



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MOFFAT PROPERTIES, LLC
PROJECT NO.: 22-14
PROJECT LOCATION: 224 & 226 NY - 17K
SECTION 32, BLOCK 29, LOT 64 & 65
REVIEW DATE: 28 OCTOBER 2022
MEETING DATE: 3 NOVEMBER 2022
PROJECT REPRESENTATIVE: INDEPENDENCE ENGINEERING, LLC

1. Orange County Planning comments have been received identifying a Local Determination.
2. A City of Newburgh Flow Acceptance letter will be required. This office will forward a flow request to the city on behalf of the applicant. The applicant should provide a narrative of the proposed hydraulic loading from the site based on NYSDEC standards.
3. A revised SWPPP has been submitted to this office and is being reviewed. Separate comment letter will be provided.
4. The Stormwater Management Facilities have been located further into the site and the building located further in from NYS Route 17K to address the required 35 ft. buffer from NYS 17K. Karen Arent's office is reviewing the site landscaping.
5. A Stormwater Facilities Maintenance Agreement will be required. This should be a condition of any approvals issued by the Planning Board.
6. Status of NYSDOT's review of the project should be addressed. All correspondence should be copied to the Planning Board.
7. The existing municipal sanitary sewer line in the Route 17K right-of-way functions as a low pressure force main in the vicinity of the project. A sanitary sewer pump station will be required to convey effluent into the low pressure force main. Copies of the As-Built plans have been submitted by the Sewer Department to the applicant's representative.
8. Copy of the Town's water and sewer notes are attached to this memo.
9. The applicant's are requested to reply to each of the County Planning comments on how they can be addressed on the plans.
10. County Planning identifies that the project will require an FAA review as the project is located in close proximity to the Stewart International Airport.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhempa@mhepc.com

11. The project is subject to architectural review by the Planning Board. Future submissions should contain and ARB submission.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive, flowing style.

Patrick J. Hines
Principal

PJH/kbw

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

1. "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh."
2. All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI\AWWA C151\A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
3. Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
4. All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI\AWWA C110\A21.10 for Ductile and Gray Iron Fittings or ANSI\AWWA C153\A21.53 for Ductile Iron Compact Fittings, latest revision.
5. All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
6. Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

7. All hydrants shall be Clow-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5 ¼ inch main valve opening, two 2 ½ inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 ½ inch pentagon operating nut. All hydrants shall open left (counter-clockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.
8. All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for ¾ and 1 inch, Mueller H-15000N or B-25000N for 1 ½ and 2 inch sizes. Curb valves shall be Mueller H-1502-2N for ¾ and 1 inch and Mueller B-25204N for 1 ½ and 2 inch sizes. Curb boxes shall be Mueller H-10314N for ¾ and 1 inch and Mueller H-10310N for 1 ½ and 2 inch sizes.
9. All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
10. The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
11. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

FINAL LAND DEVELOPMENT PLAN SET

FOR

SUNBELT RENTALS - NEWBURGH

224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

PROPERTY:

224 NY ROUTE 17K
TAX LOT 89-1-64
14479 P.10
0.372 ACRES

226 NY ROUTE 17K
TAX LOT 89-1-65
14479 P.10
5.543 ACRES

ZONING: IB INTERCHANGE BUSINESS

OWNER:

EUGENE A. MAZZARELLI LIVING TRUST
739 HEWIT LANE
NEW WINDSOR, NY 12553

APPLICANT:

MOFFAT PROPERTIES, INC.
701 FINGER LAKES DRIVE
WAKE FOREST, NC 27587

ENGINEER:

INDEPENDENCE ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805

SURVEYOR:

LANG & TULLY ENGINEERING & SURVEYING, P.C.
PO BOX 687
ROUTE 207
GOSHEN, NY 10924

GEOTECHNICAL CONSULTANT:

MULA DESIGN GROUP
325 COTTAGE HILL ROAD
YORK, PA 17401

ARCHITECT:

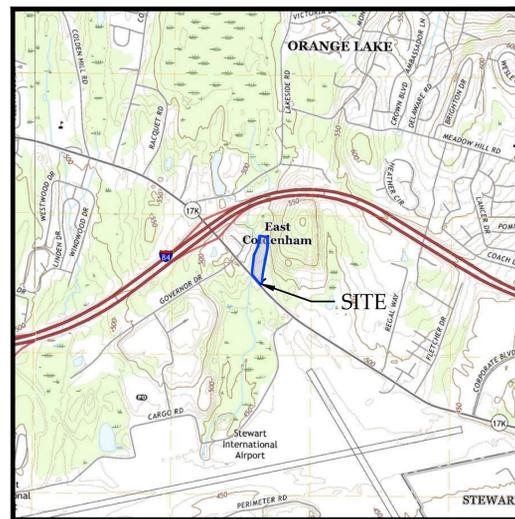
ALIGN DESIGN ASSOCIATES
145 CHURCH STREET NE, SUITE 240
MARIETTA, GA 30060

DEVELOPMENT DESCRIPTION:

THE DEVELOPMENT PROPOSES TO DEMOLISH AN EXISTING VACANT STRUCTURE AND CONSTRUCT A NEW INDUSTRIAL EQUIPMENT YARD, INCLUDING PARKING, UTILITIES, AND STORM WATER MANAGEMENT FACILITIES.

TABLE OF LOT REQUIREMENTS FOR IB DISTRICT FOR THE TOWN OF NEWBURGH:

BULK & AREA CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM TOTAL LOT AREA (SQ. FEET)	40,000	257,660	257,660
MINIMUM WIDTH (FEET)	150	346.20	346.20
MINIMUM DEPTH (FEET)	150	1040.44	1040.44
MAXIMUM LOT BUILDING COVERAGE (%)	40 %	4.13%	5.00%
MAXIMUM BUILDING HEIGHT (FEET)	40	15	25
MAXIMUM LOT SURFACE COVERAGE (%)	80 %	16.90%	49.06%
FRONT YARD SETBACK (FEET)	50	103.00	134.38
SIDE YARD SETBACK (FEET)	30 (SINGLE)	46.65	64.50
SIDE YARD SETBACK (FEET)	80 (COMBINED)	162.54	129.31
REAR YARD SETBACK (FEET)	60	780	652.37



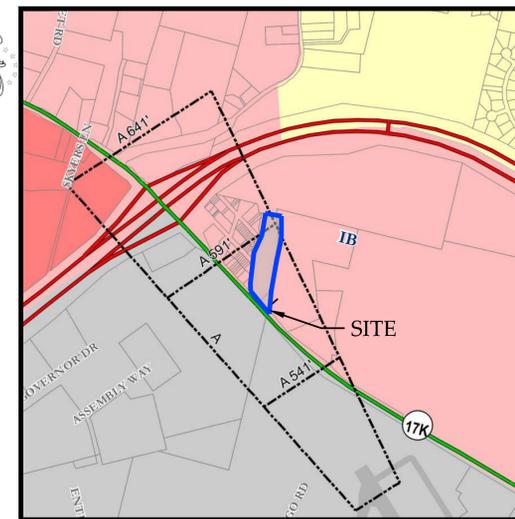
USGS QUAD MAP - NEWBURGH

SCALE: 1" = 2,000'



AERIAL MAP

SCALE: 1" = 1,000'



ZONING MAP

SCALE: 1" = 1,000'

SHEET NO.	REFERENCE	SHEET TITLE
1	C000	COVER SHEET
2	C300	DEMOLITION PLAN
3	C400	SITE PLAN
4	C500	GRADING PLAN
5	C600	UTILITY PLAN
6	C800	SITE DETAILS
7	C810	UTILITY DETAILS
8	C820	STORMWATER MANAGEMENT DETAILS
9	C900	LANDSCAPING PLAN AND DETAILS
10	C1000	VEHICLE TURNING PLAN-WB 67
11	C2000	SOIL EROSION & SEDIMENT CONTROL PLAN
12	C2100	E&S DETAILS

REV	DATE	DESCRIPTION	BY
1	06/20/22	UPDATED PRELIMINARY REVIEW LETTERS DATED 07/21/22 AND CRIGHTON MANNING REVIEW LETTER DATED 07/20/22	MAS
2	10/24/22	REVISED PER TOWN COMMENTS	MAS

Independence ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369
INDEPENDENCE ENGINEERING

FINAL LAND DEVELOPMENT PLAN SET
COVER SHEET
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



ID #

PROJECT
028-004
DATE
06/17/2022

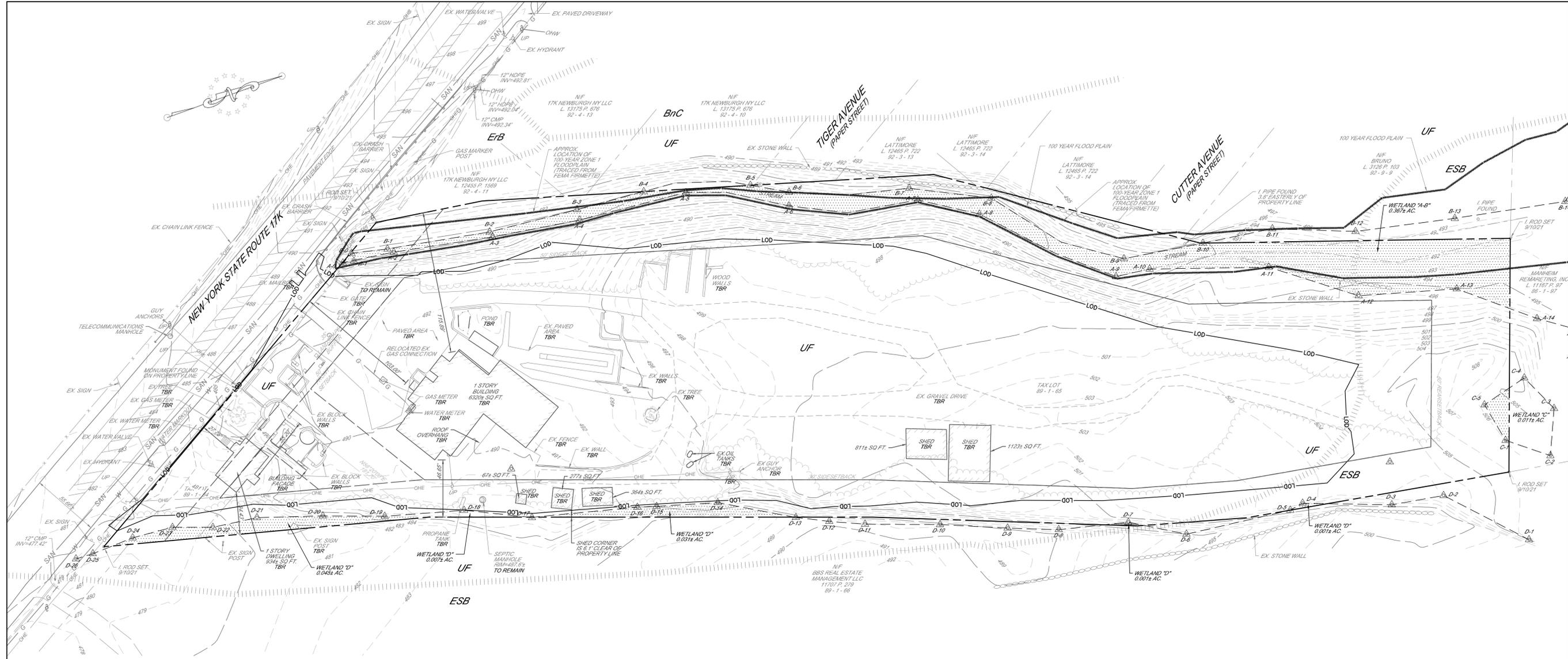
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C000
SHEET 1 OF 12



P:\028-ALIGNDSIGN\004-SUNBELT-NEWBURGH\PROJECT-ENGINEERING\DRAWINGS\028-004-S-COVER-JORDAN-HILL-2022-10-25



GENERAL DEMOLITION NOTES:

- ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. BASE MAP AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "ALTANSPI SURVEY PREPARED FOR MOFAT PROPERTIES TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK" DATED MAY 16, 2022 PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.
- CONTRACTOR IS RESPONSIBLE TO CALL DIG SAFE 811 FOR UTILITY MARK OUT PRIOR TO ANY EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ANY EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DEMOLITION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- DEMOLITION SHALL PROCEED FROM THE TOP OF THE STRUCTURE TO THE GROUND.
- ALL DEMOLITION WORK SHALL BE COMPLETED ON A GIVEN FLOOR OF A BUILDING BEFORE ANY STRUCTURAL ELEMENTS OF THE LOWER FLOORS ARE DISTURBED.
- CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS.
- STRUCTURAL MEMBERS SHALL BE REMOVED AND LOWERED TO THE GROUND USING HOISTS, DERRICKS, AND/OR OTHER INDUSTRY-ACCEPTED METHODS.
- CONCRETE SLABS-ON-GRADE SHALL BE BROKEN UP UNLESS OTHERWISE DIRECTED.
- DEMOLITION EQUIPMENT SHALL BE LOCATED SPARSELY THROUGHOUT THE STRUCTURE AND MATERIALS REMOVED IN A MANNER TO AVOID THE IMPOSITION OF EXCESSIVE LOADS ON REMAINING STRUCTURAL ELEMENTS.
- INTERIOR AND EXTERIOR SHORING, BRACING, AND/OR SUPPORTS SHALL BE PROVIDED TO PREVENT MOVEMENT, SETTLEMENT, AND COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES.
- ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE FOOTPRINT OF THE FUTURE STRUCTURE SHALL BE DEMOLISHED. ALL OTHER FOUNDATION SYSTEMS SHALL BE DEMOLISHED TO A DEPTH OF NO LESS THAN TWELVE (12) INCHES BELOW THE GRADE OF PROPOSED PAVEMENT. BASEMENT FLOOR SLABS SHALL BE BROKEN. ALL OPEN UTILITY LINES SHALL BE SEALED WITH CONCRETE.
- COVERED PASSAGEWAYS SHALL BE ERRECTED ADJACENT TO AREAS OF DEMOLITION TO PROVIDE SAFE PASSAGE TO PEDESTRIANS. ALL DEMOLITION OPERATIONS SHALL BE PERFORMED TO PREVENT DAMAGE TO STRUCTURES AND ADJACENT BUILDINGS, AND INJURY TO PERSONS.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION.
- DEMOLITION SHALL BE PERFORMED TO MINIMIZE INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER WAYS. ROADS, STREETS, WALKS, AND OTHER WAYS SHALL NOT BE CLOSED WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND AUTHORITIES HAVING JURISDICTION. ALTERNATE TRAVEL ROUTES SHALL BE PROVIDED AROUND CLOSED OR OBSTRUCTED WAYS IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- WATERING, TEMPORARY ENCLOSURES, AND/OR OTHER APPROPRIATE METHODS SHALL BE EMPLOYED AS NECESSARY TO MINIMIZE THE AMOUNT OF DUST LEAVING THE DEMOLITION SITE. ADJACENT IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. ALL ADJACENT AREAS SHALL BE RETURNED TO THE CONDITIONS IN EXISTENCE AT THE COMMENCEMENT OF WORK.
- DEMOLITION SHALL BE PERFORMED TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS TO THE SITE AT ANY TIME.
- BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES AND FOUNDATIONS SHALL BE FILLED WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES LARGER THAN SIX (6) INCHES IN DIMENSION SHALL NOT BE USED. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. AREAS TO BE FILLED SHALL BE FREE STANDING WATER, FROST, FROZEN MATERIAL, TRASH, AND DEBRIS PRIOR TO FILLING. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING SIX (6) INCHES IN LOOSE DEPTH, AND EACH COMPACTED TO 95% OPTIMUM DRY DENSITY. THE SURFACE SHALL BE GRADED TO MEET ADJACENT CONTOURS AND TO PROVIDE ADEQUATE SURFACE DRAINAGE AWAY FROM FILL AREA.

- ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, AND HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED FROM THE SITE AT THE EARLIEST POSSIBLE TIME. MATERIALS TO BE REMOVED MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND PROCEDURES ENFORCED BY THE FIRE DEPARTMENT AND OTHER AUTHORITIES HAVING JURISDICTION.
- ALL UTILITIES SERVICING STRUCTURES TO BE DEMOLISHED SHALL BE DISCONNECTED, SHUT OFF, AND SEALED IN CONCRETE PRIOR TO THE COMMENCEMENT OF DEMOLITION. ALL UTILITY, DRAINAGE, AND SANITARY LINES SHALL BE MARKED FOR POSITION PRIOR TO DISCONNECTION, AND ALL ACTIVE LINES SHALL BE PROTECTED CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS. ALL UTILITY SERVICES TO BE INTERRUPTED SHALL BE CLEARLY MARKED PRIOR TO DEMOLITION, AND ALL LOCAL UTILITY AGENCIES SHALL BE NOTIFIED TO ENSURE THE CONTINUATION OF SERVICE.
- ALL EXISTING UTILITIES SHALL BE REMOVED, AS NECESSARY, IN ACCORDANCE WITH LOCAL UTILITY AGENCY REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
- TEMPORARY SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.
- A DEMOLITION PERMIT FOR ANY MATERIALS PROPOSED TO BE REMOVED FROM THE SITE IS REQUIRED.
- PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF X AND A ON FLOOD INSURANCE RATE MAP NO. 38071C0138E WITH A DATE OF AUGUST 3, 2009, FOR COMMUNITY NUMBER 380627 IN ORANGE COUNTY, NY.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING FLOODPLAIN
	DISSOLVED PROPERTY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	LIMIT OF DISTURBANCE
	EXISTING STORM PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING WETLANDS FLAG
	EXISTING SOILS LABEL
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SPOT ELEVATION

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PER PRELIM REVIEW LETTER DATED 07/21/22 AND ORIGNITION
2	10/24/22	MANING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC

102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369
INDEPENDENCEENGINEERING

FINAL LAND DEVELOPMENT PLAN SET
DEMOLITION PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811

ID #

40 20 0
GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DESIGNED	JWJ
CHECKED	NES/JWJ

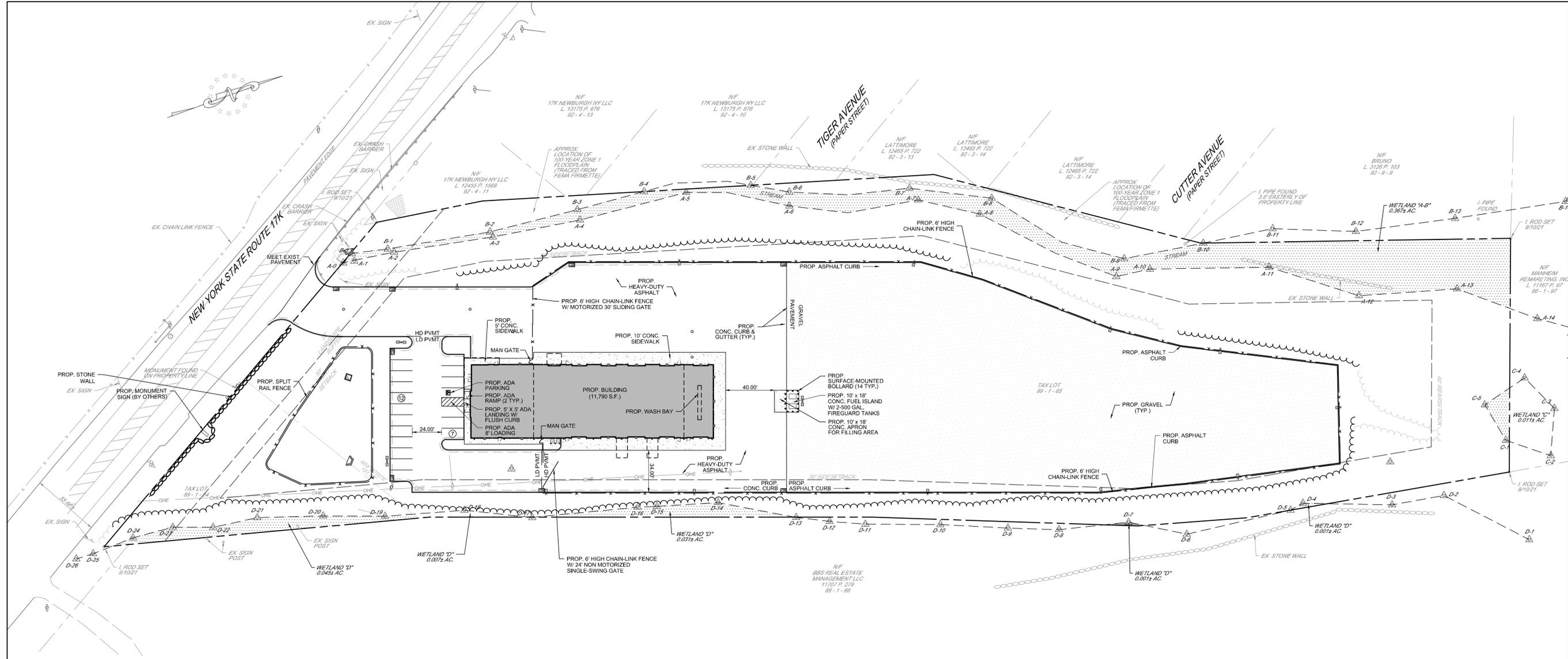


10/25/22

C300

SHEET 2 OF 12

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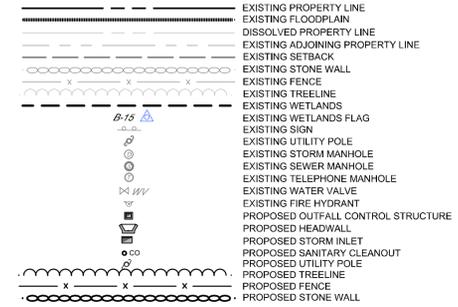
SITE PLAN NOTES:

- APPLICANT:
MOFFAT PROPERTIES, INC.
701 FINGER LAKES DRIVE
WAKE FOREST, NC 27687
- ENGINEER:
INDEPENDENCE ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
- SURVEYOR:
LANC & TULLY ENGINEERING & SURVEYING, P.C.
PO BOX 887
ROUTE 207
GOSHEN, NY 10924
- GEOTECHNICAL CONSULTANT:
MULA DESIGN GROUP
325 COTTAGE HILL ROAD
YORK, PA 17401
- ARCHITECT:
ALIGN DESIGN ASSOCIATES
145 CHURCH STREET NE, SUITE 240
MARIETTA, GA 30060
- BASE MAP AND BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "ALTANSPS SURVEY PREPARED FOR MOFFAT PROPERTIES TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK" DATED MAY 16, 2022, PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING P.C."
- A SOILS REPORT ENTITLED "REPORT OF GEOTECHNICAL ENGINEERING" HAS BEEN PREPARED BY JRS ENGINEERING SERVICES PLLC C/O MULA GROUP, DATED 04/18/2022.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUESTED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS PROVIDED BY ALL APPLICABLE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS TO EXISTING CONDITION, INCLUDING PAVED AREAS AND LANDSCAPED AREAS.
- SOLID WASTE SHALL BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL UNSUITABLE EXCAVATED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING CONSTRUCTION. SHORING SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CURRENT OSHA STANDARDS. CONTRACTOR SHALL MAKE SUFFICIENT ADDITIONAL PROVISIONS TO ENSURE STABILITY OF ALL CONTIGUOUS AND ADJACENT STRUCTURES, AS FIELD CONDITIONS MAY DICTATE.

- CONTRACTOR AND ANY SUBCONTRACTORS SHALL CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE, AND COMMERCIAL GENERAL LIABILITY INSURANCE AT REQUIRED LIMITS OF COVERAGE. ALL CONTRACTORS SHALL HAVE CGL POLICIES ISSUED TO INCLUDE INDEPENDENCE ENGINEERING LLC, WITH ITS SUBCONSULTANTS LISTED AS ADDITIONAL INSURED. ALL CONTRACTORS MUST FURNISH INDEPENDENCE ENGINEERING LLC WITH CERTIFICATES OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK, AND UPON RENEWAL OF EACH POLICY DURING THE TERM OF CONSTRUCTION. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS INDEPENDENCE ENGINEERING LLC AND ITS SUBCONSULTANTS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- NEITHER THE PROFESSIONAL ACTIVITIES OF INDEPENDENCE ENGINEERING LLC NOR THE PRESENCE OF ITS EMPLOYEES AT THE PROJECT SITE SHALL RELIEVE THE CONTRACTOR OF ITS DUTIES, OBLIGATIONS, AND/OR RESPONSIBILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCING AND/OR PROTOCOLS NECESSARY FOR PERFORMING, COORDINATING, AND/OR SUPERINTENDING THE WORK IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND APPLICABLE HEALTH AND SAFETY REGULATIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR SITE SAFETY PLANNING, PROVISIONING, IMPLEMENTATION, AND MAINTENANCE. INDEPENDENCE ENGINEERING LLC BEARS NO AUTHORITY TO EXERCISE CONTROL OVER CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH CONSTRUCTION.
- INDEPENDENCE ENGINEERING LLC SHALL REVIEW AND TAKE APPROPRIATE ACTION ON SUBMITTALS TO BE SUBMITTED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PRODUCT, DATA, AND MATERIAL SAMPLES. INDEPENDENCE ENGINEERING LLC SHALL REVIEW SUBMITTALS ONLY FOR CONSISTENCY WITH THE DESIGN DRAWINGS. SUBMITTALS SHALL NOT BE REVIEWED FOR CONSTRUCTION MEANS AND METHODS, COORDINATION OF TRADES, OR SITE SAFETY, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. INDEPENDENCE ENGINEERING LLC SHALL NOT BE LIABLE FOR DEVIATIONS OR THE RESULTS THEREFROM FROM THE APPROVED CONSTRUCTION DRAWINGS, UNLESS SAID DEVIATIONS ARE PROVIDED IN WRITING BY THE CONTRACTOR PRIOR TO IMPLEMENTATION, AND APPROVED IN WRITING BY INDEPENDENCE ENGINEERING LLC.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES THEREON, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM INDEPENDENCE ENGINEERING LLC AND THE PROJECT OWNER. SHOULD THE CONTRACTOR DEVIATE FROM THE APPROVED PROJECT DOCUMENTS, HE SHALL BEAR SOLE RESPONSIBILITY FOR FINES, PENALTIES, AND ALL COMPENSATORY AND PUNITIVE DAMAGES RESULTING THEREFROM. IN SUCH CASE, THE CONTRACTOR SHALL INDEMNIFY AND HOLD INDEPENDENCE ENGINEERING LLC HARMLESS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- DISPUTES BETWEEN INDEPENDENCE ENGINEERING LLC AND THE CONTRACTOR SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL INCLUDE A PROVISION IN THEIR CONTRACTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS, PROVIDING FOR MEDIATION AS THE PRIMARY METHOD OF DISPUTE RESOLUTION BETWEEN THOSE PARTIES.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, INCLUDING LOCALLY ADOPTED REVISIONS THERETO.
- BUILDING SETBACKS SHOWN HEREON ARE MEASURED FROM THE EXTERIOR FACE OF BUILDING WALLS. SETBACKS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ARCHITECTURAL ELEMENTS, SIGNAGE, OR OTHER EXTERIOR EXTENSION UNLESS OTHERWISE NOTED.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES AND CONNECTION POINTS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY IN THE FIELD AND WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.

- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY "DIG SAFE 811" 72 HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER AUTHORITIES TO MARK OUT THEIR SYSTEMS.
- THE CONTRACTOR SHALL COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES SHALL NOT BE LARGER THAN 6 INCHES IN ANY DIMENSION. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- ALL DEBRIS, RUBBISH, SALVAGE, HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED AT THE EARLIEST POSSIBLE TIME. REMOVED MATERIALS MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH PROCEDURES ADOPTED BY THE LOCAL FIRE DEPARTMENT AND OTHER JURISDICTIONAL AGENCIES.

LEGEND



REV	DATE	DESCRIPTION
1	08/20/22	UPDATED PER MEH REVIEW LETTER DATED 07/21/22 AND CRIGHTON MANNING REVIEW LETTER DATED 07/20/22
2	10/24/22	REVISED PER TOWN COMMENTS

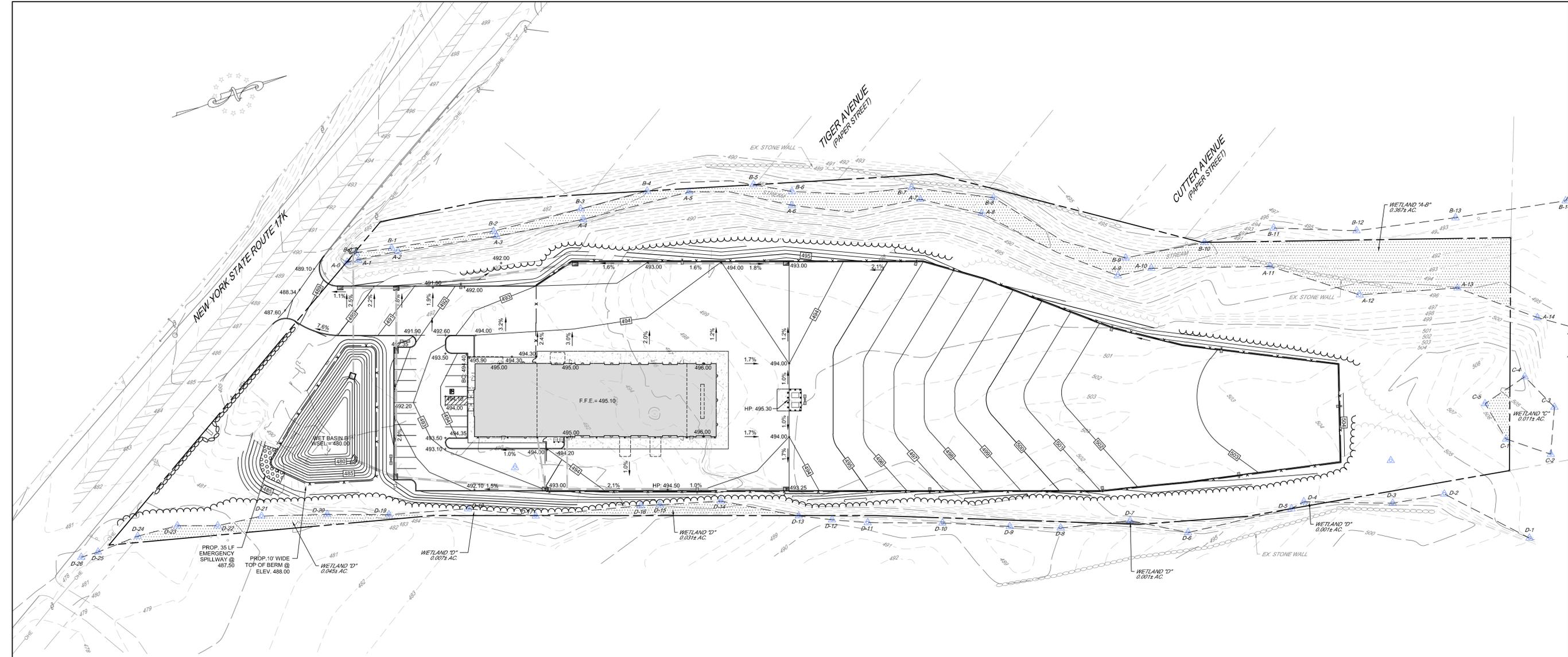
Independence ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 696-9369
INDEPENDENCE@INDEPENDENCEENGINEERING.COM

FINAL LAND DEVELOPMENT PLAN SET
SITE PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #
GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DRAWN	ESC
DESIGNED	JWJ
CHECKED	NES/JWJ





GRADING NOTES:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING, OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT (IF ONE HAS BEEN PREPARED). ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED IN THE STATE IN WHICH THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, CURBS, AND MINIMUM 0.7% SLOPE ON ALL CONCRETE AND ASPHALT SURFACES TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OF PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH KNOWN DESIGN TOLERANCE DISCREPANCIES SHALL BE AT THE CONTRACTOR'S RISK.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY, AS DETERMINED BY MODIFIED PROCTOR METHOD.
- IN CASE OF DISCREPANCIES BETWEEN THE PLANS, THE SITE PLAN SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS-SLOPE OF 2.0% ON ALL SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE ROUTES, AND ACCESSIBLE STRIPING AREAS.
- OWNER SHALL RETAIN A QUALIFIED GEOTECHNICAL ENGINEER TO TEST PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF BASIN BOTTOM MATERIALS, INCLUDING INFILTRATION AND RETENTION BASINS. CONTRACTOR SHALL REMOVE UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK MATERIAL AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND PLACED FILL SHALL HAVE A PERMEABILITY GREATER THAN OR EQUAL TO DESIGN CRITERIA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION TO CONFIRM MEANS, METHODS, AND MATERIALS, AND TO SCHEDULE REQUIRED INSPECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- PERMANENT SEEDING TO BE IN ACCORDANCE WITH LOCAL AND STATE EROSION AND SEDIMENT CONTROL STANDARDS.
- REFER TO SITE PLAN NOTES FOR ADDITIONAL NOTES.

LEGEND

	EXISTING FLOODPLAIN
	DISSOLVED PROPERTY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	EXISTING RCP PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING SOILS LINE
	EXISTING WETLANDS FLAG
	EXISTING SOILS LABEL
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SPOT ELEVATION
	PROPOSED OUTFALL CONTROL STRUCTURE
	PROPOSED HEADWALL
	PROPOSED STORM INLET
	PROPOSED TREE LINE
	PROPOSED FENCE
	PROPOSED STONE WALL
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	PROPOSED STORM PIPE
	PROPOSED SANITARY CLEANOUT
	PROPOSED UTILITY POLE

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Independence
ENGINEERING, LLC
102 FARNSWORTH AVENUE, SUITE 310
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(609) 496-9369 INDEPENDENCE@INDEPENDENCEENGINEERING.COM

FINAL LAND DEVELOPMENT PLAN SET
for
GRADING PLAN
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #

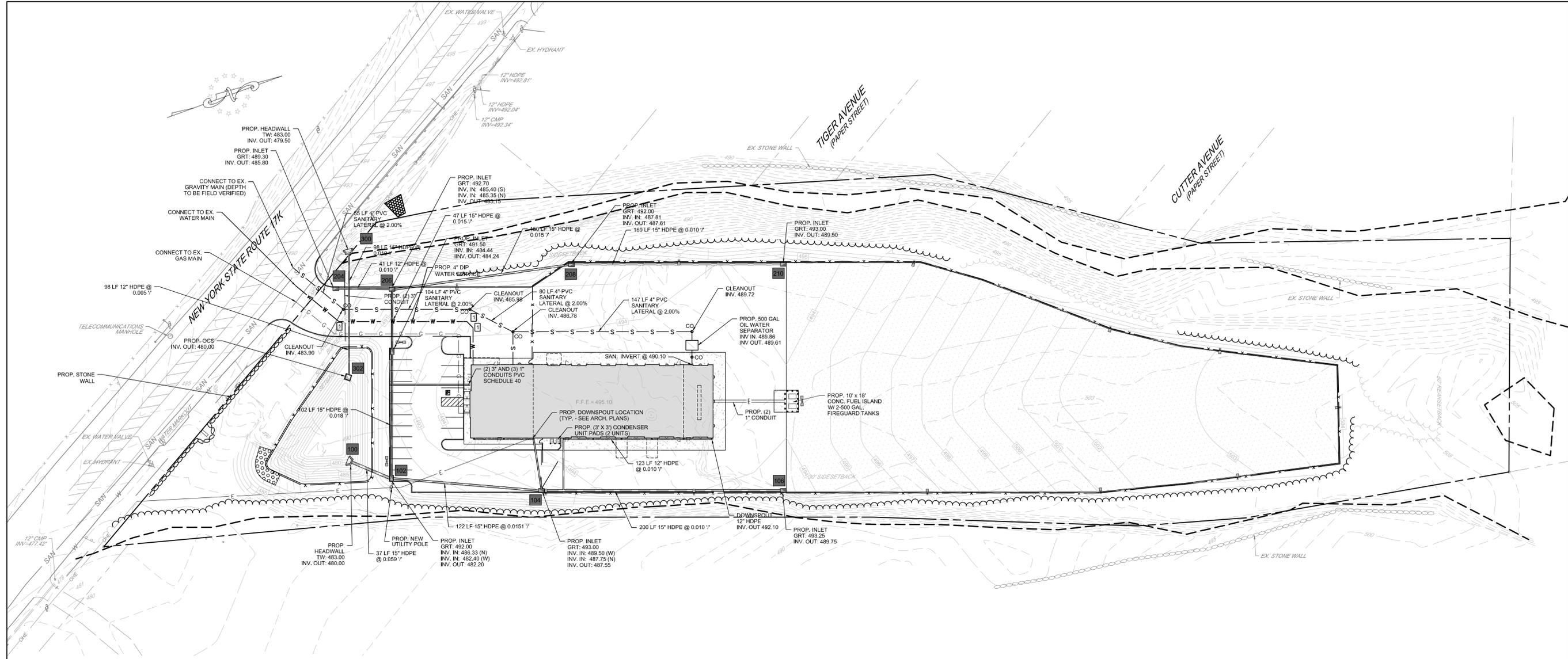
GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DRAWN	ESC
DESIGNED	JWJ
CHECKED	NES/JWJ

STATE OF NEW YORK
Nal E. Sander
78961
REGISTERED PROFESSIONAL ENGINEER

C500
SHEET 4 OF 12

R:\028 ALONDEN\0004 SUN BELT NEWBURGH\NYPROJECT\ENGINEERING\DRAWINGS\028004-S-GRADIE-JORDIAN HILL\2022-10-25



EXISTING UTILITY NOTES:

- CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE.
- IF REUSE OF EXISTING WATER SERVICE IS INFEASIBLE, THEN IT SHALL BE REMOVED AND CAPPED AT THE PUBLIC MAIN, IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH SEWER DEPARTMENT. TERMINATION MUST BE APPROVED BY THE TOWN OF NEWBURGH SEWER DEPARTMENT PRIOR TO COMPLETION.
- NEW WATER SERVICE LOCATIONS SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING WATER SERVICES AND/OR INSTALLATION OF NEW WATER SERVICES.
- CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE.
- IF REUSE OF EXISTING GAS SERVICE IS INFEASIBLE, THEN IT SHALL BE REMOVED AND CAPPED AT THE MAIN, IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GAS COMPANY. TERMINATION MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION.
- NEW GAS SERVICE LOCATIONS SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING GAS SERVICES AND/OR INSTALLATION OF NEW GAS SERVICES.
- CONTRACTOR TO LOCATE AND UTILIZE EXISTING SANITARY SEWER SERVICE CONNECTION IF FEASIBLE AND ADEQUATELY SIZED.
- IF REUSE OF EXISTING SANITARY SEWER SERVICE IS INFEASIBLE, THEN IT SHALL BE REMOVED AND CAPPED AT THE PUBLIC MAIN, IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH SEWER DEPARTMENT. TERMINATION MUST BE APPROVED BY THE TOWN OF NEWBURGH SEWER DEPARTMENT PRIOR TO COMPLETION.
- NEW SANITARY SEWER SERVICE LOCATIONS SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SANITARY SEWER SERVICES AND/OR INSTALLATION OF NEW SANITARY SEWER SERVICES.

UTILITY NOTES:

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES, INCLUDING BUT NOT LIMITED TO SANITARY, WATER, ELECTRIC, STORM, GAS, AND TELECOMMUNICATIONS, ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY AGENCIES AND AUTHORITIES PRIOR TO ANY CONSTRUCTION OR EXCAVATION. ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- CONSTRUCTION OF SANITARY AND STORM FACILITIES SHALL BEGIN AT THE LOWEST ELEVATION (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY DIG SAFE 811 AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL UTILITY AGENCIES AND AUTHORITIES TO MARK OUT FACILITIES PRIOR TO EXCAVATION.
- EXACT LOCATIONS AND SERVICE SIZES OF BUILDING UTILITY CONNECTIONS ARE SHOWN ON THE ARCHITECTURAL PLANS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE SPECIFIED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL WATER UTILITY. ENGINEER IS NOT RESPONSIBLE FOR THE COSTS ASSOCIATED WITH FEES AND APPURTENANCES REQUIRED BY THE LOCAL WATER UTILITY.
- SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST TEN (10) FEET HORIZONTALLY. WHERE SUCH SEPARATION IS NOT POSSIBLE, SEWER AND WATER MAINS SHALL BE IN SEPARATE TRENCHES, WITH THE SEWER MAIN AT LEAST EIGHTEEN (18) INCHES BELOW THE WATER MAIN.
- ALL SEWER PIPE INSTALLED WITH LESS THAN THREE (3) FEET OF COVER, GREATER THAN TWENTY (20) FEET OF COVER, OR WITHIN EIGHTEEN (18) INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, UNLESS OTHERWISE SPECIFIED.
- WHERE SANITARY SEWER LATERAL CONNECTIONS ARE GREATER THAN TEN (10) FEET DEEP AT THE POINT OF CONNECTION TO THE MAIN, A CONCRETE DROP MANHOLE SHALL BE USED.
- GAS, ELECTRIC, AND TELECOMMUNICATIONS LINES LOCATED HEREON ARE APPROXIMATE. ACTUAL LOCATION AND LAYOUT FOR GAS, ELECTRIC, AND TELECOMMUNICATIONS SHALL BE AT THE DIRECTION OF THE APPROPRIATE PROVIDER.
- MEANS, METHODS, AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE OWNER'S SPECIFICATIONS. IF SAID SPECIFICATIONS DO NOT EXIST, ALL MEANS, METHODS, AND MATERIALS SHALL BE PROVIDED CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS.

RESTRAINT JOINT PIPE SCHEDULE

#	TYPE	MATERIAL	QUANTITY
1	4"	DIP	3

LEGEND



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Independence
ENGINEERING LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
(609) 496-9369
INDEPENDENCE/INDEPENDENCEENGINEERING

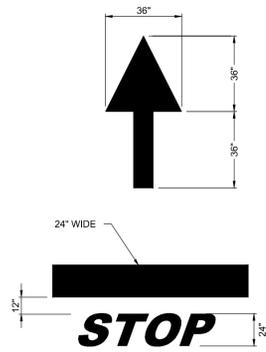
FINAL LAND DEVELOPMENT PLAN SET
UTILITY PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #
40 20 0
GRAPHIC SCALE: 1" = 40'

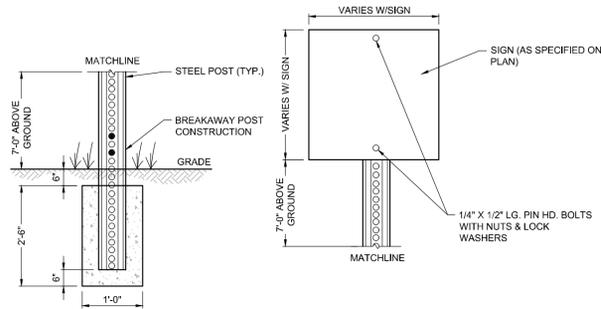
PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DESIGNED	JWJ
CHECKED	NES/JWJ



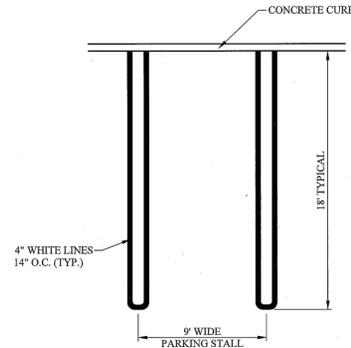
A:\0209 ALI\ENGINEERING\04 SUNBELT NEWBURGH\PROJECT ENGINEERING\DRAWINGS\020904-S-UTILITY-JORDAN.HILL\2022-10-25



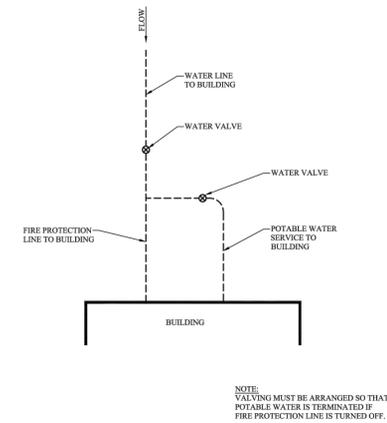
PAINTED PAVEMENT MARKING DETAIL
N.T.S.



SIGN POST AND FOOTING DETAIL
N.T.S.



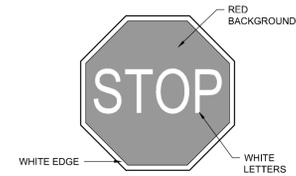
TYPICAL PARKING SPACE DETAIL
SCALE: N.T.S.



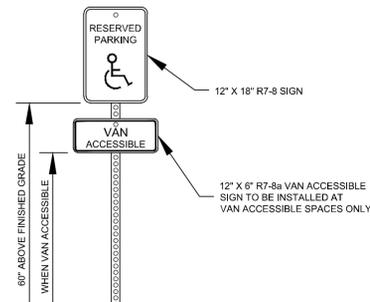
TOWN OF NEWBURGH FIRE PROTECTION FLOW TO BLDG. CONNECTION DETAIL
SCALE: N.T.S.

NOTE:
ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

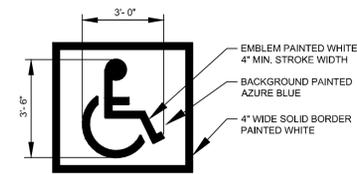
NOTE:
VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.



STOP SIGN (R1-1) DETAIL
N.T.S.

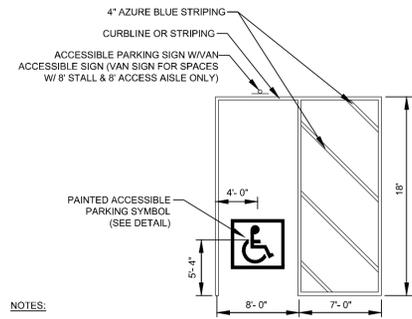


ACCESSIBLE PARKING SIGN W/VAN ACCESSIBLE SIGN
N.T.S.



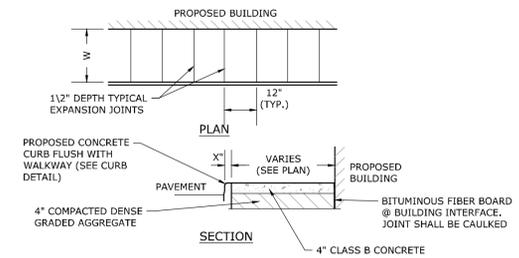
PAINTED ACCESSIBLE PARKING SYMBOL
N.T.S.

NOTES:
ALL PAVEMENT STRIPING, MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST NEW YORK ACCESSIBILITY STANDARDS.



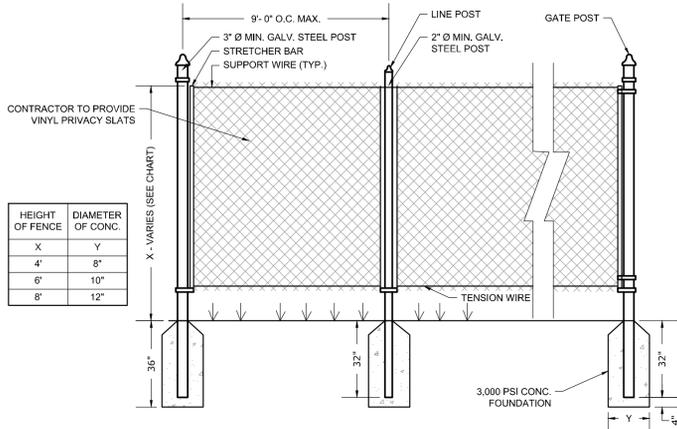
NOTES:
1. PAVEMENT STRIPING FOR ALL ACCESSIBLE PARKING SPACES SHALL BE PAINTED AZURE BLUE.
2. WHERE AN ACCESSIBLE PARKING STALL MEETS A STANDARD PARKING STALL, AN AZURE BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED.
3. ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST NEW YORK ACCESSIBILITY STANDARDS.
4. CONTRACTOR TO ENSURE THAT GRADES WITHIN ACCESSIBLE SPACES DO NOT EXCEED 1.8% AT ANY POINT.

ACCESSIBLE PARKING STALL STRIPING
N.T.S.



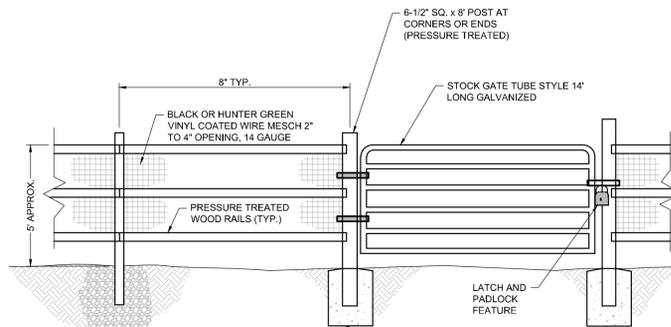
NOTES:
1. MAX. CROSS SLOPE 2% PITCHED AWAY FROM BUILDING.
2. PROVIDE 1/2" PREMOLED BITUMINOUS EXPANSION JOINT AT 12' INTERVALS.
3. REFER TO SEE PLAN FOR SIDEWALK WIDTH (W)
4. PROVIDE A BROOM FINISH FOR A SLIP-RESISTANT WEARING SURFACE IN ACCORDANCE WITH A.D.A. REGULATIONS.

SIDEWALK AT BUILDING DETAIL
N.T.S.

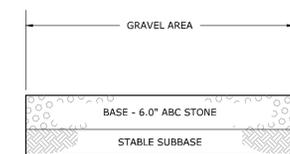


CHAIN LINK FENCE DETAIL
N.T.S.

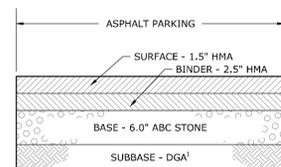
HEIGHT OF FENCE	DIAMETER OF CONC.
X	Y
4'	8"
6'	10"
8'	12"



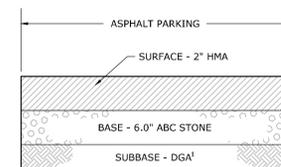
SPLIT RAIL FENCE & GATE DETAIL
N.T.S.



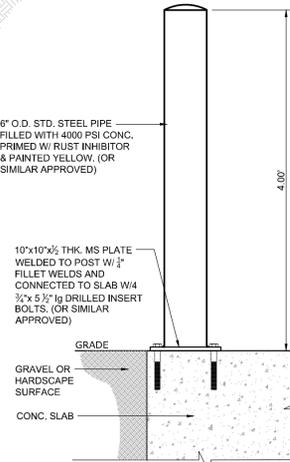
GRAVEL SURFACE DETAIL
N.T.S.



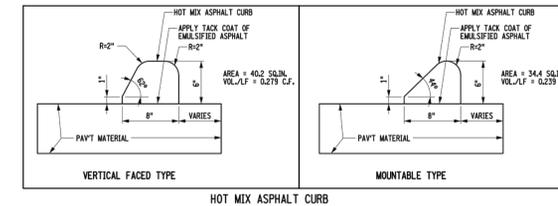
HEAVY DUTY PAVEMENT DETAIL
N.T.S.



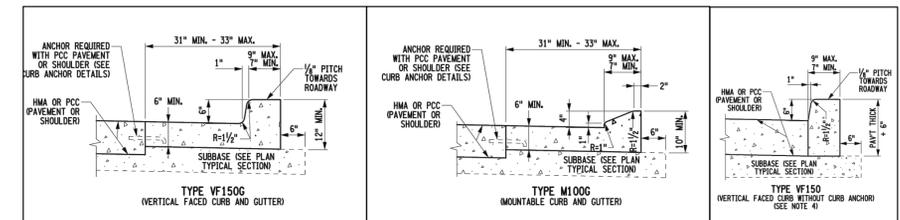
LIGHT DUTY PAVEMENT DETAIL
N.T.S.



SURFACE MOUNTED BOLLARD DETAIL
N.T.S.



HOT MIX ASPHALT CURB



CAST-IN-PLACE CONCRETE CURB AND GUTTER

CONCRETE AND HMA CURB AND GUTTER DETAIL
N.T.S.

NEW YORK STATE OF OPPORTUNITY. Department of Transportation
U.S. CUSTOMARY STANDARD SHEET
CONCRETE AND HMA CURB AND GUTTER - GENERAL DETAILS BEDDING AND BACKFILL
APPROVED SEPTEMBER 19, 2008 ISSUED UNDER EB 08-036
/s/ DANIEL D'ANGELO, P.E. DEPUTY CHIEF ENGINEER (DESIGN) 609-03

GENERAL DETAIL NOTE:

- ALL DETAILS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY.
- DETAILS TO BE "OR EQUIVALENT".
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCAL REQUIRED DETAILS TO COMPLETE THE DESIGN.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN DETAILS AND LOCAL REQUIRED DETAILS, THE LOCAL REQUIRED DETAILS SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IF NEEDED.
- REFER TO PREVIOUS SHEETS FOR ADDITIONAL NOTES.
- ANY DETAILS NEEDED FOR BIDDING AND/OR CONSTRUCTION OF THIS JOB, SHOWN OR NOT SHOWN ON THESE PLANS, ARE TO BE IN ACCORDANCE WITH LOCAL MUNICIPAL, COUNTY, STATE, AND FEDERAL REGULATIONS AND STANDARDS. IF ANY DETAIL SHOWN ON THESE PLANS DOES NOT MEET THESE STANDARDS, IT IS THE CONTRACTORS' RESPONSIBILITY TO BID AND/OR CONSTRUCT THE APPROPRIATE STANDARD DETAILS.

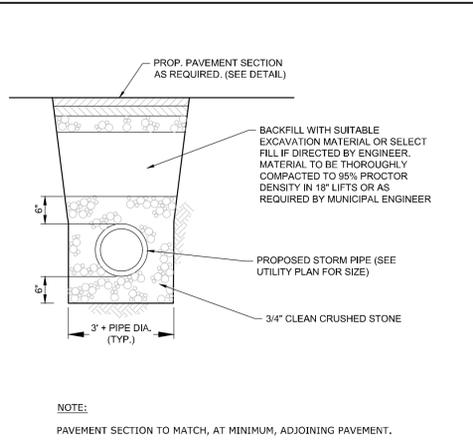
REV	DATE	DESCRIPTION
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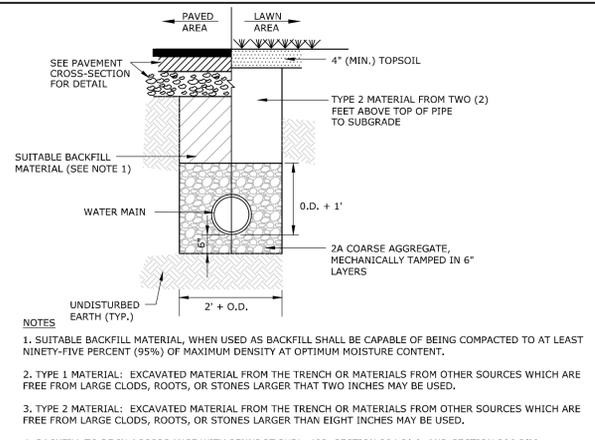
FINAL LAND DEVELOPMENT PLAN SET
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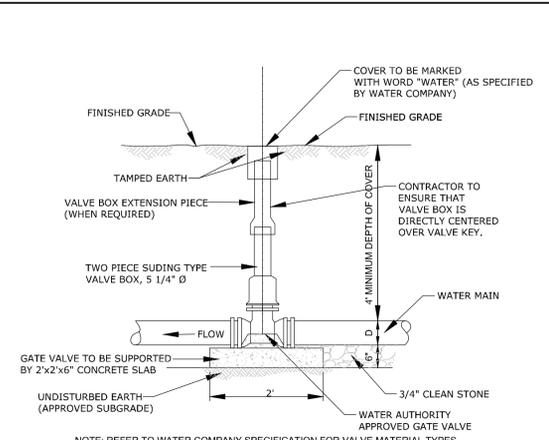
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PROJECTED BY: Daniel D'Angelo, P.E.
DATE: 10/25/22
C800
SHEET 6 OF 12



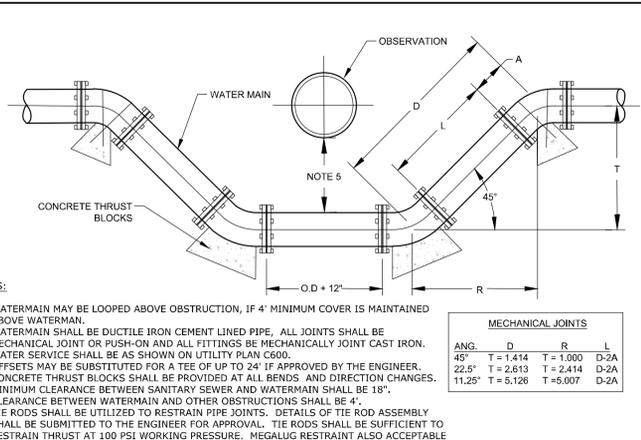
STORM SEWER TRENCH DETAIL
N.T.S.



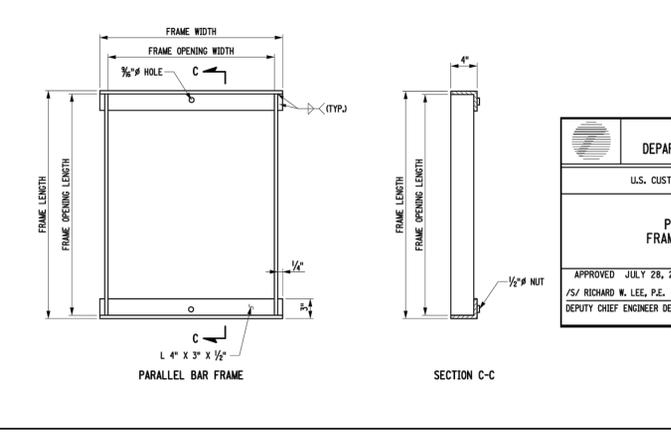
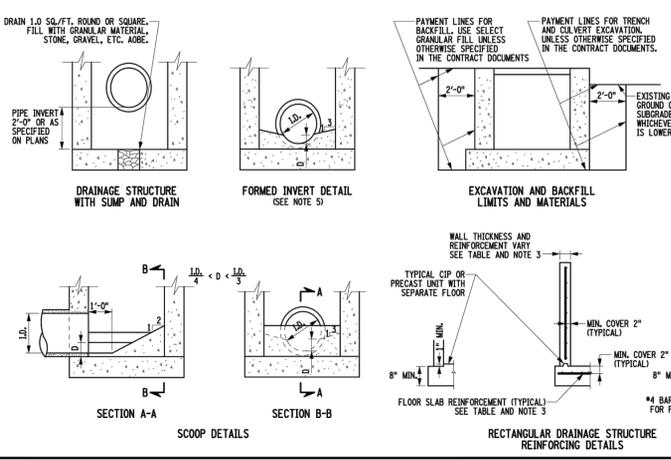
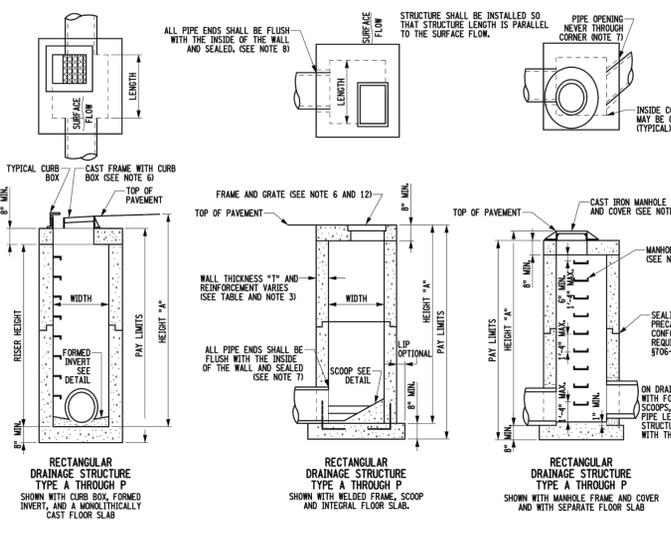
WATER MAIN TRENCH DETAIL
N.T.S.



GATE VALVE AND BOX DETAIL
N.T.S.



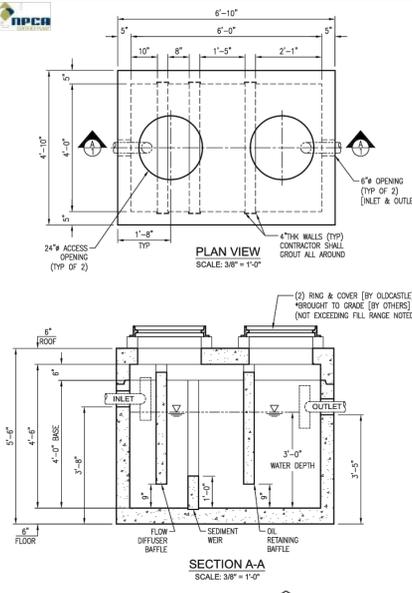
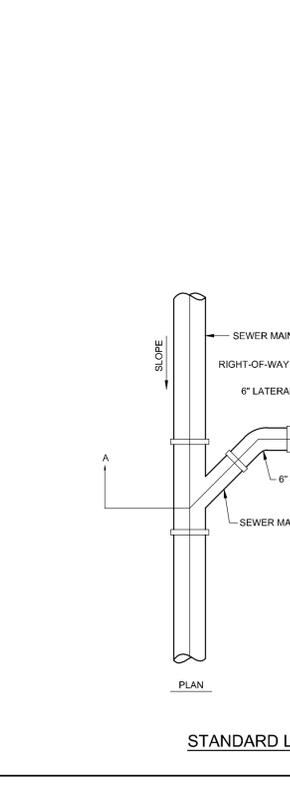
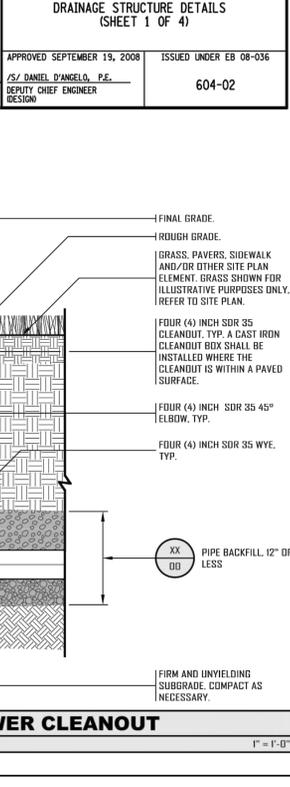
UTILITY CROSSING DETAIL
N.T.S.



- GENERAL NOTES:**
- DRAINAGE STRUCTURES SHALL BE CAST IN PLACE OR PRECAST UNITS. ROUND DRAINAGE STRUCTURES SHALL BE PRECAST ONLY. ALL CAST IN PLACE CONCRETE SHALL BE CLASS A. THE CONTRACTOR SHALL SUBMIT WORKING DRAWINGS FOR REVIEW AND APPROVAL OF ANY CHANGES TO THE STRUCTURES SHOWN ON THE STANDARD SHEETS OR CONTACT PLANS, OTHER THAN MINOR CHANGES APPROVED BY THE ENGINEER. USE OF FLAT SLAB TOPS ON ROUND PRECAST UNITS SHALL REQUIRE SUBMISSION OF WORKING DRAWINGS.
 - SEE PLANS FOR ELEVATIONS, DRAINAGE STRUCTURE LOCATIONS, TYPE OF GRATE UTILIZED, LOCATION OF SCOOPS, FORMED INVERTS, SUMPS AND DRAINS.
 - REINFORCEMENT FOR RECTANGULAR DRAINAGE UNITS CAST IN PLACE OR PRECAST BAR REINFORCEMENT INDICATED FOR PRECAST UNITS. TOP SLABS, RISERS AND BASES SHALL BE GRADE 60. WIRE FABRIC FOR CONCRETE REINFORCEMENT SHALL MEET THE REQUIREMENTS OF 109-02. RISER REINFORCEMENT SHALL BE PLACED SO IT WILL HAVE A MINIMUM COVER OF 2" BUT NO MORE THAN 4" FROM THE INSIDE FACE. THE REINFORCEMENT SHALL EXTEND COMPLETELY AROUND THE DRAINAGE STRUCTURE RISER AND SHALL BE LAPPED AND TIED. BASE REINFORCEMENT SHALL BE PLACED ABOVE THE WEDPOINT OF SLAB AND SHALL HAVE A MINIMUM CONCRETE COVER OF 2".
 - ROUND ALTERNATE: WHEN SPECIFIED BY PAYMENT ITEM, THE CONTRACTOR MAY SUBSTITUTE ROUND, PRECAST DRAINAGE STRUCTURES IN PLACE OF RECTANGULAR STRUCTURES. SIZES INDICATED IN THE "SELECTION TABLE FOR ALTERNATE ROUND DRAINAGE STRUCTURES" ON SHEET 4 OF 4. THE RISER, TOP SLAB, AND BOTTOM SLAB FOR THE ROUND ALTERNATE SHALL BE MANUFACTURED IN ACCORDANCE WITH THE PROVISIONS OF 109-04 OF THE STANDARD SPECIFICATIONS. WORKING DRAWINGS FOR THE ROUND ALTERNATES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. UNLESS THE ROUND ALTERNATE PROPOSED HAS BEEN PREVIOUSLY APPROVED, FOR PREVIOUSLY APPROVED ROUND UNITS THE CONTRACTOR SHALL SUBMIT A COPY OF THE APPROVED DRAWINGS TO THE ENGINEER.
 - FORMED INVERTS: FORMED INVERTS, SCOOP AND SUMPS SHALL BE PROVIDED AND INCLUDED IN THE PRICES BID FOR DRAINAGE STRUCTURES CALLED FOR IN THE CONTRACT DOCUMENTS. WHEN NON-CIRCULAR GRATES ARE USED, THE FORMED INVERT AND SUMP DETAILS SHALL BE MODIFIED TO FIT THE INVERTS.
 - GRATES: CAST FRAMES MAY HAVE EITHER RECTILINEAR OR PARALLEL BAR GRATES, AND WELDED FRAMES MAY HAVE EITHER RECTILINEAR OR RECTANGULAR GRATES. IF NO GRATE IS SPECIFIED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR MAY FURNISH EITHER TYPE. GRATES SHALL BE INSTALLED SO THAT THE LENGTH OF THE GRATE IS PARALLEL TO THE SURFACE FLOW.
 - WALL OPENINGS: RECTANGULAR DRAINAGE STRUCTURES SHOWN ON THESE STANDARD SHEETS SHOULD NEVER HAVE CORNER PIPE ENTRIES. IF PIPE ALIGNMENT WOULD REQUIRE A CORNER ENTRY, USE A ROUND DRAINAGE STRUCTURE OR USE A SPECIAL DRAINAGE STRUCTURE. ALL WALL OPENINGS SHALL BE FORMED COMPLETELY THROUGH THE WALL SECTION. CIRCULAR WALL OPENINGS SHALL BE FORMED FOR EACH CIRCULAR PIPE ENTERING PERPENDICULAR TO THE WALL. WHEN NON-CIRCULAR PIPES ARE SPECIFIED, OR ROUND PIPE ENTRIES ARE SKEMED, RECTANGULAR OPENINGS MAY BE USED. THE CLEARANCE BETWEEN THE OUTSIDE OF THE PIPE AND THE OPENING SHALL BE AT LEAST 2" BUT NO MORE THAN 3". THIS CLEARANCE SHALL BE MEASURED BETWEEN THE OUTSIDE OF THE PIPE AND NEAREST POINT ON THE RECTANGULAR OPENING. IF A CORNER HAS PIPE ENTRIES ON BOTH SIDES, AND THERE IS LESS THAN 2" BETWEEN EITHER OPENING AND THE CORNER, THEN THAT SECTION OF THE DRAINAGE STRUCTURE MUST HAVE 8" THICK WALLS.
 - MONOLITHIC AND INTEGRAL BASES MAY HAVE A MAXIMUM VERTICAL DRAFT OF 1/2" ON ALL INTERIOR DIMENSIONS, TO FACILITATE FORM REMOVAL. FOR WALL OPENINGS THAT EXTEND THE FULL WIDTH OR LENGTH OF THE STRUCTURE, THE MINIMUM CLEARANCE BETWEEN THE OUTSIDE OF THE PIPE AND THE WALL OPENING SHALL BE 1 1/2".
 - FINISHING PIPE ENTRIES: THE BELLS OF CONCRETE PIPE SHALL BE CUT OFF AT EVERY PIPE ENTRY WHERE THE BELL ENTRIES A STRUCTURE. CONNECTIONS BETWEEN THE STRUCTURE AND PIPE SHALL BE MADE BY EITHER USING A RESILIENT CONNECTOR MEETING THE REQUIREMENTS OF ASTM C147M OR BY COMPLETELY FILLING THE SPACE AROUND EACH PIPE WITH MORTAR FOR CONCRETE, MASONRY, CONCRETE GROUTING MATERIAL, OR CONCRETE REPAIR MATERIAL. THE CONTRACTOR MAY USE ALTERNATE METHODS FOR SEALING THE SPACE AROUND THE PIPE, CONTINGENT UPON SATISFACTORY RESULTS BEING OBTAINED.

STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET
DRAINAGE STRUCTURE DETAILS
(SHEET 1 OF 4)
APPROVED SEPTEMBER 19, 2008 ISSUED UNDER EB 08-036
/S/ DANIEL D'ANGELO, P.E.
DEPUTY CHIEF ENGINEER
DESIGN
604-02

STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
U.S. CUSTOMARY STANDARD SHEET
PARALLEL BAR FRAMES AND GRATES
APPROVED JULY 28, 2014 ISSUED UNDER EB 08-049
/S/ RICHARD W. LEE, P.E.
DEPUTY CHIEF ENGINEER DESIGN
655-02



- GENERAL DESIGN NOTES:**
- STRENGTH DESIGN METHOD IN ACCORDANCE WITH (A.W.) ACI 318.
 - APPLICABLE DESIGN CODES:
- AASHTO (MINIMUM DESIGN SPECIFICATION)
- ASTM (PRODUCT SPECIFICATION)
 - PRECAST RATED FOR 1800 LBS LIVE LOAD W/ IMPACT L.A.W. ASHTO SPECIFICATION
 - DESIGN FILL RANGE = (MIN) TO (MAX)
 - GROUND WATER TABLE ASSUMED AT 2' BELOW GRADE. IF DESIGN OR ACTUAL WATER TABLE IS LESS THAN ASSUMED, REVIEW ENGINEER TO NOTIFY OLDCASTLE PRECAST UPON REVIEW OF THIS SUBMITTAL.
 - LATERAL DESIGN PRESSURES:
- APPROXIMATE SOIL LATERAL PRESSURE = 47 PCF
- EQUV SATURATED SOIL FLUID PRESSURE = 80 PSF
- LIVE LOAD SURCHARGE PRESSURE = 2'
 - CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
- F_c TOP SLAB = 4,000 PSI (MIN)
- F_c BASE = 6,000 PSI (MIN)
 - REINFORCEMENT:
- CARBON-STEEL DEFORMED BARS: ASTM A615, F_y = 60KSI (MIN)
 - JOINT SEALANT:
- CG-102 CONCRETE BUTYL RUBBER SEALANT (OR EQUIV.) I.A.W. ASTM C920, F.O.C. 98-217A
 - PRECAST DESIGN DOES NOT INCLUDE AN LATERAL OR SURCHARGE LOADS FROM OTHER BUILDINGS OR FOUNDATIONS ADJACENT TO THIS STRUCTURE. THIS STRUCTURE SHALL BE KEPT A MINIMUM OF 11:1 RATIO AWAY FROM OTHER FOOTINGS OR FOUNDATIONS.
- NOTES TO CONTRACTOR:**
- PLEASE VERIFY ALL SIZES, LOCATIONS, AND ELEVATIONS OF OPENINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION TO ENSURE THAT AN ADEQUATE BEARING SURFACE IS PROVIDED (BY LEVEL AND COMPACTED) PER PROJECT SPECIFICATIONS AND DRAWINGS.
 - AFTER PIPES ARE INSTALLED, BLOCKOUTS, ALL ANNUAL SPACES SHALL BE FILLED WITH A MIN. OF 3,000 PSI CONCRETE, TIGHT TO THE UNDERSIDE OF UPPER SECTION FOR FULL THICKNESS OF VAULT WALL.
 - CONTRACTOR TO BE RESPONSIBLE FOR THE FOLLOWING:
- SUPPLY & INSTALL ALL SPRING DAMPS AND TEES
- GROUT IN ALL BAFFLES ON BOTH SIDES
 - DESIGN, AS SHOWN HEREIN, IS APPLICABLE ONLY TO STRUCTURAL PERFORMANCE OF PRECAST. CAPACITY (LOADINGS) SHALL BE DETERMINED BY OTHERS BASED ON SPECIFIC PROJECT REQUIREMENT.

APPROX WEIGHTS

SECTION	WEIGHT (LBS)	CUMULATIVE WEIGHT (LBS)
6" TOP	2,900	0.72
46" BASE	2,900	1.35
BAFFLES	750 EACH	0.18
WEIR	250	0.06

Oldcastle Precast®
500 GALLON OIL WATER SEPARATOR
SUBMITTAL LAYOUT

INFORMATION NEEDED:

- TOP OF SEPARATOR ELEVATION
- INLET PIPE SIZE
- INLET PIPE ELEVATION
- OUTLET PIPE SIZE
- OUTLET PIPE ELEVATION

REVISIONS

REV	DATE	BY	SHEET	DESCRIPTION OF REVISION	REQUESTED BY
1					
2					

CUSTOMER

DATE	SCALE	DRAWN	TRACED	CHECKED	DATE ORDER

- GENERAL DETAIL NOTE:**
- ALL DETAILS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY.
 - DETAILS TO BE "OR EQUIVALENT".
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCAL REQUIRED DETAILS TO COMPLETE THE DESIGN.
 - IN CASE OF DISCREPANCIES BETWEEN THE PLAN DETAILS AND LOCAL REQUIRED DETAILS, THE LOCAL REQUIRED DETAILS SHALL SUPERSEDE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICT IF NEEDED.
 - REFER TO PREVIOUS SHEETS FOR ADDITIONAL NOTES.
 - ANY DETAILS NEEDED FOR BIDDING AND/OR CONSTRUCTION OF THIS JOB, SHOWN OR NOT SHOWN ON THESE PLANS, ARE TO BE IN ACCORDANCE WITH LOCAL MUNICIPAL, COUNTY, STATE, AND FEDERAL REGULATIONS AND STANDARDS. IF ANY DETAIL SHOWN ON THESE PLANS DOES NOT MEET THESE STANDARDS, IT IS THE CONTRACTORS' RESPONSIBILITY TO BID AND/OR CONSTRUCT THE APPROPRIATE STANDARD DETAILS.

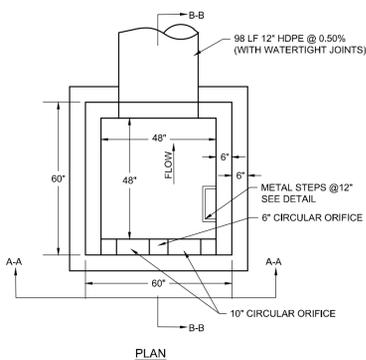
REV	DATE	DESCRIPTION
1	08/20/22	UPDATED PRELIM REVIEW LETTER DATED 07/27/22 AND ORIGNITION MANANNING REVIEW LETTER DATED 07/27/22
2	10/24/22	REVISED PER TOWN COMMENTS

Independence
ENGINEERING, LLC
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08805
INDEPENDENCE@INDEPENDENCEENGINEERING.COM
(609) 496-9369

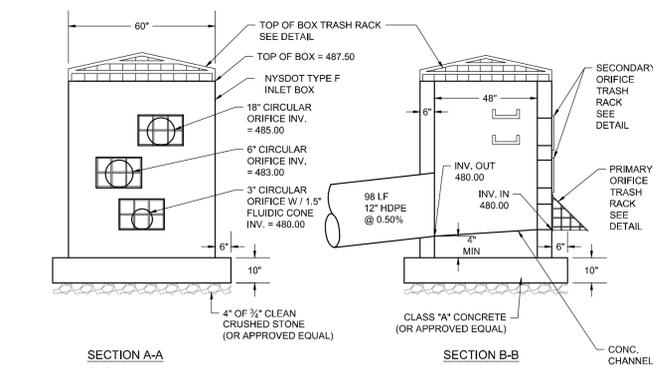
FINAL LAND DEVELOPMENT PLAN SET
UTILITY DETAILS
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811
ID #

PROJECT
028-004
DATE
06/17/2022
SCALE
AS NOTED
DRAWN
ESC
DESIGNED
JWJ
CHECKED
NES/JWJ
STATE OF NEW YORK
J. B. SANDER
REGISTERED PROFESSIONAL ENGINEER
10/25/22
C810
SHEET 7 OF 12

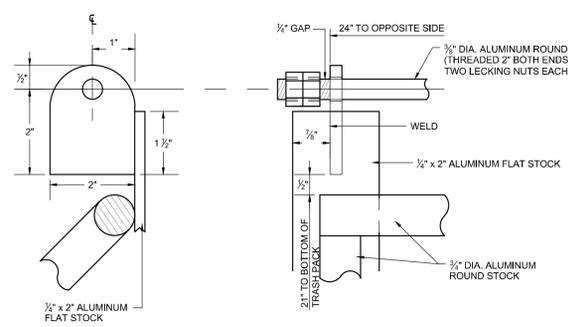


DESIGN WATER SURFACE ELEVATION:
 1-YR = 483.04
 10-YR = 484.46
 25-YR = 485.22
 100-YR = 486.63

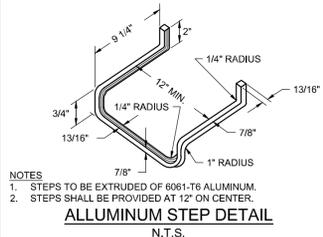


NOTES:
 1. WATER TIGHT SEALS TO BE USED ON ALL JOINTS.

OUTLET STRUCTURE #300 DETAIL
 N.T.S.

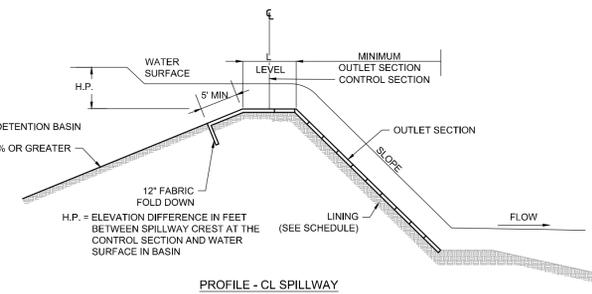
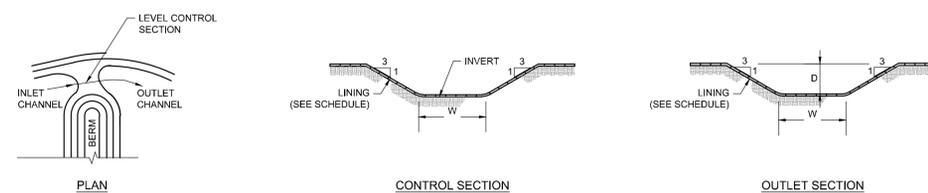


HINGE ASSEMBLY DETAIL
 N.T.S.



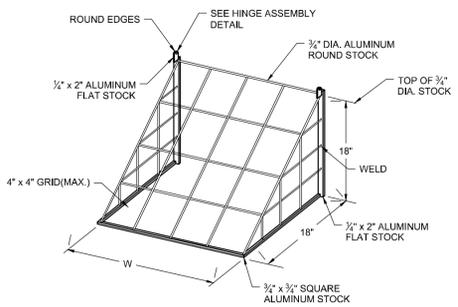
NOTES:
 1. STEPS TO BE EXTRUDED OF 6061-T6 ALUMINUM.
 2. STEPS SHALL BE PROVIDED AT 12" ON CENTER.

ALUMINUM STEP DETAIL
 N.T.S.



BASIN	TOP OF BERM	PERMANENT CONTROL SECTION		TEMPORARY CONTROL SECTION		OUTLET SECTION			
		WIDTH	INVERT	WIDTH	INVERT	MAX SLOPE	W	D	LINING
B	488.00	35	487.00	C125	SAME	3.00	45	2.0	C125

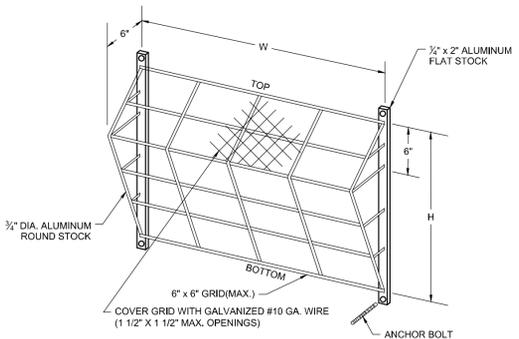
EMERGENCY SPILLWAY SCHEDULE DETAIL
 N.T.S.



NOTE: ALL JOINTS TO BE WELDED

OUTLET	WIDTH	HEIGHT	DEPTH
300	12"	12"	12"

PRIMARY ORIFICE OUTLET STRUCTURE TRASH RACK DETAIL
 N.T.S.



NOTE: ALL JOINTS TO BE WELDED

OUTLET	WIDTH	HEIGHT
300	12"	12"

RECTANGULAR SECONDARY STAGE TRASH RACK DETAIL
 N.T.S.

VORTEX VALVES

The Vortex Valve from Contech® is an exceptional solution to designer/engineers looking to precisely control the discharge flow rate from their drainage, detention or infiltration systems. The Vortex Valve is a device for controlling surface stormwater flow by hydraulic effect without requiring moving parts.

How does it Work?

The design of the Vortex Valve produces a unique head/discharge relationship. The device self-actuates by utilizing the upstream hydraulic head. The unit consists of an intake, a volute and an outlet. Flow is directed tangentially into the volute to form a vortex that reduces the design peak discharge flow rate from the Vortex Valve far below an equivalent diameter simple orifice.

During low flow conditions, water entering through the inlet of the Vortex Valve passes through the volute section of the valve with negligible pressure drop.

During high flow conditions, a vortex flow pattern develops within the device creating an air filled core. This phenomenon restricts and throttles the flow through the device, creating a back pressure in the device immediately upstream of its discharge.

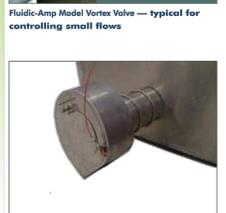
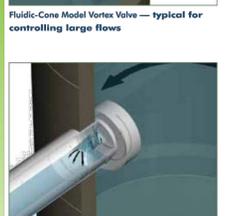
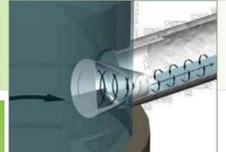
During high flow rates, a Vortex Valve with a relatively large outlet opening performs similarly to a conventional orifice with a much smaller outlet opening; however, debris that might clog a smaller orifice is able to pass through the Vortex Valve because of the relatively larger flow path opening.

Applications

The Vortex Valve flow control can be used wherever there is a need to limit the rate of flow of surface stormwater within a drainage system implementing Sustainable Urban Drainage System (SUDS). Source Control Schemes and design tenets. Typical applications include:

- Traditional detention/storage systems
- Media filtration systems
- Excess flows from soakaways/infiltration systems
- Wetlands, Ponds and Swales
- Coalescing plate oil water separators

- ### Benefits
- Precise flow control
 - No moving parts or power requirements
 - Self activating
 - Large flow path open area
 - Clog resistant, reduces risk of blockage compared to orifice
 - Hydraulically tested
 - Integral bypass door allowing access for jetting or cleaning
 - Corrosion resistant stainless steel construction



Flow Control for Surface Stormwater Drainage and Storage Systems

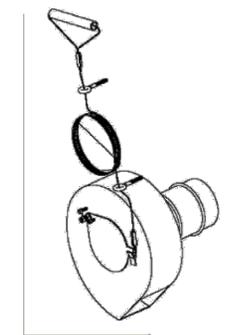


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VORTEX VALVES

Pivoting Bypass Door

The Vortex Valve flow control can be fitted with an integral pivoting bypass door mounted on the front face of the unit. If a blockage occurs it is likely to occur on the intake of a flow control. The bypass door is fitted with a stainless steel wire rope that can be pulled from ground level, the door opens exposing a large aperture on the front plate of the unit allowing the system to be drained of water. Once the water level in the housing structure, which is typically a round manhole, subsides, the blockage can be easily accessed and cleared.



Pivoting Bypass Door

Types of Vortex Valves & Design Flow Control Rates

The Fluidic-Amp and Fluidic-Cone Vortex Valves are available to control flow ranges from 0 to 4.23 cfs (0 to 120 L/s) from driving design head ranges of 0 to 10 ft (0 to 3 m) in height/depth. The Fluidic-Amp Valve is best for low design discharge flow rate control applications and the Fluidic-Cone Vortex valve is better suited for controlling higher rate discharges. Several economical sleeve, plate or flange attachment options are available for each of these valves to provide the easiest possible installation for specific site.

Fluidic-Amp Vortex Valve

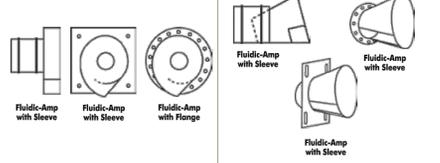
The design of the Fluidic-Amp Vortex Valve is best suited to meet the low flow rate control requirements associated with smaller catchment/drainage areas: peak design discharge rates of 0 to 1.8 cfs (0 to 50 L/s) produced by design heads from 0 to 5.2 ft (0 to 1.6 m) in height/depth.

This valve has a flow path opening larger than the standard equivalent orifice. Typically these valves are configured for horizontal discharges from a manhole structure having a sump/catch pit below the outlet pipe invert.

Fluidic-Cone Vortex Valve

The Fluidic-Cone Vortex Valves are generally used for larger surface stormwater design flow control applications. The Fluidic-Cone Valves are best applied to control design flow rates ranging from 0 to 4.23 cfs (0 to 120 L/s) from driving design heads of 0 to 10 ft (0 to 3 m) in height/depth.

The Fluidic-Cones have similar head/discharge curve characteristics to the Fluidic-Amp Valve.



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The product(s) described may be protected by one or more of the following US patents: 5,322,629; 5,624,576; 5,707,537; 5,759,415; 5,788,848; 5,985,157; 6,027,639; 6,350,374; 6,406,218; 6,441,720; 6,511,595; 6,649,048; 6,991,114; 6,998,038; 7,186,058; 7,294,692; 7,297,266 related foreign patents or other patents pending.



10/25/22

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND ORIGNITION
2	10/24/22	MANANNING REVIEW LETTER DATED 07/20/22 REVISED PER TOWN COMMENTS

Independence
 ENGINEERING LLC
 102 FARNSWORTH AVENUE, SUITE 310
 BORDENTOWN, NJ 08805
 INDEPENDENCE@INDEPENDENCEENGINEERING.COM
 (609) 496-9369

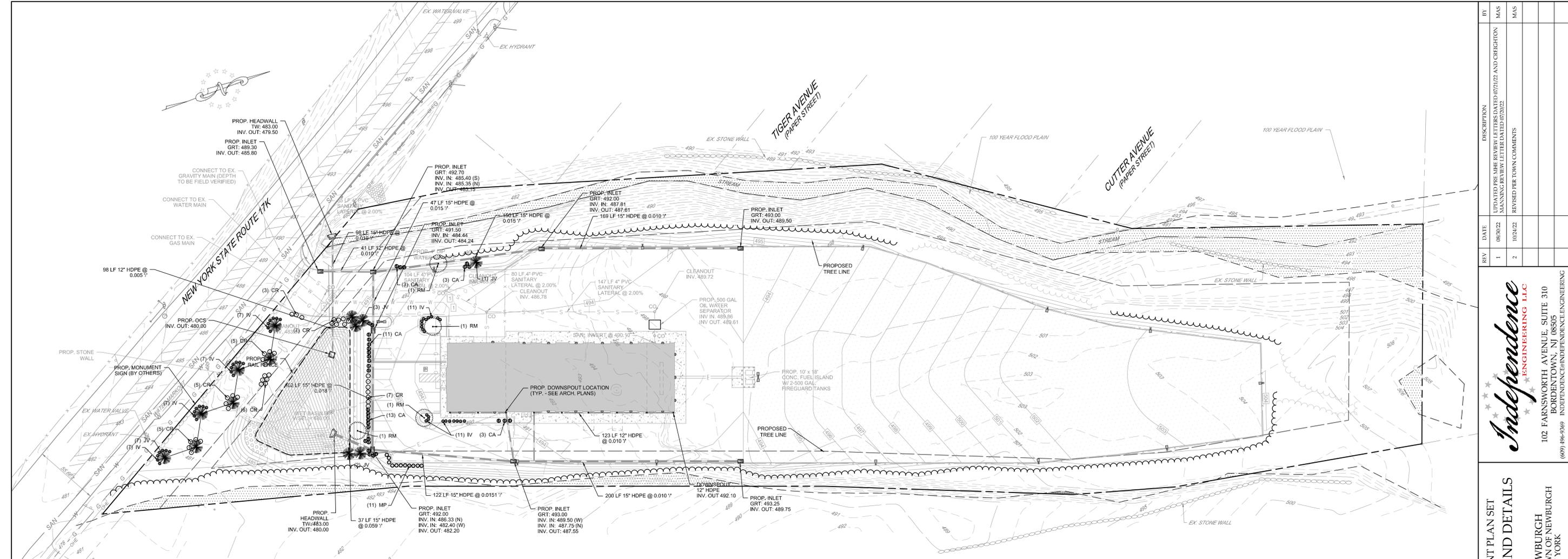
FINAL LAND DEVELOPMENT PLAN SET
 for
STORMWATER MANAGEMENT DETAILS
 SUNBELT RENTALS - NEWBURGH
 224 & 226 NEW YORK ROUTE 176, TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

811
 ID #

PROJECT
 028-004
 DATE
 06/17/2022
 SCALE
 N.T.S.
 DRAWN
 MAS
 DESIGNED
 JWJ
 CHECKED
 NES/JWJ

STATE OF NEW YORK
 SEAL OF SANDER
 87961
 PROFESSIONAL ENGINEER

C820
 SHEET 8 OF 12



LANDSCAPE AND MAINTENANCE NOTES:

- REQUIRED PLANTS SHALL BE NURSERY STOCK. THEY SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE, AND BE SUITABLE FOR TREES USE AND DURABLE UNDER THE MAINTENANCE CONTEMPLATED.
- ALL PLANTS SHALL MEET MINIMUM STANDARDS FOR HEALTH, FORM AND ROOT CONDITIONS AS OUTLINED IN THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE HARDY WITHIN APPROPRIATE USDA HARDINESS ZONE.
- AT THE TIME OF INSTALLATION, THE TRUNK DIAMETER MEASURED AT A HEIGHT OF SIX INCHES ABOVE FINISHED GRADE LEVEL SHALL BE 2 1/2 INCHES.
- REQUIRED LANDSCAPING TREES SHALL BE MAINTAINED PERMANENTLY AND ANY PLANT MATERIAL WHICH DOES NOT SURVIVE SHALL BE REPLACED WITHIN SIX MONTHS.
- ALL PROPOSED CANOPY TREES SHALL BE LIMBED TO A MINIMUM OF 7 FEET.
- LAWN AREA IS TO BE MOWED AT REGULAR INTERVALS DEPENDING ON WEATHER CONDITIONS. IN NO CASE SHALL THE GRASS BE HIGHER THAN 6 INCHES FOR A PERIOD OF TIME LONGER THAN 1 WEEK. WEED CONTROL, PEST CONTROL, AND FERTILIZING, IS TO BE PERFORMED AS NEEDED, AND IF CHEMICAL USAGE IS REQUIRED, IT SHALL BE USED IN ACCORDANCE WITH TOWNSHIP AND STATE REGULATIONS.
- LANDSCAPE/PLANTING AREAS LOCATED AROUND THE BUILDING SHALL BE MAINTAINED AS NEEDED AND AT THE DISCRETION OF THE PROPERTY OWNER. PLANTINGS SHALL BE AS LISTED ON THIS LANDSCAPING PLAN. WEED CONTROL, PEST CONTROL, AND FERTILIZING, IS TO BE PERFORMED AS NEEDED, AND IF CHEMICAL USAGE IS REQUIRED, IT SHALL BE USED IN ACCORDANCE WITH TOWNSHIP AND STATE REGULATIONS.
- NOTIFY ALL UTILITY COMPANIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN FIELD TO AVOID INTERFERENCE WITH UTILITIES.
- TREES SHALL BE LOCATED IN A MANNER WHICH WILL NOT OBSTRUCT ACCESS TO FIRE HYDRANT OR VISIBILITY OF STREET OR TRAFFIC SIGNS. NO TREES OR SHRUBS SHALL BE PLANTED IN A SIGHT TRIANGLE. NO TREES SHALL BE PLANTED IN ANY UTILITY OR MUNICIPAL EASEMENTS.
- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.
- THE EXISTING VEGETATION TO REMAIN IS TO BE PROTECTED BY THE USE OF TREE PROTECTION FENCE AS SHOWN ON THIS LANDSCAPING PLAN. THE TREE PROTECTION IS TO BE INSTALLED PRIOR TO VEGETATION REMOVAL AND SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
- EXISTING VEGETATION ALONG THE PROPERTY LINES TO SERVE AS BUFFER PLANTING.

SEEDING SPECS FOR LAWN AREA:

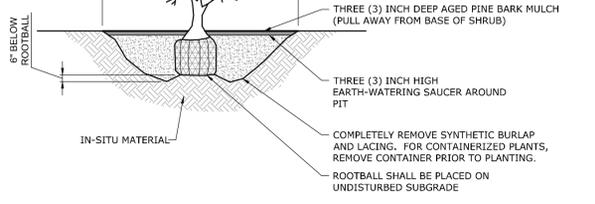
ERNMX-136, THREE-WAY TALL FESCUE MIX BY ERNST SEEDS (OR APPROVED EQUAL *)

34%	FESTUCA ARUNDINACEA, FIRECRACKER SLS	TALL FESCUE
33%	FESTUCA ARUNDINACEA, VALKYRIE LS	TALL FESCUE
33%	FESTUCA ARUNDINACEA, COCHISE III	TALL FESCUE

SEEDING RATE: 7-10 LBS PER 1,000 SQFT

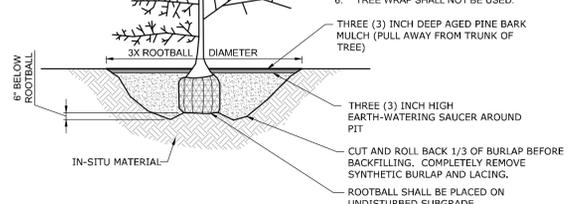
* IF A DIFFERENT SEED MIX IS USED, IT WILL NEED TO CONSIST OF GRASSES NATIVE TO THE PNELANDS. THE FOLLOWING SPECIES ARE NATIVE AND CAN BE USED: FESCUE SPECIES, SMOOTH BROMEGRASS, REED CANARY GRASS, LITTLE BLUESTEM, DEERTONGUE, RED TOP, OR SWITCH GRASS.

- EXCAVATE TO REQUIRED DEPTH AND BACKFILL WITH PLANTING MIX
- SHRUBS SHALL BE PLANTED SO THAT THE CROWN IS TWO (2) INCHES MINIMUM ABOVE FINISHED GRADE AFTER SETTLEMENT
- RAISE AND REPLANT ANY SHRUBS THAT SETTLE MORE THAN TWO (2) INCHES AFTER PLANTING & WATERING
- WATER BY FLOODING TWICE IN THE FIRST TWO HOURS AFTER PLANTING. WATER AND MAINTAIN PER STANDARD SPECIFICATIONS.
- LOOSE OR CRACKED ROOTBALLS SHALL NOT BE ACCEPTED FOR PLANTING.



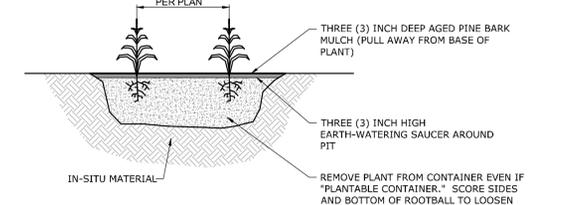
SHRUB PLANTING DETAIL
N.T.S.

- TREE SHALL BE PLANTED SO THAT THE CROWN IS THREE (3) INCHES MINIMUM ABOVE FINISHED GRADE AFTER SETTLEMENT
- WATER BY FLOODING TWICE IN THE FIRST TWENTY-FOUR (24) HOURS AFTER PLANTING. WATER AND MAINTAIN PER STANDARD SPECIFICATIONS.
- LOOSE OR CRACKED ROOTBALLS SHALL NOT BE ACCEPTED FOR PLANTING.
- TREE SHALL BE SET PLUMB.
- DO NOT CUT LEADER.
- TREE WRAP SHALL NOT BE USED.



EVERGREEN/DECIDUOUS PLANTING DETAIL
N.T.S.

- EXCAVATE TO REQUIRED PLANTING DEPTH AND BACKFILL WITH PLANTING MIX
- PERENNIAL SHALL BE PLANTED SO THAT THE CROWN IS TWO (2) INCHES MINIMUM ABOVE FINISHED GRADE AFTER SETTLEMENT
- WATER BY FLOODING TWICE IN THE FIRST TWO (2) HOURS AFTER PLANTING. WATER AND MAINTAIN PER STANDARD SPECIFICATIONS.



PERENNIAL PLANTING DETAIL
N.T.S.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING FLOODPLAIN
	DISSOLVED PROPERTY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	EXISTING RCP PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING SOILS LINE
	EXISTING WETLANDS FLAG
	EXISTING SOILS LABEL
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING STORM MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SPOT ELEVATION
	PROPOSED OUTFALL CONTROL STRUCTURE
	PROPOSED HEADWALL
	PROPOSED STORM INLET
	PROPOSED UTILITY POLE
	PROPOSED TREE LINE
	PROPOSED FENCE
	PROPOSED STONE WALL
	PROPOSED SANITARY CLEANOUT
	PROPOSED SANITARY LATERAL
	PROPOSED WATER SERVICE
	PROPOSED ELECTRIC SERVICE
	PROPOSED GAS LATERAL
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	PROPOSED STORM PIPE

BY	DESCRIPTION
MAS	UPDATED PRELIM REVIEW LETTER DATED 07/21/22 AND CRIGHTON
MAS	MANAGING REVIEW LETTER DATED 07/20/22
MAS	REVISED PER TOWN COMMENTS
DATE	08/20/22
REV	1
	2

Independence
ENGINEERING LLC

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BORDENTOWN, NJ 08805
(609) 696-9369
INDEPENDENCE@INDEPENDENCEENGINEERING.COM

FINAL LAND DEVELOPMENT PLAN SET
for
LANDSCAPING PLAN AND DETAILS

SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

811

ID #

40 20 0
GRAPHIC SCALE: 1" = 40'

PROJECT
028-004

DATE
06/17/2022

SCALE
1" = 40'

DESIGNED
JWJ

CHECKED
NES/JWJ

STATE OF NEW YORK
JULIE E. SANDER
PROFESSIONAL ENGINEER

87961

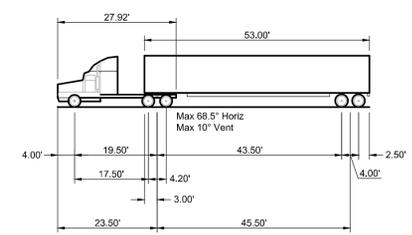
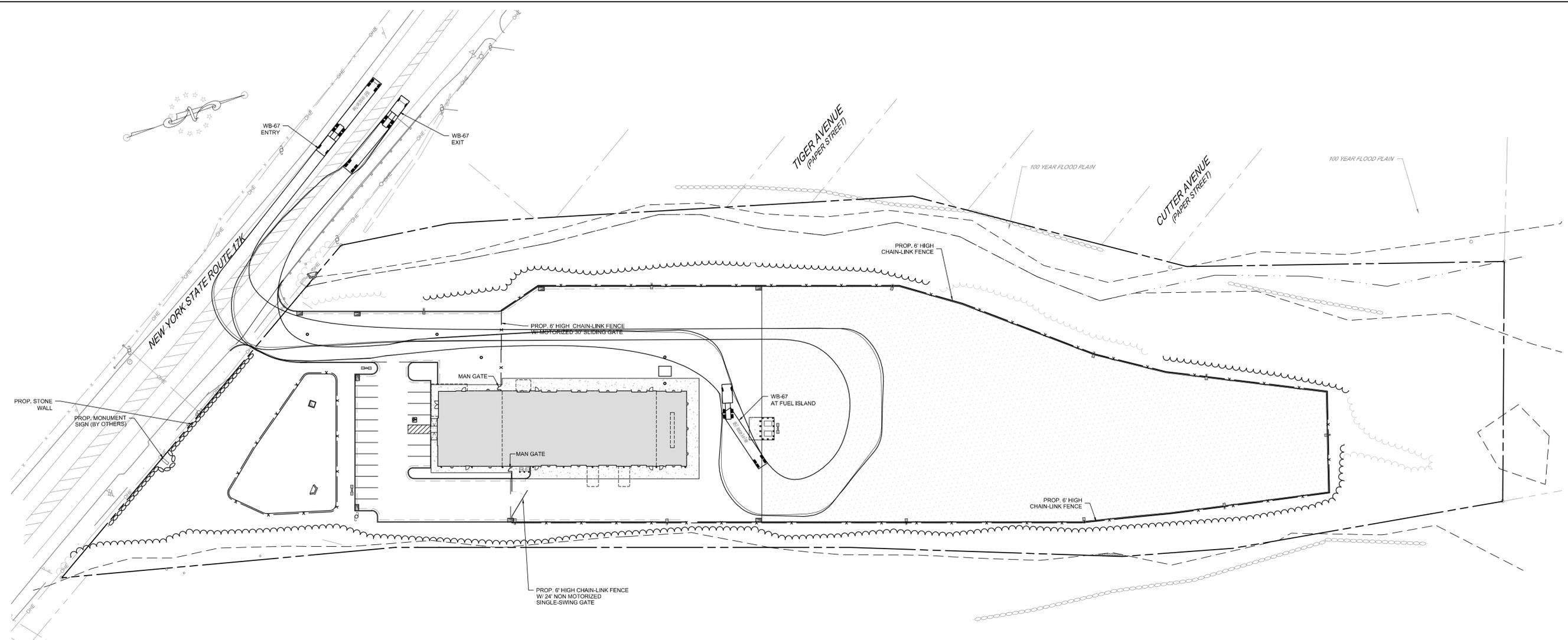
10/25/22

C900

SHEET 9 OF 12

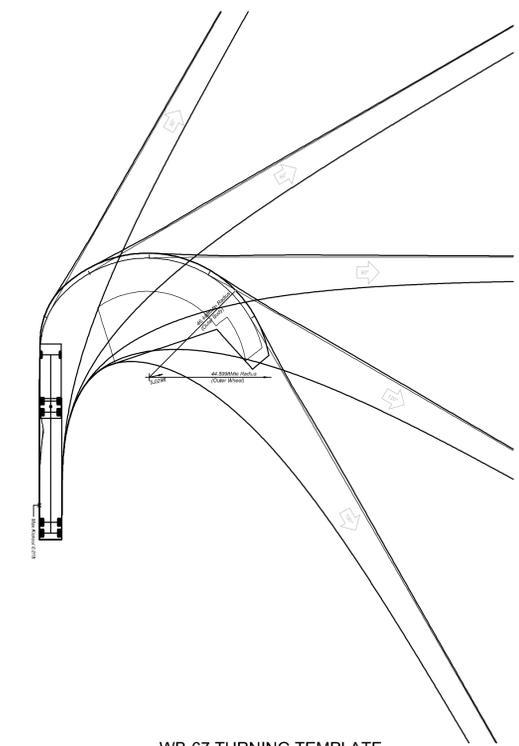
A:\0209 ALINDEN\INDIVIDUAL SUN BELT NEWBURGH\PROJECT ENGINEERING\DRAWINGS\020904-SUNBELT-ORDNAN HILL-2022-10-25

R:\028 ALI\DESIGN\004 SUN BELT NEWBURGH NY\PROJECT ENGINEERING\DRAWINGS\028\04-5-TURN-JORDAN HILL-2022-10-25



WB-67 - Interstate Semi-Trailer
 Overall Length 73.500FT
 Overall Width 8.500FT Overall
 Body Height 12.052FT Min
 Body Ground Clearance 1.334FT
 Max Track Width 8.500R
 Lock-to-lock time 8.00S Max
 Steering Angle (Virtual) 28.40°

WB-67 PROFILE
N.T.S.



WB-67 TURNING TEMPLATE
N.T.S.

REV	DATE	DESCRIPTION
1	08/30/22	UPDATED PRELIM REVIEW LETTERS DATED 07/21/22 AND CRIGHTON MANNING REVIEW LETTER DATED 07/20/22
2	10/24/22	REVISED PER TOWN COMMENTS

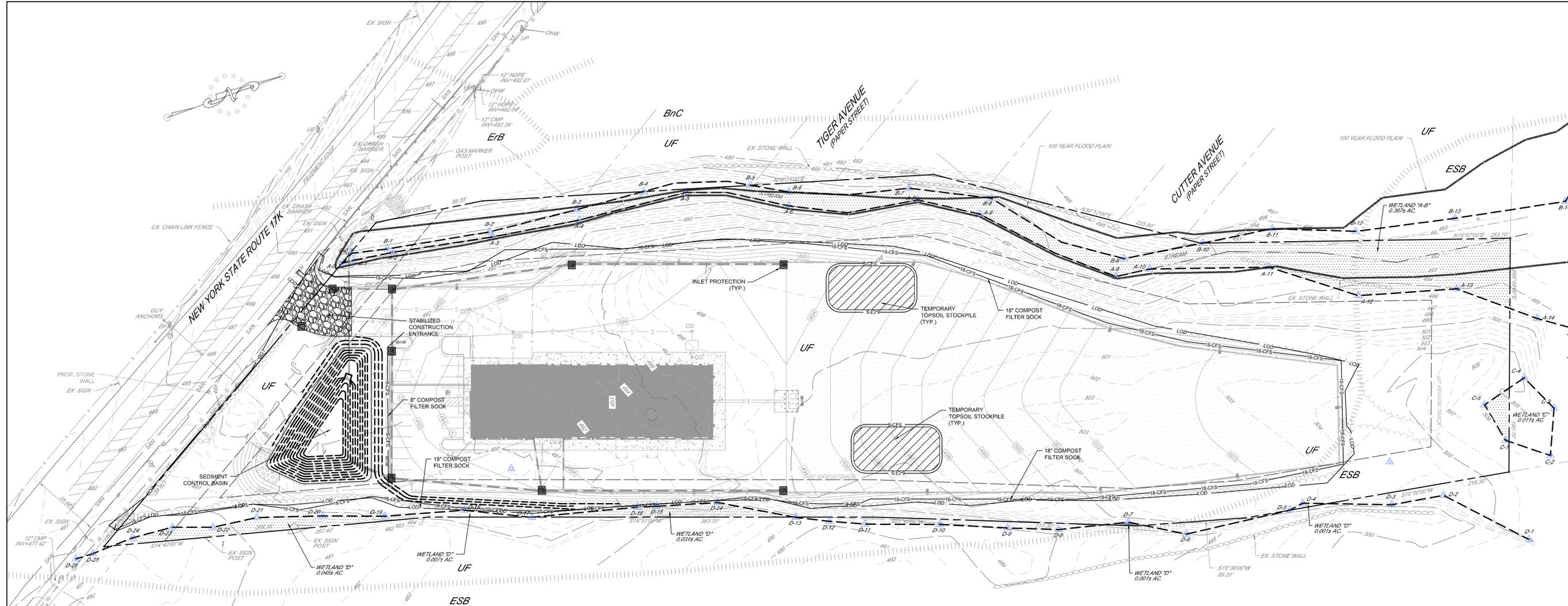
Independence
ENGINEERING LLC
 102 FARNSWORTH AVENUE, SUITE 310
 BORDENTOWN, NJ 08805
 (609) 696-9369 INDEPENDENCEENGINEERING

FINAL LAND DEVELOPMENT PLAN SET
VEHICLE TURNING PLAN-WB 67
 for
 SUNBELT RENTALS - NEWBURGH
 224 & 226 NEW YORK ROUTE 17K TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

811
 ID #
 0 20 40
 GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DRAWN	MAS
DESIGNED	JWJ
CHECKED	NES/JWJ

STATE OF NEW YORK
 N. E. SANDER
 87961
 PROFESSIONAL ENGINEER
 10/25/22



REV	DATE	DESCRIPTION
1	08/05/22	UPDATED PRELIMINARY REVIEW LETTER DATED 07/21/22 AND ORIGNITION
2	10/24/22	MAINTAINING REVIEW LETTER DATED 07/20/22

Independence
ENGINEERING LLC

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FINAL LAND DEVELOPMENT PLAN SET
SOIL EROSION & SEDIMENT CONTROL PLAN
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

EROSION/SEDIMENT CONTROL PLAN NOTES:

- ALL EROSION AND SEDIMENT DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, NOVEMBER 2016 OR LATEST EDITION.
- THE OPERATOR/RESPONSIBLE PERSON (ORP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE ORP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THE ORP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED AND APPROVED BY THE CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOILS AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.
- ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER AN UNDISTURBED AREA.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE ORP SHALL INVITE ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE ORP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY, DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.
- DISTURBED AREAS THAT ARE AT A FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RECONNECTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEPS SOLID WASTE REGULATIONS (26 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.) AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

SOIL TYPES AND LIMITATIONS

THE SOILS INFORMATION FOR THE PROJECT IS FOUND ON THE 'NATURAL RESOURCES CONSERVATION SERVICE' ON THE 'WEB SOIL SURVEY, [HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/](http://websoilsurvey.nrcs.usda.gov/), THE SOIL SURVEY AREA IS ORANGE COUNTY, NY AND THE SURVEY AREA DATA IS VERSION 22, AUGUST 19, 2021.

THE FOLLOWING SOIL TYPES ARE FOUND ON THE SITE:

SOIL TYPE	SYMBOL
UDIFULVENS - FLUVAQUENTS COMPLEX (85%), FREQUENTLY FLOODED	UF
ERIE EXTREMELY STONY SOILS (5%), GENTLY SLOPING	ESB

CONSTRUCTION SEQUENCE:

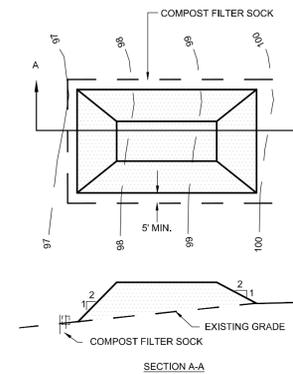
- PRIOR TO START OF CONSTRUCTION A SITE MEETING WITH THE TOWN'S ENGINEER AND CONTRACTOR SHALL BE SCHEDULED TO REVIEW PLANS AND ADDRESS ANY COMMENTS PRIOR TO CONSTRUCTION.
- INSTALL THE CONSTRUCTION ENTRANCE WHERE SHOWN ON THE PLAN.
- INSTALL THE COMPOST FILTER SOCKS WHERE INDICATED ON THE PLAN.
- REMOVE AND CLEAR ANY AND ALL STRUCTURES AND UTILITIES PER THE DEMOLITION PLAN AND IN ACCORDANCE WITH THE DEMOLITION NOTES ON THAT DEMOLITION PLAN.
- CLEAR THE AREAS DESIGNATED FOR THE NEW PROPOSED BUILDING.
- GRADE THE AREA DESIGNATED FOR, AND START THE CONSTRUCTION OF, THE NEW PROPOSED BUILDING. INSTALL THE NEW PAVEMENT IN FRONT AND ON THE SIDE OF THE BUILDING, INCLUDING THE ADA PARKING STALLS.
- INSTALL SANITARY LATERAL, INCLUDING OIL AND WATER TRAP, AND WATER LATERAL CONNECTION.
- PLACE ANY TOPSOIL FROM THE BUILDING SITE IN THE LOCATION SHOWN ON THE PLAN. TEMPORARILY SEED AND STRAW-MULCH THE STOCKPILE AS REQUIRED.
- AFTER MAIN BUILDING CONSTRUCTION HAS COMMENCED, CLEAN THE ENTIRE REMAINING NEW AND EXISTING PAVED AREA. REMOVE ANY PADS, CONCRETE CURBS, ETC. THAT ARE NOT REQUIRED.
- INSPECT, MAINTAIN, AND REPAIR EROSION CONTROLS AROUND THE SITE ON A WEEKLY BASIS AND AFTER MEASURABLE (MIN. 0.25") RAINFALL UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- AFTER BUILDING CONSTRUCTION, PAVEMENT AND PARKING CONSTRUCTION, AND GENERAL AREA CONSTRUCTION HAS ENDED, DEMOLITION AND CONSTRUCTION OF THE NEW CONCRETE ENTRANCE CAN START.
- CRITICAL STAGE: "ONCE ALL TRIBUTARY AREAS HAVE BEEN STABILIZED AND AUTHORIZATION FROM THE BUCKS COUNTY CONSERVATION DISTRICT AND BRISTOL TOWNSHIP HAS BEEN RECEIVED, EROSION CONTROLS CAN BE REMOVED. DISPOSE OF/RECYCLE ANY SILT FENCE, CONSTRUCTION WASTES, AND/OR OTHER BMPs. PERMANENTLY STABILIZE AREAS DISTURBED BY REMOVAL OF THE BMPs. REMOVE ANY SEDIMENT OUT OF THE BASINS WITHOUT COMPACTING THE BOTTOMS (MANUALLY) AND REPLACE TOPSOIL WHERE NEEDED.
- CLEAN ANY AREAS AFTER CONSTRUCTION OF ANY DEBRIS.

SOIL LIMITATION

- CUTBANKS CAVE
- CORROSIVE TO CONCRETE/STEEL
- DROUGHTY
- EASILY ERODIBLE
- DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE
- HYDRIC / HYDRIC INCLUSION
- LOW STRENGTH / LANDSLIDE PRONE
- SLOW PERCOLATION
- POOR SOURCE OF TOPSOIL
- FROST ACTION
- SHRINK-SWELL
- WETNESS

RESOLUTION

- THE CONTRACTOR SHALL TAKE EXTRA CARE WHILE CONSTRUCTING CUTBANKS. ADDITIONAL EROSION CONTROL MEASURE, SUCH AS TRENCH BOXES, SHALL BE USED AS NEEDED.
- THE CONTRACTOR SHALL REMAIN COGNIZANT OF THE CORROSION POTENTIAL OF THESE SOILS AND CONSIDER WHAT MATERIALS SHOULD BE USED FOR BACKFILL.
- SOILS SHALL BE AMENDED WITH COMPOST AS NEEDED TO INCREASE THE SOIL'S WATER HOLDING CAPACITY. IF THE DRY SOIL CREATES A DUST NUISANCE DURING CONSTRUCTION, THEN A WATER TRUCK SHALL BE AVAILABLE ON-SITE AS A MEANS OF CONTROL.
- EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED ON THE APPROVED PLAN. USE ADDITIONAL EAS MEASURES IF SITE CONDITIONS REQUIRE THEM.
- DEWATERING EQUIPMENT SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL AVOID DISTURBANCE TO HYDRIC SOIL AS MUCH AS POSSIBLE.
- THE CONTRACTOR SHALL PROPERLY STABILIZE ALL SLOPES TO PREVENT LANDSLIDES. EROSION CONTROL BLANKET AND OTHER EAS MEASURES SHALL BE USED AS NEEDED.
- DEWATERING EQUIPMENT SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THAT ANY SOILS USED FOR TOPSOIL ARE APPROPRIATE FOR SUCH USE.
- THE CONTRACTOR SHALL TAKE EXTRA CARE WHILE PERFORMING GRADING OPERATIONS IN THESE SOILS DURING THE WINTER MONTHS AND UTILIZE ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES AS NEEDED.
- THE CONTRACTOR SHALL ENSURE THAT ALL SOILS ARE PROPERLY COMPACTED. IF UNANTICIPATED SHRINK-SWELL RESULTS IN A EARTHWORK MISBALANCE, THE CONTRACTOR SHALL VERIFY THAT ANY SOIL IMPORTED TO OR EXPORTED FROM THE SITE IS CLEAN FILL.
- DEWATERING EQUIPMENT SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION.



- NOTES:
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - HEIGHT SHALL NOT EXCEED 35 FEET. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS TO MINIMIZE EROSION.
 - COMPOST FILTER SOCK SHALL BE INSTALLED AS DETAILED HEREON.
 - LOCATION OF PROPOSED STOCKPILE WHICH AFFECT EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUALLY STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 - SEE SEQUENCE OF CONSTRUCTION NOTES ON SHEET 67.

"MAINTENANCE AND INSPECTION"
7. INSPECT STOCKPILES REGULARLY, ESPECIALLY AFTER LARGE STORMS. STABILIZE ANY AREAS THAT HAVE ERODED.

STOCKPILE DETAIL
N.T.S.

LEGEND

	EXISTING FLOODPLAIN
	DISSOLVED PROPERTY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING SETBACK
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONTOUR - MAJOR
	EXISTING RCP PIPE
	EXISTING OVERHEAD WIRES
	EXISTING ELECTRIC
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING WATER
	EXISTING WETLANDS
	EXISTING SOILS LINE
	EXISTING WETLANDS FLAG
	EXISTING SOILS LABEL
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING SEWER MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SPOT ELEVATION
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED HEADWALL
	PROPOSED STORM INLET
	PROPOSED UTILITY POLE
	PROPOSED SANITARY CLEANOUT
	PROPOSED TREE LINE
	PROPOSED FENCE
	PROPOSED STONE WALL
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	PROPOSED STORM PIPE
	8" COMPOST FILTER SOCK
	18" COMPOST FILTER SOCK
	TEMPORARY GRADING
	PROPOSED INLET PROTECTION

ID #

GRAPHIC SCALE: 1" = 40'

PROJECT	028-004
DATE	06/17/2022
SCALE	1" = 40'
DESIGNED	JWJ
CHECKED	NES/JWJ

STATE OF NEW YORK
SEAL OF THE STATE ENGINEER
N. J. SANDER
PROFESSIONAL ENGINEER
87961
10/25/22

C2000

SHEET	OF
11	12

A:\2022\ALINDEN\INDIANA SUN BELT NEWBURGH NY\PROJECT ENGINEERING\DRAWINGS\2022\04-SE-ENS-LORDAN HILL\2022-10-25

Figure 2.1
Stabilized Construction Access

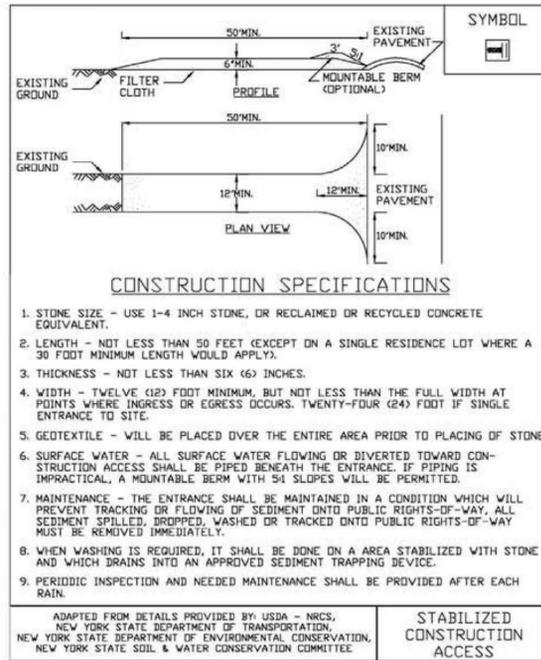


Figure 3.1
Stone Check Dam Detail

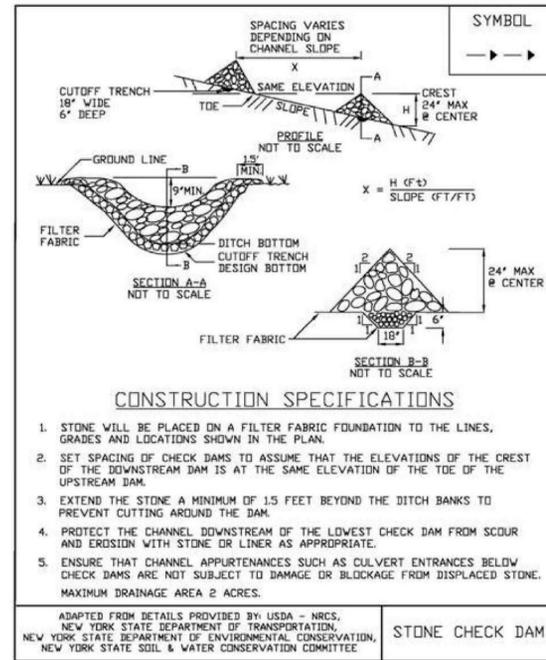


Figure 3.18
Riprap Outlet Protection Detail (1)

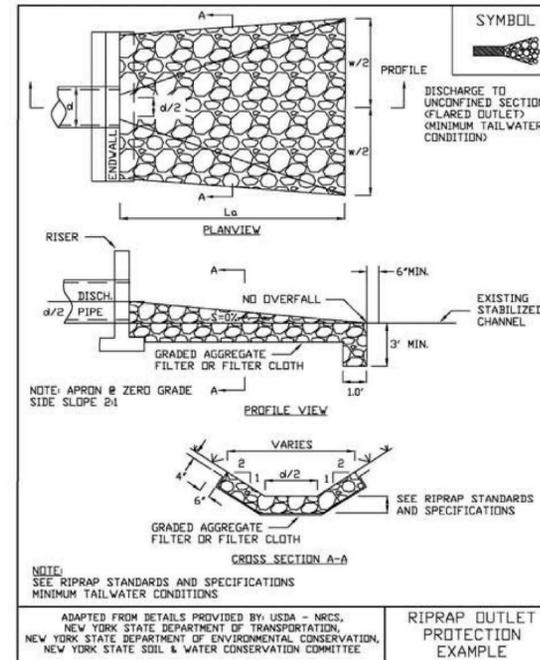


Figure 4.1
Angles of Repose of Riprap Stones (FHWA)

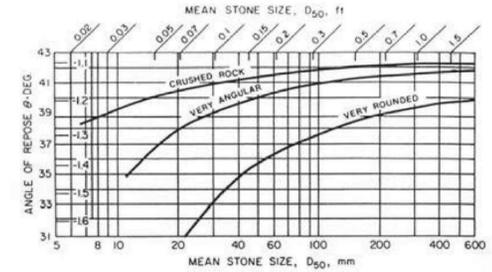


Figure 4.2
Typical Riprap Slope Protection Detail

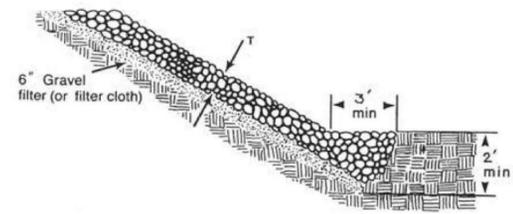


Figure 4.11
Landgrading - Construction Specifications

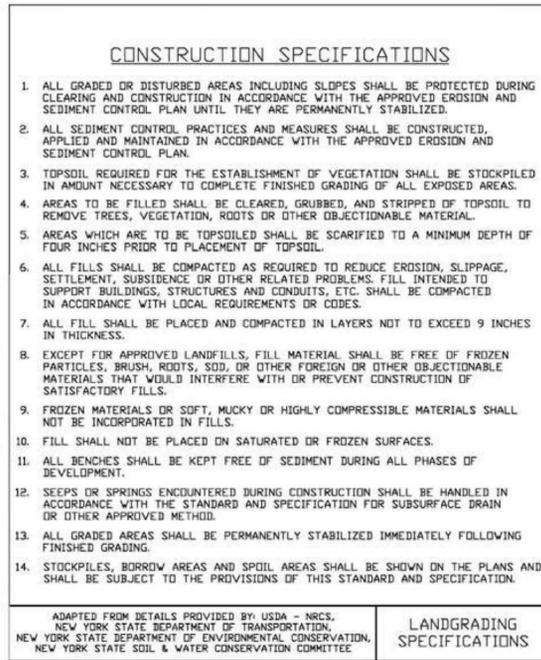


Figure 5.2
Compost Filter Sock

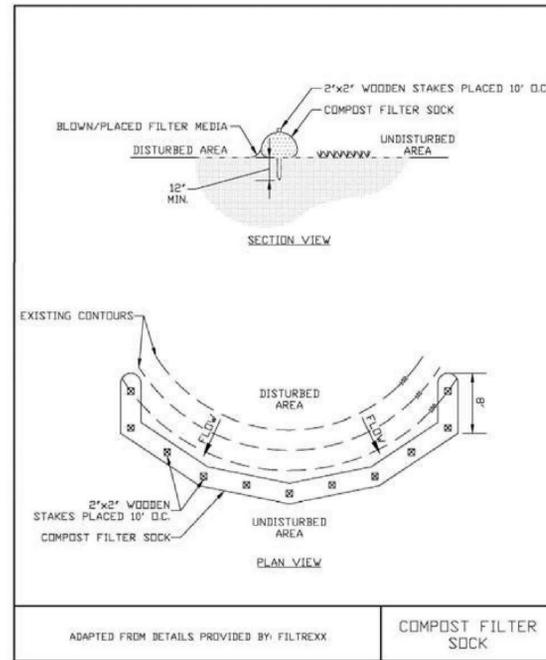


Figure 5.33
Stone & Block Drop Inlet Protection

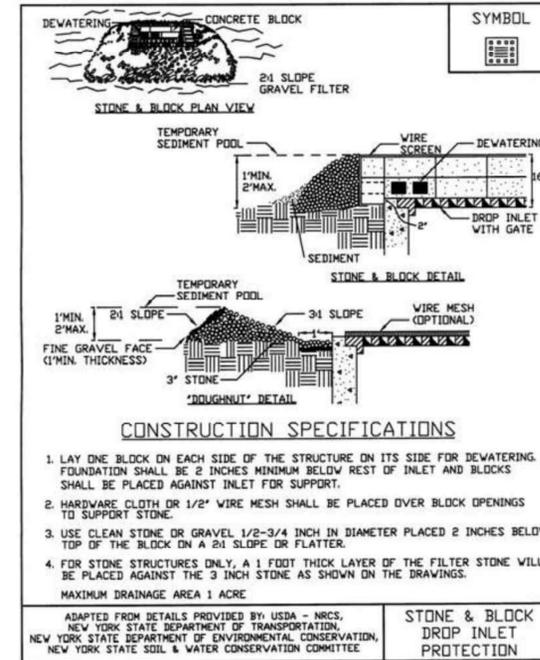
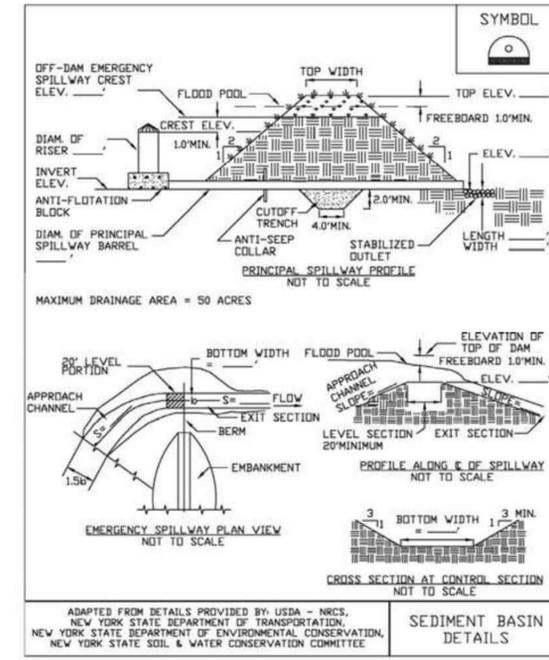


Figure 5.9
Sediment Basin



BY: MAS
DATE: 08/30/22
REV: 1
DESCRIPTION: UPDATED PRELIMINARY REVIEW LETTER DATED 07/21/22 AND ORRINGTON MANNING REVIEW LETTER DATED 07/20/22
REVISED PER TOWN COMMENTS

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FINAL LAND DEVELOPMENT PLAN SET
E&S DETAILS
for
SUNBELT RENTALS - NEWBURGH
224 & 226 NEW YORK ROUTE 17K, TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

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ID #
PROJECT: 028-004
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STATE OF NEW YORK
JULIE E. SANDER
78961
PROFESSIONAL ENGINEER
10/25/22

C2100
SHEET 12 OF 12