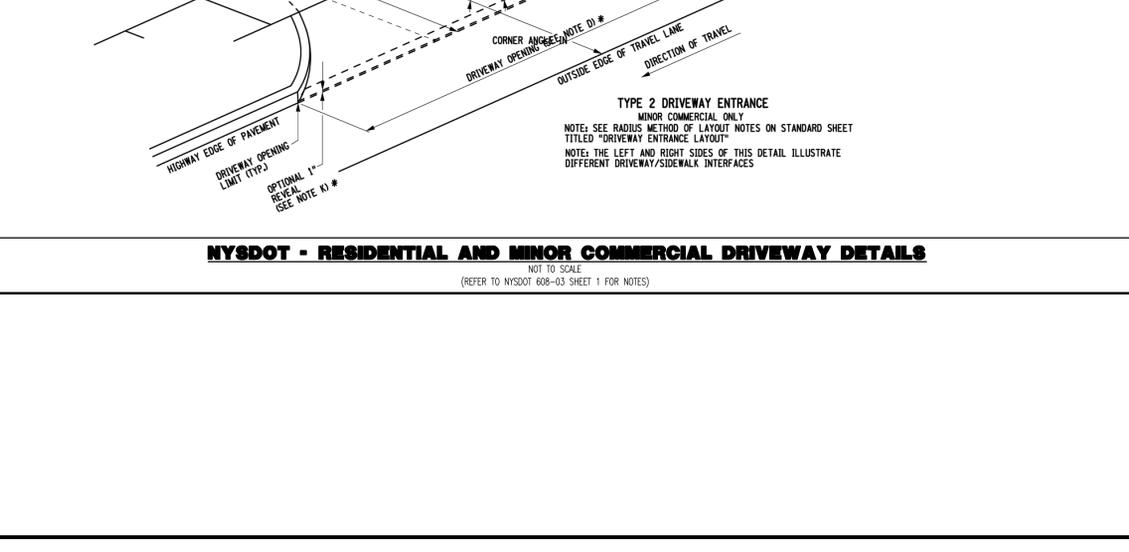
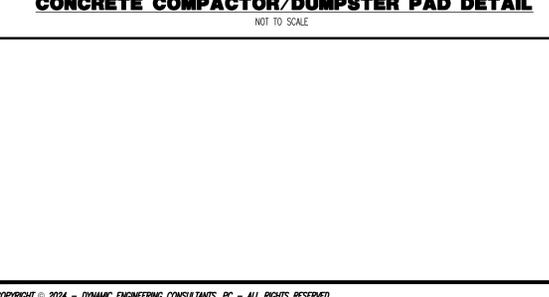
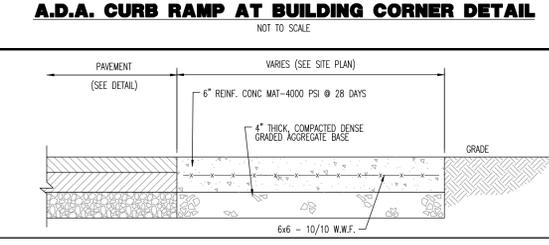
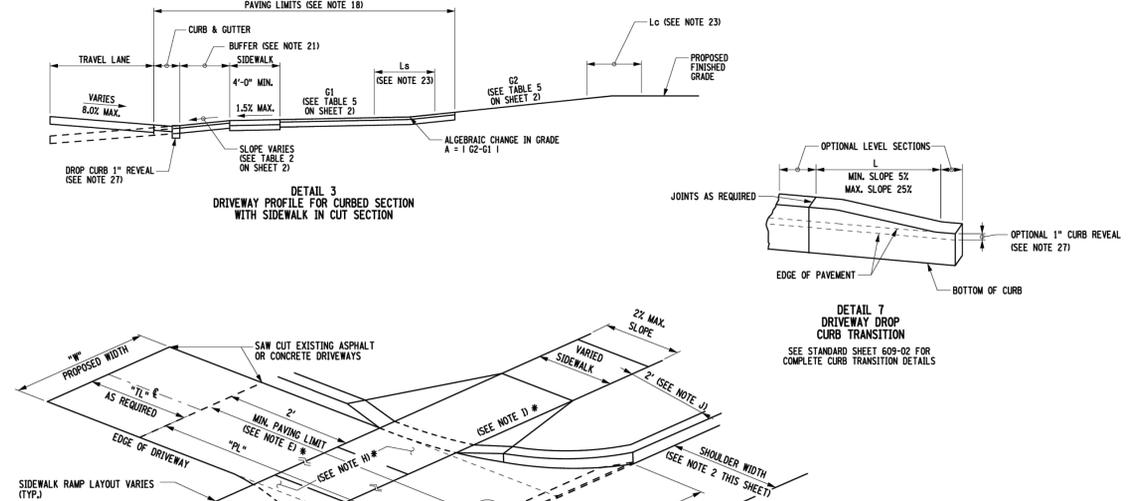
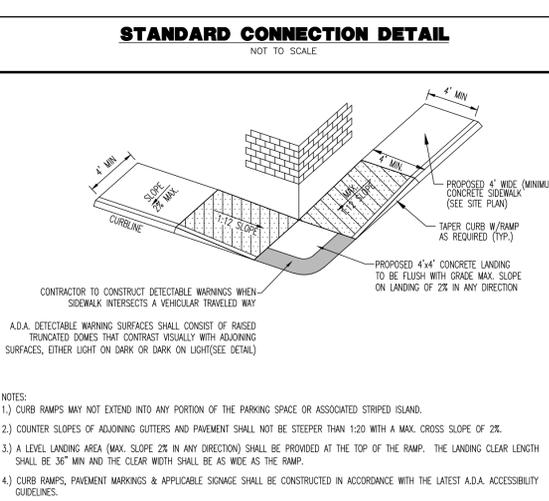
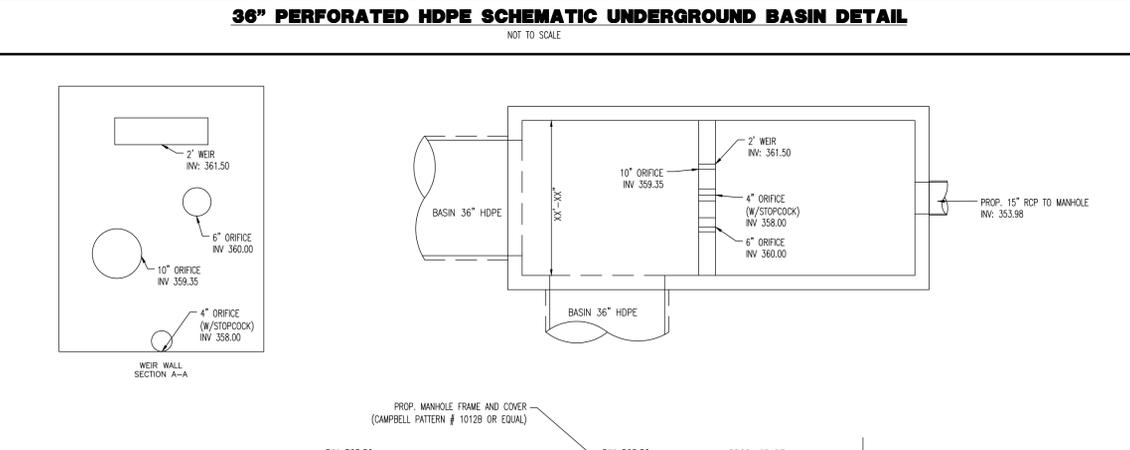
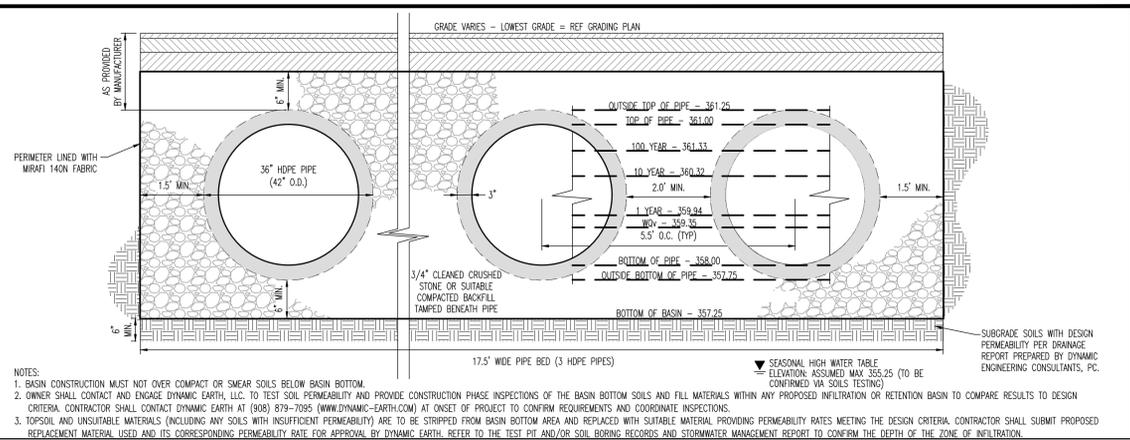
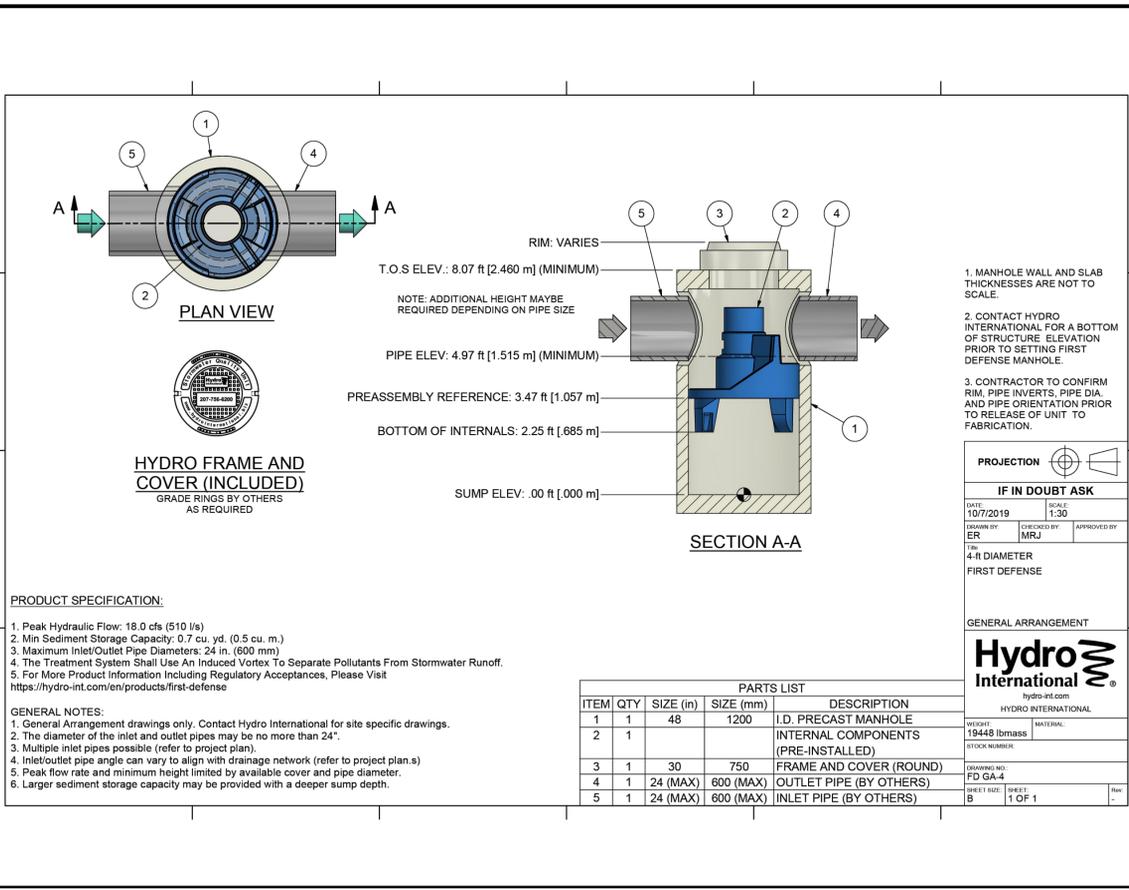
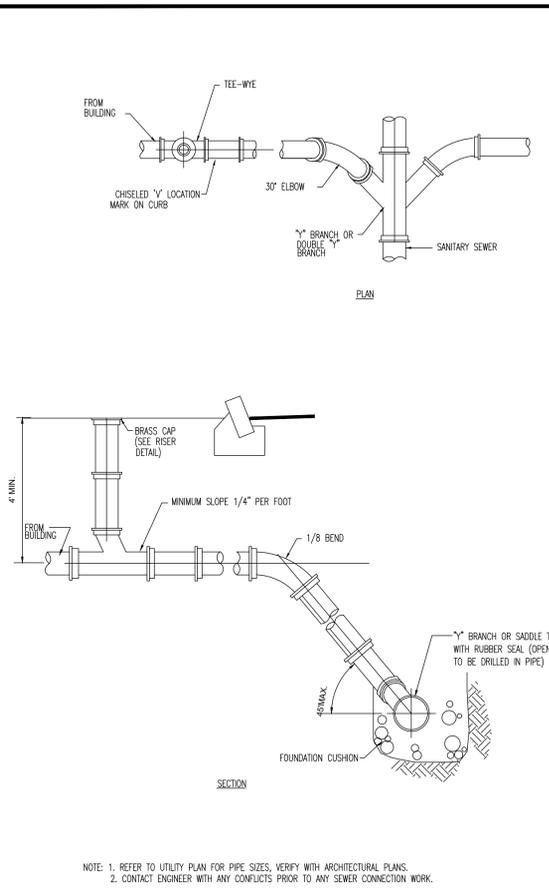
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Plotted: 01/22/24 - 10:03 AM, By: pdonovan, Product: Ver. 24.3a (LMS Tech) File: \\server.local\cadd\Drawings\Projects\1021\_Parkway\_NY\Drawings\Site Plans\10212201041SD1.dwg, ---> 14 CONSTRUCTION DETAILS

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Newtown, Pennsylvania T: 267-485-0276 | Philadelphia, Pennsylvania T: 215-253-4888 | Bethlehem, Pennsylvania T: 610-598-4400 | Annapolis, Maryland T: 410-547-5000

TITLE: **CONSTRUCTION DETAILS**

PROJECT: **NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT**

PARCEL: 60-3-G-1  
197 SOUTH PLANK ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

JOB No: 1021-22-01041  
DATE: 11/16/2023

DRAWN BY: ARK  
DESIGNED BY: JD  
CHECKED BY: RW  
CHECKED BY: MB

SCALE: (H) NOT TO SCALE  
SCALE: (V) SCALE

SHEET No: 15  
OF 20

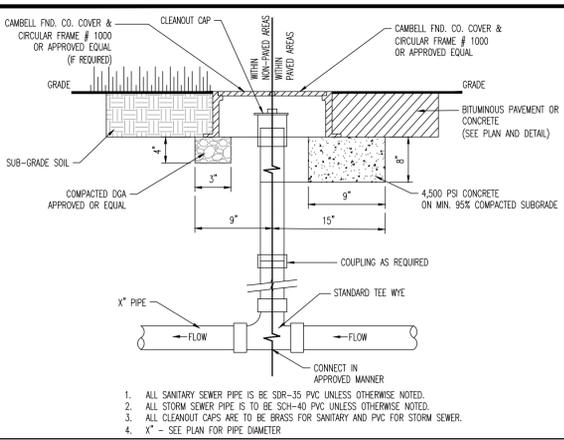
PROTECT YOURSELF  
ALL STATES REQUIRE REGISTRATION OF ENGINEERS, ARCHITECTS, OR ANY OTHER PROFESSIONAL TO OBTAIN THE STATE'S OFFICIAL SEAL AND LICENSE.

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Rev. # 1

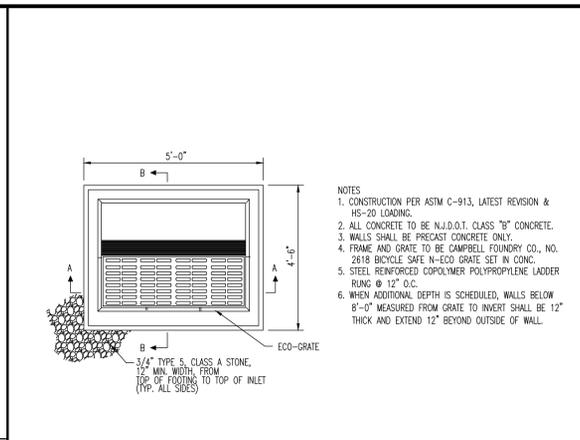
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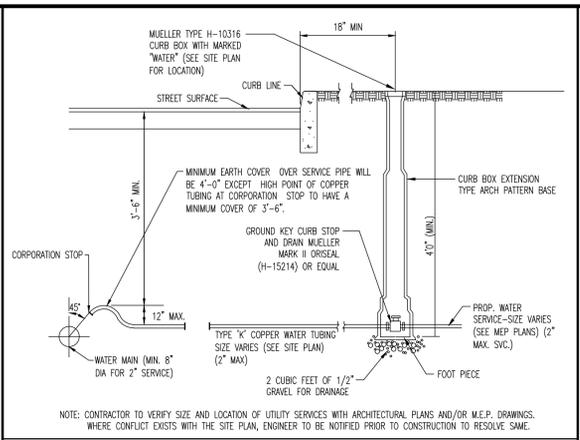
**CLEANOUT DETAIL**  
NOT TO SCALE

1. ALL SANITARY SEWER PIPE IS TO BE 30" PVC UNLESS OTHERWISE NOTED.
2. ALL STORM SEWER PIPE IS TO BE 36" PVC UNLESS OTHERWISE NOTED.
3. ALL CLEANOUT CAPS ARE TO BE BRASS FOR SANITARY AND PVC FOR STORM SEWER.
4. X" - SEE PLAN FOR PIPE DIAMETER.



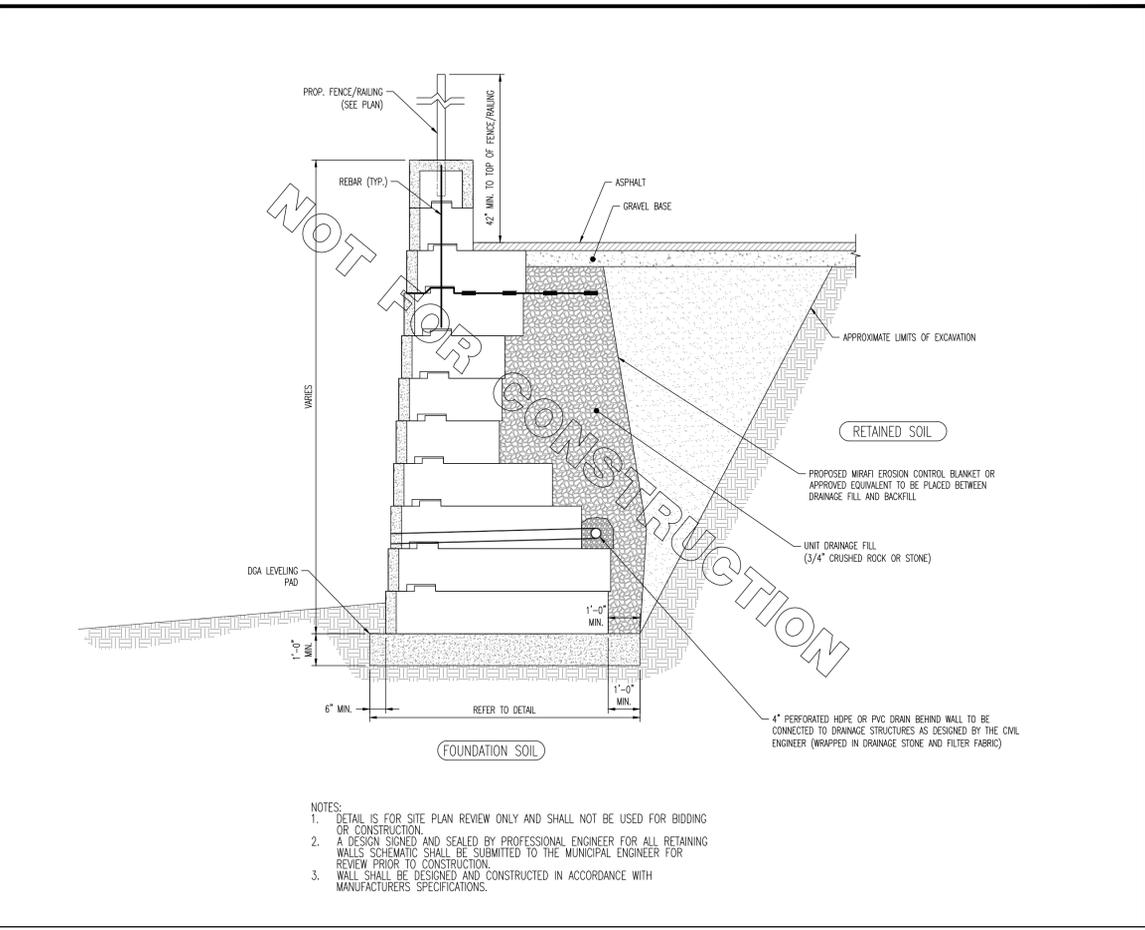
**TYPE 'B' INLET**  
NOT TO SCALE

- NOTES:
1. CONSTRUCTION PER ASTM C-913, LATEST REVISION & H-20 LOADING.
  2. ALL CONCRETE TO BE N.J.D.O.T. CLASS "B" CONCRETE.
  3. WALLS SHALL BE PRECAST CONCRETE ONLY.
  4. FRAME AND GRATE TO BE CAMPBELL FOUNDRY CO., NO. 2618 BICYCLE SAFE N-ECO GRATE SET IN CONC.
  5. STEEL REINFORCED COPOLYMER POLYPROPYLENE LADDER RING Ø 12" O.C.
  6. WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW 8'-0" MEASURED FROM GRATE TO INVERT SHALL BE 12" THICK AND EXTEND 12" BEYOND OUTSIDE OF WALL.



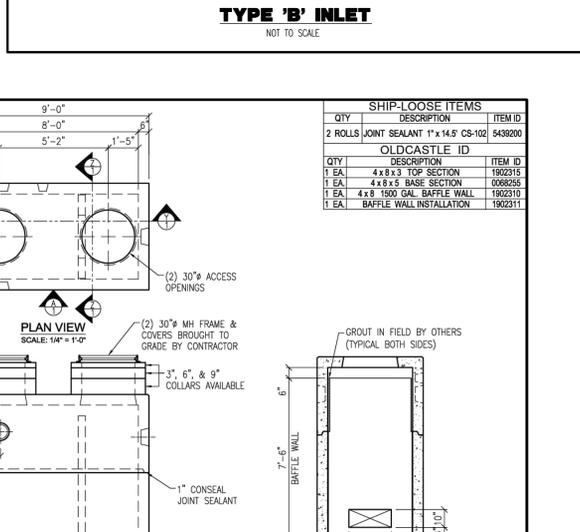
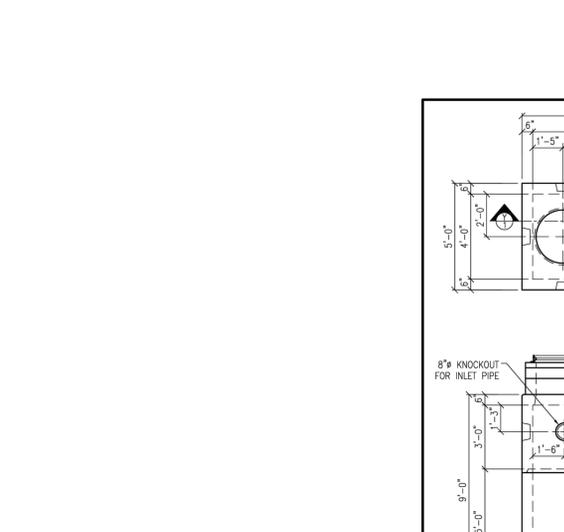
**WATER SERVICE CONNECTION**  
NOT TO SCALE

- NOTES:
1. PAVEMENT SECTION SHALL BE PER PAVEMENT DETAIL, OR TO MATCH ADJOINING EXISTING PAVEMENT SECTION.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
  3. ALL TRENCHES IN EXISTING PAVEMENT SHALL BE SAWCUT.
  4. ALL DISTURBED TRAFFIC STRIPING AND PAVEMENT MARKING SHALL BE REPLACED WITHIN KIND MATERIALS.



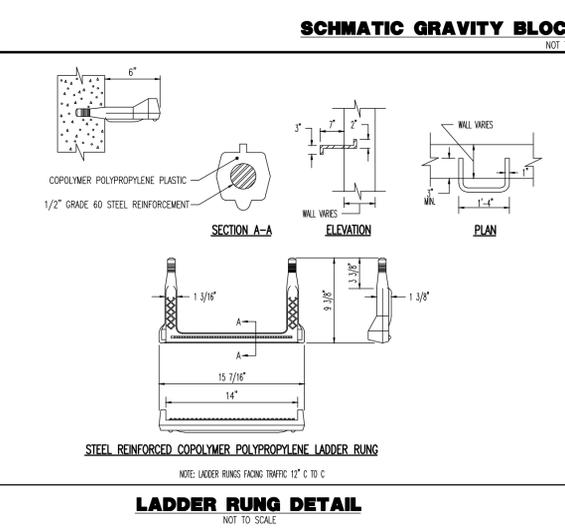
**SCHEMATIC GRAVITY BLOCK RETAINING WALL DETAIL**  
NOT TO SCALE

- NOTES:
1. DETAIL IS FOR SITE PLAN REVIEW ONLY AND SHALL NOT BE USED FOR BIDDING OR CONSTRUCTION.
  2. A DESIGN SIGNED AND SEALED BY PROFESSIONAL ENGINEER FOR ALL RETAINING WALLS SCHEMATIC SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
  3. WALL SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

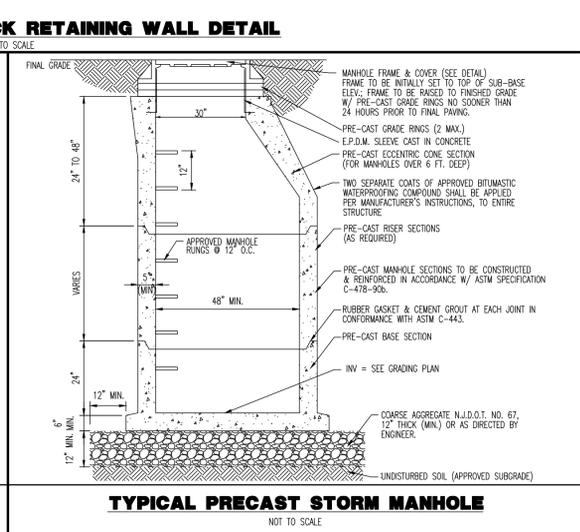


**SANITARY SEWER TRENCH DETAIL**  
NOT TO SCALE

- NOTES:
1. PAVEMENT SECTION SHALL BE PER PAVEMENT DETAIL, OR TO MATCH ADJOINING EXISTING PAVEMENT SECTION.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST OSHA STANDARDS.
  3. ALL TRENCHES IN EXISTING PAVEMENT SHALL BE SAWCUT.
  4. ALL DISTURBED TRAFFIC STRIPING AND PAVEMENT MARKING SHALL BE REPLACED WITHIN KIND MATERIALS.



**LADDER RUNG DETAIL**  
NOT TO SCALE



**TYPICAL PRECAST STORM MANHOLE**  
NOT TO SCALE

**SHIP-LOOSE ITEMS**

QTY	DESCRIPTION	ITEM ID
2 ROLLS	JOINT SEALANT 1" x 14.5' CS-102	5439200

**OLDCASTLE ID**

QTY	DESCRIPTION	ITEM ID
1 EA	4 x 8 x 3 TOP SECTION	1902315
1 EA	4 x 8 x 5 BASE SECTION	0088265
1 EA	4 x 8 x 1500 GAL. BAFFLE WALL	1902313
1 EA	BAFFLE WALL INSTALLATION	1902311

**GENERAL NOTES:**

1. CONCRETE: F<sub>c</sub> = 5,000 psi.
2. REINFORCING STEEL: ASTM A-615, F<sub>y</sub> = 60 ksi.
3. DESIGN LIVE LOAD = H-20.
4. EARTH COVER = 0'-0" MIN. TO 2'-0" MAX.
5. BUTYL RUBBER JOINT SEALANT.
6. GRAY WATER ONLY.
7. BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER.
8. CONTRACTOR TO SUPPLY & INSTALL ALL PIPING & SAMPLING TEES + KNOCKOUT OPENINGS AS NEEDED & START UP OF ALL PIPES & WEIRS.
  - FILL W/ CLEAN WATER PRIOR TO START UP OF SYSTEM
  - VERIFY SIZE & LOCATION OF ALL OPENINGS

**WEIGHTS:**  
 TOP SECTION: 4.25 TONS / 9491 LBS.  
 BASE SECTION: 6.46 TONS / 12929 LBS.  
 BASE SECTION w/ BAFFLE: 7.16 TONS / 14325 LBS.

**Oldcastle Precast Chesapeake**  
 1491 TRIMBLE ROAD  
 FREDERICKSBURG, VA 22407 540-898-8300  
 OPI-CHEESAPEAKE-INFO@OLDCASTLE.COM

**GI-488**  
 FILE NAME: 365GT1500GA.DWG  
 ISSUE DATE: October, 2017  
 SCALE: 1/4" = 1'-0"

**Grease Interceptor**  
 4'-0" x 8'-0" x 8'-0" I.D.  
 1500 Gallon Capacity  
 Copyright © 2017 Oldcastle Precast

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PROJECT: **NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT**

JOB No: 1021 22-01041

DATE: 11/16/2023

DRAWN BY: ARK

SCALE: (H) NOT TO (V) SCALE

DESIGNED BY: JD

CHECKED BY: RW

CHECKED BY: MB

**MATTHEW J. BERSCH** PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 54522

**JOSHUA M. SERNALD** PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 6539

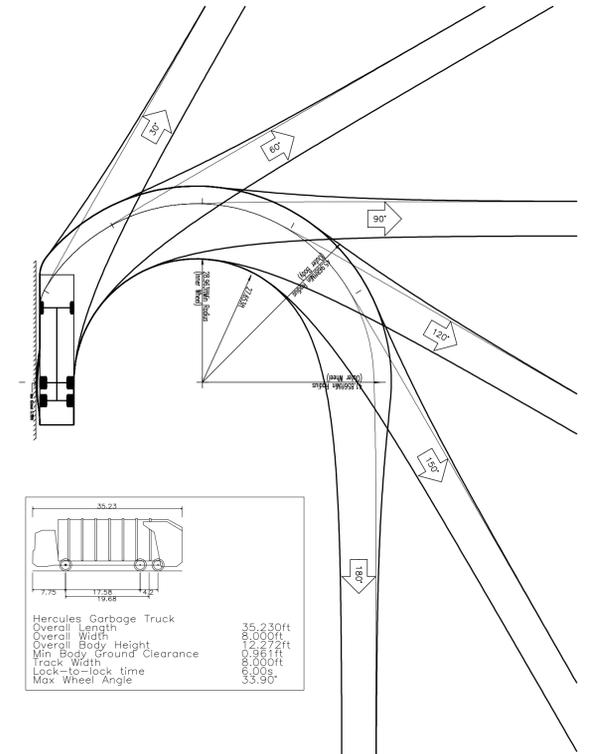
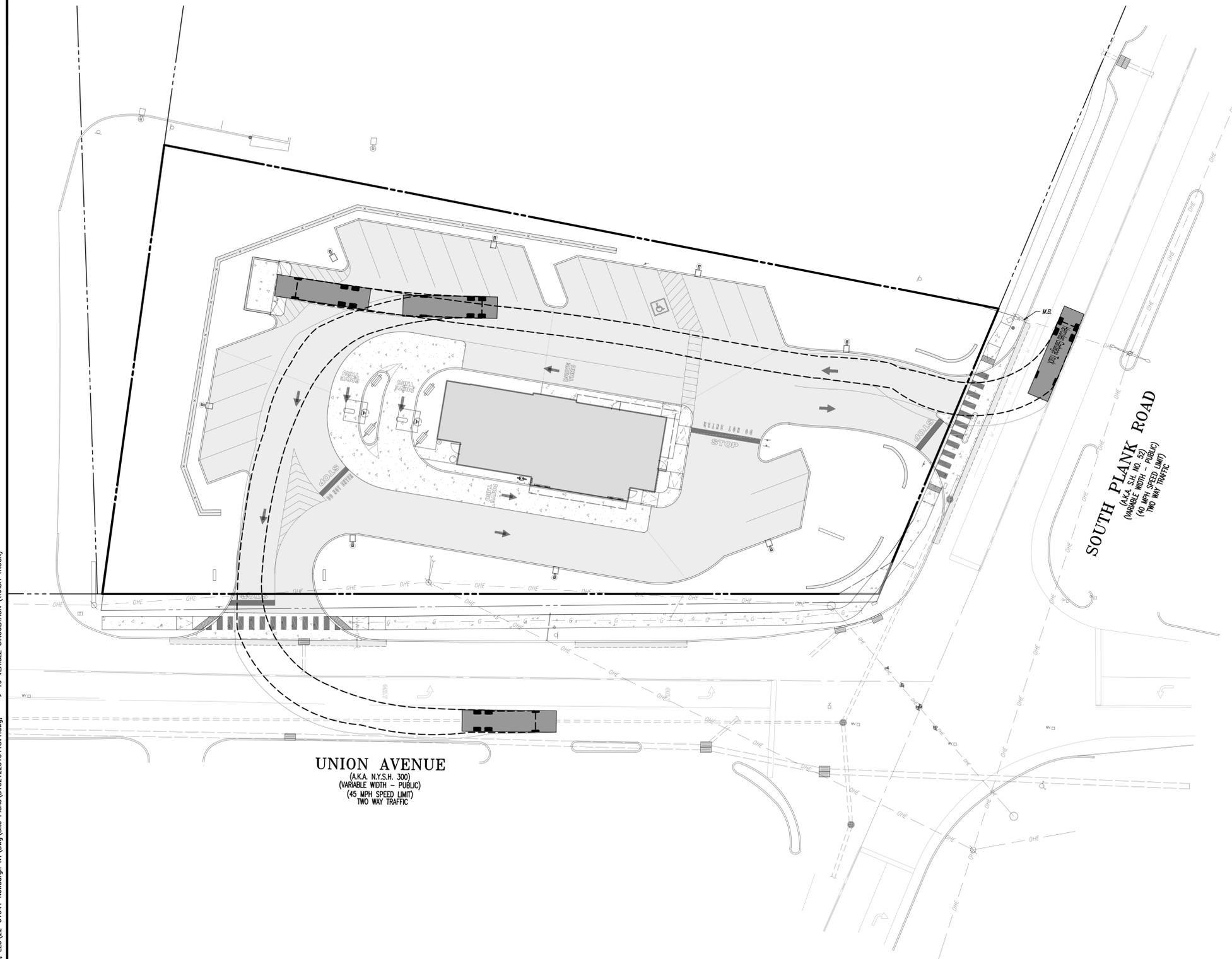
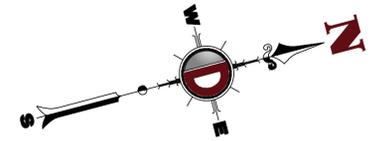
**PROTECT YOURSELF**  
 ALL UTILITIES REQUIRE LOCATION BY CONTRACTOR PRIOR TO ANY EXCAVATION. PREPARE TO OBTAIN THE SERVICE LOCATOR NUMBERS AT THE SITE.  
 FOR STATE SPECIFICATIONS VISIT: WWW.CALL811.COM

**811**

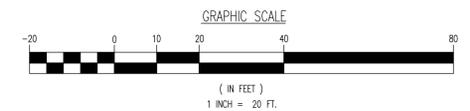
Rev. # 1







Hercules Garbage Truck	
Overall Length	17.58
Overall Width	14.2
Overall Body Height	12.27
Min. Body Ground Clearance	0.98
Track Width	6.00
Lock-to-lock time	33.90
Max Wheel Angle	33.90



Plotted: 01/22/24 - 10:03 AM, By: pdroeyom, Product: Ver. 24.3s (LMS Tech), File: \\vepc.local\c\folders\proj\1021220104151.dwg, Newburgh NY Dwg\Site Plans\1021220104151.dwg, ---> 19 VEHICLE CIRCULATION (TRASH TRUCK)

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State Representative Offices:  
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 Torrey Pines, New Jersey T: 732.974.0198 | Allen, Texas T: 972.534.2100 | Austin, Texas T: 512.444.2444 | Houston, Texas T: 281.289.4400 | Denver, Colorado T: 303.931.8670  
 Newmarket, Pennsylvania T: 717.485.0276 | Philadelphia, Pennsylvania T: 215.253.4888 | Bethlehem, Pennsylvania T: 410.598.4400 | Annapolis, Maryland T: 410.547.5000

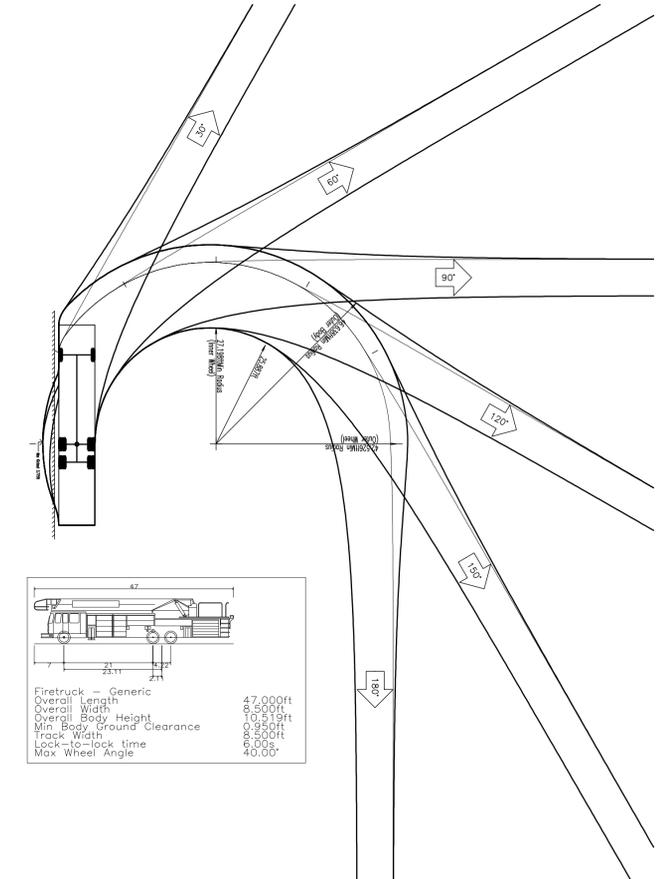
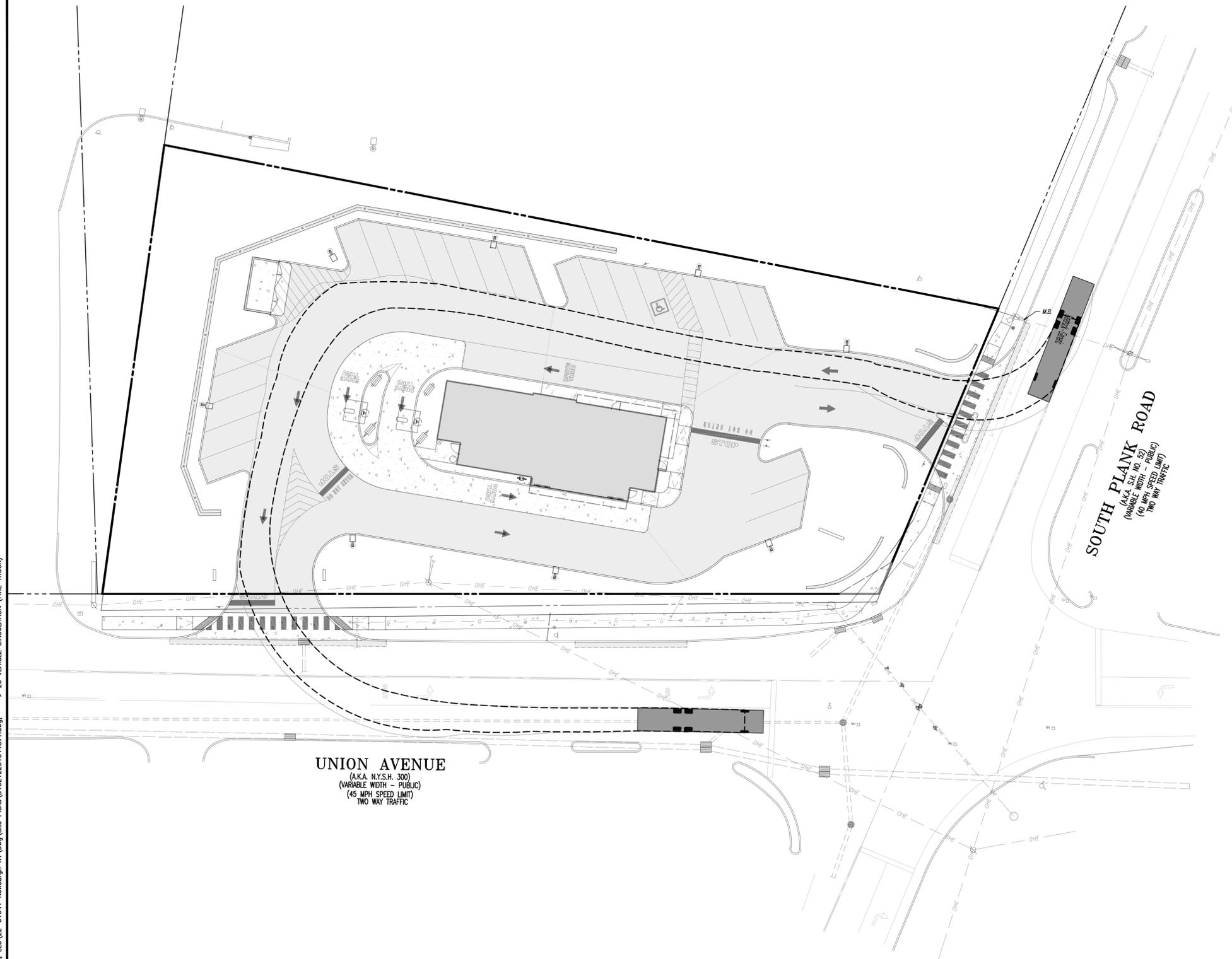
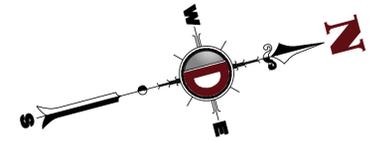
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TITLE: **VEHICLE CIRCULATION (TRASH TRUCK)**

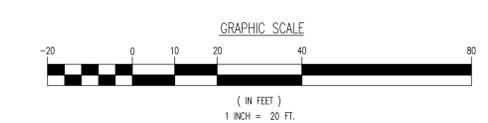
PROJECT: <b>NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT</b>	JOB No: 1021 22-01041	DATE: 11/16/2023
PARCEL: 60-3-G-1 197 SOUTH PLANK ROAD TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK	DRAWN BY: RPK	SCALE: (H) 1"=20' (V)
<b>MATTHEW J. BERSCH</b> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 54522	CHECKED BY: JD	<b>19</b> OF 20 Rev. # 1
	CHECKED BY: MB	

**MATTHEW J. BERSCH**

PROFESSIONAL ENGINEER  
 NEW JERSEY LICENSE No. 54522



Firetruck - Generic	
Overall Length	47.000ft
Overall Width	8.500ft
Overall Body Height	10.519ft
Min Body Ground Clearance	8.950ft
Track Width	8.500ft
Lock-to-lock time	6.00s
Max Wheel Angle	40.00°



Plotted: 01/22/24 - 10:04 AM, By: pdroeyom, Product: Ver. 24.3s (LMS Tech)  
 File: \\vepc.local\c\folders\Data\DEPC\PROJECTS\1021\_Park\Network\_LLC\22-01041\_Newburgh\_NY\Draw\Site Plans\10212201041SV1.dwg, ----> 20 VEHICLE CIRCULATION (FIRE TRUCK)

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 Torrey Pines, New Jersey T: 732.974.0198 | Allen, Texas T: 972.534.2100 | Austin, Texas T: 512.444.2444 | Houston, Texas T: 281.289.4400 | Denver, Colorado T: 303.933.8070  
 Newmarket, Pennsylvania T: 717.485.0276 | Philadelphia, Pennsylvania T: 215.253.4888 | Bethlehem, Pennsylvania T: 610.598.4400 | Annapolis, Maryland T: 410.547.5000

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 www.dynamiceng.com

**TITLE: VEHICLE CIRCULATION (FIRE TRUCK)**

PROJECT: <b>NEWBURGH CHICKEN, LLC. PROPOSED POPEYES RESTAURANT</b>	JOB No: 1021 22-01041	DATE: 11/16/2023
PARCEL: 60-3-G-1 197 SOUTH PLANK ROAD TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK	DRAWN BY: RPK	SCALE: (H) 1"=20' (V)
<b>MATTHEW J. BERSCH</b> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 54522	DESIGNED BY: JD	<b>20</b> OF 20 Rev. # 1
	CHECKED BY: RW	
	CHECKED BY: MB	
<b>JOSUAH M. SPENGL</b> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 6339	ALL USERS REQUIRE VERIFICATION OF EXISTING RECORDS, OR ANY OTHER RECORDS TO VERIFY THE CORRECT SPACING AND WIDTH OF THE ROADWAY. FOR STATE SPECIFICATIONS DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM	