




**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**


PROJECT NAME: MKJC REALTY, LLC
PROJECT NO.: 2025-17
PROJECT LOCATION: SECTION 35, BLOCK 3, LOT 3.22/ NYS ROUTE 32
REVIEW DATE: 9 JULY 2025
MEETING DATE: 17 JULY 2025
PROJECT REPRESENTATIVE: LANC & TULLY ENGINEERS- JOHN QUEENAN, PE

1. This office circulated the project to Orange County Planning. Project received a local determination with an advisory comment regarding coordination with New York State Department of Transportation.
2. Watermain details should be revised to provide restrained joint pipe. Restrained joint pipe chart should be added to the plans. Town of Newburgh's standard water and sewer notes, copies attached should be added to the plans.
3. Septic system plans should contain a note requiring submission of as-built Engineers' Certification prior to the issuance of a CO.

Respectfully submitted,

MHE Engineering, D.P.C.


Patrick J. Hines
Principal
PJH/kmm


Michael W. Weeks, P.E.
Principal

NEW YORK OFFICE

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PENNSYLVANIA OFFICE

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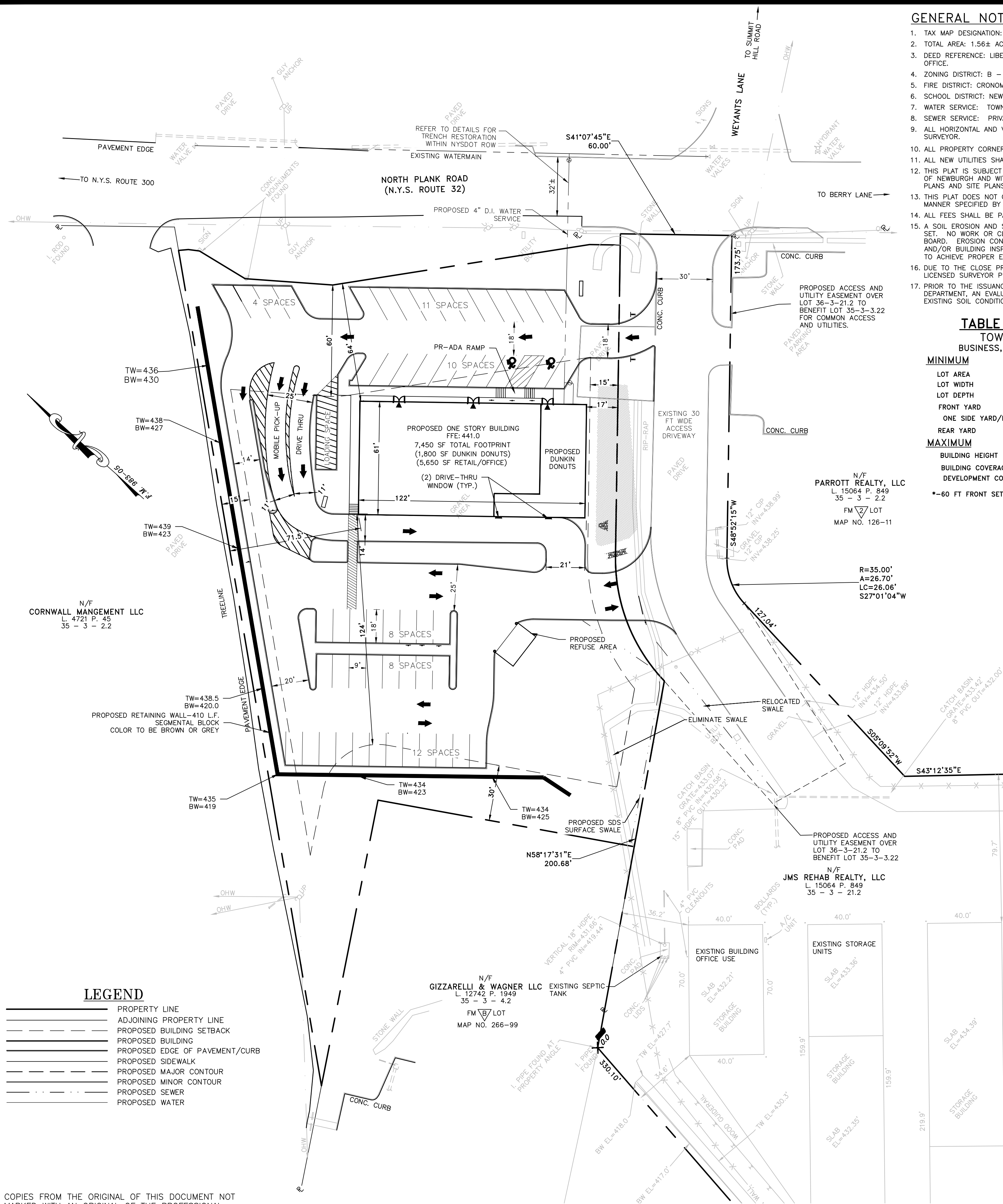
TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

1. "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh."
2. All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI\AWWA C151\A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
3. Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
4. All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI\AWWA C110\A21.10 for Ductile and Gray Iron Fittings or ANSI\AWWA C153\A21.53 for Ductile Iron Compact Fittings, latest revision.
5. All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
6. Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

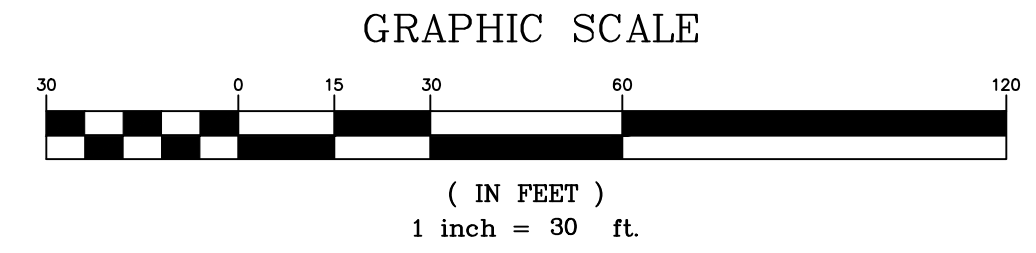
7. All hydrants shall be Clow-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5 ¼ inch main valve opening, two 2 ½ inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 ½ inch pentagon operating nut. All hydrants shall open left (counter-clockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.
8. All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for ¾ and 1 inch, Mueller H-15000N or B-25000N for 1 ½ and 2 inch sizes. Curb valves shall be Mueller H-1502-2N for ¾ and 1 inch and Mueller B-25204N for 1 ½ and 2 inch sizes. Curb boxes shall be Mueller H-10314N for ¾ and 1 inch and Mueller H-10310N for 1 ½ and 2 inch sizes.
9. All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
10. The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
11. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

Original 12-06-96
Revised 04-24-02
Revised 01-2015



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
2. TOTAL AREA: 1.56± ACRES
3. DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: B - BUSINESS
5. FIRE DISTRICT: CRONOMER VALLEY FD
6. SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
7. WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITH NYS ROUTE 32.
8. SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. ALL PROPERTY CORNERS SHALL BE MARKED WITH 3" IRON RODS.
11. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
13. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
14. ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
15. A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
16. DUE TO THE CLOSE PROXIMITY OF THE PROPOSED BUILDING TO THE ZONING SETBACKS, STAKEOUT BY A LICENSED SURVEYOR PRIOR TO ISSUANCE OF A BUILDING PERMIT IS REQUIRED.
17. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL PROVIDE THE BUILDING DEPARTMENT, AN EVALUATION COMPLETED BY A LICENSED PROFESSIONAL OF THE SUITABILITY OF THE EXISTING SOIL CONDITIONS FOR THE PROPOSED BUILDING FOUNDATION.

TABLE OF ZONING REQUIREMENTS
TOWN OF NEWBURGH - B ZONE
BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE

MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	68,355 SF
LOT WIDTH	100 FT.	225 FT.
LOT DEPTH	125 FT.	300 FT.
FRONT YARD	60 FT.*	62.3 FT.
ONE SIDE YARD/BOTH	15/30 FT.	17.0/78.5 FT.
REAR YARD	30 FT.	152 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	10.9%
DEVELOPMENT COVERAGE	80%	74±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS
REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
4,000 SF OFFICE / 200 SF = 20 SPACES REQUIRED

EATING & DRINKING: 1 PARKING SPACE PER 40 SF OF SEATING AREA
750 SF SEATING AREA/ 40 SF = 19 SPACES REQUIRED

RETAIL: 1 PARKING SPACE PER 150 SF
1,650 SF RETAIL / 150 SF = 11 SPACES REQUIRED

TOTAL = 50 PARKING SPACES REQUIRED MAX CONDITION
TOTAL = 53 PARKING SPACES PROVIDED INCLUDING 2 HANDICAP SPACES

1 LOADING SPACE HAS BEEN PROVIDED FOR 7,450 SF BUILDING
3 ADDITIONAL SPACES HAVE BEEN PROVIDED AS PER SECTION 185-42(A)(3)

TOWN OF NEWBURGH WATER SYSTEM NOTES

1. CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
2. ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
3. THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
4. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
5. ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
6. TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
7. ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
8. ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-25204N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
9. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
10. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
11. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

SITE PLAN SHEET INDEX:

1. AMENDED SITE PLAN
2. EXISTING CONDITIONS
3. TREE LOCATION AND REMOVAL PLAN
4. GRADING AND UTILITY PLAN
5. SEWAGE DISPOSAL SYSTEM DESIGN AND DETAILS
6. EROSION AND SEDIMENT CONTROL PLAN
7. EROSION AND SEDIMENT CONTROL DETAILS
8. LANDSCAPING PLAN AND DETAILS
9. LIGHTING PLAN AND DETAILS
10. CONSTRUCTION DETAILS 1
11. CONSTRUCTION DETAILS 2
12. CONSTRUCTION DETAILS 3

RECORD OWNER/APPLICANT:

AREA: 1.569± AC.

35 - 3 - 3.22
L. 15137 P. 1318

FILED MAP NO. 938-05

SURVEY NOTES:

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCES:
 - MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, DATED OCTOBER 26, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
 - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 6, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.
 - MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE. 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.
 - MAP ENTITLED "PROPOSED SUBDIVISION LANDS OF ANGELINE NUZZO, BERRY LANE, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 28, 1973 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 1974 AS MAP NO. 3284.
4. CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.



LOCATION PLAN
1 INCH = 2000 FEET

CONSTRUCTION NOTES:

1. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
2. THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. LANC & TULLY HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
4. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
5. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
6. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
7. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

COPYRIGHT 2023, LANC & TULLY, P.C.

TOWN OF NEWBURGH SITE PLAN APPROVAL:		 Engineering and Surveying, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
AMENDED SITE PLAN PREPARED FOR					
MKJC REALTY, LLC					
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK					
Drawn By: NJL	Checked By: JQ	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22	Date: MAY 28, 2025	Revision: JUNE 9, 2025
CADD File: ENG.DWG				Layout: SITE PLAN	
Sheet No.: 1 OF 12				Drawing No.: C3D	
B- 23 - 0107 - 01					

GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
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9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
11. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
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3. REFERENCES:

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MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 6, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.

MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.

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RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250
35 – 3 – 3.22
L. 15137 P. 1318
FILED MAP NO. 938-05

AREA:

1.569± AC.

LEGEND

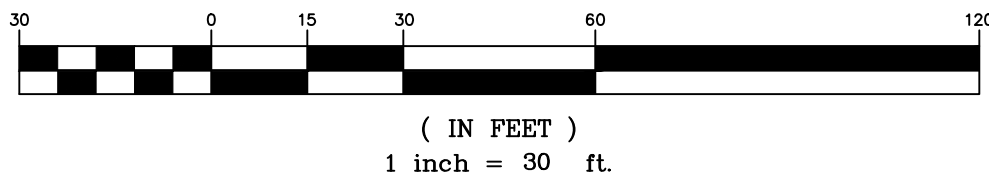
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

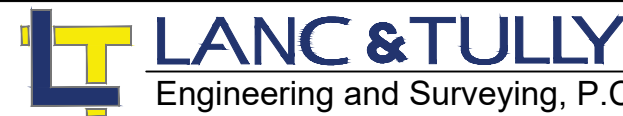
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GRAPHIC SCALE

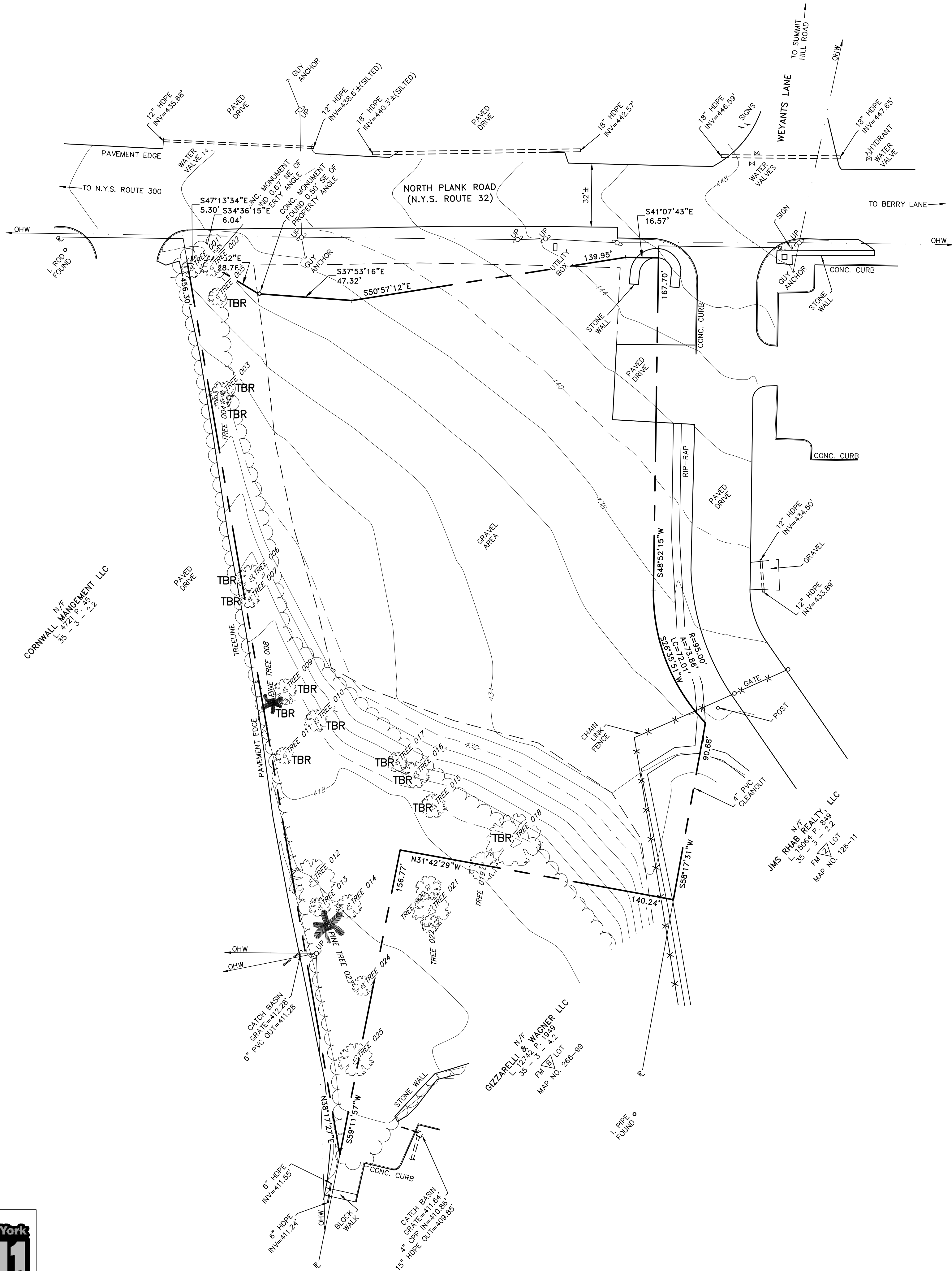


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 Engineering and Surveying, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
EXISTING CONDITIONS FOR	
MKJC REALTY, LLC	
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK	
Drawn By: JQ	Checked By:
Scale: 1" = 30'	Tax Map No.: 35 – 3 – 3.22
Drawing No.: C3D	Sheet No.: 2 OF 12
Date: JUNE 27, 2023	
Revisions: JULY 5, 2023 AUGUST 23, 2023 OCTOBER 18, 2023 NOVEMBER 15, 2023 DECEMBER 11, 2023 JUNE 9, 2025	
C3D File: ENG.DWG Layout: EXISTING	

PROPERTY TREE SUMMARY
AND REMOVAL CHART:

TAG NO.	TREE SPECIES	SIZE (IN)	TO BE REMOVED	CLASSIFICATION
001	ASH	9		
003	TWIN RED MAPLE	10	X	Significant
006	DEAD/DYING	12	X	Dead Tree
009	SWAMP WHITE OAK	10	X	Significant
010	ASPEN	10	X	Significant
012	SWAMP WHITE OAK	20		Significant
013	AMERICAN ELM	9		
014	MAPLE-DEAD	10		Significant
015	DEAD	11	X	Dead Tree
016	BLACK LOCUST	12	X	Significant
018	SWAMP WHITE OAK	24	X	Specimen
019	OAK	13		Significant
020	TWIN ELM	12		Significant
021	SWAMP WHITE OAK	16		Significant
023	CEDAR	12		Significant
024	ASH-DEAD	9		
025	SWAMP WHITE OAK	15		Significant
TOTAL:	17	214	7	

14 TOTAL TREES GREATER THAN 10" DBH
7 TREES TO BE REMOVED - TWO OF WHICH ARE DEAD
TOTAL NUMBER OF INCHES = 187 IN. (DEAD TREES NOT COUNTED)
TOTAL NUMBER OF INCHES TO BE REMOVED = 66 IN. (DEAD TREES NOT COUNTED)
35% TREE REMOVAL



NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC. TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED OCTOBER 25, 2005, LAST REVISED DECEMBER 08, 2005 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DECEMBER 23, 2005 AS MAP NO. 983-05.
 - MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC. TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JUNE 3, 2011, LAST REVISED MAY 6, 2011 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 8, 2011 AS MAP NO. 136-11.
 - MAP ENTITLED "LOT LINE CHANGE PLAN LANDS OF LOUIS GIZZARELLI & GERALD WAGNER & SCH ENTERPRISES, INC., N.Y.S. RTE. 300 & N.Y.S. RTE 32, TOWN OF NEWBURGH, NEW YORK," DATED AUGUST 21, 1999 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 29, 1999.
 - MAP ENTITLED "PROPOSED SUBDIVISION LANDS OF ANGELINE NUZZO, BERRY LANE, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 28, 1973 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 20, 1974 AS MAP NO. 3284.
- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
- THE TREES SHOWN ON THIS PLAN WERE FIELD LOCATED BY LANC & TULLY, P.C. ON AUGUST 7, 2023 AND ALL TREES WERE TAGGED WITH CORRESPONDING NUMBER ON THE CHART.

RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250

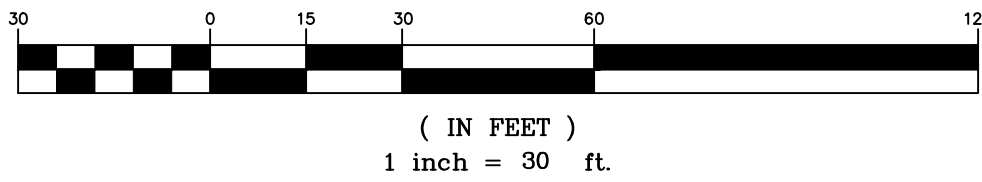
35 - 3 - 3.22
L. 15137 P. 1318

FILED MAP NO. 938-05

AREA:

1.569± AC.

GRAPHIC SCALE



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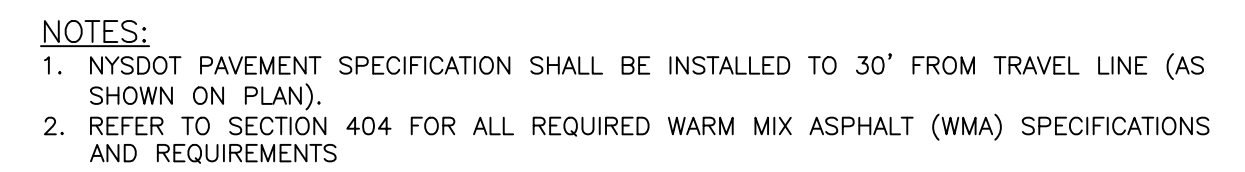
LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
TREE LOCATION AND REMOVAL PLAN PREPARED FOR		Date: AUGUST 23, 2023 Revisions: JULY 5, 2023 AUGUST 23, 2023 OCTOBER 18, 2023 NOVEMBER 15, 2023 DECEMBER 11, 2023 JUNE 9, 2025	
MKJC REALTY, LLC		CAD File: 230107-SVY.DWG Layout: SVY	
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		Sheet No.: 3 OF 12 Drawing No.: C3D B- 23 - 0107 - 01	
Drawn By: EK	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22

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1. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTIONS, THE CONTRACTOR SHALL BE RESPONSIBLE PRIOR TO EXCAVATION TO LOCATE AND TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS NECESSARY TO AVOID COLLISIONS. THE CONTRACTOR SHALL ADVISE THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
2. THIS SET OF PLANS DOES NOT PRECISELY ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY SENSITIVE SPECIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS NO LIABILITY FOR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPES OF CONTAMINATION AFFECTING THE PROPERTY OF THE UNDERSIGNED PROFESSIONAL IS NOT LIMITED TO DETERMINING THE EXISTENCE OF THE SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
4. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PROTECTIVE DETAILS, ETC. SAID REVIEW SHALL BE FOR THE ADVISORY REVIEW IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH LIMITED AVAILABILITY PROBLEMS WHICH MAY OCCUR. THE REVIEW TERM IS ADVISORY REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
5. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, MATERIALS, OR TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY APPLICABLE ACTS, ORDINANCES, RULES, REGULATIONS, AND LANC AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF THE WORK. LANC ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
6. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN CONSENT OF THE UNDERSIGNED PROFESSIONAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL SUCH COSTS AND DAMAGES ASSESSED BY THE UNDERSIGNED PROFESSIONAL SHALL BE IN ADDITION TO ANY DAMAGES INCURRED THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
7. THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



NOT TO SCALE



- PROPERTY LINE
ADJOINING PROPERTY LINE
PROPOSED BUILDING SETBACK
PROPOSED BUILDING
PROPOSED EDGE OF PAVEMENT/CURB
PROPOSED SIDEWALK
PROPOSED MAJOR CONTOUR
PROPOSED MINOR CONTOUR
PROPOSED SEWER
PROPOSED WATER

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GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft

AREA:

 $1.674 \pm \text{AC.}$

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250

35 - 3 - 3.22
L. 15137 P. 1318

FILED MAP NO. 938-05

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Goshen, N.Y. 10924
(845) 294-3700

GRADING AND UTILITY PLAN
PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023

JULY 5, 2023
 AUGUST 23, 2023
 OCTOBER 18, 2023
 NOVEMBER 15, 2023
 DECEMBER 11, 2023
 JUNE 9, 2025

AD File: ENC DWG

Layout:
G & U PLAN

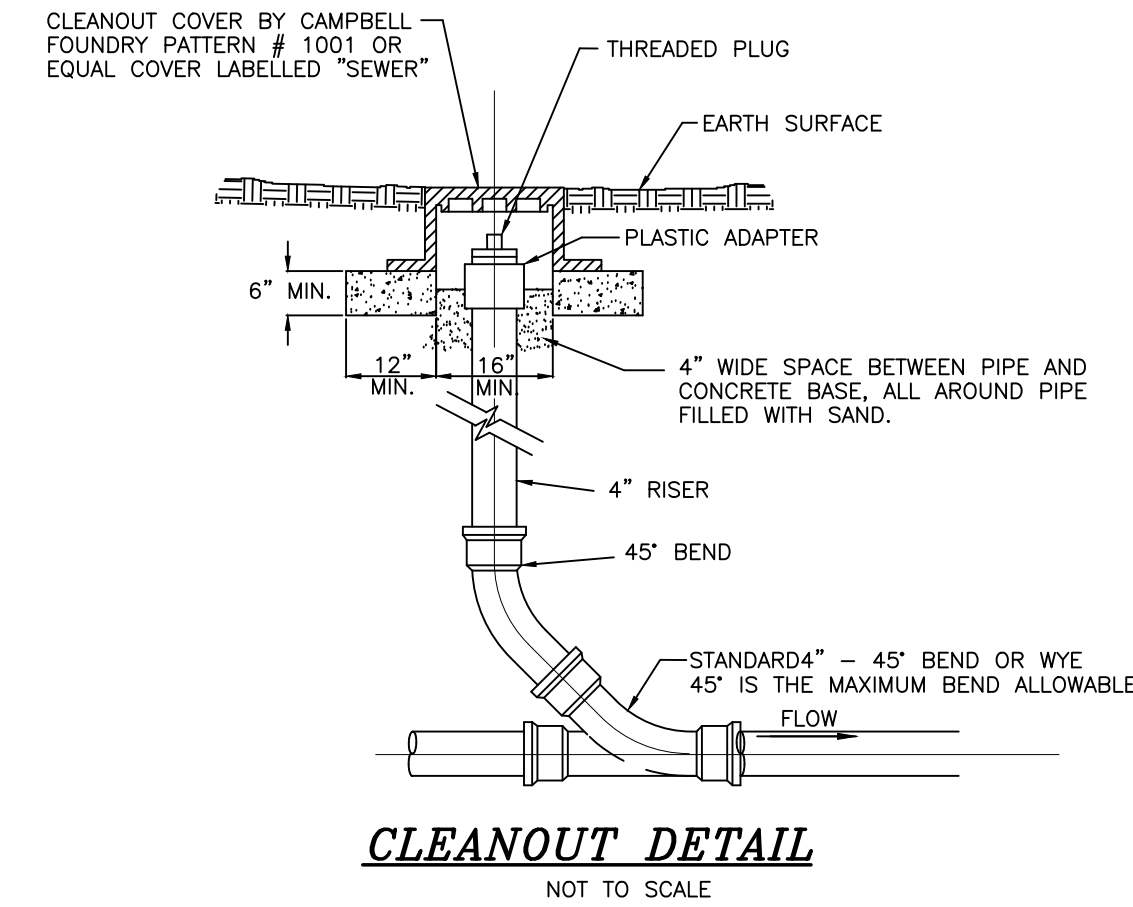
ORANGE COUNTY, NEW YORK				Sheet No.: 4 OF 12
Drawn By: JQ	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22	Drawing No.: C3D B- 23 - 0107 - 01

CORNWALL MANGEMENT LLC
L. 4721 P. 45
35 - 3 - 2.2

- LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - PROPOSED BUILDING SETBACK
 - PROPOSED BUILDING
 - PROPOSED EDGE OF PAVEMENT/CURB
 - PROPOSED SIDEWALK
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED SEWER
 - PROPOSED WATER

DEEP TEST RESULTS
A & B - SITE INSPECTION PERFORMED ON APRIL 9, 2023 BY LANC & TULLY ENGINEERING, P. C.

GROUND LEVEL	A	GROUND LEVEL	B
	GRAVEL 8"		GRAVEL 8"
1'	SILT LOAM/ GRAVEL	1'	SILT LOAM/ GRAVEL
2'		2'	
3'	36"	3'	36"
4'	SILT LOAM WITH STONES	4'	SILT LOAM WITH STONES
5'		5'	
6'	72"	6'	72"
7'		7'	
	NO BR NO MOTTILING NO GW		NO BR NO MOTTILING NO GW

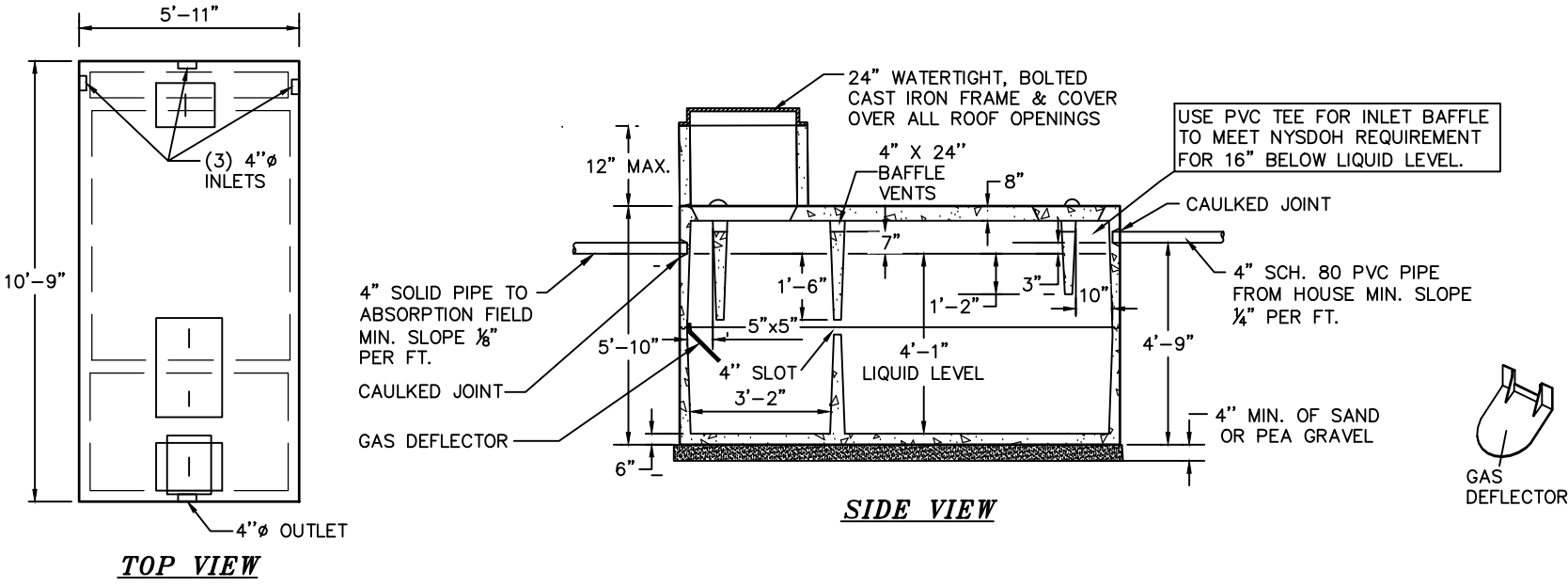


PERCOLATION TEST RESULTS:
PERCOLATION TESTS 'A' & 'B' WERE PERFORMED ON APRIL 9, 2023, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C..

PERC. TEST RATE (MIN.) DEPTH = 24"		DESIGN RATE (MIN.)	QPD (FLOW)	LENGTH OF FIELD (FEET)		TYPE OF SYSTEM	
A	B			REQUIRED	PROPOSED		
18	23		21-30	852 GPD	237	240	ELGIN

SYSTEM DESIGN

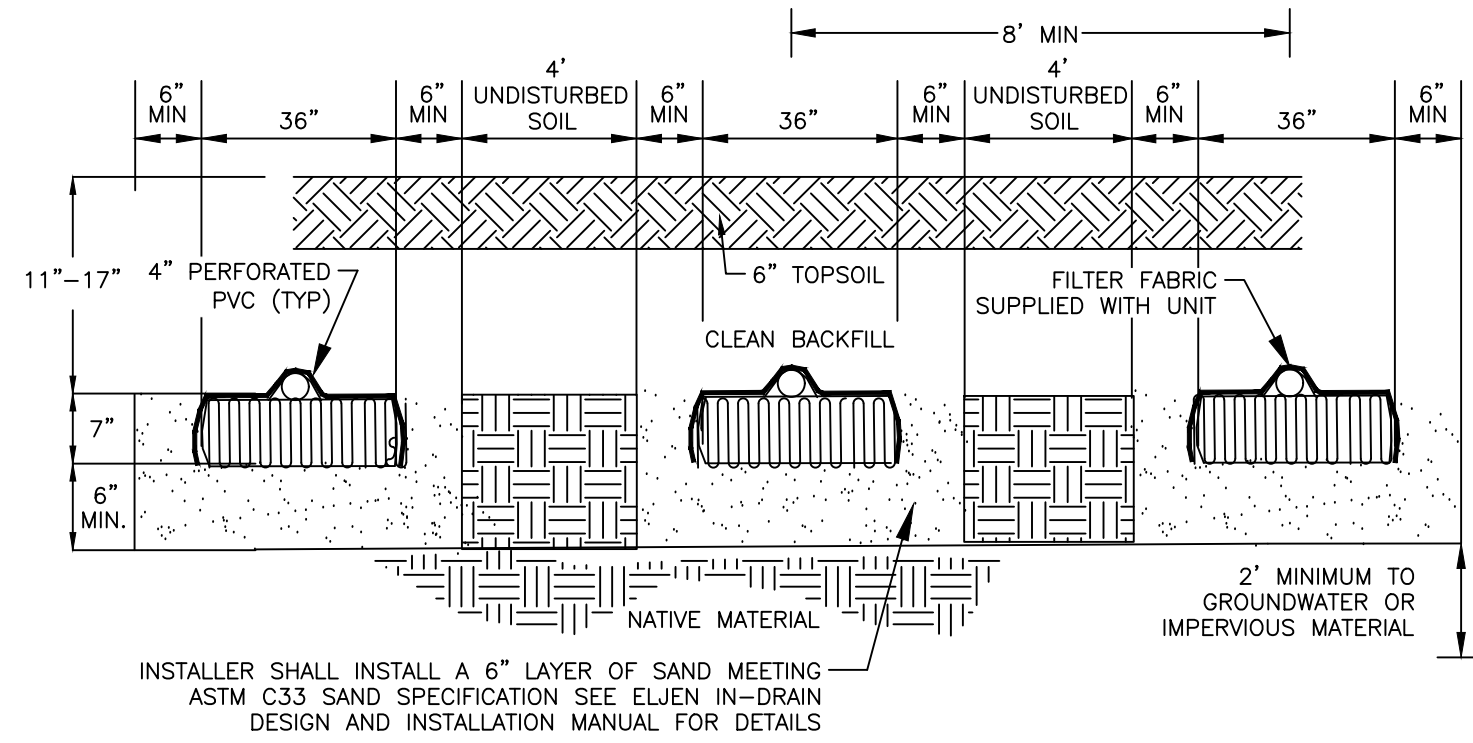
SYSTEM FLOWS AND DESIGN FOR NEW SDS:
FLOW RATE FOR OFFICE/RETAIL = 565 GPD (5,650 SF * 0.1 GPD/SF)
20% WATER SAVINGS = 113 GPD
565 GPD - 113 GPD = 452 GPD (DESIGN FLOW)
FLOW RATE FOR FAST FOOD DRIVE THRU (DUNKIN) = 500 GPD (25 GAL PER SEAT/DAY) (20 SEATS)
20% WATER SAVINGS = 100 GPD
500 GPD - 100 GPD = 400 GPD (DESIGN FLOW)
TOTAL BUILDING DESIGN FLOW = 852 GPD
DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH
DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQUARE FOOT
APPLICATION RATE (PRESBY): 6 SQ FT/LIN. FT. OF TRENCH
SQUARE FOOTAGE REQ'D: 852 GPD / 0.6 GPD/SQ FT = 1,420 SQ FT
ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,420 SQ FT/6 SQ FT PER LIN. FT. = 237 LIN. FT. OF TRENCH
ABSORPTION FIELD TRENCH PROVIDED: 4 LATERALS @ 60 FEET = 240 LINEAR FEET
SEPTIC TANK SIZING: 852 GPD X 1.5 = 1,278 GPD - USE 1,500 GAL TANK



SPECIFICATIONS	PERCAST TRAFFIC DUTY SEPTIC TANK 1500 GALLONS
CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS REINFORCEMENT: #4 & #5 REBAR / ASTM A615 AIR ENTRAINMENT: 6% CONSTRUCTION JOINT: BUTYL RUBBER SEALANT PIPE CONNECTION: POLYLOK SEAL (PATENTED) LOAD RATING: HS20-44 + 30% / ASTM C857	Woodard's Concrete Products, Inc. 609 Lynch Road, Ballville, NY 10925 (845) 581-5471 / Fax 845-581-1000 Page 4A

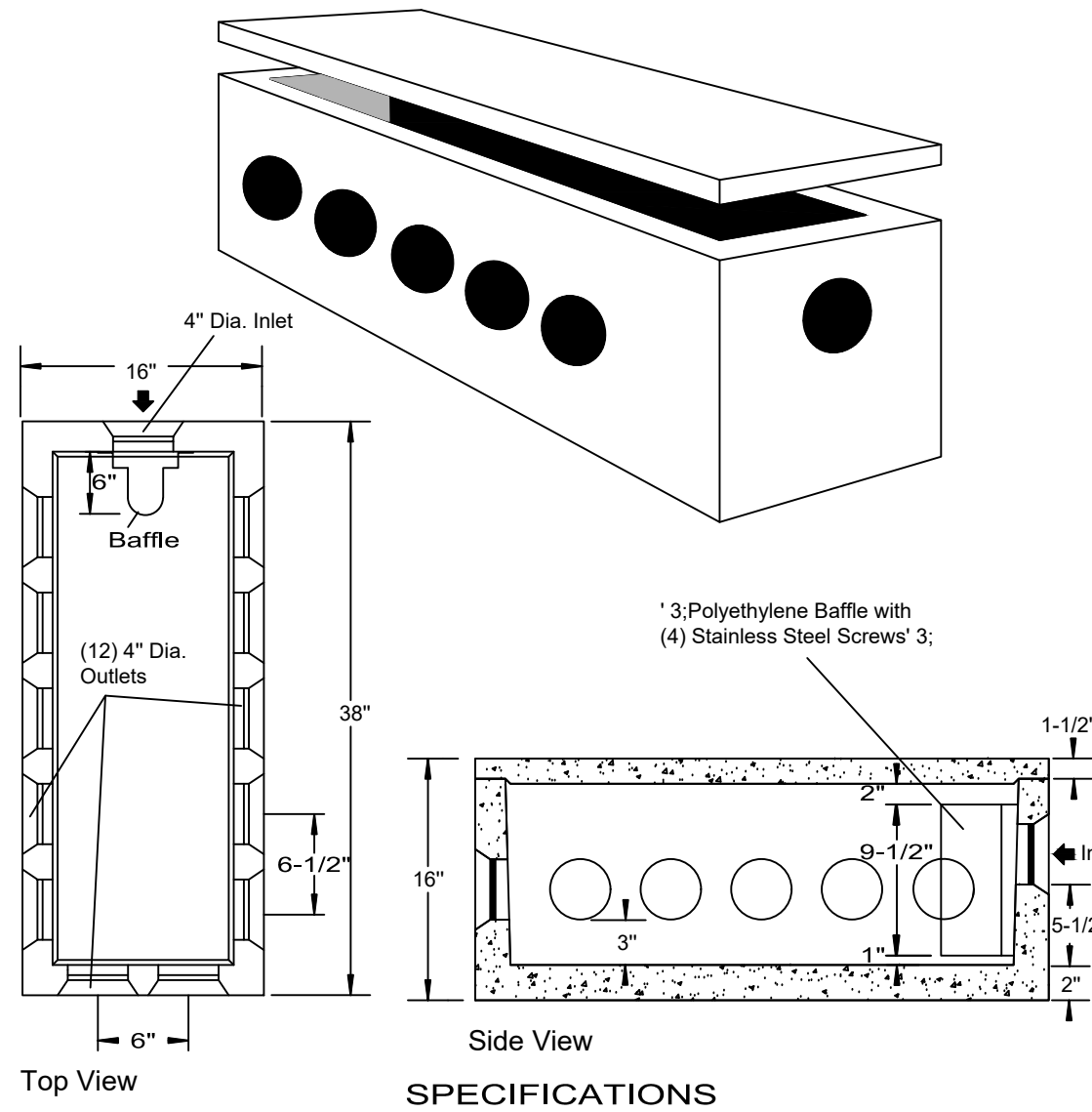
- NOTES:**
- CONCRETE SEPTIC TANK BY TO BE TRAFFIC DUTY 1500 GALLON CONCRETE SEPTIC TANK BY WOODARD'S CONCRETE PRODUCTS, INC., BALLVILLE, N.Y. OR EQUAL.
 - AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF MANHOLE COVERS, INSPECTION COVERS, AND CLEANOUT COVERS.
 - CONCRETE MIN. STRENGTH: 4,000 PSI @ 28 DAYS.
 - STEEL REINFORCEMENT: #4 & #5 REBAR
 - ALL JOINTS TO BE CAULKED.

TRAFFIC DUTY 1,500 GAL. CONCRETE SEPTIC TANK
NOT TO SCALE



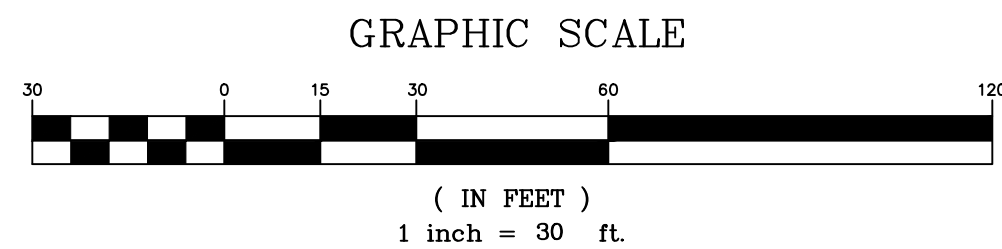
- NOTES:**
- DO NOT INSTALL TRENCHES IN WET SOIL.
 - RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL/CONCRETE SAND.
 - END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
 - TRENCHES TO BE INSTALLED PARALLEL WITH EXISTING CONTOURS WITH SPACING OF ABSORPTION TRENCHES TO BE A MINIMUM OF 8 FEET ON CENTER WITH A MINIMUM OF 4 FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.
 - ALL TRENCHES ARE TO HAVE IDENTICAL NUMBER OF ELJEN UNITS.
 - NO SYSTEM IS TO BE CONSTRUCTED ON GROUND WITH A SLOPE IN EXCESS OF 15%.
 - THE TRENCH BOTTOM SHALL BE FLAT. PERFORATED PIPE SLOPE SHALL BE 1/16"-1/32" FOR GRAVITY FED SYSTEMS AND SET NEARLY LEVEL FOR DOSED SYSTEMS.
 - ALL PIPE PERFORATIONS MUST FACE DOWN.
 - THE BACKFILL IN THE TRENCHES MUST BE MOUNDED FOR SETTLING. BACKFILL SHALL BE NATIVE MATERIAL DEVOID OF LARGE ROCKS (GREATER THAN 4") OR DEBRIS.

ASTM C33 SAND SPECIFICATION		
SIEVE SIZE	SIEVE SQUARE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SIEVE)
3/8 INCH	9.5 mm	100.0 - 100.0
#4	4.75 mm	95.0 - 100.0
#8	2.36 mm	80.0 - 100.0
#16	1.18 mm	50.0 - 85.0
#30	600 µm	25.0 - 60.0
#50	300 µm	5.0 - 30.0
#100	150 µm	< 10.0
#200	75 µm	< 5.0



Concrete Min. Strength: 4,000 psi at 28 days
Reinforcement: Fiber, 10ga. wire mesh
Air Entrainment: 5%
Pipe Connection: Polylok Seal (patented)
Load Rating: 300 psi
Weight = 325 lbs

12-OUTLET DISTRIBUTION BOX
NOT TO SCALE



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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

**SEWAGE DISPOSAL SYSTEM DESIGN
PREPARED FOR**

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

DATE: JUNE 27, 2023

Revisions:

JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023
NOVEMBER 15, 2023
DECEMBER 11, 2023
JUNE 9, 2025

CAD File: ENG.DWG

Layout: SDS

Sheet No.: 5 OF 12

Drawn By: JQ

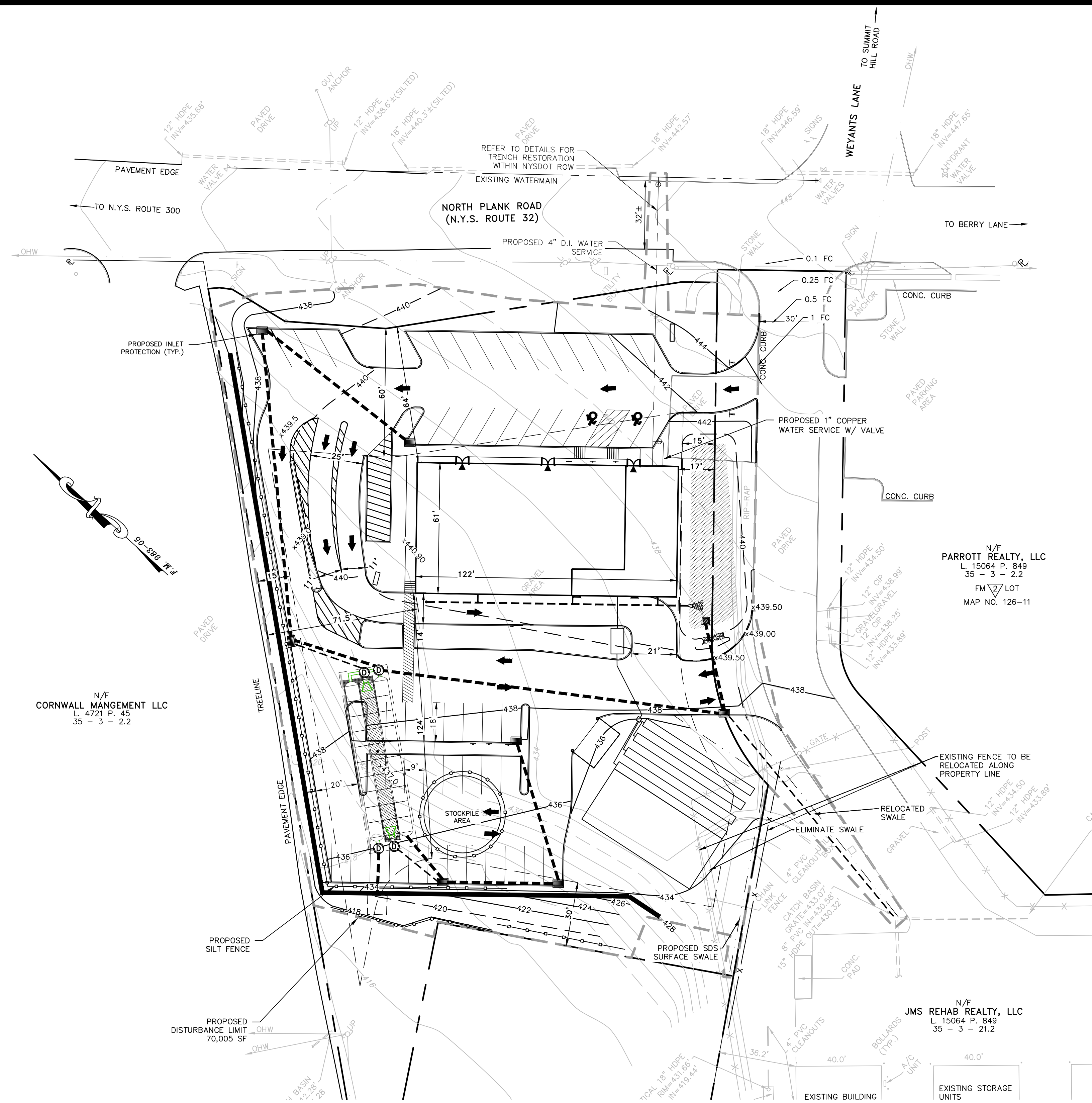
Checked By:

Scale: 1" = 30'

Tax Map No.: 35 - 3 - 3.22

Drawing No.: C3D

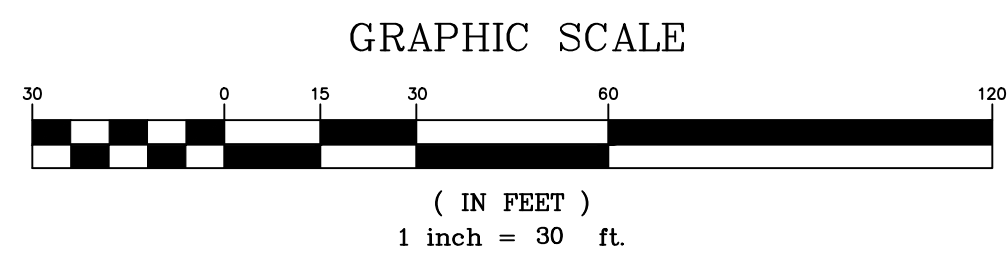
B- 23 - 0107 - 01



- LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
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LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROOSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS – ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL – AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

NOTES:

- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2½ TO 3 TONS PER ACRE.

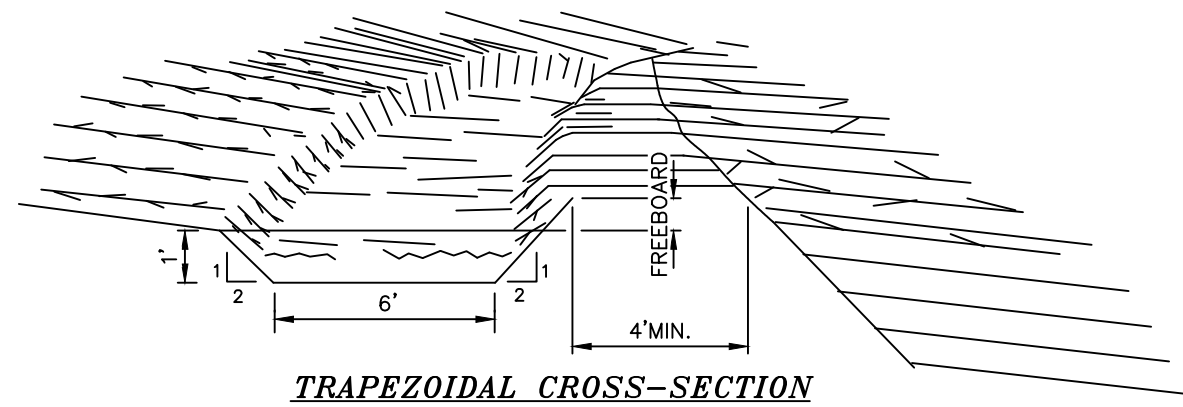
PERIMETER SEEDING

- A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED ON THE PLANS AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT.

PLANTING SCHEDULE

TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 – JUNE 30	SEPT. 1 – OCT. 15
DECIDUOUS	MARCH 1 – JUNE 30	OCT. 1 – DEC. 1
SEEDING:	APRIL 1 – MAY 31	SEPT. 1 – OCT. 15

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 Engineering and Surveying, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR	
MKJC REALTY, LLC	
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK	
Drawn By: JQ	Checked By:
Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22
Date: JUNE 27, 2023	
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CAD File: ENG.DWG	
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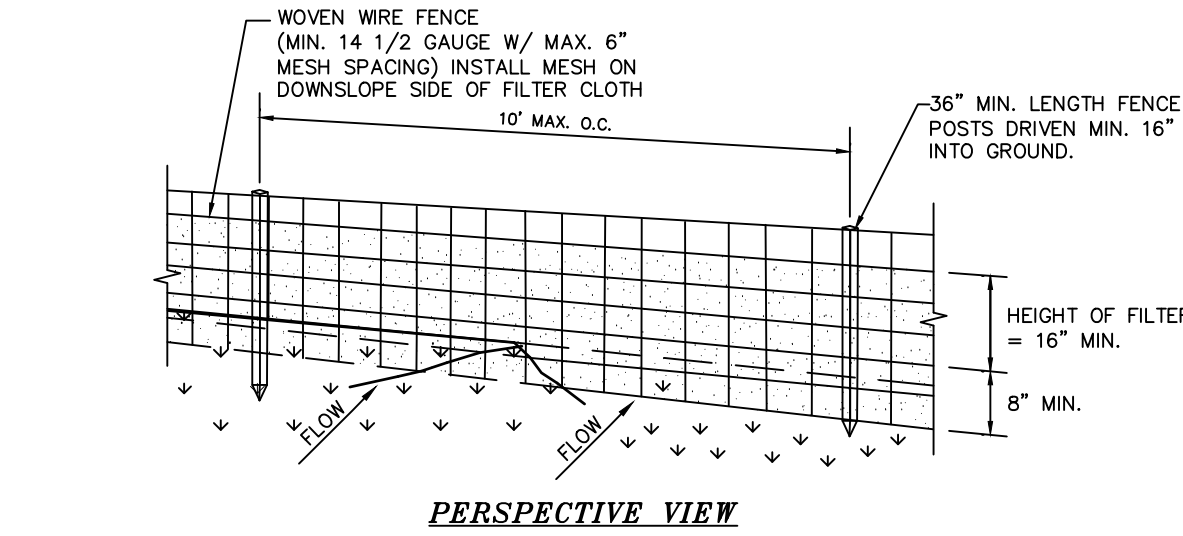


CONSTRUCTION SPECIFICATIONS

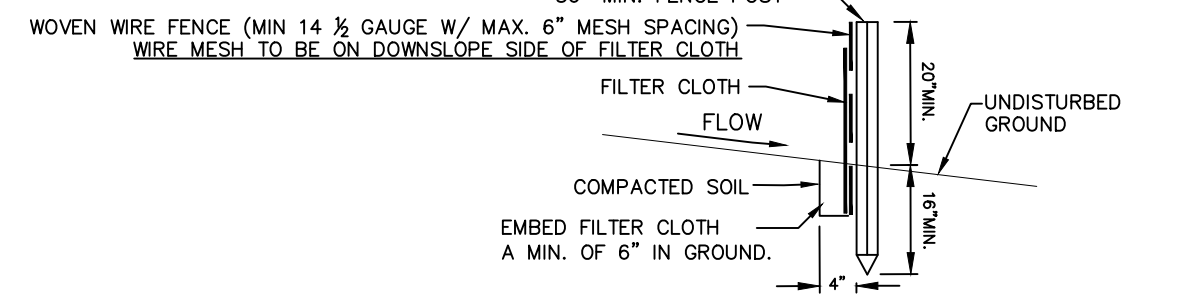
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
 - THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 - FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
 - ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
 - STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
- A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER. SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

TEMPORARY DIVERSION SWALE

NOT TO SCALE



SECTION VIEW

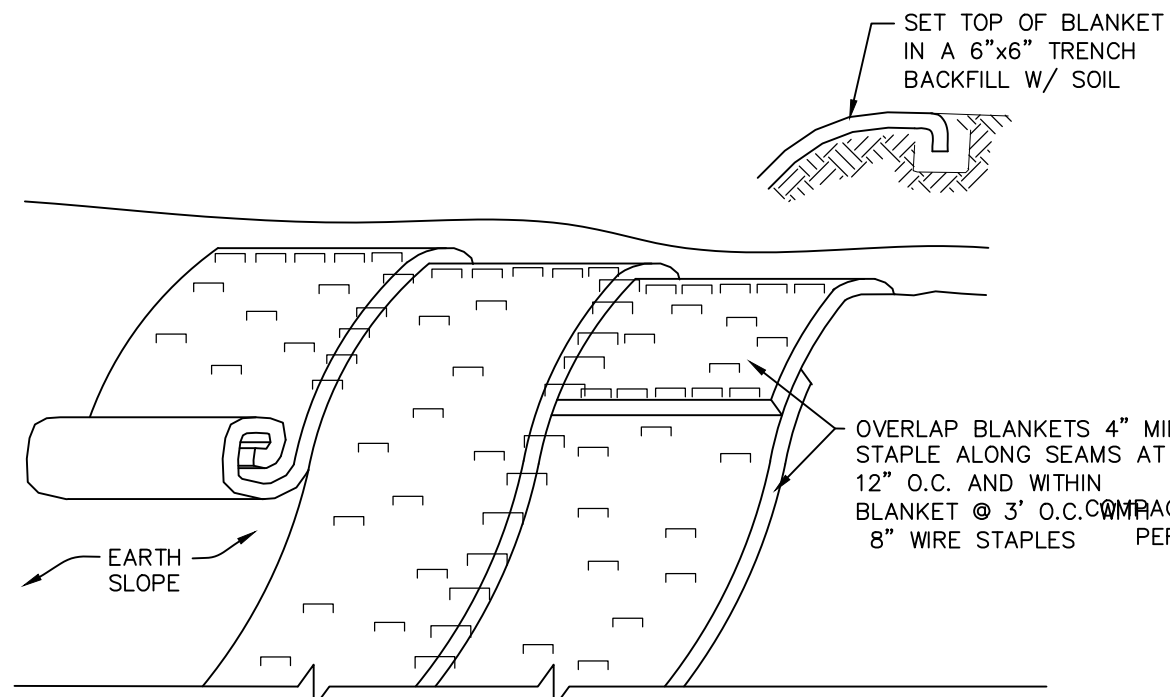


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE

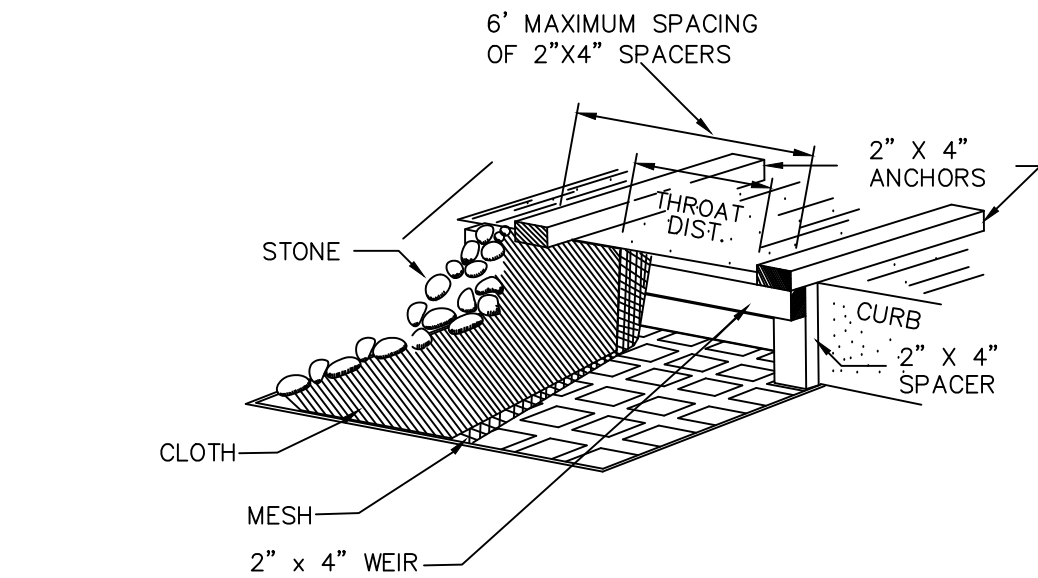
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CONCRETE WASHOUT AREA DETAIL

STORM DRAIN INLET FILTER DETAIL

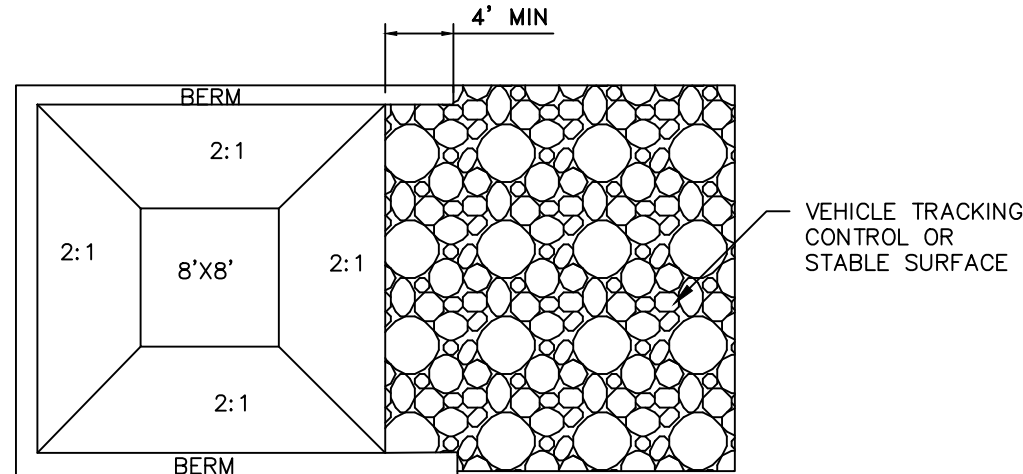
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CONSTRUCTION SPECIFICATIONS:

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
- THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

MAXIMUM DRAINAGE AREA 1 ACRE



NOTES:

- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE MINIMUM OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
- USE EXCAVATED MATERIAL FOR PERIMETER CONSTRUCTION.

CONCRETE WASHOUT AREA DETAIL

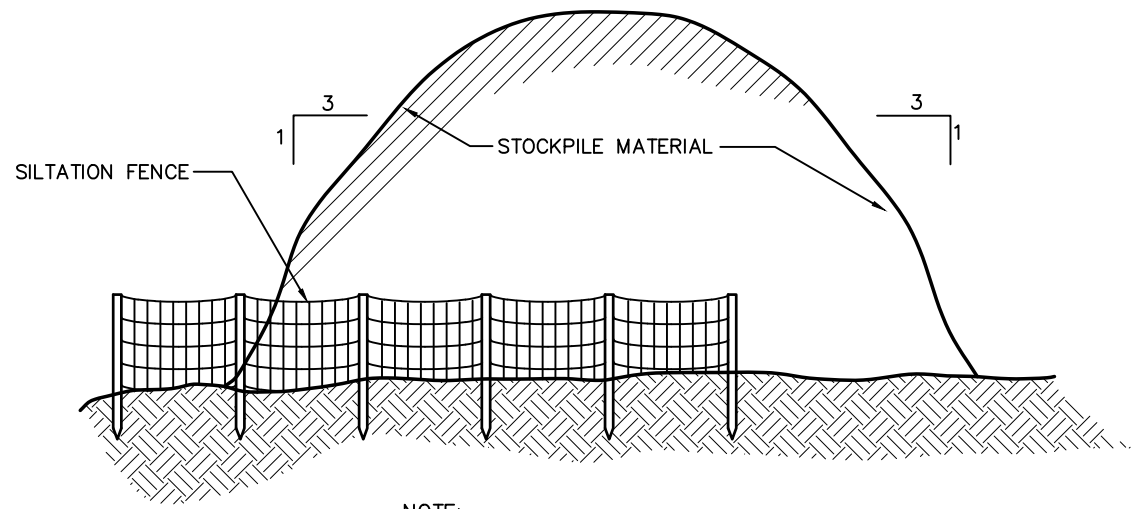
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EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
 - SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE FALL/WINTER - AROOSTOOK WINTER RYE AT 100 LBS PER ACRE
 - MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
 - WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:
 - LIME TOPSOIL TO pH 6.0.
 - FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
 - SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
 - MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTON".
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

SOIL RESTORATION REQUIREMENTS

- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTON."



TYPICAL STOCKPILE DETAIL

NOT TO SCALE

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EROSION AND SEDIMENT CONTROL
DETAILS PREPARED FOR

MKJC REALTY, LLC

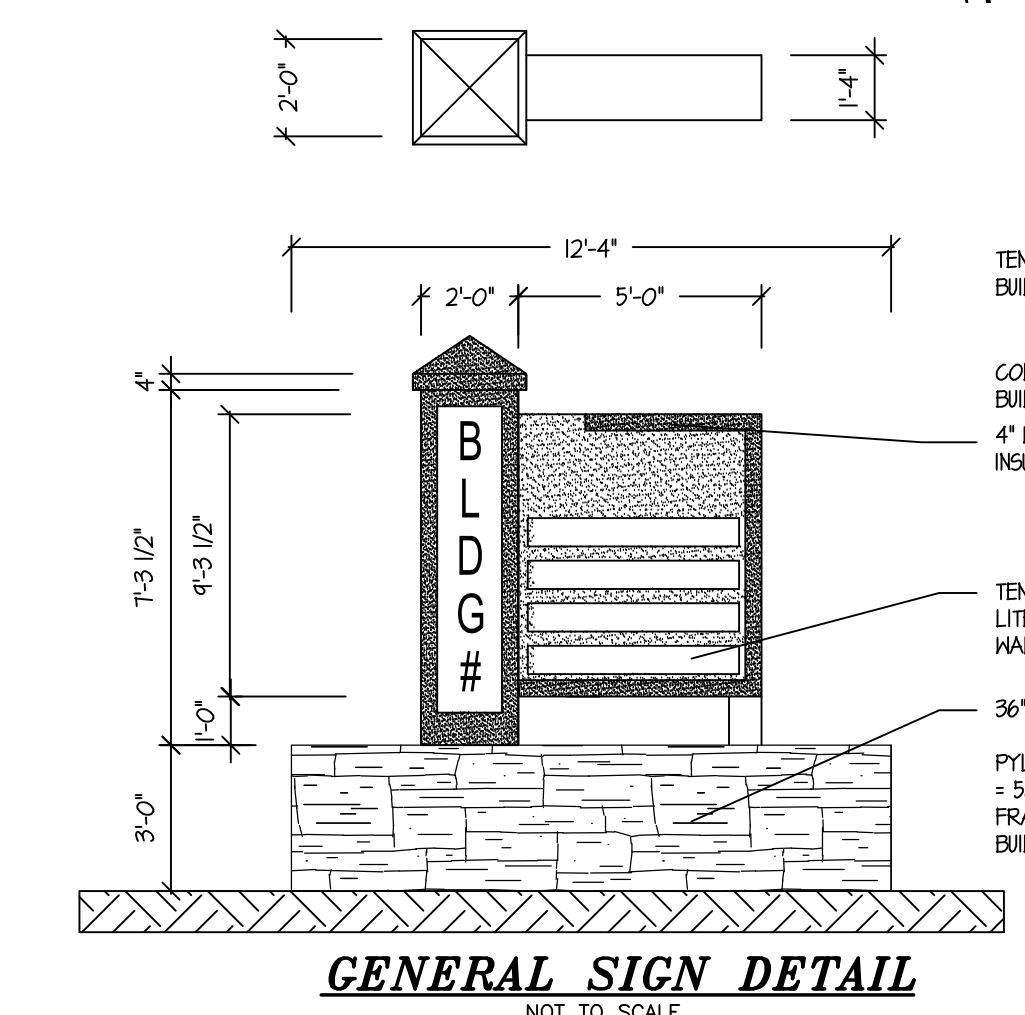
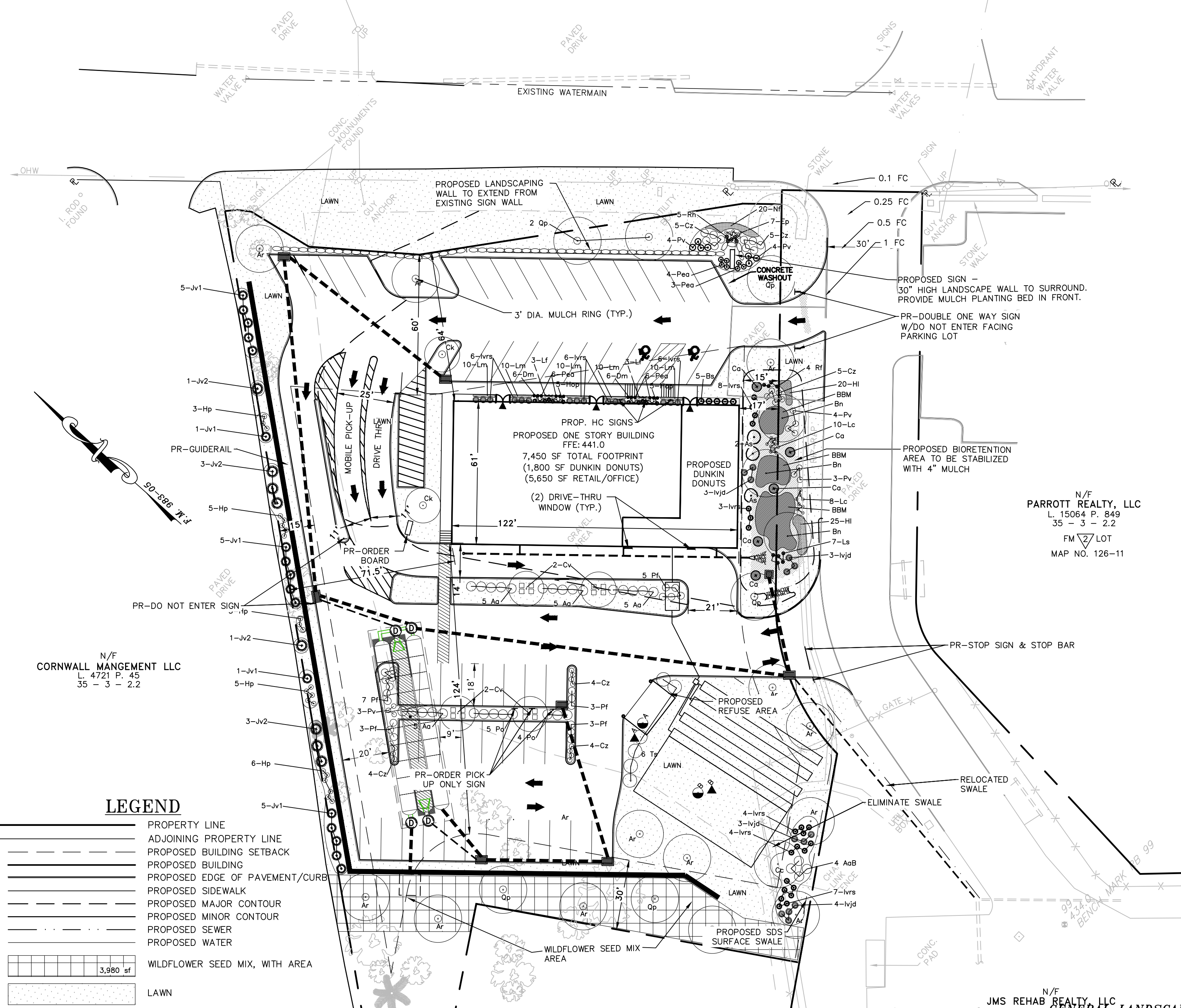
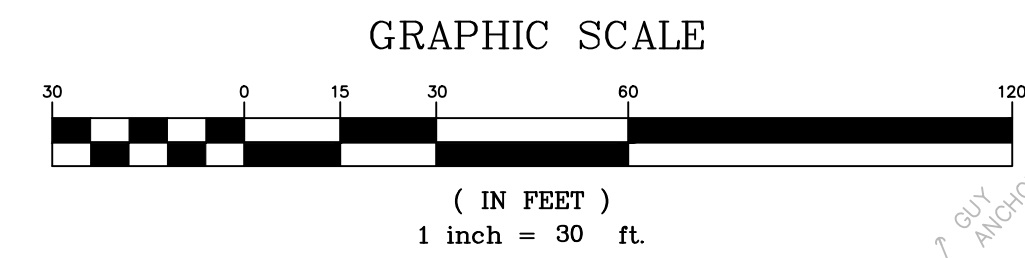
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JQ Checked By: Scale: N.T.S. Tax Map No.: 35 - 3 - 3.22 Drawing No.: C3D B- 23 - 0107 - 01

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LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

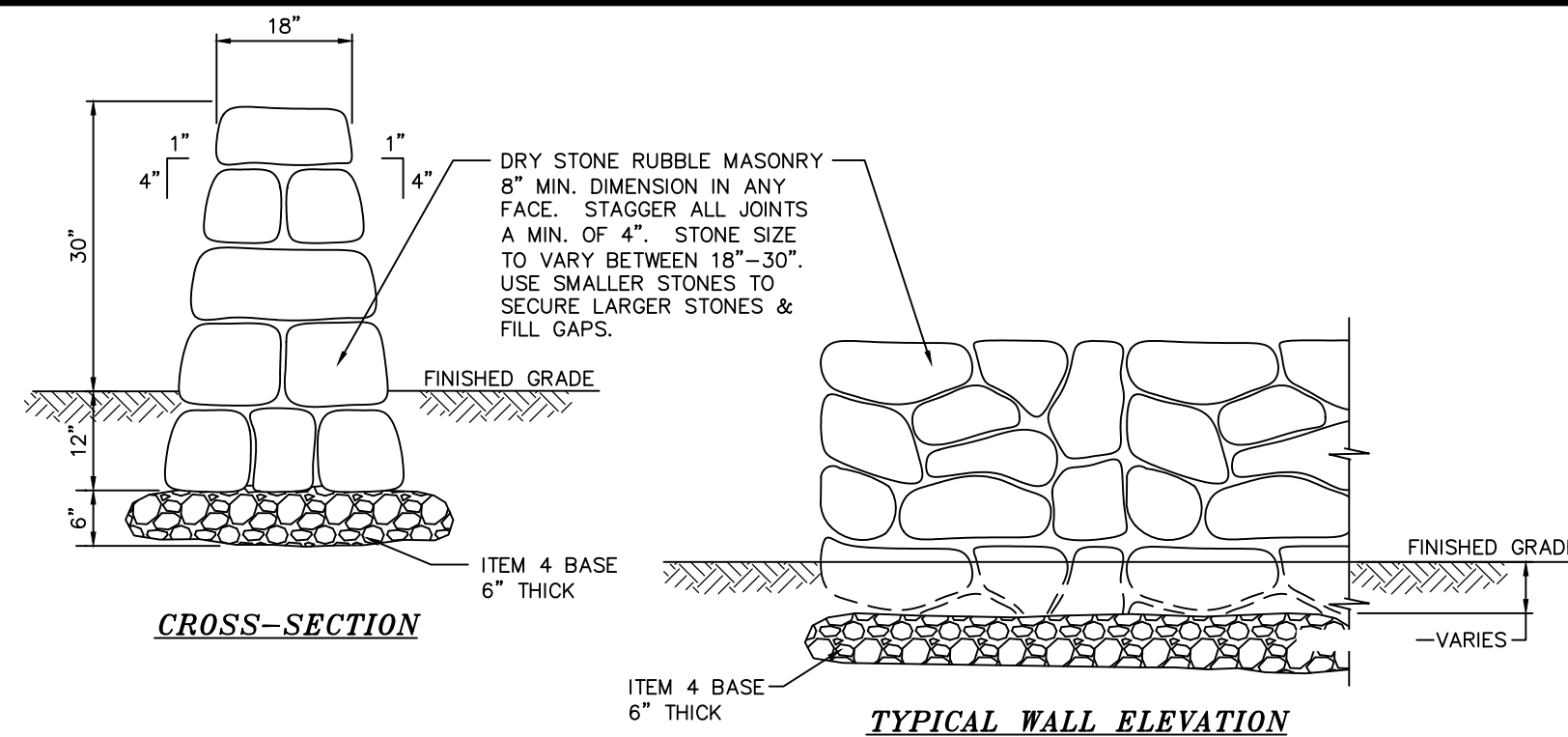
- NOTES:
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
 - SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING. HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

PERIMETER SEEDING

- A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 153-1 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT. THIS SHALL BE APPLIED TO THE SOUTHERN PORTION OF THE SITE BEHIND THE RETAINING WALL.

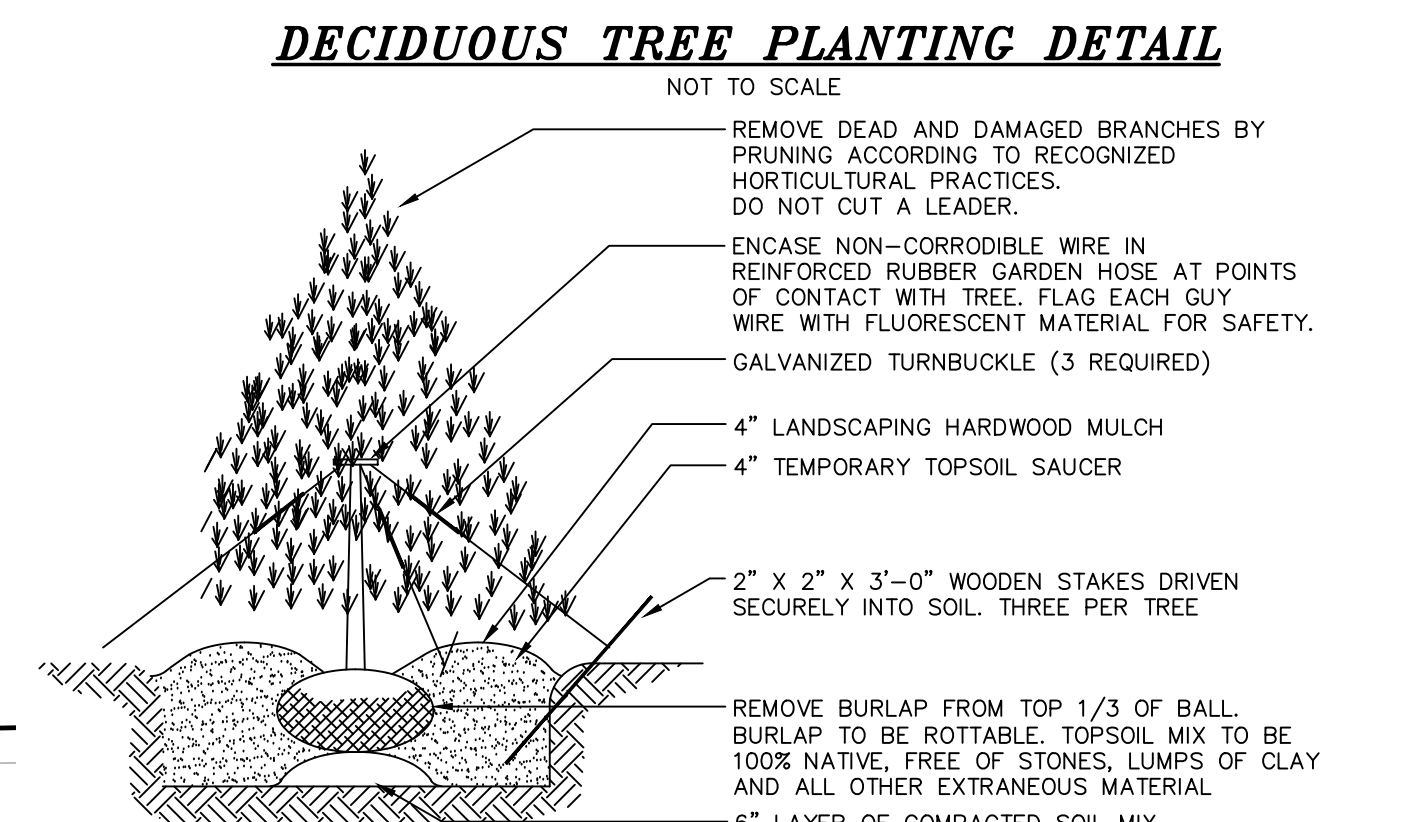
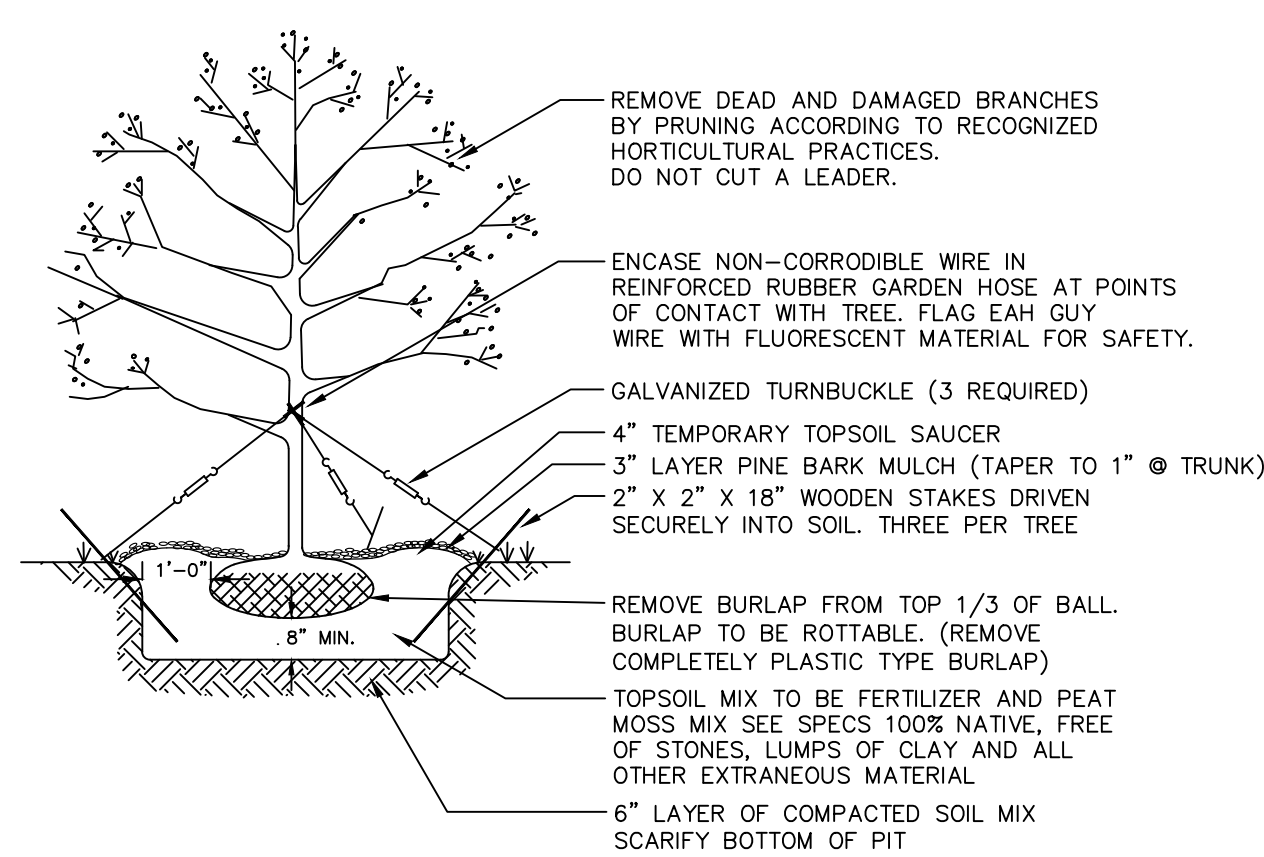
PLANTING SCHEDULE

	SPRING PLANTING	FALL PLANTING
TREES AND SHRUBS:		
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15



LANDSCAPING DRY-SET STONE RETAINING WALL DETAIL

NOT TO SCALE



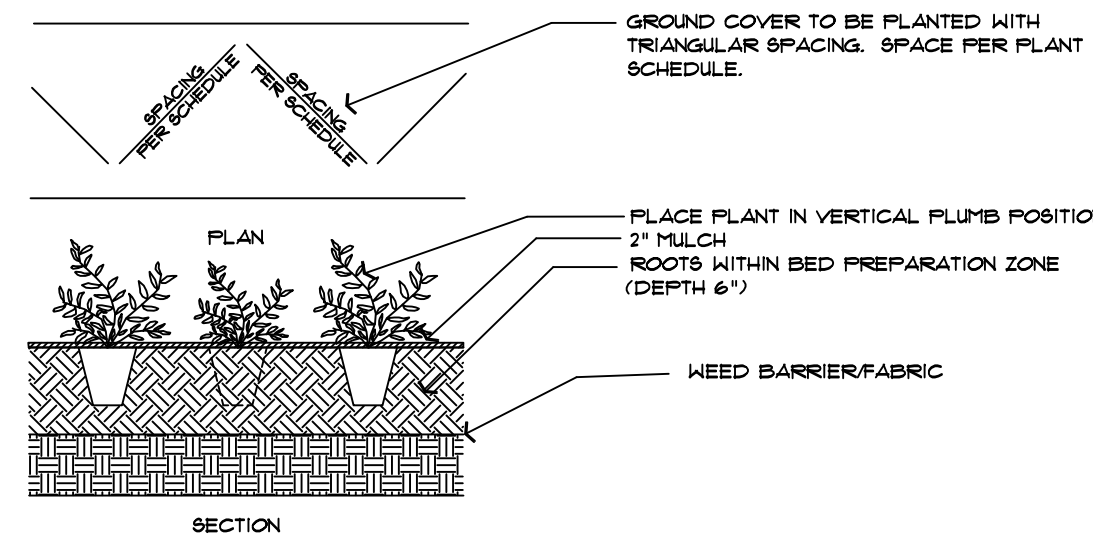
GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
- ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
- ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
- ALL LAWN/GRASS AREAS ARE TO BE TOPSOILED TO A DEPTH OF 6" AND SEEDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 24" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING AREAS.
- MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3" DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.

SOIL NOTES:

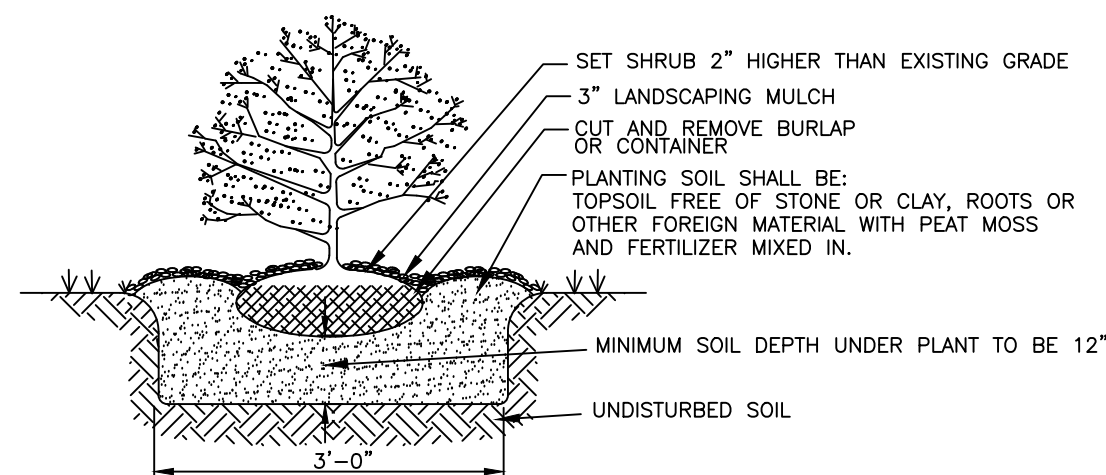
- THERE MUST BE A MINIMUM OF 6" TOPSOIL COMPOST MIX IN LAWN AREAS AND A MINIMUM OF 24" IN AREAS WITH SHRUBS, TREES AND GROUNDCOVERS. SCARIFY OR DIG ALL PROPOSED PLANTING AREAS TO A DEPTH OF 12"-24" + OR AS DETERMINED BY LANDSCAPE ARCHITECT.
- TOPSOIL-COMPOST MIX SHALL CONSIST OF 85%-90% STOCKPILED TOPSOIL (IF AVAILABLE) AND 10%-15% WELL-ROTTED COMPOST.
- TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE SOIL, CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY, REASONABLY FREE FROM STONES, CLAY LUMPS, ROOTS AND OTHER FOREIGN MATTER, WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7.5 PH.
- IF STOCKPILED TOPSOIL IS NOT AVAILABLE, USE PURCHASED TOPSOIL IN SUFFICIENT QUANTITY TO COMPLETE THE REQUIREMENTS AS SPECIFIED.
- SITE SOIL SHALL MEET THE FOLLOWING PARTICLE SIZE DISTRIBUTIONS: LESS THAN OR EQUAL TO 15% OF GRAVEL (PARTICLE SIZE GREATER THAN 2.00mm), 40%-60% OF SAND (0.05-2mm), 30%-40% OF SILT (0.002-0.05mm), AND 10%-20% CLAY (<0.002mm) AND 10-15% WELL-ROTTED COMPOST WITH AN ACIDITY LEVEL BETWEEN 5.5 AND 7.0 PH. PERCENTAGES ARE BY WEIGHT.
- TOPSOIL AND PURCHASED SOIL SHALL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.

- NOTES:
- ALL DISTURBED AREAS TO BE TOPSOILED AT A DEPTH OF 6" AND SEEDED.
 - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
 - ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
 - A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
 - UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



SITE PLANT LIST				
Symbol	Qty	SCIENTIFIC NAME	COMMON NAME	INSTALLATION SIZE
TREES				
Ar	13	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	7-8' HGT
Cc	1	CERCIS CANADENSIS	RED BUD	7-8' HGT
Ck	1	CORNUS KOUSA	KOUSA DOGWOOD	7-8' HGT
Cv	2	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	7-8' HGT
Jt	17	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4-5' HGT
Jz	8	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7-8' HGT
Ts	6	TSUGA CANADENSIS	GREEN GIANT ARBORVITAE	7-8' HGT
Qp	6	QUERCUS PALUSTRIS	PIN OAK	7-8' HGT
SHRUBS (DECIDUOUS AND EVERGREEN)				
Aa	5	ARONIA ARBUTIFOLIA	CHOKEBERRY	30'-36" HGT
Ac	5	AMELANCHIER CANADENSIS	SHADBLOW SERVICE BERRY	6-7' HGT
Pf	23	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	30'-36" HGT
Po	9	PHYSOCARPUS OPULIFOLIUS	NINEBARK	30'-36" HGT
AaB	4	BRILLIANTISSIMA ARONIA	BRIGHT RED CHOKEBERRY	30'-36" HGT
Pv	17	PANICUM VERGATUM	SWITCHGRASS	30'-36" HGT
Vp	40	VIBURNUM PLICATUM TOMENTOSUM	DOUBLEFILE VIBURNUM	30'-36" HGT
PERENNIALS				
Cz	22	COREOPSIS ZAGREB	ZAGREB COREOPSIS	30'-36" HGT
Dm	18	DRYOPTERIS MARGINALIS	MARGINAL WOODFERN	12'-18" HGT
Hop	15	HOSTA PLANTAGINEA	HOSTA	12'-18" HGT
Hpb	24	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	18'-24" HGT
Hp	22	HYPERICUM PERFORATUM	ST JOHNS WORT	18'-24" HGT
Hs	24	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	18'-24" HGT
Lm	60	LIROPE MUSCARI	LILY TURF	12'-18" HGT
Lf	9	LEUCOTHOE FONTANESIANA	DOGHOBLE	12'-18" HGT
Nf	20	NEPATA FAASSENII	PURRSIAN BLUE CATMINT	12'-18" HGT
Pea	25	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	12'-18" HGT
Pj	3	PIERIS JAPONICA	ANDROMEDA	40'-48" HGT
Rf	28	RUDECKIA FULGIDA	ORANGE CONEFLOWER	18'-24" HGT
Rh	5	RUDECKIA HIRTA	BLACK EYED SUSAN	18'-24" HGT
Vpe	40	VERONICA PEDUNCULARIS "GEORGIA BLUE"	BLUE VERONICA	12'-18" HGT
BIORETENTION AREA				
Ar	1	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	7-8' HGT
As	3	ALNUS SERRULATA	SMOOTH ALDER	30'-36" HGT
Bn	3	BETULA NIGRA	RIVER BIRCH	7-8' HGT
Ca	5	CORNUS AMOMUM	SILKY DOGWOOD	40'-48" HGT
Cz	5	COREOPSIS ZAGREB	ZAGREB COREOPSIS	30'-36" HGT
Hl	45	HEMEROCALLIS LILLOXAPHODELUS	YELLOW DAN VILLY	18'-24" HGT
Hjd	5	ILEX VERTICILLATA 'JIM DANDY'	WINTERBERRY HOLLY JIM DANDY	30'-36" HGT
Hrs	29	ILEX VERTICILLATA 'RED SPRITE'	WINTERBERRY HOLLY RED SPRITE	30'-36" HGT
Lc	8	LOBELIA CARDINALIS	CARDINAL FLOWER	18'-24" HGT
Ls	7	LIATRIS SPICATA	BLAZING STAR	30'-36" HGT
Pv	7	PANICUM VERGATUM	SWITCHGRASS	30'-36" HGT
Rf	4	RUDECKIA FULGIDA	BLACK EYED SUSAN	18'-24" HGT
BBM	620 sf	BSIN BOTTOM MIX	ZIMBABASO FROM PINELANDS NURSERY	SEED
Site Cover				
ERNX-153-1	ANNUALS	ERNST SEEDS SHOWY NORTHEAST NATIVE WILDFLOWER MIX		SEED
		T.B.D. AT TIME OF PLANTING		11.5 F.

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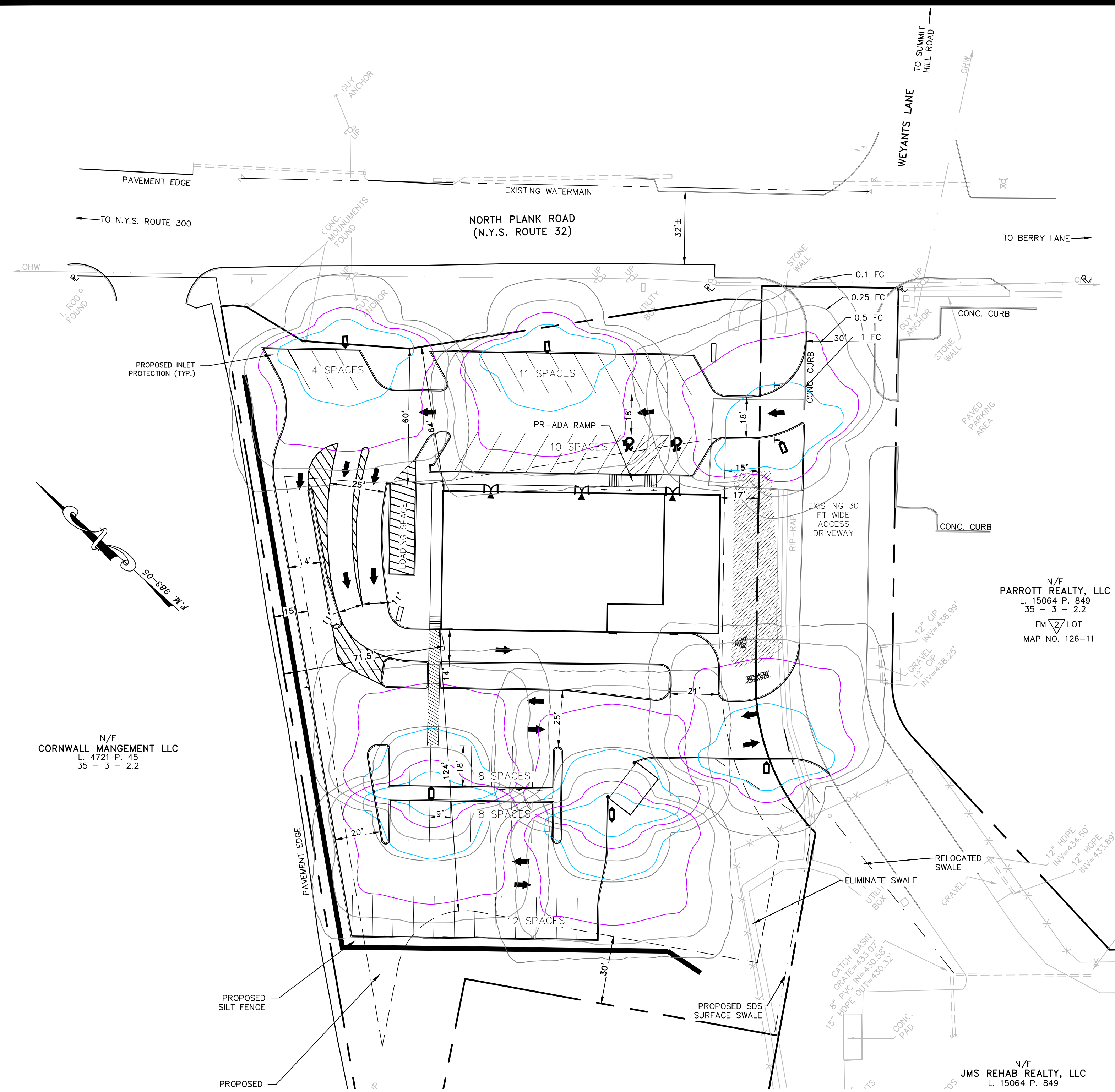
LANDSCAPING PLAN AND DETAILS
PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JQ Checked By: Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22 Drawing No.: C3D B- 23 - 0107 - 01





N/F
CORNWALL MANGEMENT LLC
L. 4721 P. 45
35 - 3 - 2.2

N/F
PARROTT REALTY, LLC
L. 15064 P. 849
35 - 3 - 2.2
FM L7 LOT
MAP NO. 126-11

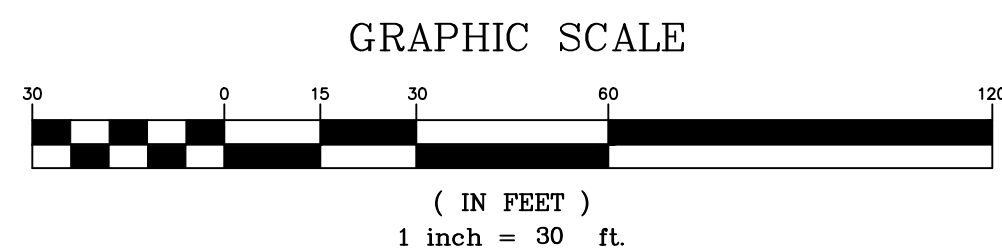
N/F
JMS REHAB REALTY, LLC
L. 15064 P. 849

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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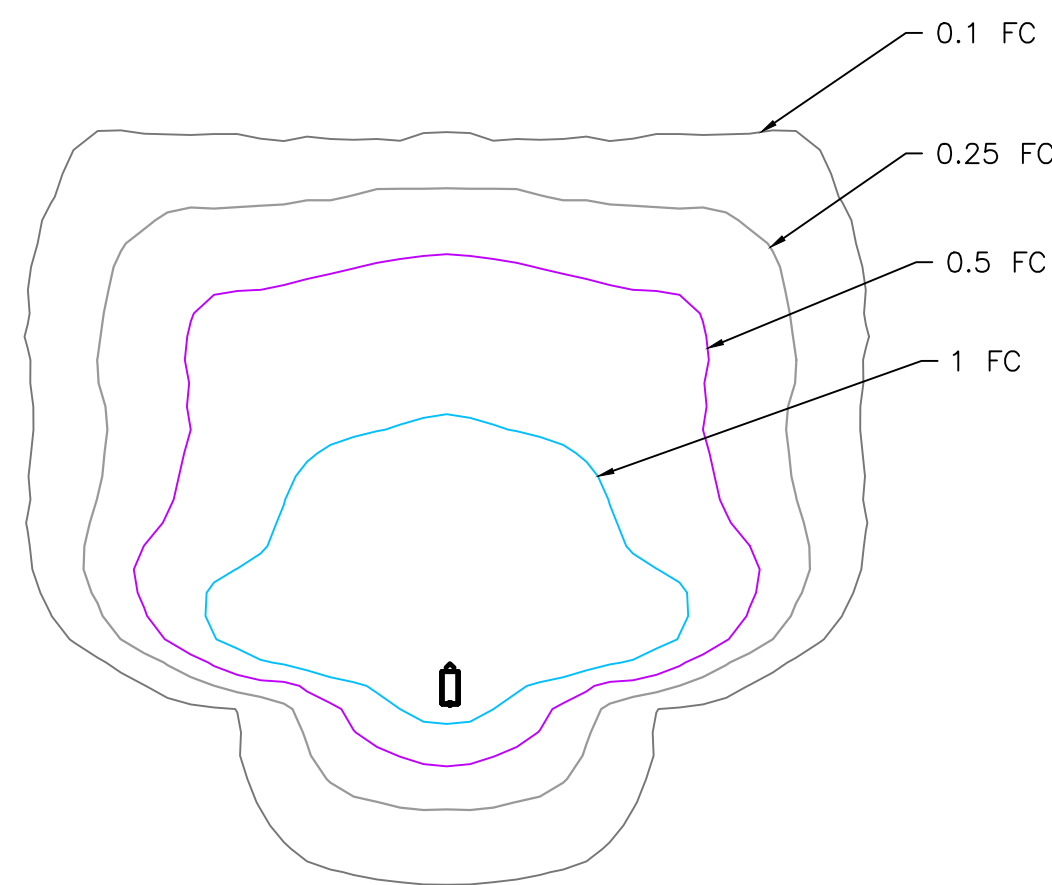
AREA:
1.674± AC.

RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250

35 - 3 - 3.22
L. 15137 P. 1318

FILED MAP NO. 938-05



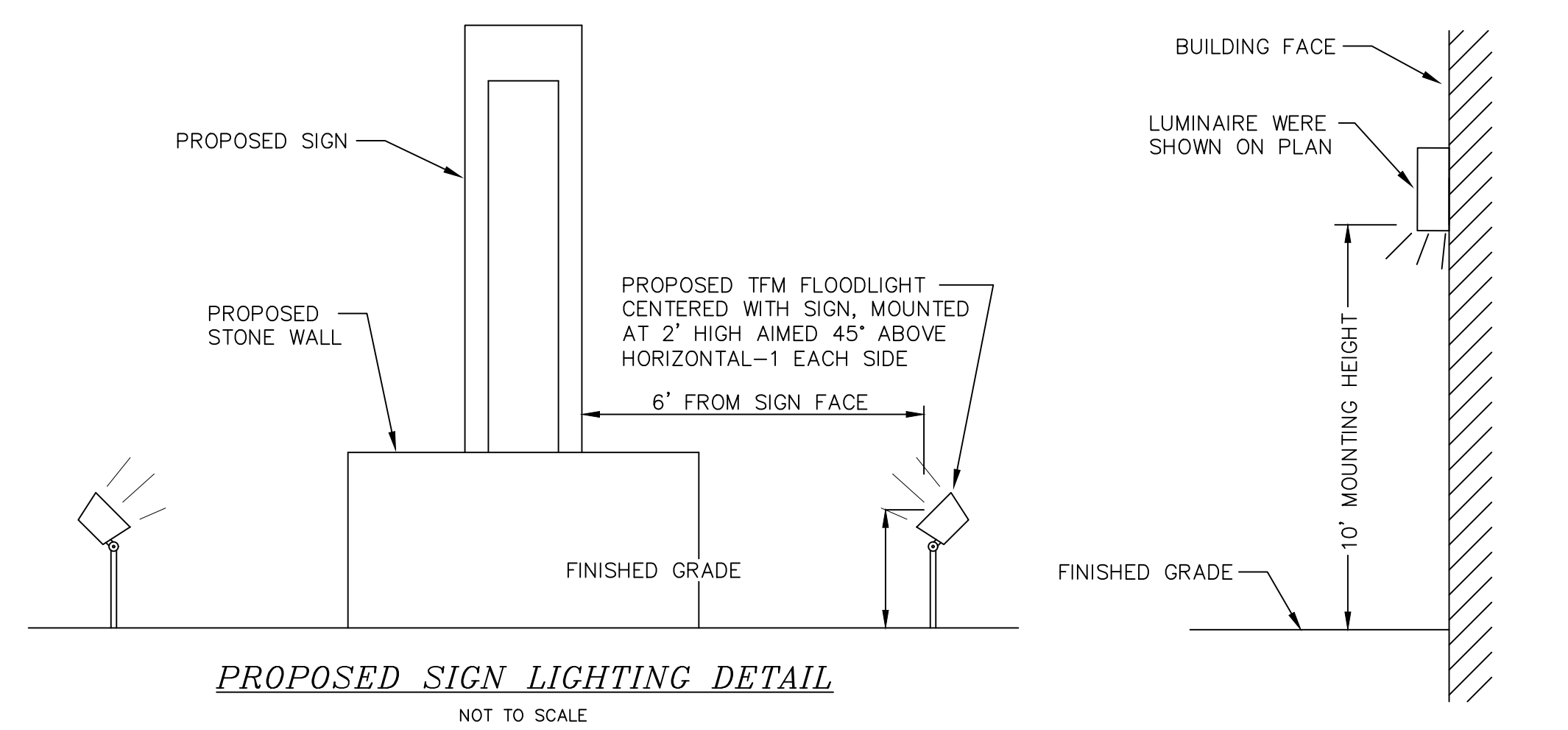
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT

EATON "GAN GALLEON"
LUMINAIRE "C"
TYPE T4FT DISTRIBUTION
PHOTOMETRIC DIAGRAM



EATON "GAN GALLEON"
LED AREA LUMINAIRE
TYPICAL POLE MOUNT AREA LUMINAIRE

PROPOSED LIGHTING FIXTURES SHALL NOT EXCEED 3000K LIGHTING LEVELS.

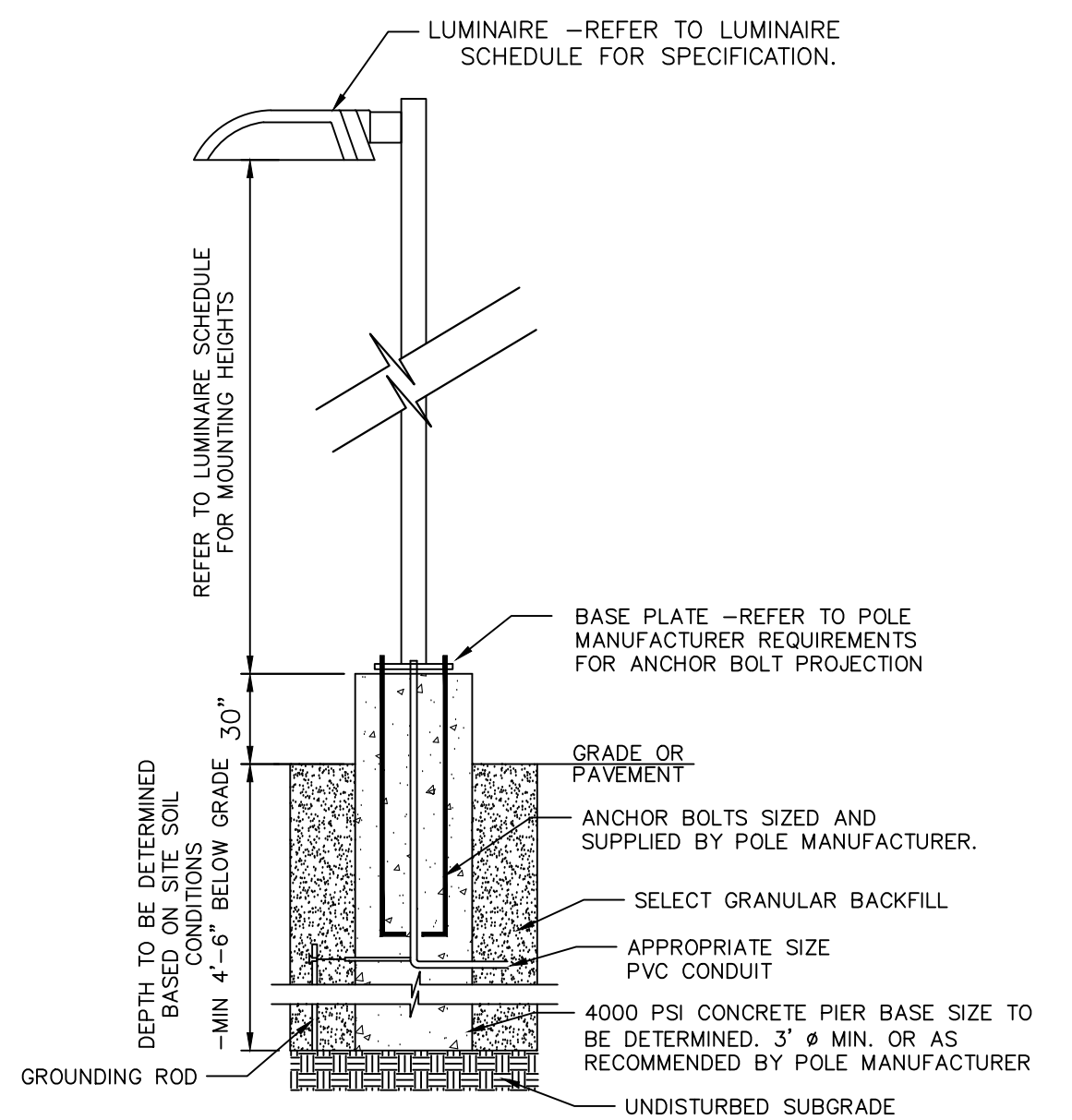


PROPOSED SIGN LIGHTING DETAIL

NOT TO SCALE

BUILDING MOUNTED LIGHTING DETAIL

NOT TO SCALE



- NOTE:
- INSTALL LIGHT POLE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - POLE BASE SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

LIGHT POLE BASE DETAIL

NOT TO SCALE

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LIGHTING PLAN AND DETAILS
PREPARED FOR

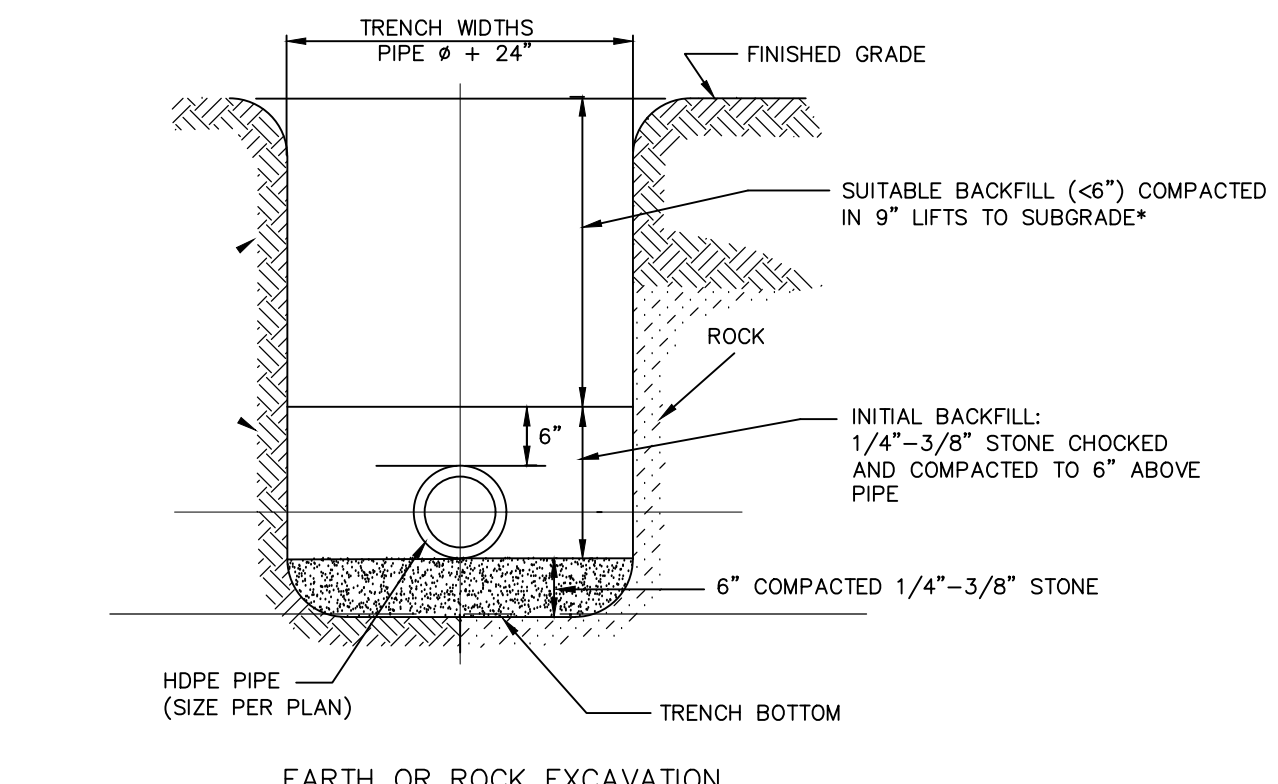
MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JQ Checked By: Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22 Drawing No.: C3D B- 23 - 0107 - 01

Date: JUNE 27, 2023
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CAD File: ENG.DWG
Layout: LIGHTING
Sheet No.: 9 OF 12

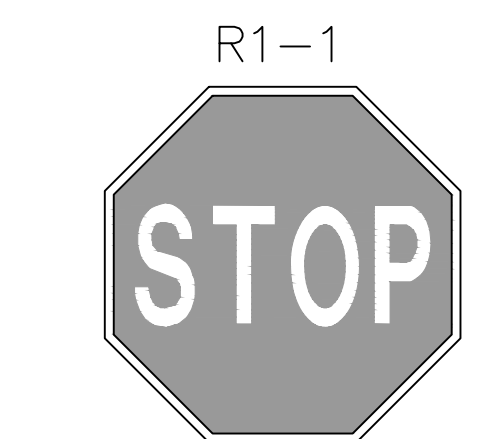


ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
	SOIL CLASSIFICATION ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5 56	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.

* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 304.14) TO SUBGRADE

UTILITY TRENCH CROSS SECTION

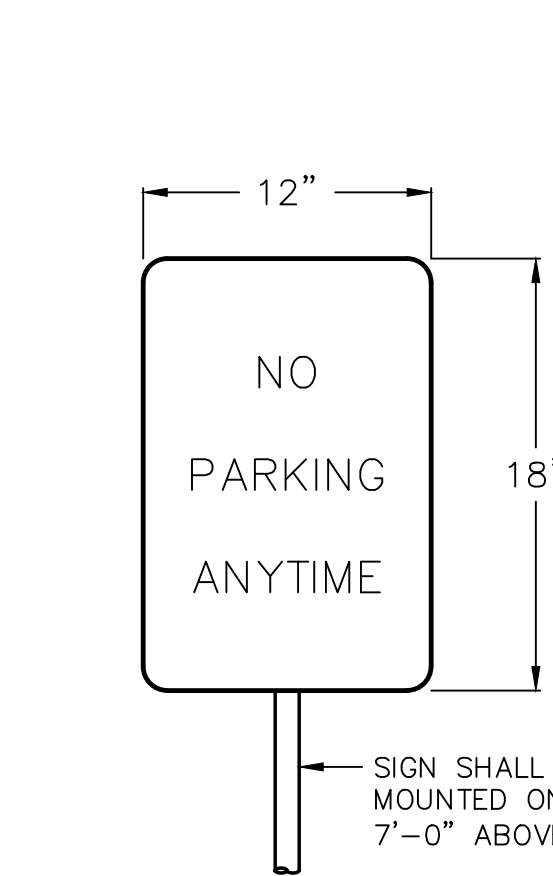
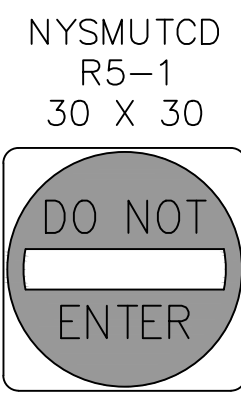


NOTE: STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 2B OF THE MUTCD.

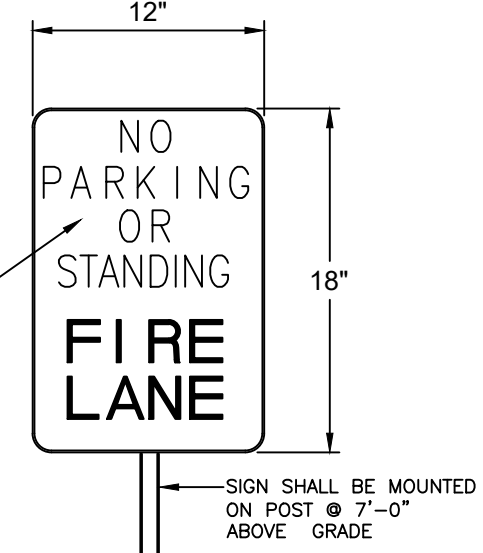
NYS MUTCD R3-10C
36 X 12



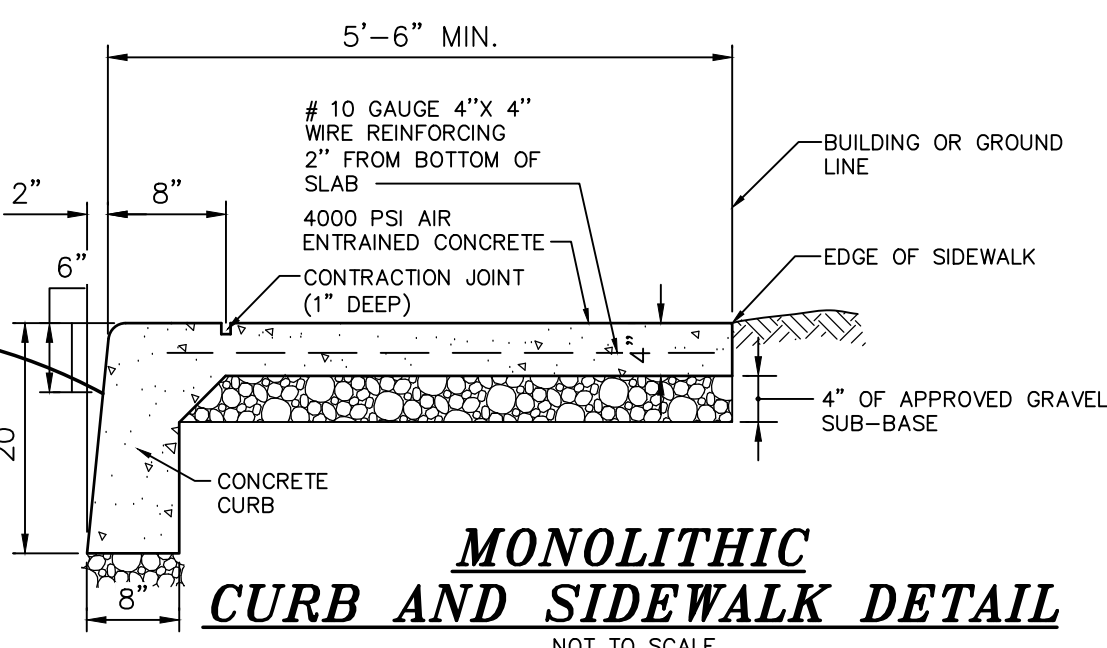
REGULATORY SIGNS



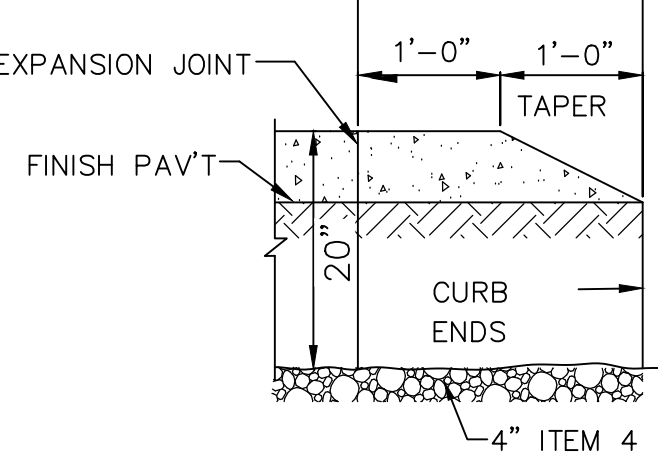
NO PARKING SIGN



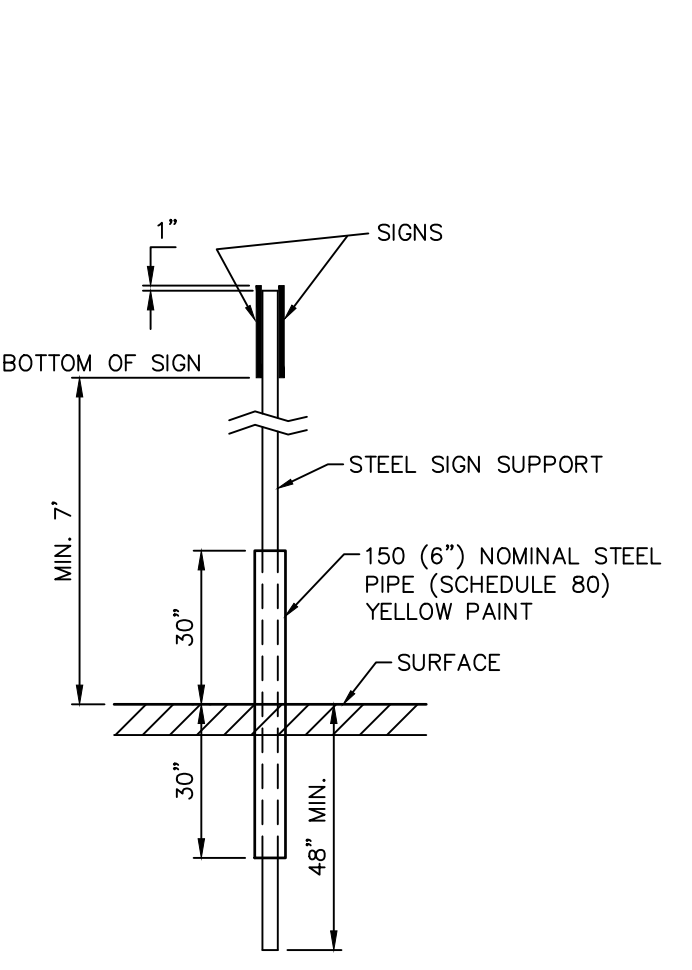
FIRE LANE SIGN



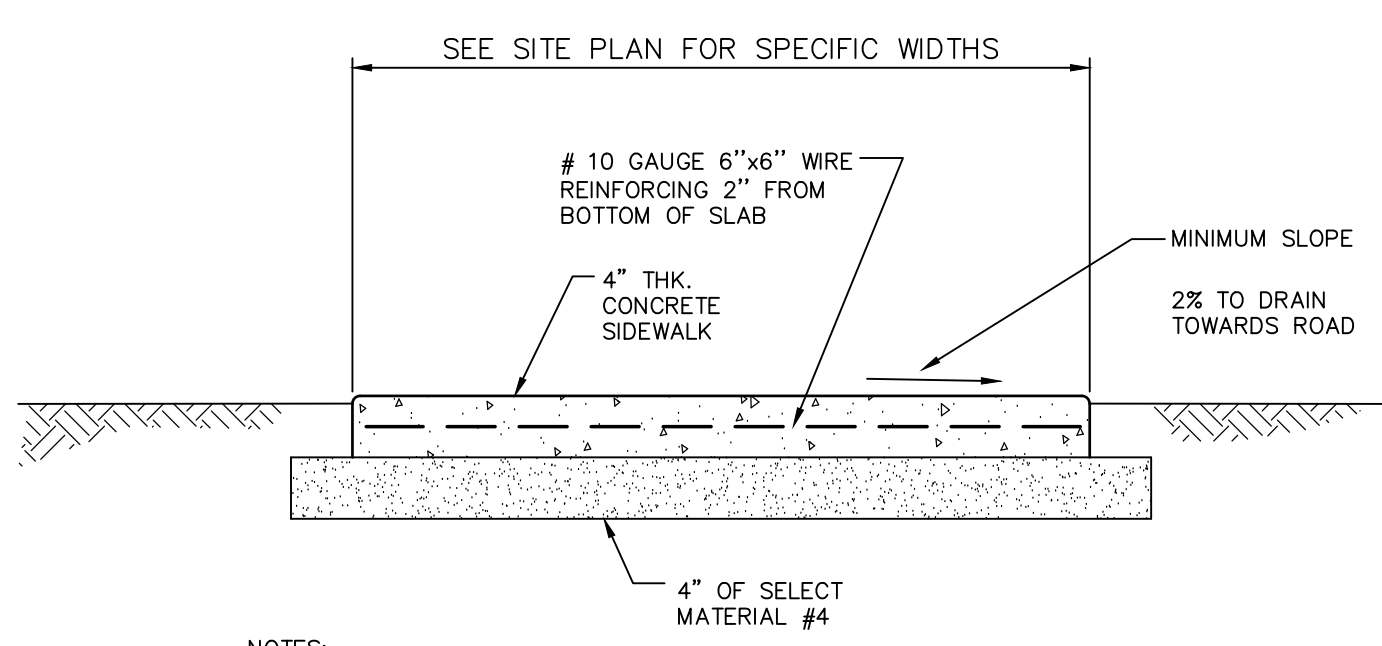
NOTES:
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
2. CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
3. EDGES SHALL HAVE 1/2" RADIUS.
4. USE 4000 PSI CONCRETE.
5. BROOM FINISH TOP SURFACE.



BULLNOSE CURB TERMINAL

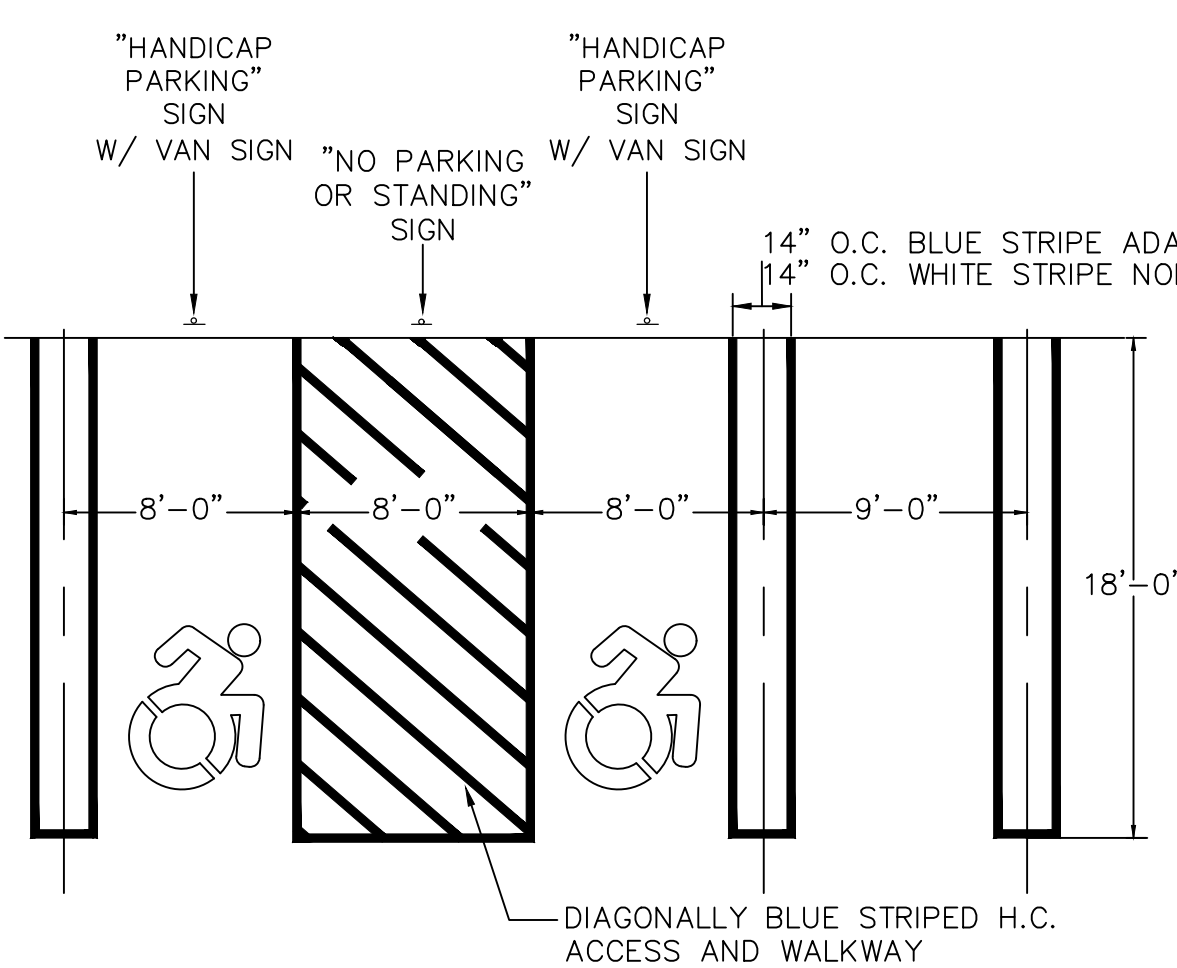


POST BASE DETAIL



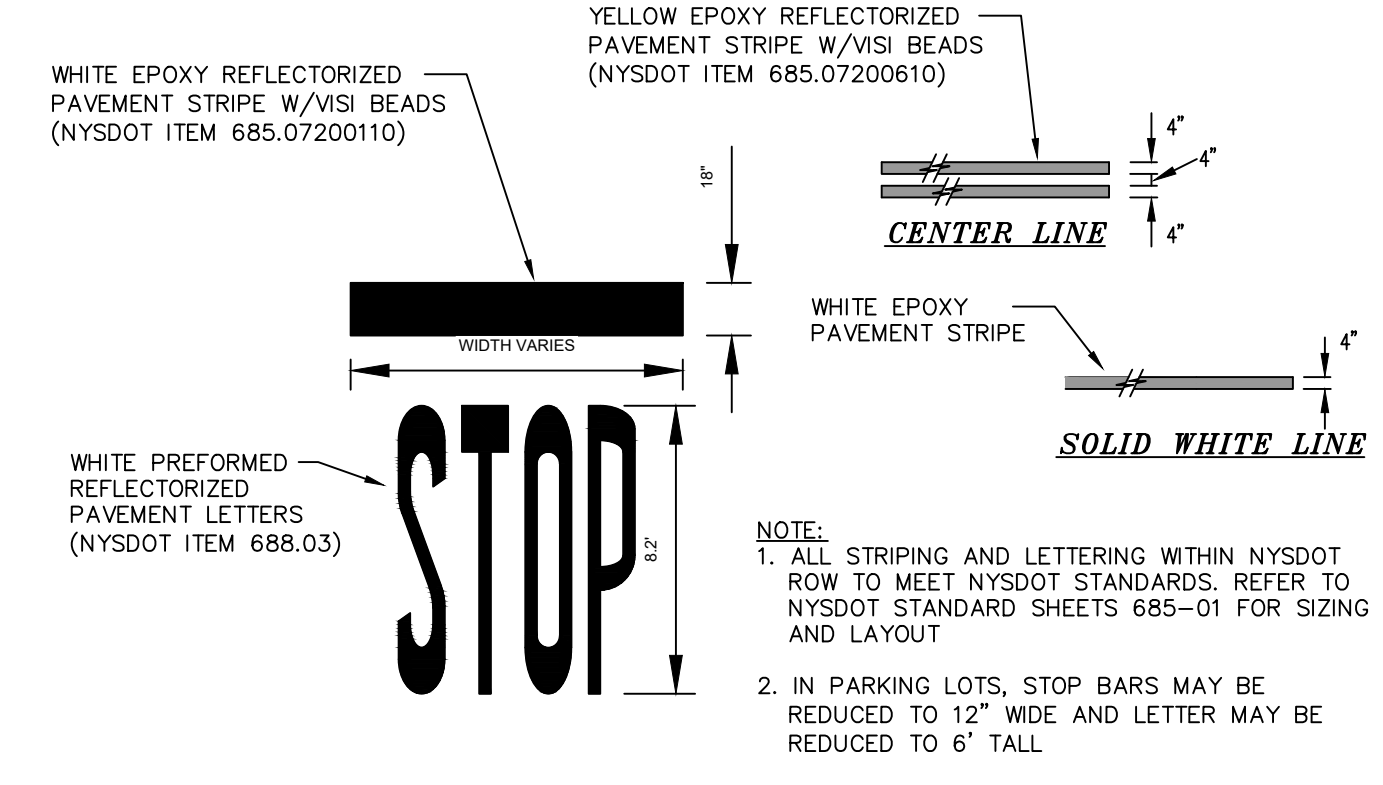
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3. EDGES SHALL HAVE 1/2" RADIUS.
4. USE 4000 PSI CONCRETE.
5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL

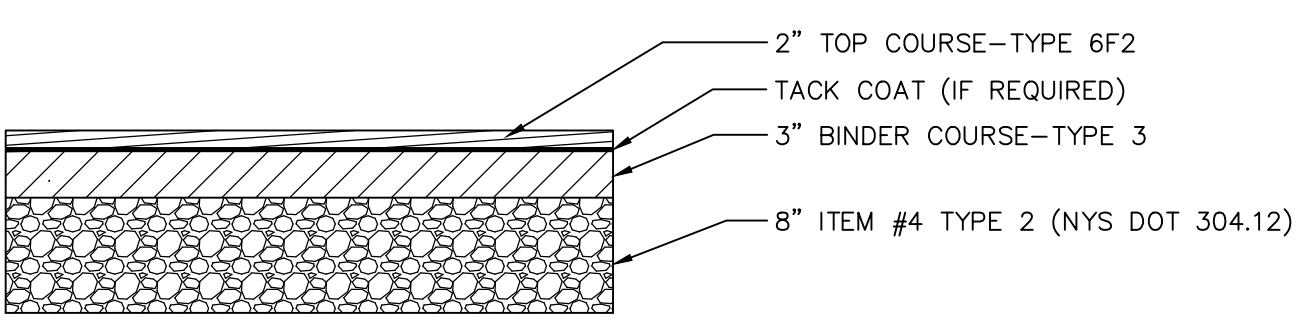


ADA AND TYPICAL PARKING SPACE STRIPING DETAIL

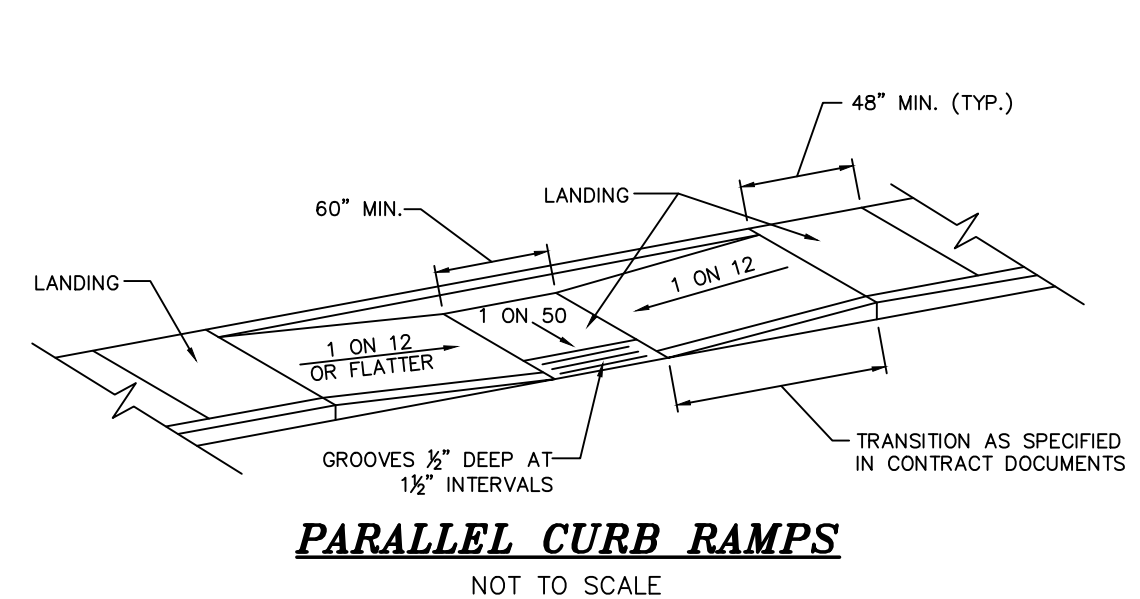
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



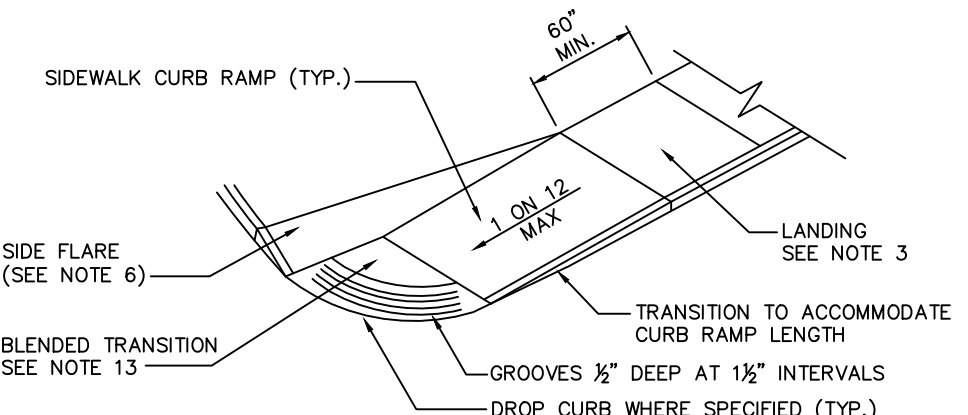
STRIPING DETAILS



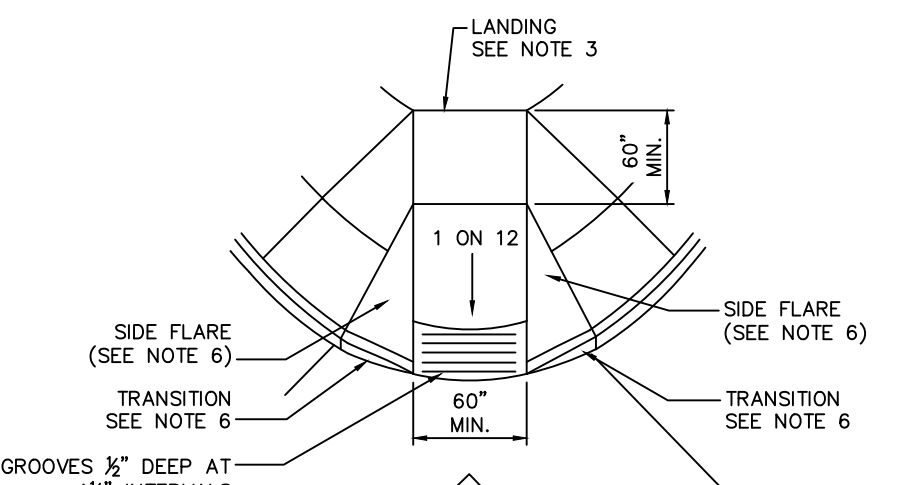
PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS



PARALLEL CURB RAMPS

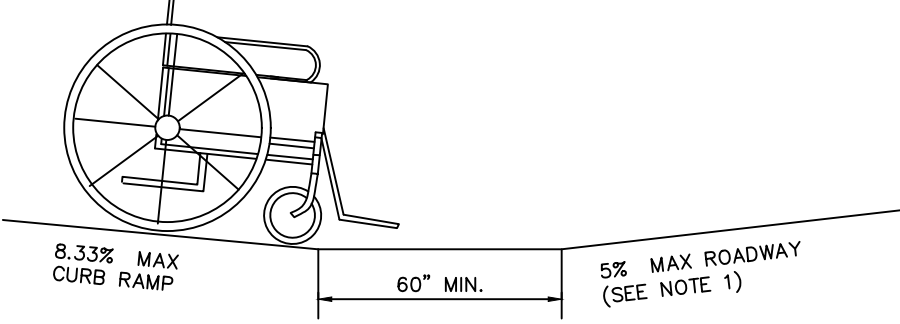


SIDEWALK CURB RAMP



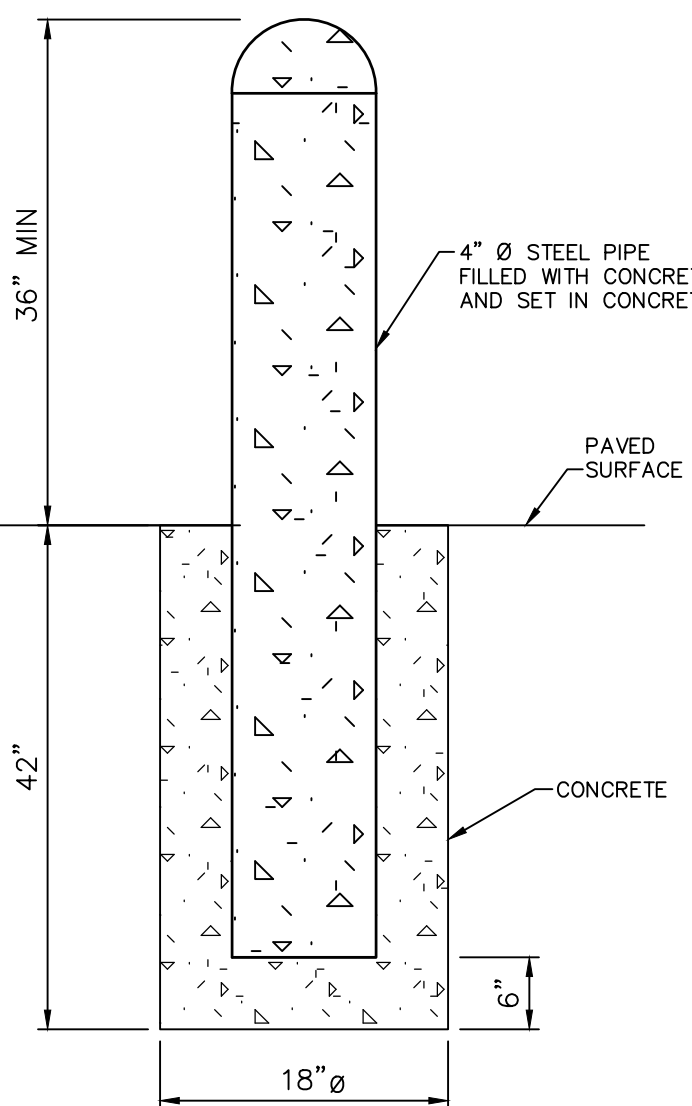
DIAGONAL SIDEWALK CURB RAMP

- GENERAL NOTES:
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
 - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARPS.
 - THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
 - CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 - THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
 - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
 - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
 - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 - DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROP CURBS MAY BE SPECIFIED.
 - SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.

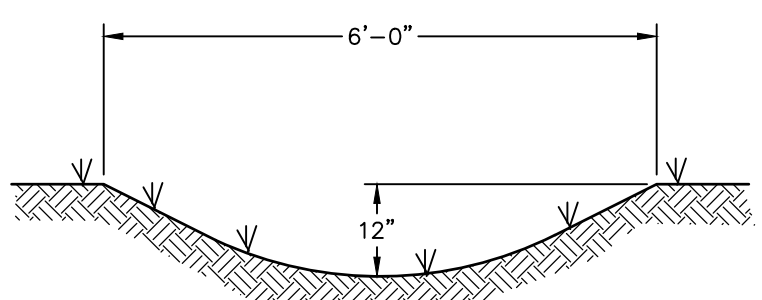


COUNTER SLOPE CONDITIONS

CURB RAMP DETAILS

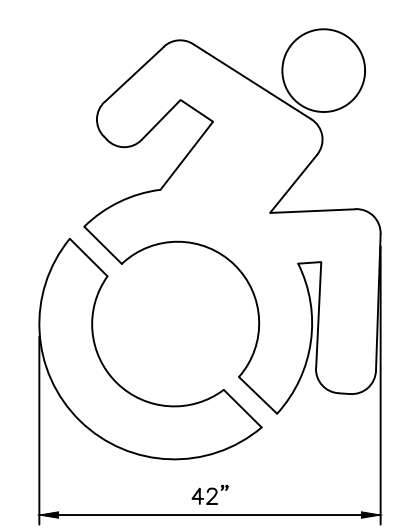


BOLLARD DETAIL



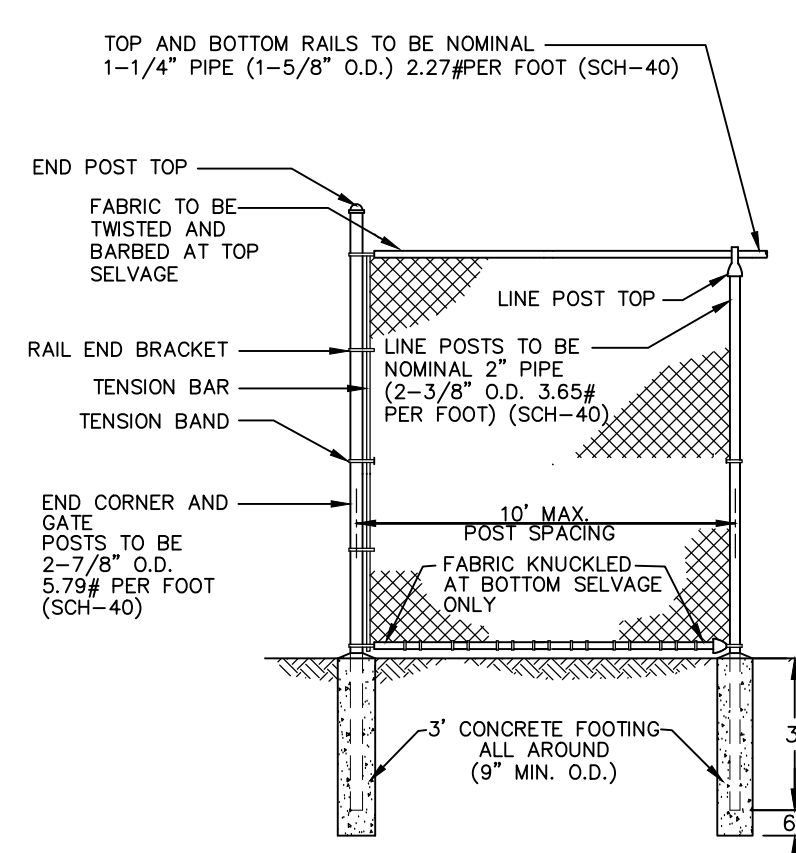
SWALE DETAIL

HANDICAP SIGN



NOTE: SYMBOL TO BE PAINTED WITH BLUE NON-REFLECTIVE TRAFFIC PAINT.

NYS COMPLIANT ACCESSIBILITY SYMBOL



TYPICAL CHAIN LINK FENCE

FENCE SPECIFICATIONS:

- FENCING MATERIAL SHALL BE CYCLOPE TYPE 1 FENCE AS MANUFACTURED BY USS OR EQUAL.
- FABRIC HEIGHT IS TO BE 4'.
- FABRIC SHALL BE 2" MESH 9 GAUGE (MIN.) WITH FUZZED BLACK VINYL COATING.
- GATE SHALL HAVE LATCHING DEVICES WITH PROVISIONS FOR PADLOCKING.
- ALL POSTS, RAILS, AND APPURTENANCES SHALL BE GALVANIZED STEEL. PIPE POSTS SHALL HAVE TOPS WHICH EXCLUDE MOISTURE.
- END, CORNER, PULL, AND GATE POSTS ARE TO BE BRAZED WITH THE SAME MATERIAL AS TOP RAIL. ALL POSTS SHALL BE SET IN A CONCRETE FOUNDATION OF 1-2-4 MAX. LINE POSTS SHALL BE EVENLY SPACED 10' OR LESS.
- FENCE IS TO BE INSTALLED IN A PROFESSIONAL MANNER TO ENHANCE THE APPEARANCE OF THE INSTALLATION, TO PREVENT ENTRANCE OF PERSONS AND ANIMALS AND TO PROTECT EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THAT THE GRADE AT THE FENCE LINE IS CORRECT, LEVEL AND FINAL BEFORE THE FENCE IS INSTALLED. ALL POSTS SHALL BE ALIGNED TOP RAIL SHALL BE HELD LEVEL.
- EXPERIENCED PERSONNEL IN THE FENCE INDUSTRY SHALL INSTALL THE FENCE.

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CONSTRUCTION DETAILS 1
PREPARED FOR

MKJC REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023

Revisions:
JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023
NOVEMBER 15, 2023
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JUNE 9, 2025

CAD File: ENG.DWG

Layout: EROSION DETAILS

Sheet No.: 10 OF 12

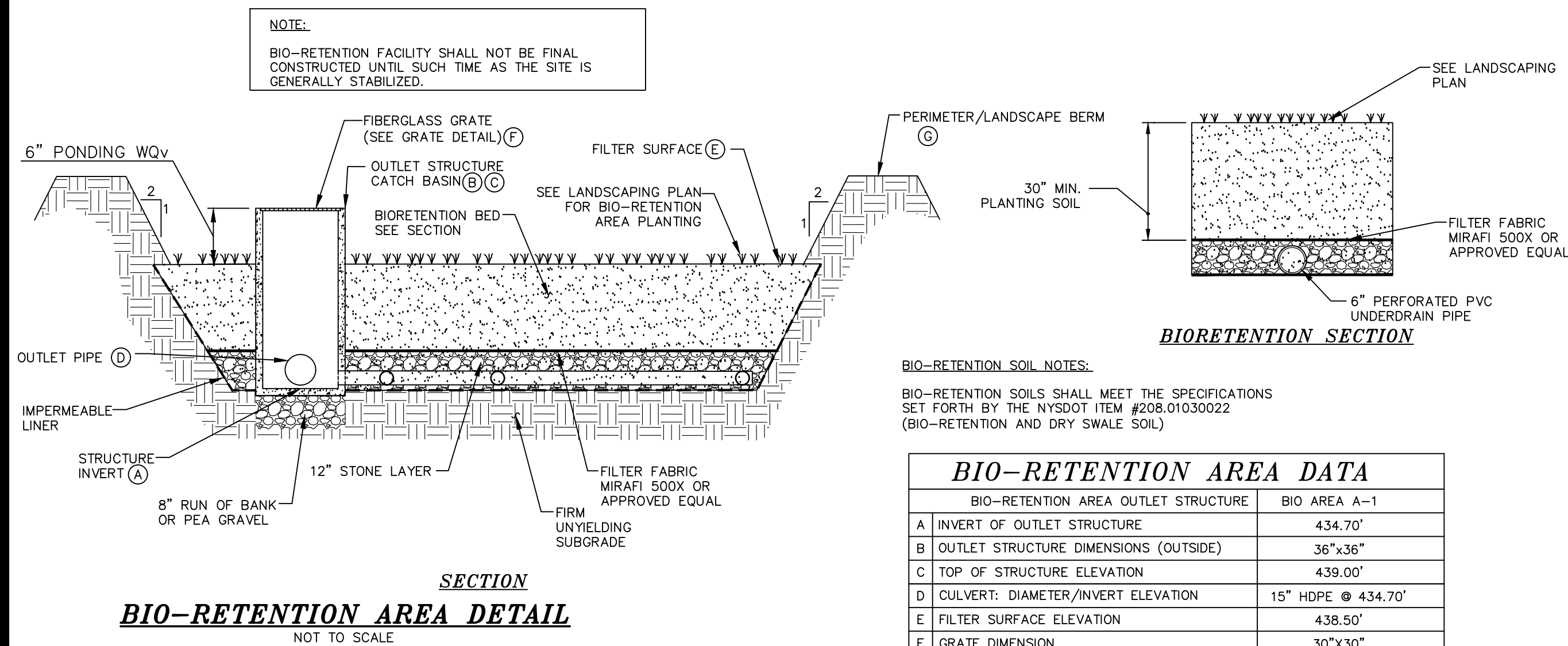
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B- 23 - 0107 - 01

Drawn By: JQ

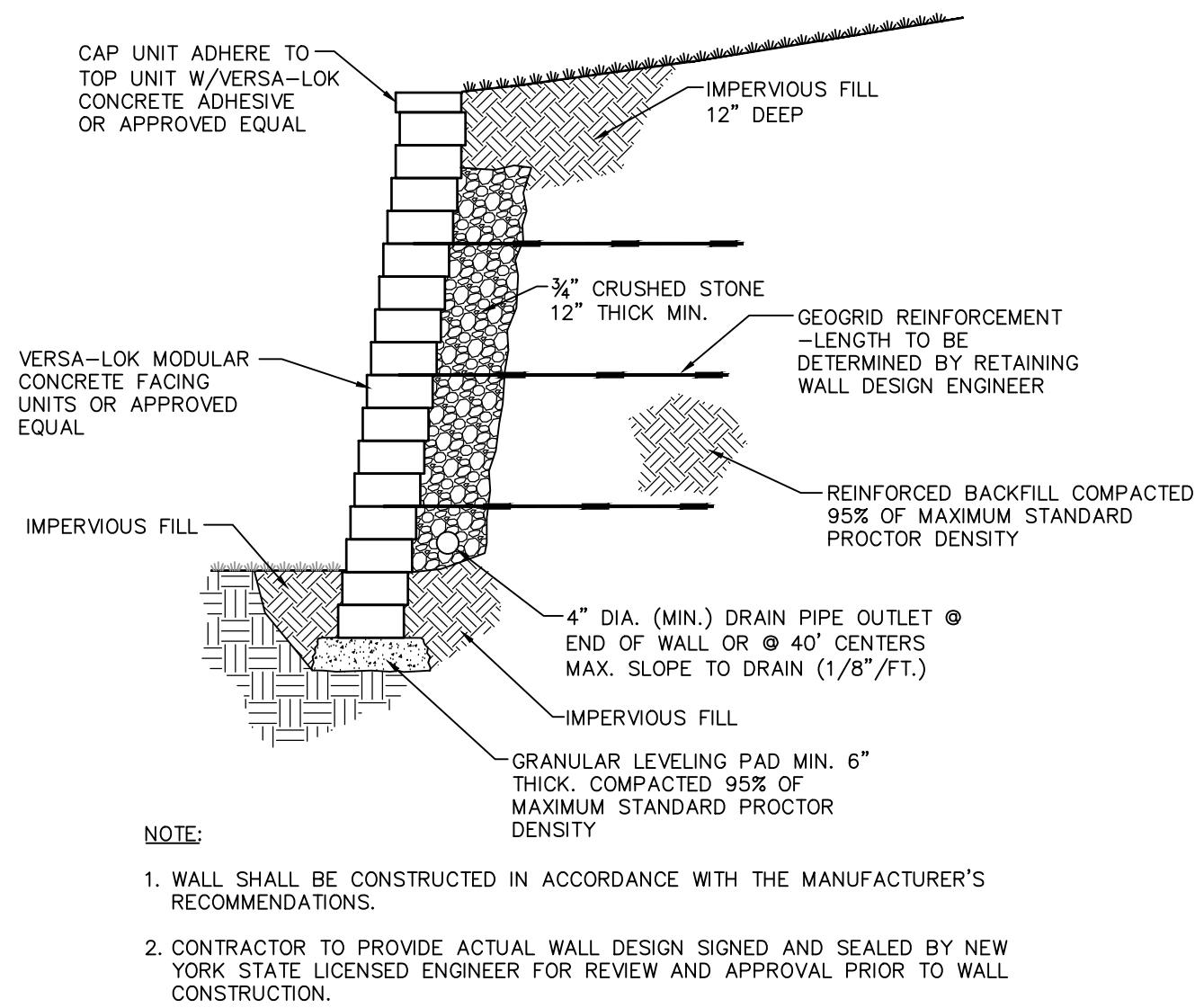
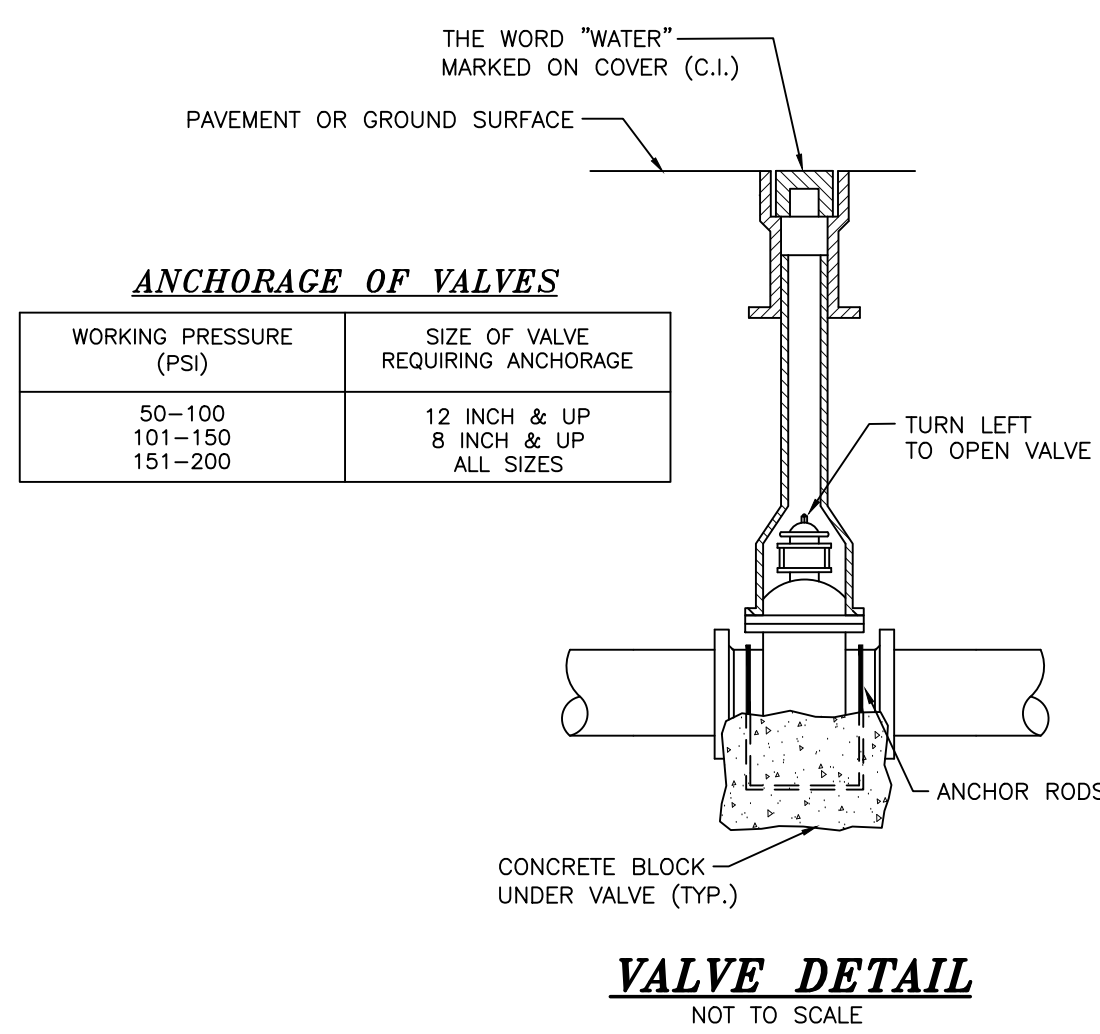
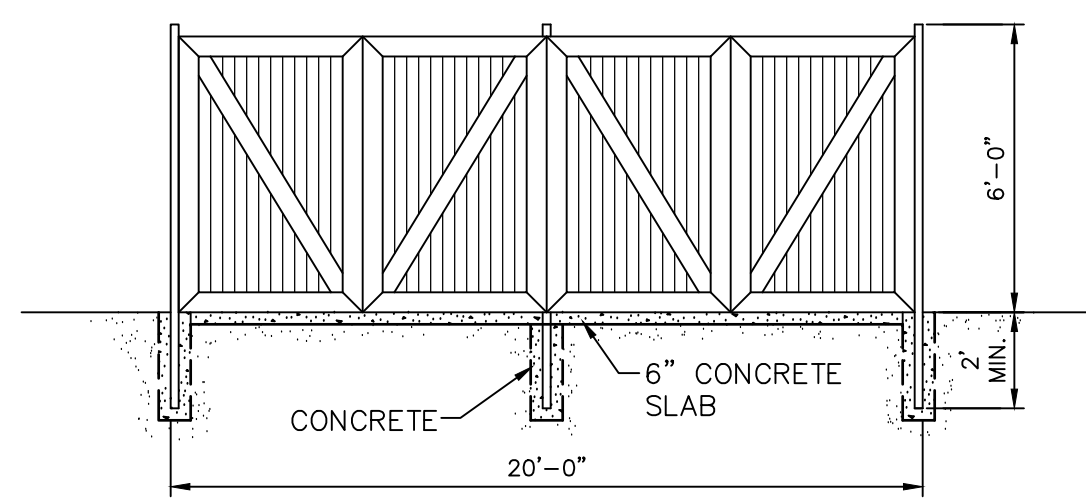
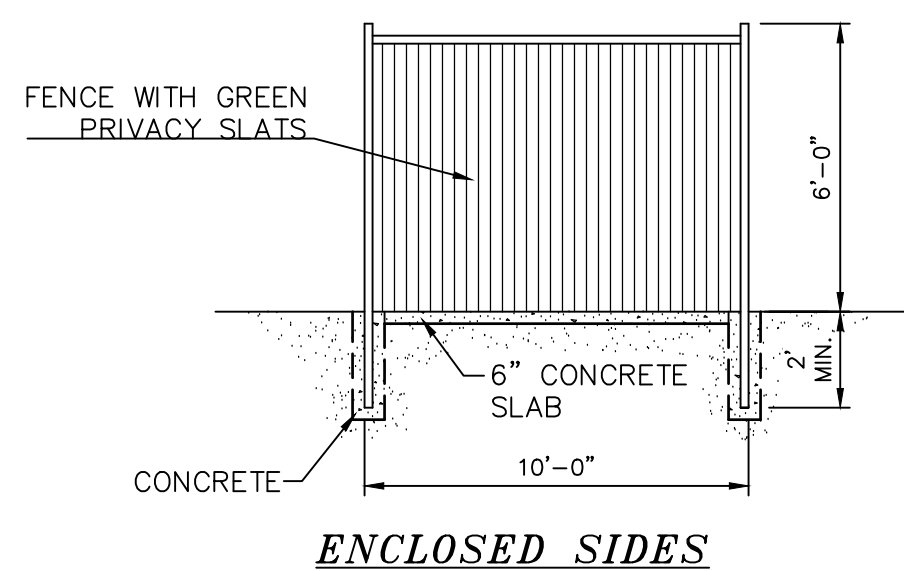
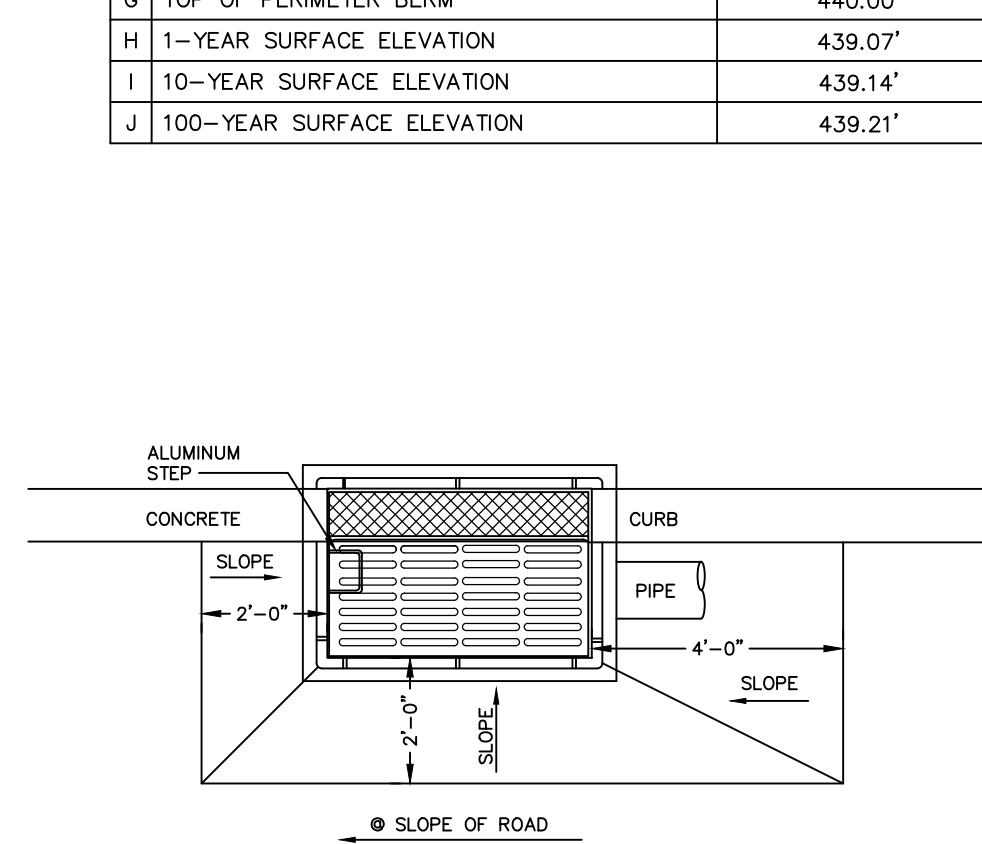
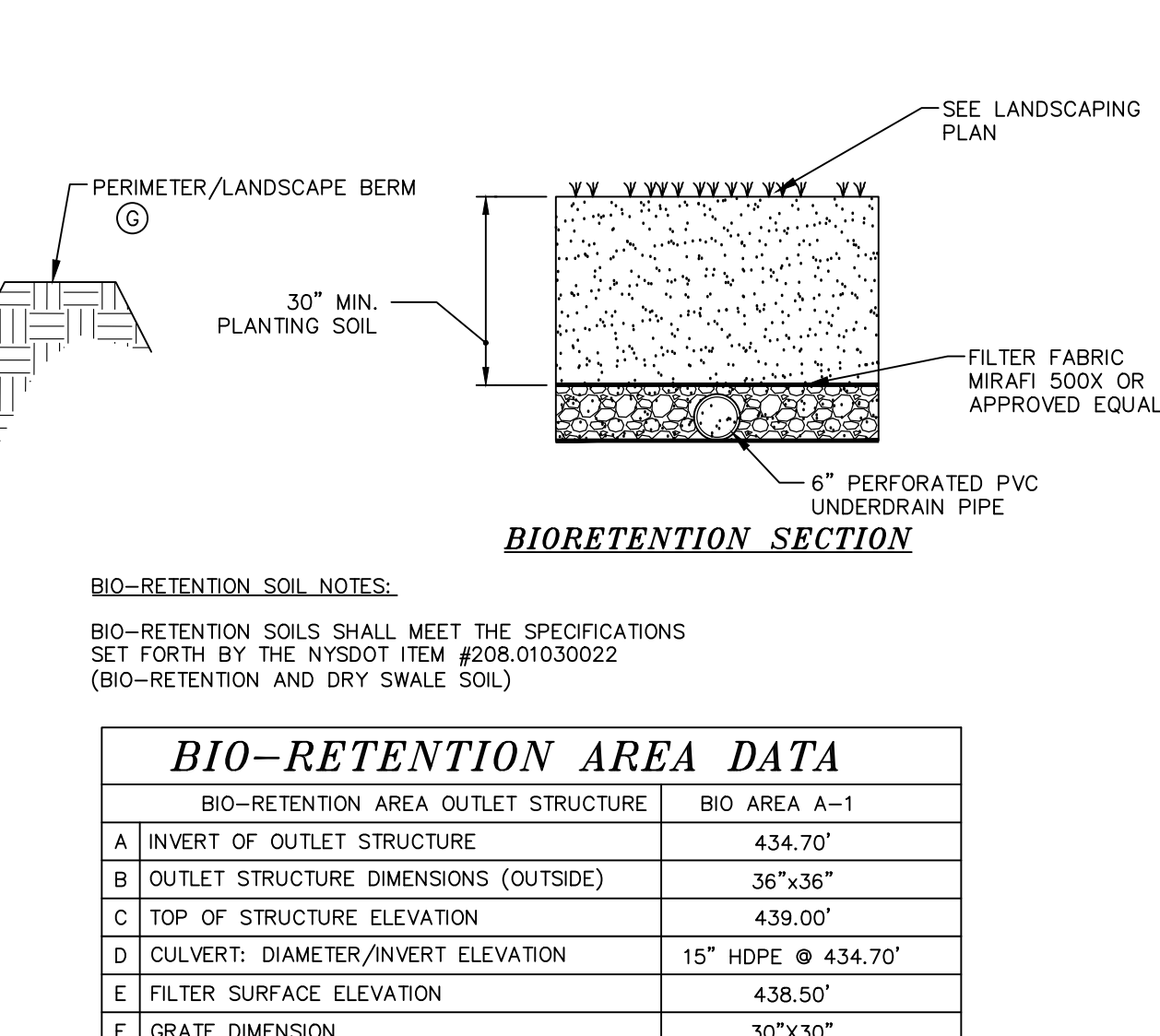
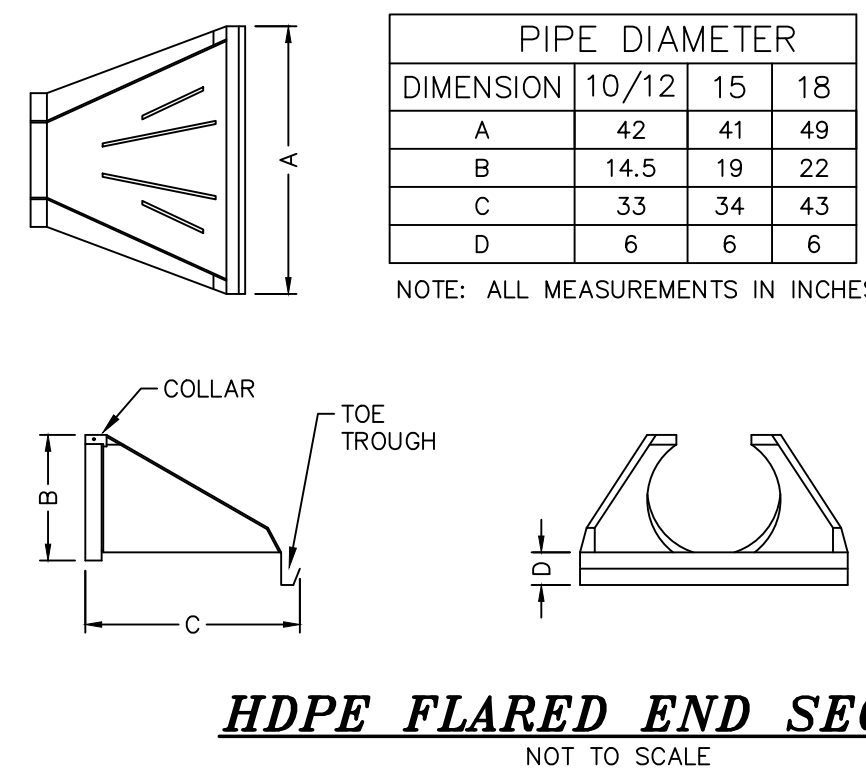
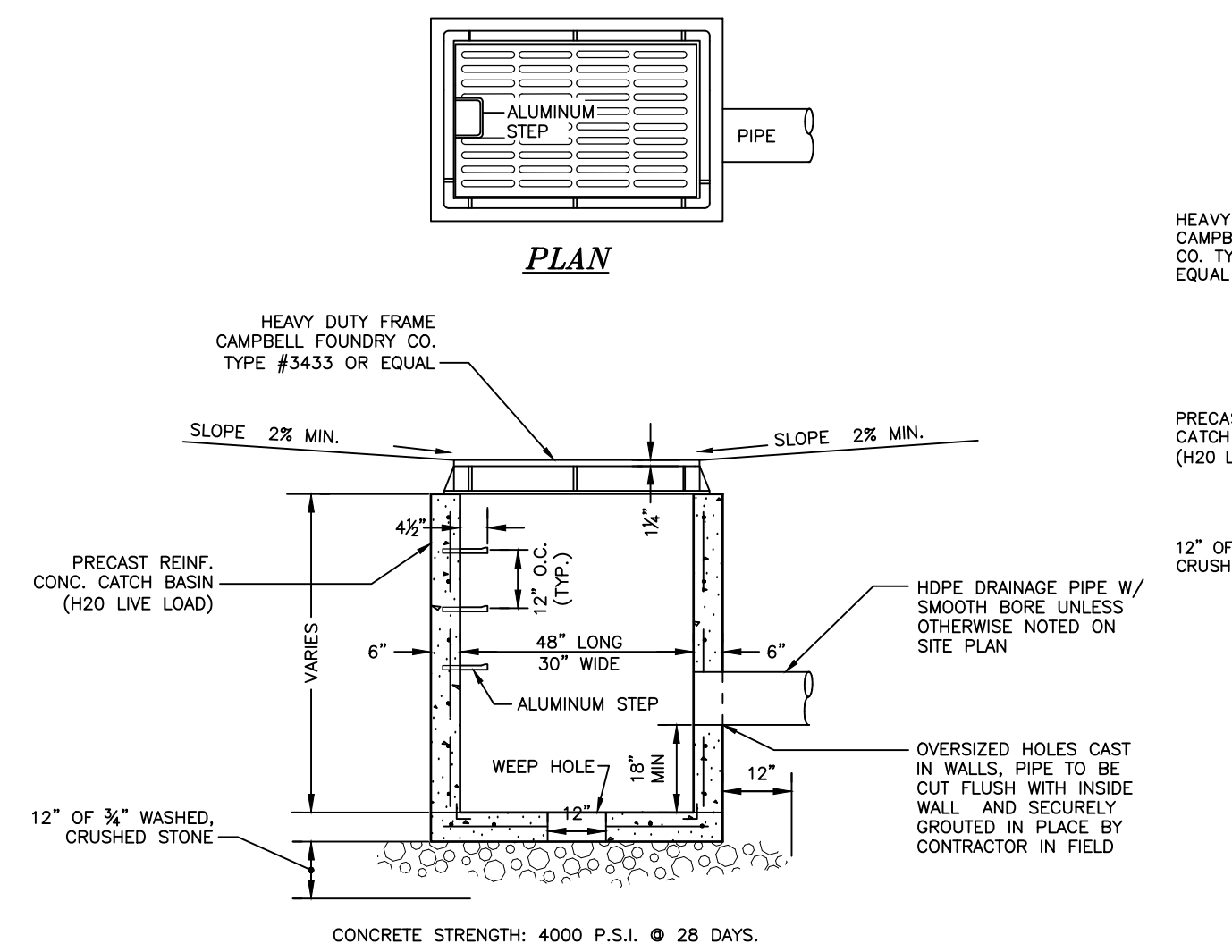
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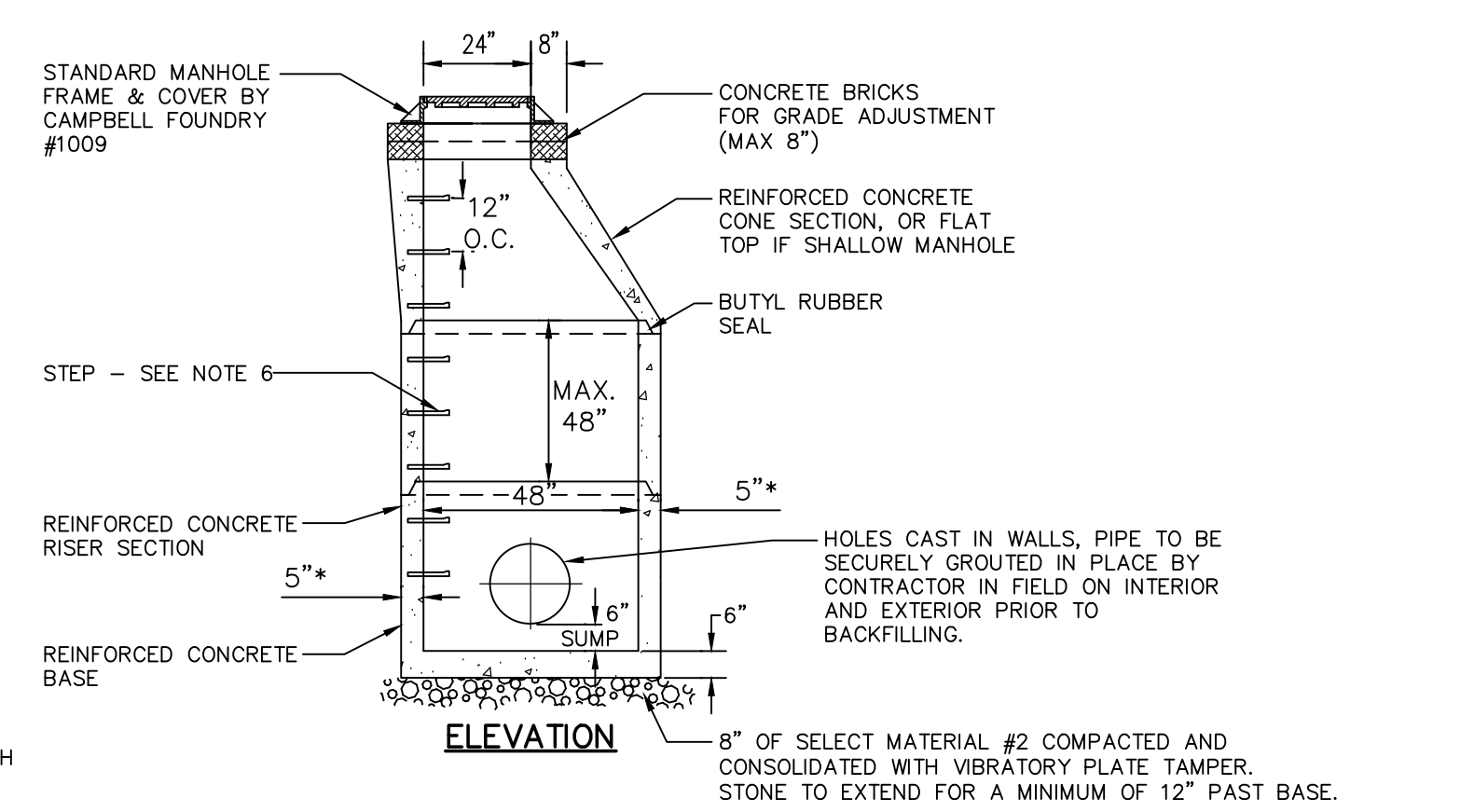
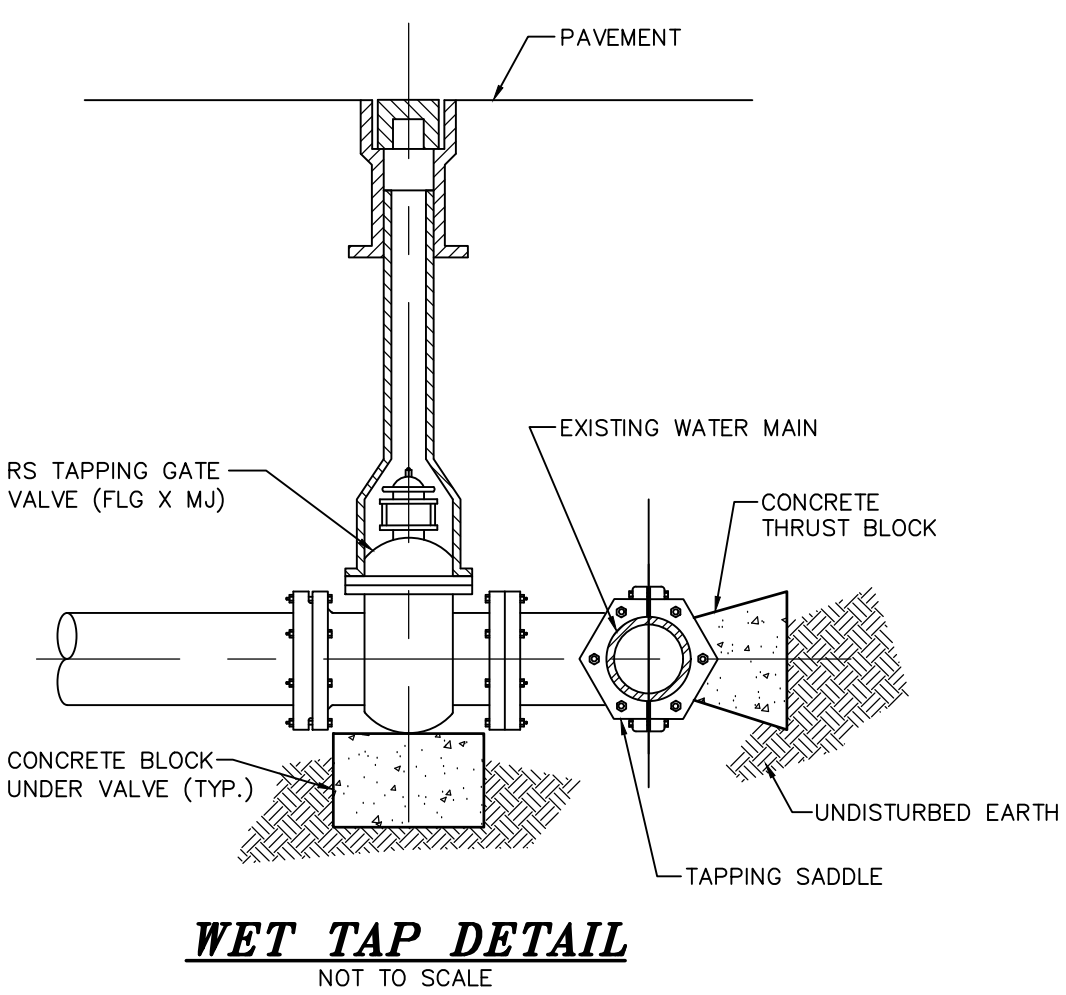
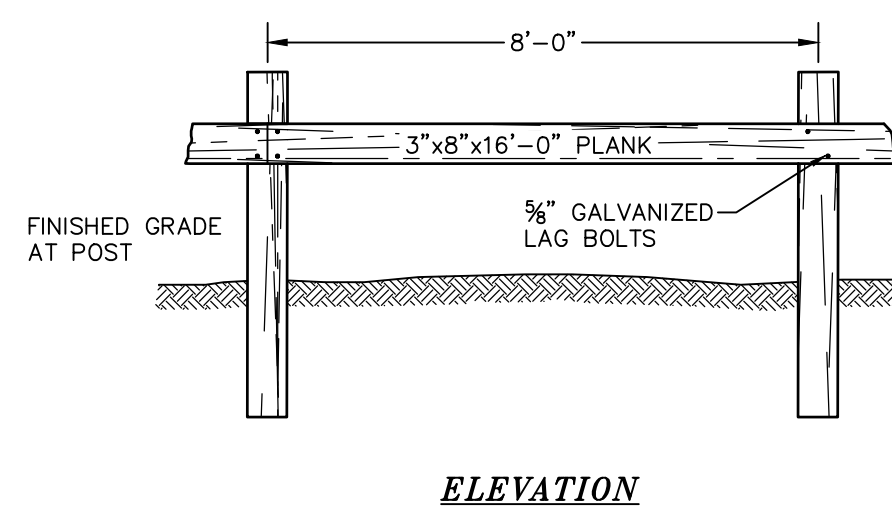


- BIORETENTION AREA MAINTENANCE REQUIREMENTS:**
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:
- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
 - RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
 - REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
 - ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
 - WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
 - REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.
 - COMPACTION SHALL BE AVOIDED AT ALL TIMES OF CONSTRUCTION OF MAINTENANCE OF THE BIORETENTION AREAS IN ORDER TO MAINTAIN THE NATURAL INFILTRATION CHARACTERISTICS OF THE UNDERLYING SOILS.



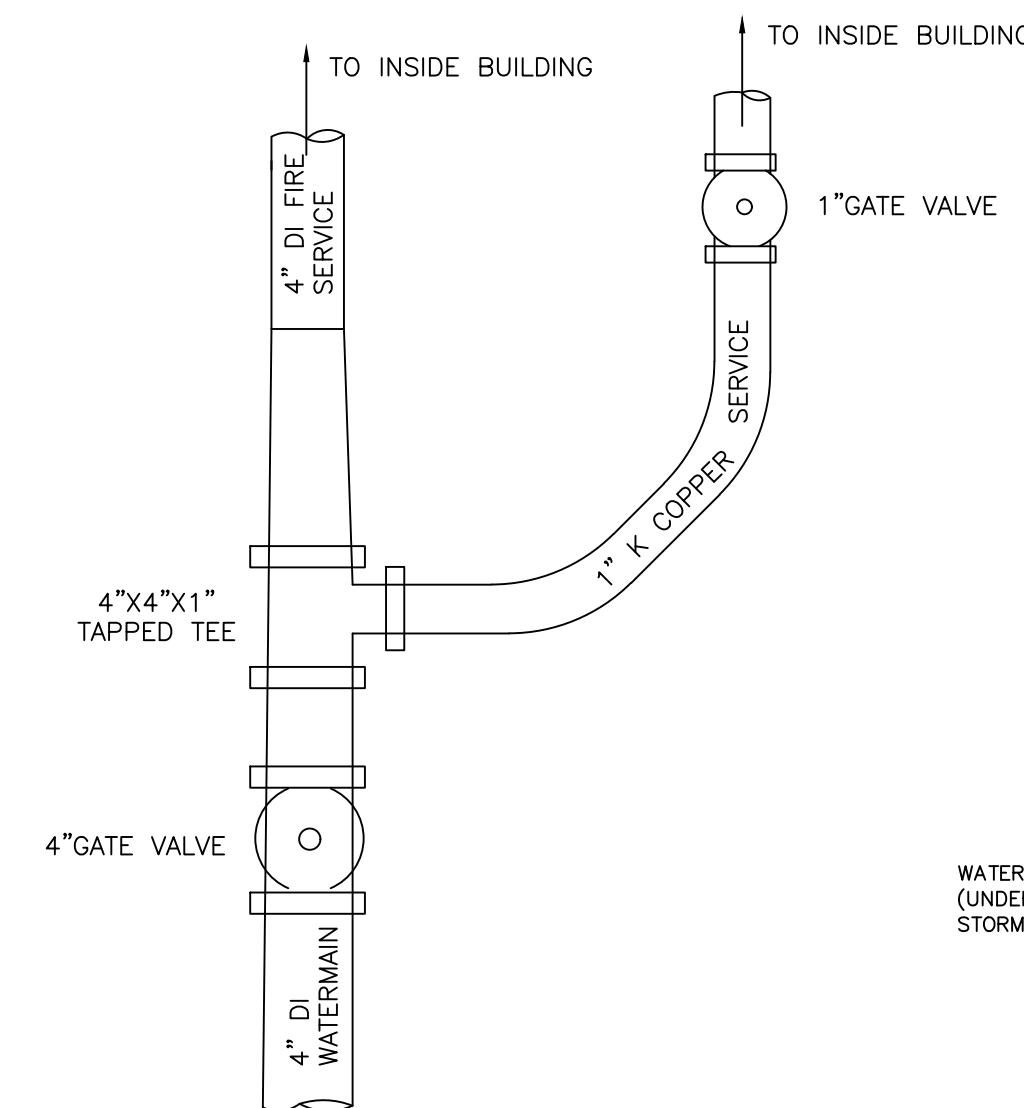
RETAINING WALL NOTES

- Design for the retaining wall shown hereon shall be prepared by a NYS Licensed Professional Engineer and submitted to the Town Building Inspector for record prior to construction. Such design drawings (or shop drawings) shall bear the stamp and signature of such engineer, and shall be specific for the site and specific to the retaining wall system to be utilized and shall consider all appropriate and necessary possible loadings and conditions related to this project.
- The aforementioned design and details shall consider / identify / include, but shall not be limited to: signed and sealed design calculations; complete and specific construction plans and details for each wall; appropriate sizing for drainage system to handle intense storm conditions; maintenance ability to clean stormwater piping systems; appropriate backfill material sufficient porosity to allow free drainage of water; evaluate potential failure by internal/external failure mechanisms, global failure or other potential failures; and seismic design considerations.
- If the wall or walls are tiered walls, the design shall include an analysis of the minimum spacing of walls to allow the individual walls to act as individual walls based on the specific site and construction conditions. If the walls are to be placed closer than the same, the specific design shall consider the loads superimposed by one wall to the other.
- During construction, the work must be inspected by a NYS Licensed Professional Engineer who shall provide written verification to the Town Building Inspector, prior to the request for a certificate of occupancy, that he/she has personally inspected the work, and the installation is in compliance with the design drawings and manufacturer's installation recommendations.
- If deemed necessary by the design engineer and/or the Town, third party testing will be performed regarding material compaction, fill quality, etc. A copy of all such testing records shall be provided to the Town Building Department for record.



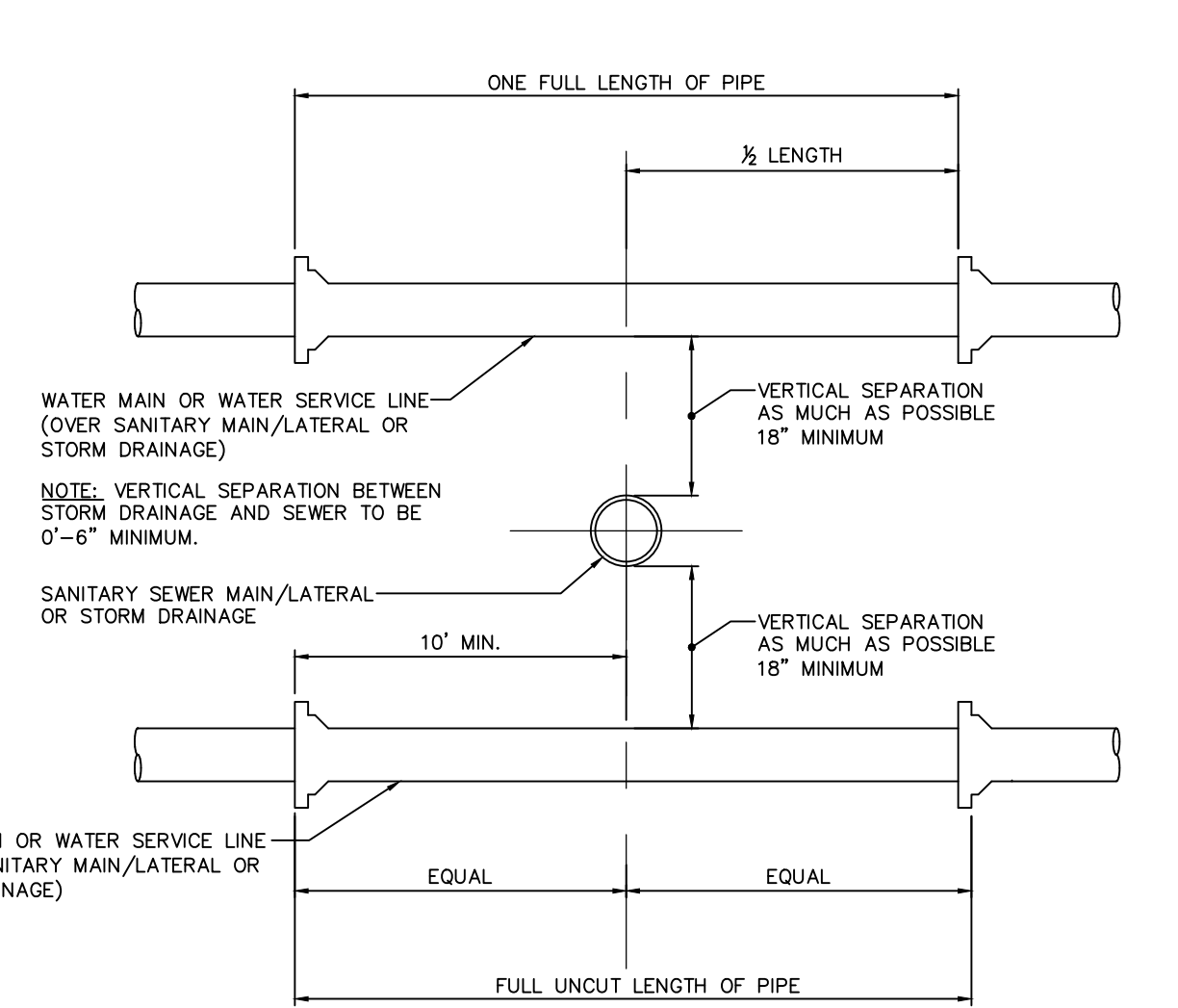
- NOTES:**
- PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
 - OPENING FOR PIPE SHALL BE PRE-CAST.
 - MANHOLE COVERS TO BE STAMPED "STORM".
 - PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H20 LIVE LOAD.
 - *WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
 - STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
 - PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 - BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

BUILDING WATER SERVICE CONNECTION DETAIL

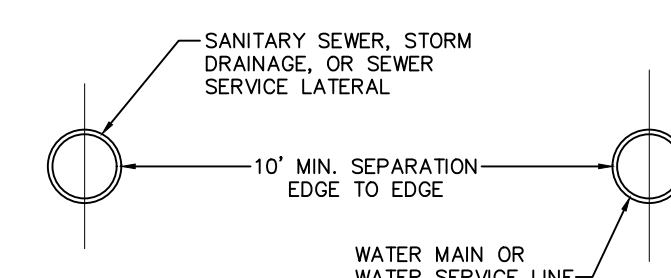


WATER & SEWER CROSSING DETAIL

- TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
- VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.



WATER & SEWER HORIZONTAL SEPARATION



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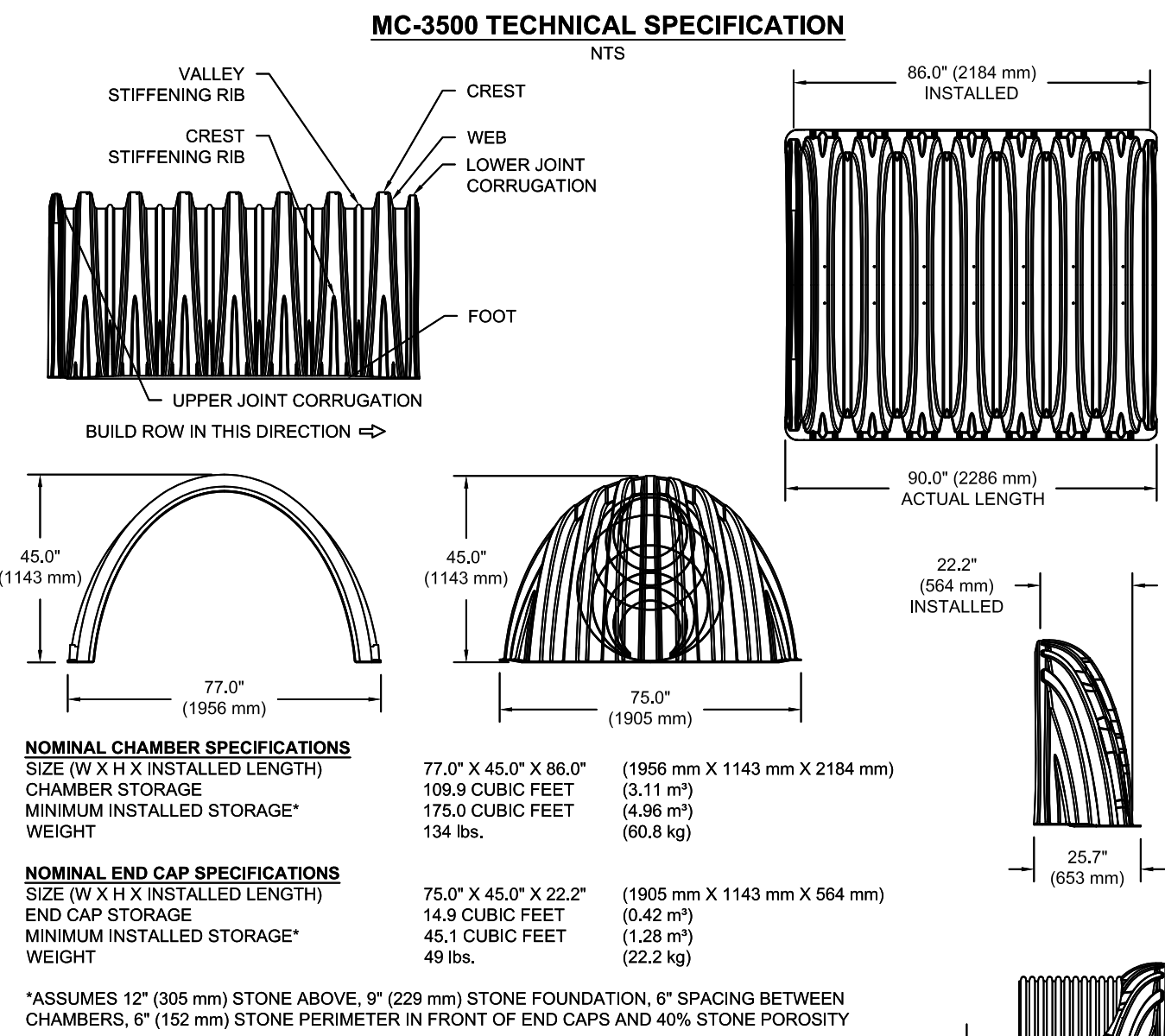
CONSTRUCTION DETAILS 2
PREPARED FOR

MKJC REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revision: JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023
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CAD File: ENG.DWG
Layout: DETAILS_2
Sheet No.: 11 OF 12
Drawing No.: C3D
B- 23 - 0107 - 01

Drawn By: JQ
Checked By: N.T.S.
Scale: 35 - 3 - 3.22
Tax Map No.: 35 - 3 - 3.22



STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC3500IEPP06T	6" (150 mm)	33.21" (844 mm)	---
MC3500IEPP06B	---	---	0.66" (17 mm)
MC3500IEPP08T	8" (200 mm)	31.16" (791 mm)	---
MC3500IEPP08B	---	---	0.81" (21 mm)
MC3500IEPP10T	10" (250 mm)	29.04" (738 mm)	---
MC3500IEPP10B	---	---	0.83" (24 mm)
MC3500IEPP12T	12" (300 mm)	28.36" (670 mm)	---
MC3500IEPP12B	---	---	1.35" (34 mm)
MC3500IEPP15T	15" (375 mm)	23.39" (594 mm)	---
MC3500IEPP15B	---	---	1.50" (38 mm)
MC3500IEPP18TC	18" (450 mm)	20.03" (509 mm)	---
MC3500IEPP18TW	---	---	1.77" (45 mm)
MC3500IEPP18BC	---	---	---
MC3500IEPP18BW	---	---	---
MC3500IEPP24TC	24" (600 mm)	14.48" (368 mm)	---
MC3500IEPP24TW	---	---	---
MC3500IEPP24BC	---	---	2.06" (52 mm)
MC3500IEPP24BW	---	---	2.75" (70 mm)
MC3500IEPP24BC	---	---	---

NOTE: ALL DIMENSIONS ARE NOMINAL

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M140 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1,2}

PLEASE NOTE:

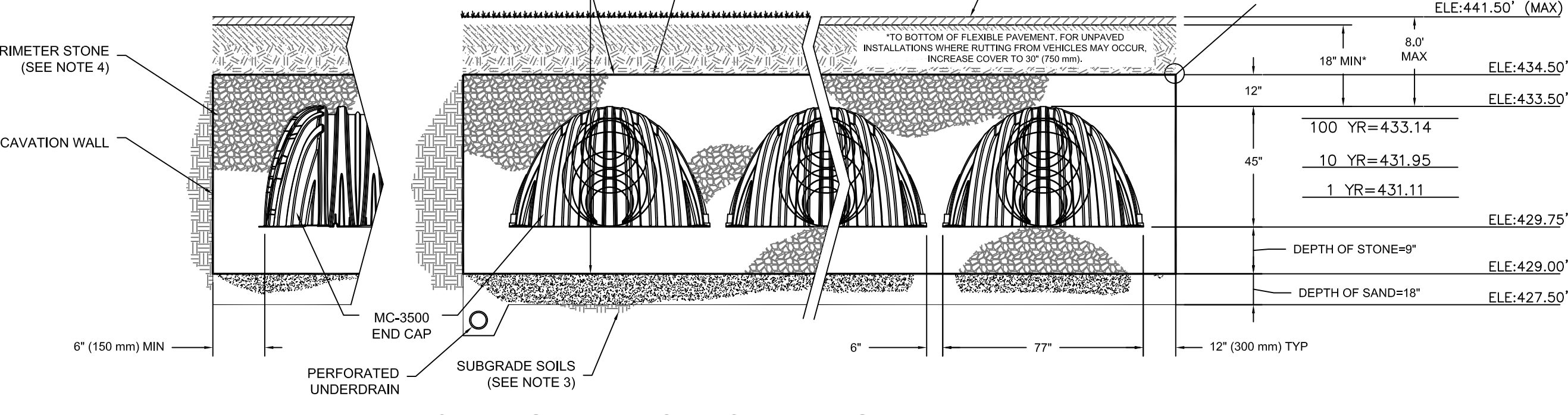
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 4" (100 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

NOTES:

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

30 MIL PVC IMPERVIOUS LINER BETWEEN TWO LAYERS OF 80Z, NON-WOVEN FILTER FABRIC (SIDES AND BOTTOM ONLY) IMPERMEABLE LINER TO BE INSTALLED AROUND STORAGE AREA OF MC-7200 SYSTEM (SEE LINER NOTES)

ADS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE ALL AROUND CLEAN, CRUSHED, ANGULAR STONE IN A & B LAYERS.



MC-3500 SEPARATOR ROW WITH SAND FILTER DETAIL

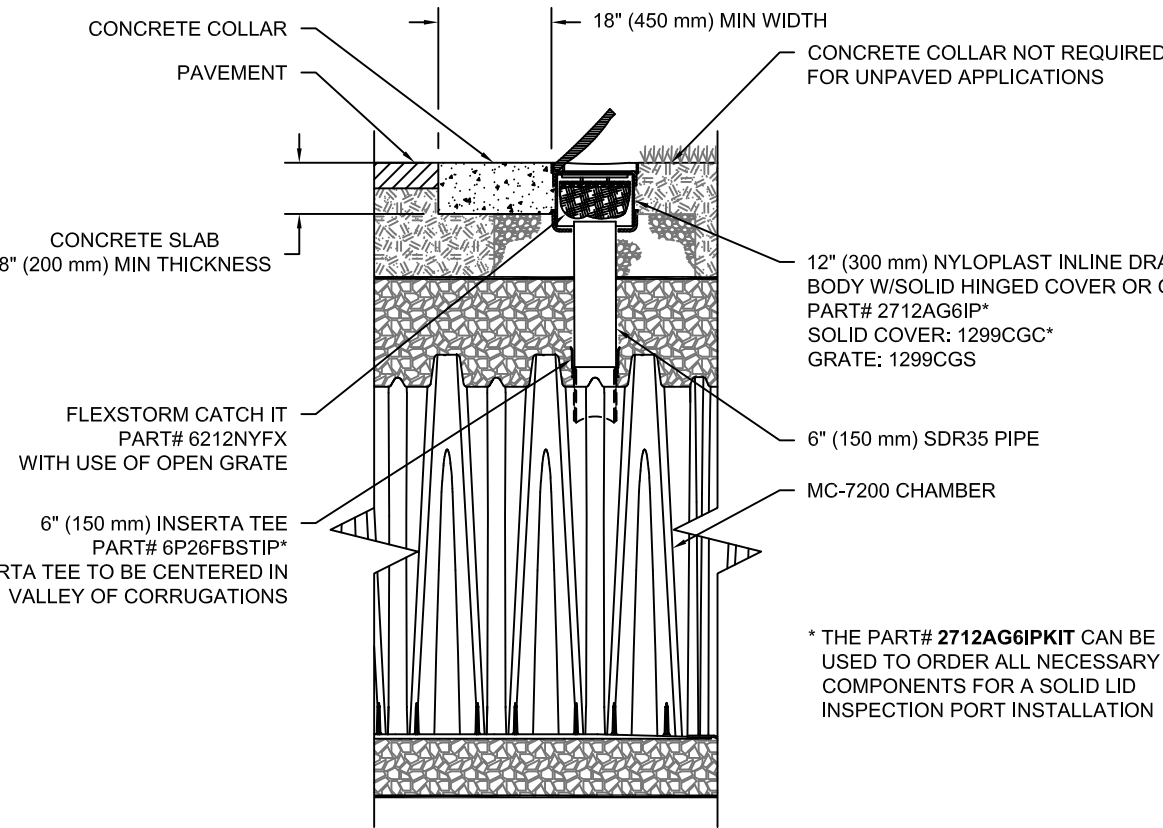
NTS

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
- i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE PUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

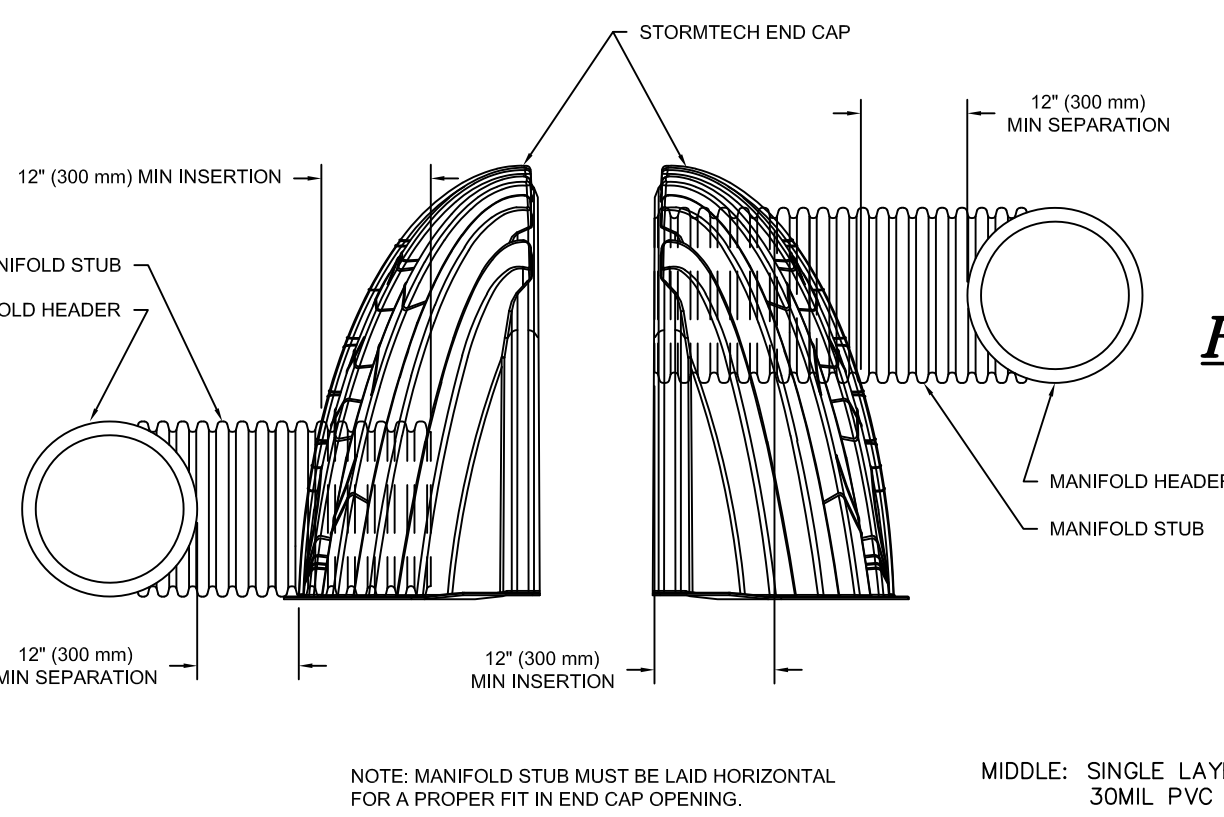


MC-3500 6" (150 mm) INSPECTION PORT DETAIL

NTS

MC-SERIES END CAP INSERTION DETAIL

NTS



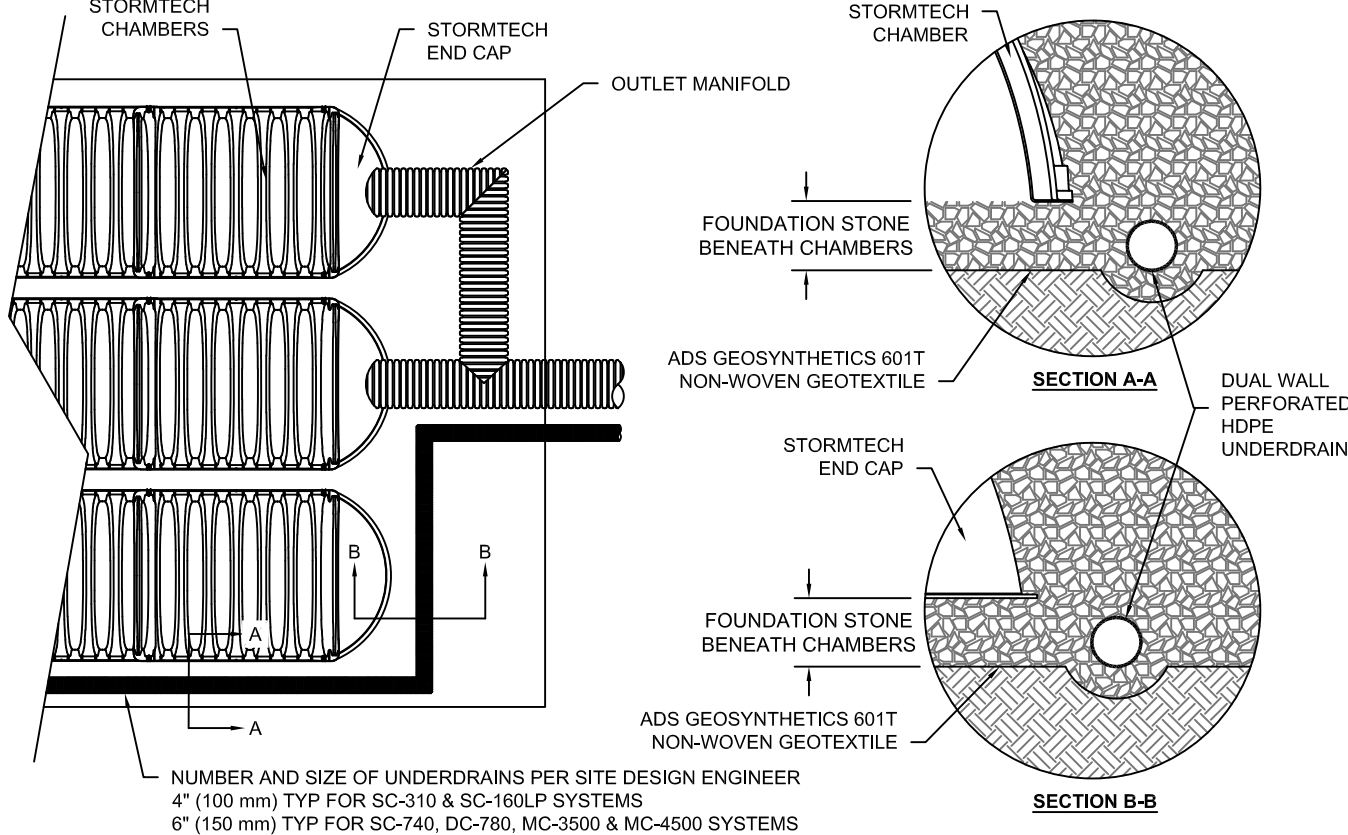
TYPICAL LINER SECTION

NOT TO SCALE

- NOTES:
- PVC LINER SHALL BE 30 MIL THICKNESS MEETING THE REQUIREMENTS OF PGI 1104 (PVC GEOMEMBRANE INSTITUTE).
 - GEOTEXTILE SHALL BE 8 OZ./YD NON-WOVEN FABRIC SIMILAR TO MIRAFI 180N OR APPROVED EQUAL.
 - FOLLOW PVC LINER MANUFACTURER RECOMMENDATIONS FOR INSTALLATION.
 - ALL LINER SEAMS SHALL BE PROPERLY SEALED BY APPROPRIATE WELDING TECHNIQUES AS DIRECTED BY THE MANUFACTURER. THESE MAY INCLUDE CHEMICAL WELDING, ADHESIVE SEAMING, OR THERMAL WELDING.
 - REMOVE ALL LARGE STONES PROTRUDING FROM BASIN BOTTOM PRIOR TO PLACING INITIAL LAYER OF GEO-TEXTILE TO PREVENT LINER PUNCTURE.

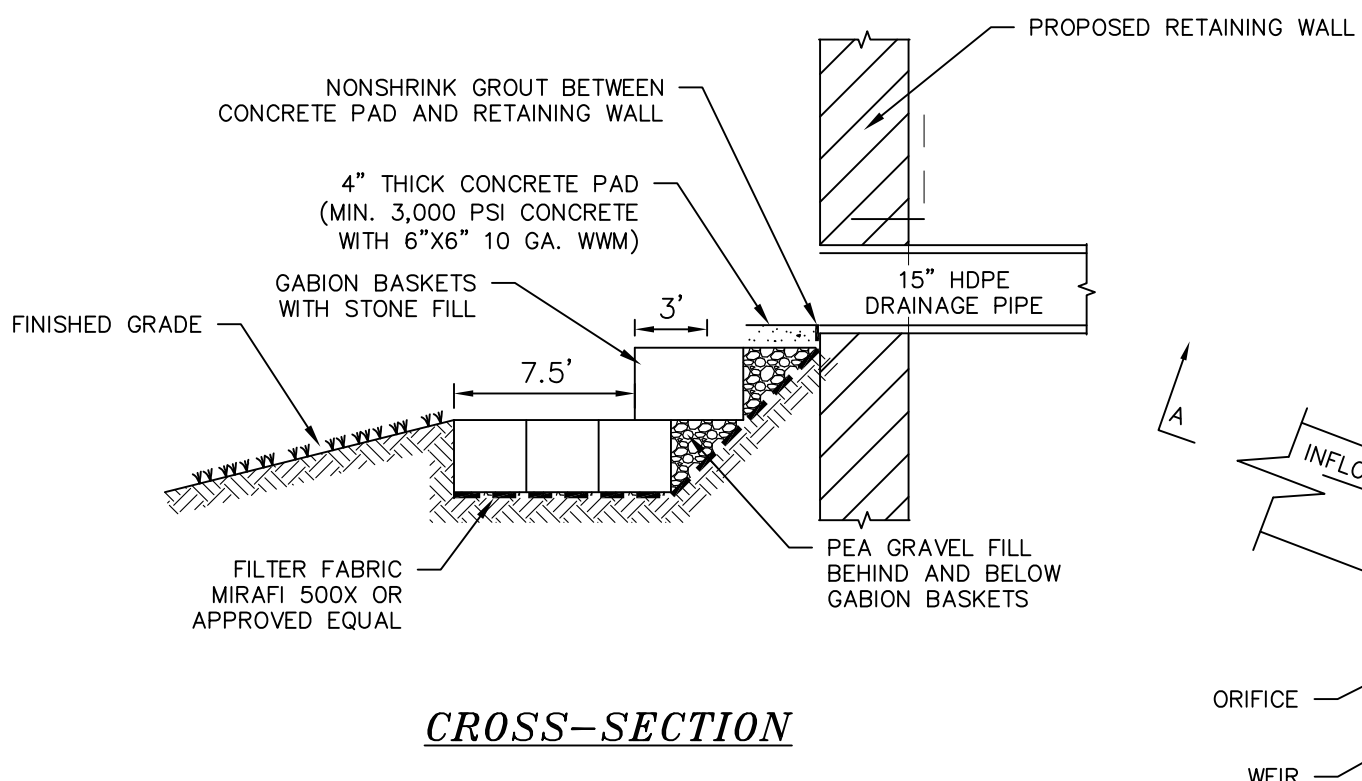
UNDERDRAIN DETAIL

NTS



MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 46x76 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.



IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIERED LOADER, DUMP TRUCK OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

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CONSTRUCTION DETAILS 3
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