



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJC REALTY, LLC
PROJECT NO.: 2023-11
PROJECT LOCATION: SECTION 35, BLOCK 3, LOT 3.22/ NYS ROUTE 32
REVIEW DATE: 27 OCTOBER 2023
MEETING DATE: 2 NOVEMBER 2023
PROJECT REPRESENTATIVE: LANC & TULLY ENGINEERS

1. The Tree Removal Plan should be modified to identify each of the three classes of trees in the Town Tree Preservation Code. It appears that only a limited number of the trees on the site would be considered under the Tree Code based on diameter.
2. Percolation testing for the subsurface sanitary sewer disposal system design is required.\
3. The septic design references a PRESBY System, while the details identify an Elgin Proprietary System. This should be clarified.
4. The sanitary sewer reserve area must be 100% for commercial systems. It appears that the reserve area is 50%.
5. The system design calculations are based on the 10,080 square foot building previously proposed. Building is now 10,000 square feet.
6. This office awaits the submission of a Stormwater Pollution Prevention Plan (SWPPP). The plan is identified to be provided under separate cover.
7. The applicants are proposing a dry-laid stone wall along the entire property frontage to mitigate the parking in front of the structure which is inconsistent with the Town's Design Guidelines. The height of the stone wall is identified as *varies* in the detail. The height of the wall should be identified in the detail.
8. When the SWPPP is provided impacts to adjoining properties with regard to the point discharge should be addressed.
9. The outlet protection for retaining wall pipe penetration detail did not print on Plan Sheet 12 of 12.
10. NYSDOT approval for utility connections is required.
11. ARB approval for the structure is required.

NEW YORK OFFICE

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845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

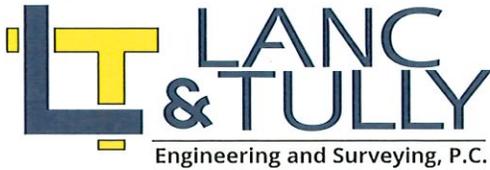
12. The access easement for use of the common commercial driveway must be reviewed by the Planning Board Attorney.
13. Project requires submission to the Orange County Planning Department in order for the complete submission to be made the SWPPP must also be submitted to the County.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive, flowing style.

Patrick J. Hines
Principal
PJH/kbw



October 19, 2023

Town of Newburgh Planning Board
Mr. John Ewasutyn - Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Re: Site Plan for MKJC Realty LLC
SBL: 35-3-3.22
Planning Board # 2023-11

Dear Chairman Ewasutyn and Planning Board Members:

Enclosed are 11 copies of the following materials for the Board's continued review of the application at the upcoming November 2, 2023 Planning Board Meeting:

- Revised Site Plan entitled "Site Plan Prepared for MKJC Realty, Inc." last revised on October 18, 2023
- Revised Short EAF dated October 18, 2023
- Completed ARB Application
- Building Renderings as prepared by DPQ Design

MHE Engineering comments dated September 7, 2023

1. The building is now proposed to be 80 square foot larger than the previous proposal. Total building size is now 10,080 square feet.

Response: The building footprint has been updated based upon additional site design and is 10,000 S.F.

2. The building is located very close to setback lines. Staking of the building by a licensed surveyor prior to issuance of the Building Permit.

Response: Note 16 has been added to Sheet 1 addressing this concern.

3. Existing fencing for the self-storage facility crosses the property line. The location of the new fence should be depicted on the plans.

Response: The proposed fence location has been depicted on the plan set.

4. Plans should address stormwater management in compliance with NYSDEC and Town requirements.

Response: The plan has been revised to provide for stormwater management in accordance with NYSDEC and Town Requirements. A completed SWPPP will be provided under separate cover.

5. The subsurface sanitary sewer disposal system is depicted to be constructed under pavement. Orange County Department of Health approval for the alternative system will be required.

Response: The sewage disposal system has been revised to no longer be provided under the pavement. The site plan has been designed to provide for an open grass area at this location including for the expansion area.

6. The Planning Board should declare its intent for Lead Agency and circulate to outside agencies including the NYS Department of Transportation, Orange County Health Department and Orange County Department of Planning.

Response: The Planning Board completed this at the September 7th meeting.

7. The Short Form EAF submitted identifies the project within the Town of Newburgh's Critical Environmental Area, however the project is located outside the Critical Environmental Area.

Response: A revised short EAF has been provided.

8. The Tree Preservation Plan should identify the percentage of trees to be removed. Species of trees should be identified in the Tree Preservation Plan. It appears that only one tree greater than 20 inches is proposed to be removed.

Response: Sheet 3 of the plan set identifies the tree species, number to be removed and the percentage of removal.

9. A substantial retaining wall is proposed along the north and westerly side of the development. Wall is approximately 18 feet high at its highest point along the northern property line.

Response: The wall has been noted to be segmental block with a brown or grey color as discussed at the September 7th Planning Board meeting.

10. The parking in front of the structure in the front yard setback is not consistent with the Towns Design Guidelines. The applicants are proposing a partial stone wall to mitigate parking along the frontage.

Response: A stone wall is proposed along the frontage to mitigate the parking area.

11. ARB approval for the structure is required. Building plans should be submitted for review.

Response: Enclosed are the proposed building renderings for the Board's consideration.

12. Design of the retaining wall should be addressed on the plans.

Response: The applicant is currently having the retaining wall designed. This will be incorporated into the plan set.

13. The water line connection for fire and potable water should be depicted on the Utility Plan.

Response: The water service line is now shown on the plan.

14. NYSDOT approval for utilities and grading within their right-of-way is required.

Response: Comment noted.

15. Documentation of the easement for access from Tax Lot 21.2 should be submitted for Dominic Cordisco's review.

Response: A proposed easement has been depicted on Sheet 1 of the plan. This shall be prepared by the applicant's council.

16. Parking lot striping should be consistent with Town of Newburgh requirements utilizing double striping. (Detail Attached)

Response: The striping detail has been updated.

17. Plans contain a bio-retention detail. Location of the bio-retention area is not depicted on the plans.

Response: The bioretention area has been depicted on the plan set Sheet 4.

Creighton Manning comments dated September 5, 2023

1. Do Not Enter signs (MUTCD R5-1) should be added in the parking lot at the right-in only driveway; show sign in "Details 1" sheet.

Response: The signage has been added to the plan along with the detail for the sign.

2. Some of the pavement striping details reference outdated NYSDOT item numbers. Although the striping is not in the NYSDOT ROW, they should be updated if the contractor is to follow those.

Response: The item numbers have been updated.

KALA comments dated September 2, 2023

1. Please note the proposed development has been sited so that most if not all existing trees that create a buffer between the site and the neighboring site to the north will be removed. Town of Newburgh design guidelines ask developers to provide natural landscape buffers in addition to walls and/or fences to soften the visual impact between adjacent properties. Please show a natural buffer between the sites.

Response: As discussed at the Planning Board meeting, there is no ability to provide for a natural buffer along the western property line. The neighboring property parking and pavement is one ft away from the property line.

2. Delineate graphically on the plans which areas of the site will be planted with a lawn seed mix and which will be planted with the Northern US Roadside Native Mix. It is unclear where each seed mix will go. There are large open areas at the rear of the site that would be ideal for a meadow mix rather than lawn.

Response: All areas of the site shall be planted lawn seed, except the rear of the site where noted shall be roadside native mix.

3. We understand that there is little area between North Plank Road and the proposed parking lot in which to show shade trees. However, there is an opportunity for another shade tree in the northern most corner of the site between the road and the parking lot. Please show a large shade tree there.

Response: An additional shade tree has been added to the northern corner of the site.

4. Inkberry and Winterberry Holly are proposed shoved in along a small section of parking lot on the north side of the property. It is awkward to have a single line of shrubs along one small section of parking lot and they would be damaged from snow plows shown so close to edge of pavement. Cars, if the lot is full 8 cars, will not be screened from North Plank Road on the northerly side. Please note that design guidelines suggest screening of the grills of parked cars.

Response: The Inkberry and Winterberry have been removed from this area and replaced with the stone retaining wall.

5. Winterberry Holly would be an excellent choice to show in the proposed bioretention area on site. If Winterberry Holly will be shown on the plans, a cultivar, such as Red

Sprite, must be specified. Additionally, in order for berry production, one male Winterberry Holly must be planted for each 5 female. Jim Dandy is a suitable male Winterberry Holly for the Red Sprite cultivar.

Response: Comment noted, this will be incorporated into the bioretention area planting plan.

6. Show the location of the proposed sign on the site plan and propose an aesthetically pleasing landscape planting around it which will not block the sign.

Response: The existing sign and the proposed relocation of the sign has been depicted on the plan.

7. Mountain Laurel often does not thrive in this area. Instead, propose Shadblow Serviceberries on the north side of the building where room allows.

Response: The Mountain Laurel has been replaced with the Shadblow serviceberries.

8. The north corner of the parking island where seven Potentilla are currently shown would be the perfect location for a shade tree. A minimum of four shade trees could be shown in the parking lot island without encroaching on the proposed sewage disposal system.

Response: The site plan layout has been revised to provide for a grass area of the septic system. Additional shade trees have been added to the landscaping island.

9. It would be nice to see all shrubs and trees in the parking lot island rather than having dots of grasses and perennials growing between large shrubs.

Response: The grasses and perennials have been replaced with trees and shrubs.

10. White Fir are unacceptable as they are highly sensitive to soil compaction, which often occurs on commercial developments. In lieu of the White Fir, propose naturalistically staggered shade trees that fill up the large empty area at the southern end of the site. Propose understory shrubs in large groups below such as Brilliantissima Aronia.

Response: The White Fir has been replaced with shade trees and shrubs underneath.

11. The plant list must specify plant sizes in inches and/or feet rather than can size. Many different sizes of plant can be shown within a specific can and once the plants are in the ground, can size cannot be determined.

Response: The plant list has been updated.

12. Include the planting schedule and seed mixes which will be planted in the proposed bioretention area. As there are no under drains, please show at least three trees such as River Birches in the bottom of the basin.

Response: The bioretention area shall be planted within a future submission.

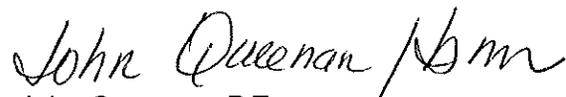
13. Please note that currently the tree location and removal plan does not list the species of each tree nor the apparent condition of the tree. The list also includes trees with a DBH of 8" or greater. The chart should only show trees with a DBH of 10" or greater. The applicant is in the process of having trees identified and the conditions of the trees assessed.

Response: The tree location plan has been updated.

If you should require any additional information or have any questions, please do not hesitate to contact our office.

Very truly yours,

Lanc & Tully, P.C.


John Queenan, P.E.

cc: Pat Hines
Dominic Cordisco, Esq.
Ken Wersted, P.E.
Karen Arent, L.A.
Applicant

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 10/18/23

NAME OF PROJECT: MKJC Realty, LLC

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Steel / Metal

COLOR OF THE EXTERIOR OF BUILDING:

Royal Blue - Pearl Grey - White

ACCENT TRIM:

Location: Roofline

Color: Pearl Grey

Type (material): Metal

PARAPET (all roof top mechanicals are to be screened on all four sides):

N/A

ROOF:

Type (gabled, flat, etc.): Shed Type

Material (shingles, metal, tar & sand, etc.): Metal

Color: Brown / Grey

WINDOWS/SHUTTERS:

Color (also trim if different): Grey

Type: Metal

DOORS:

Color: Silver

Type (if different than standard door entrée): Std.

SIGN:

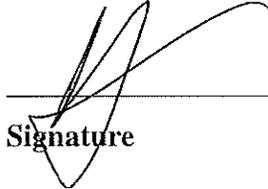
Color: TBD

Material: _____

Square footage of signage of site: _____

Matt Consorti - Member

Please print name and title (owner, agent, builder, superintendent of job, etc.)



Signature

Short Environmental Assessment Form

Part 1 - Project Information

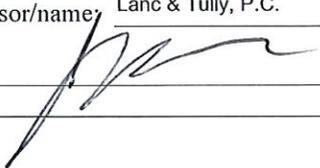
Instructions for Completing

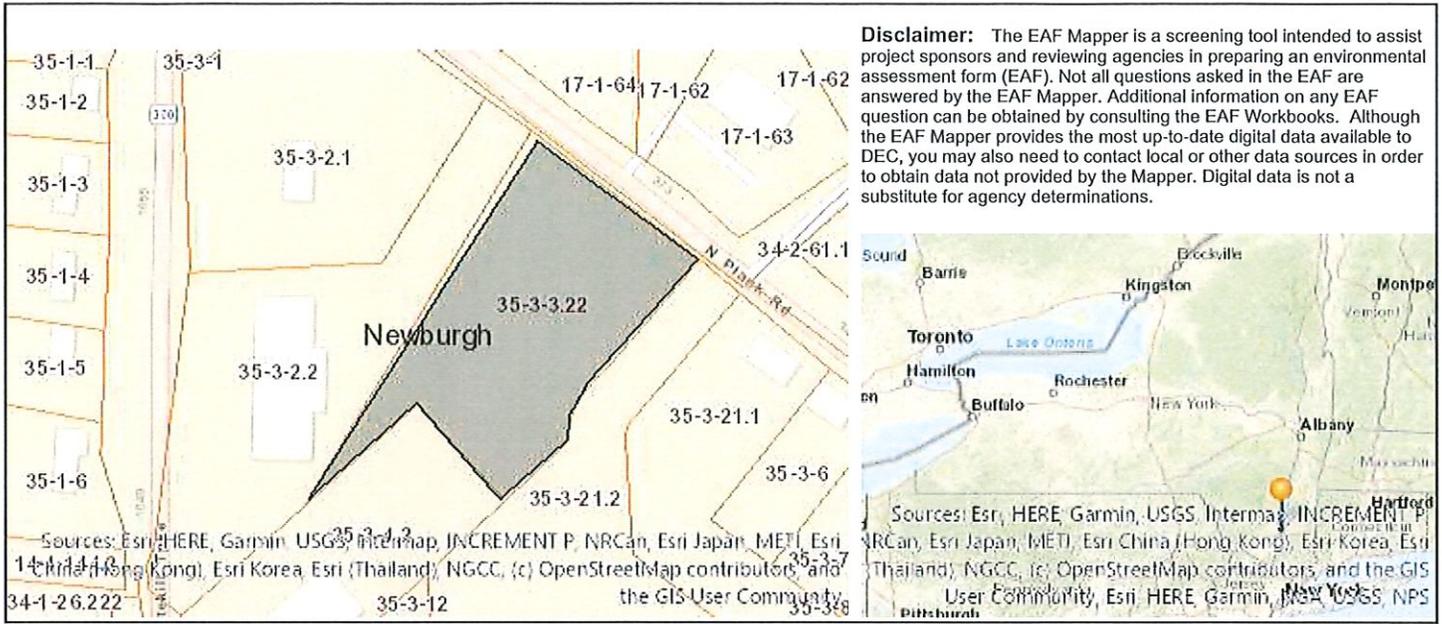
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Site Plan for MKJC Realty, LLC			
Project Location (describe, and attach a location map): Property is located along NYS Route 32 within the Town of Newburgh, approx 500 ft southwest of Route 300			
Brief Description of Proposed Action: The proposed project is the development of an existing 1.57 acres property into a 10,000 sf commercial/office building. The site is located within the B zoning district where the use is permitted and the site shall contain 68 parking spaces. The site shall obtain access from an existing driveway access from NYS Route 32 and within an existing access driveway thru an easement. The site shall be serviced by municipal water and individual onsite sewage disposal system.			
Name of Applicant or Sponsor: MKJC Realty, LLC		Telephone: 914-213-1337 E-Mail: Mattconsorti@gmail.com	
Address: 208 South Plank Road			
City/PO: Newburgh		State: NY	Zip Code: 12550
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC Stormwater SPDES:: NYSDOT-Utility Work Permit			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.57 acres	
b. Total acreage to be physically disturbed?		_____ 1.56 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.57 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
	<input type="checkbox"/>		<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES
If Yes, identify: _____	<input checked="" type="checkbox"/>		<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
	<input checked="" type="checkbox"/>		<input type="checkbox"/>
b. Are public transportation services available at or near the site of the proposed action?			<input type="checkbox"/>
	<input checked="" type="checkbox"/>		<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?			<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>		<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?		NO	YES
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>		<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?		NO	YES
If No, describe method for providing wastewater treatment: _____ Proposed onsite sewage disposal system _____	<input checked="" type="checkbox"/>		<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES
	<input checked="" type="checkbox"/>		<input type="checkbox"/>
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			<input type="checkbox"/>
	<input checked="" type="checkbox"/>		<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES
	<input type="checkbox"/>		<input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?			<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: Private Property Swale and collection system		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: Stormwater Management Detention Facility	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Lanc & Tully, P.C.</u> Date: <u>10-18-23</u> Signature:  Title: <u>Project Engineer</u>		



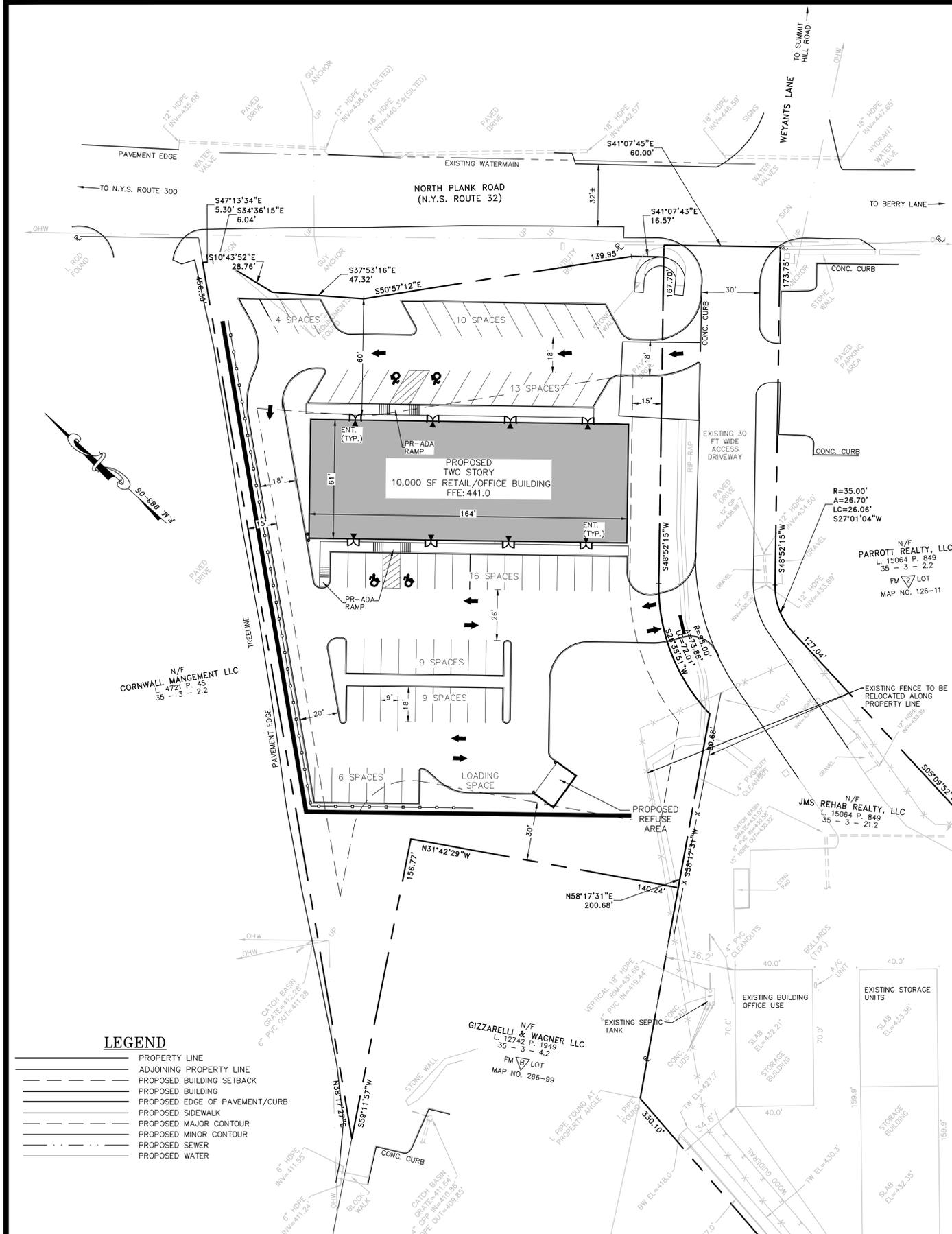
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



**TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK**
Tax Map: 35 - 3 - 3.22

PREPARED FOR:
MKJC REALTY LLC





GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
- TOTAL AREA: 1.56± ACRES
- DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
- SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
- DUE TO THE CLOSE PROXIMITY OF THE PROPOSED BUILDING TO THE ZONING SETBACKS, STAKEOUT BY A LICENSED SURVEYOR PRIOR TO ISSUANCE OF A BUILDING PERMIT IS REQUIRED.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL PROVIDE THE BUILDING DEPARTMENT, AN EVALUATION COMPLETED BY A LICENSED PROFESSIONAL OF THE SUITABILITY OF THE EXISTING SOIL CONDITIONS FOR THE PROPOSED BUILDING FOUNDATION.

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - B ZONE
BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE

MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	68,355 SF
LOT WIDTH	100 FT.	225 FT.
LOT DEPTH	125 FT.	300 FT.
FRONT YARD	60 FT.*	62.3 FT.
ONE SIDE YARD/BOTH	15/30 FT.	17.0/49.7 FT.
REAR YARD	30 FT.	152 FT.
MAXIMUM BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	15±%
DEVELOPMENT COVERAGE	80%	74±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

OFFICE:	RETAIL:
1 PARKING SPACE PER 200 SF UP TO 20,000 GFA	1 PARKING SPACE PER 150 SF
10,000 SF OFFICE / 200 SF = 50 SPACES REQUIRED FOR OFFICE AREA	10,000 SF RETAIL / 150 SF = 67 SPACES REQUIRED FOR RETAIL AREA
TOTAL = 67 PARKING SPACES REQUIRED MAX CONDITION	
TOTAL = 67 PARKING SPACES PROVIDED INCLUDING 4 HANDICAP SPACES	
1 LOADING SPACE HAS BEEN PROVIDED FOR 10,000 SF BUILDING	

TOWN OF NEWBURGH WATER SYSTEM NOTES

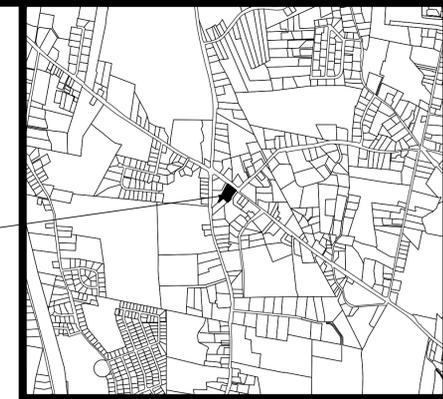
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE IRON FITTINGS AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C500 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C500 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-18000N OR B-25000N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-25204N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

TOWN OF NEWBURGH SEWER SYSTEM NOTES

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
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- CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.



LOCATION PLAN
1 INCH = 2000 FEET

CONSTRUCTION NOTES:

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- THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. LANC & TULLY HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY REGULATIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

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P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

SITE PLAN PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revision:
JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023

Drawn By: JQ	Checked By:	Scale: 1" = 30'	Tax Map No.: 35 - 3 - 3.22
Layout: SITE	Sheet No.: 1 OF 12	Drawing No.: C3D	B- 23 - 0107 - 01

SITE PLAN SHEET INDEX:

- SITE PLAN
- EXISTING CONDITIONS
- TREE LOCATION AND REMOVAL PLAN
- GRADING AND UTILITY PLAN
- SEWAGE DISPOSAL SYSTEM DESIGN AND DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS
- LANDSCAPING PLAN AND DETAILS
- LIGHTING PLAN AND DETAILS
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2
- CONSTRUCTION DETAILS 3

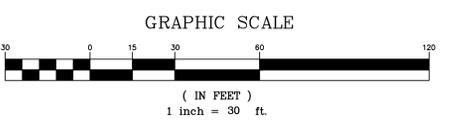
RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12250

AREA:
1.569± AC.

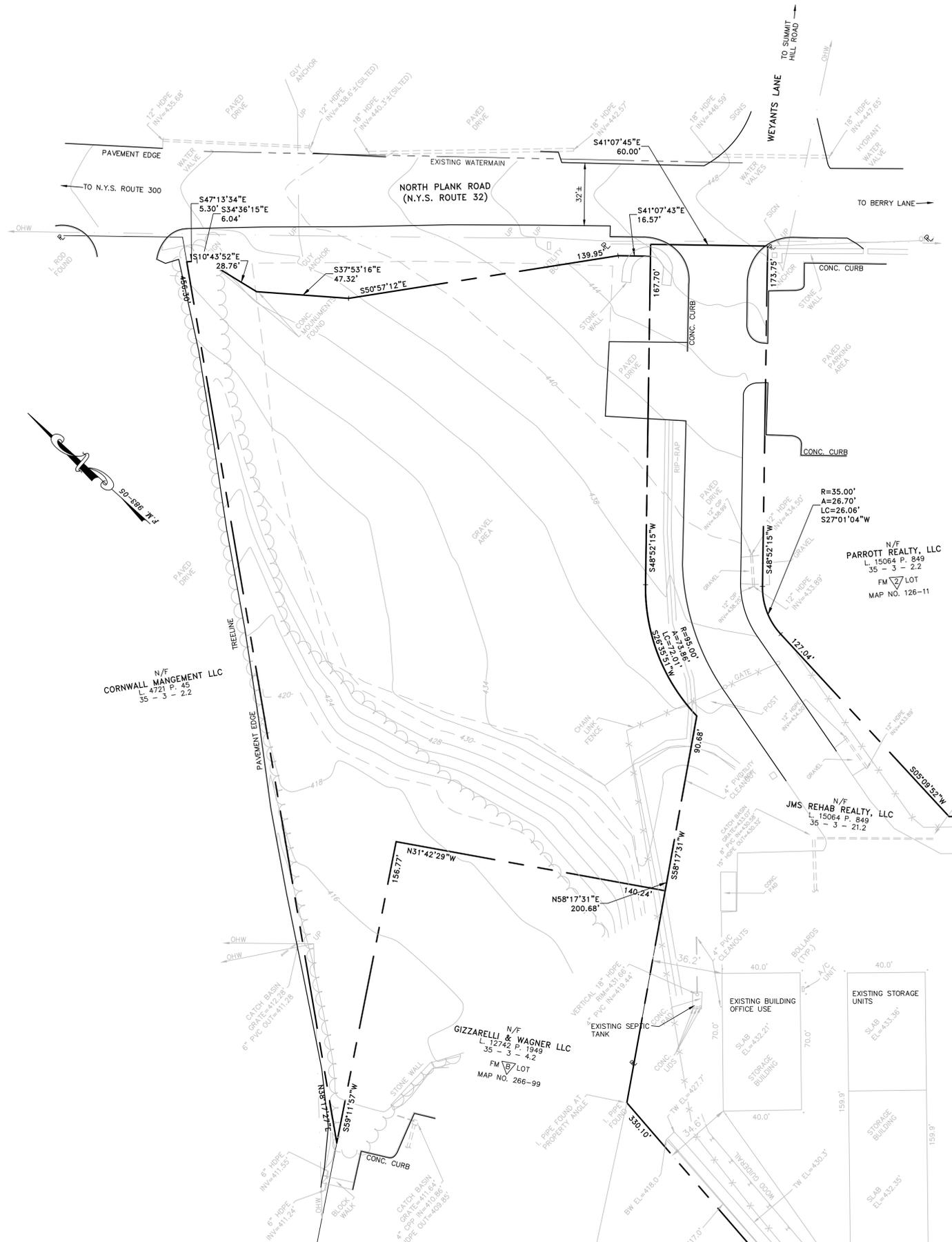
35 - 3 - 3.22
L. 15137 P. 1318

FILED MAP NO. 938-05



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GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 35, BLOCK 3, LOT 3.22
2. TOTAL AREA: 1.57± ACRES
3. DEED REFERENCE: LIBER 15137 PAGE 1318 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: B - BUSINESS
5. FIRE DISTRICT: CRONOMER VALLEY FD
6. SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
7. WATER SERVICE: TOWN OF NEWBURGH VIA WATERMAIN WITHIN NYS ROUTE 32.
8. SEWER SERVICE: PRIVATE ONSITE SEWAGE DISPOSAL SYSTEM.
9. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
10. ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
11. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
12. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
13. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L AND M OF THE GENERAL MUNICIPAL LAW.
14. ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
15. A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

SURVEY NOTES:

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4. CONTOURS SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12250

AREA:
 1.569± AC.

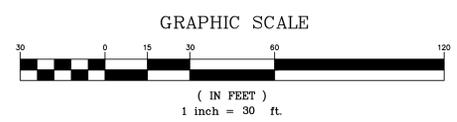
35 - 3 - 3.22
 L. 15137 P. 1318
 FILED MAP NO. 938-05

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
- ▭ PROPOSED BUILDING
- ▬ PROPOSED EDGE OF PAVEMENT/CURB
- ▬ PROPOSED SIDEWALK
- ▬ PROPOSED MAJOR CONTOUR
- ▬ PROPOSED MINOR CONTOUR
- ▬ PROPOSED SEWER
- ▬ PROPOSED WATER

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LANC & TULLY
 Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207
 Goshen, N.Y. 10924
 (845) 294-3700

EXISTING CONDITIONS FOR

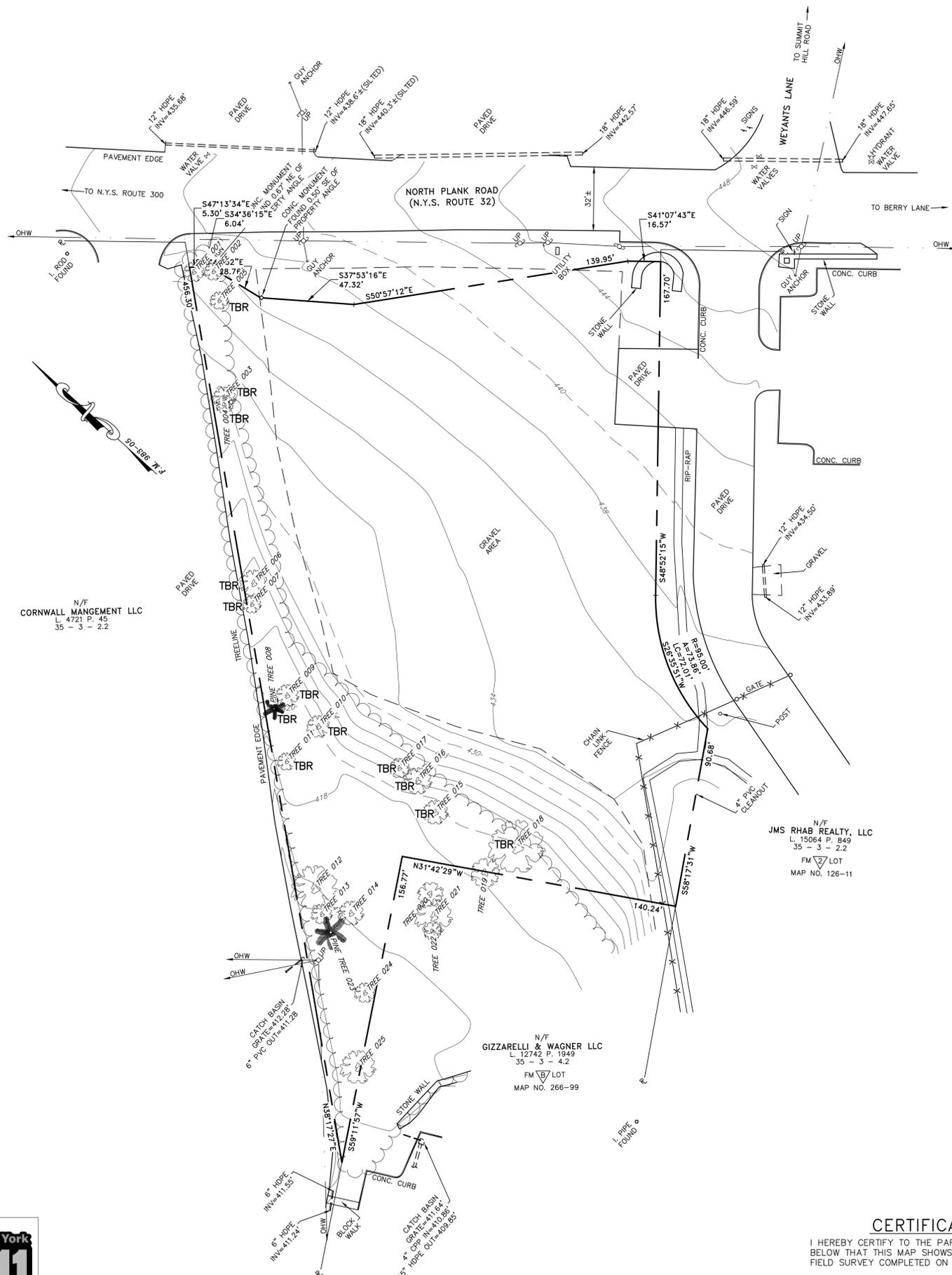
MKJC REALTY, LLC

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
 Revision: JULY 5, 2023
 AUGUST 23, 2023
 OCTOBER 18, 2023

CD File: ENG.DWG
 Layout: EXISTING
 Sheet No.: 2 OF 12
 Drawing No.: C3D
 B- 23 - 0107 - 01

Drawn By: JQ
 Checked By: []
 Scale: 1" = 30'
 Tax Map No.: 35 - 3 - 3.22



PROPERTY TREE SUMMARY AND REMOVAL CHART:

TAG NO.	TREE SPECIES	SIZE (IN)	TO BE REMOVED
001	ASH	9	
003	TWIN RED MAPLE	10	X
006	DEAD/DYING	12	X
009	SWAMP WHITE OAK	10	X
010	ASPEN	10	X
012	SWAMP WHITE OAK	20	
013	AMERICAN ELM	9	
014	MAPLE-DEAD	10	
015	DEAD	11	X
016	BLACK LOCUST	12	X
018	SWAMP WHITE OAK	24	X
019	OAK	13	
020	TWIN ELM	12	
021	SWAMP WHITE OAK	16	
023	CEDAR	12	
024	ASH-DEAD	9	
025	SWAMP WHITE OAK	15	
TOTAL:	17	214	7

17 TOTAL TREES GREATER THAN 8" DBH
 7 TREES TO BE REMOVED
 TOTAL NUMBER OF INCHES = 214 IN.
 TOTAL NUMBER OF INCHES TO BE REMOVED = 89 IN.
 41% TREE REMOVAL

N/F
 CORNWALL MANGEMENT LLC
 L 4721 P. 45
 35 - 3 - 2.2

N/F
 JMS RHAB REALTY, LLC
 L 15064 P. 849
 35 - 3 - 2.2
 FM 2/7 LOT
 MAP NO. 126-11

N/F
 GIZZARELLI & WAGNER LLC
 L 12742 P. 1949
 35 - 3 - 4.2
 FM 2/7 LOT
 MAP NO. 266-99

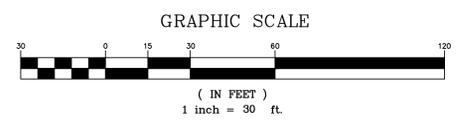
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- THE TREES SHOWN ON THIS PLAN WERE FIELD LOCATED BY LANC & TULLY, P.C. ON AUGUST 7, 2023 AND ALL TREES WERE TAGGED WITH CORRESPONDING NUMBER ON THE CHART.

RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12250
 35 - 3 - 3.22
 L 15137 P. 1318
 FILED MAP NO. 938-05

AREA:
 1.569± AC.



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<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	<p>Date: AUGUST 23, 2023</p>
	<p>TREE LOCATION AND REMOVAL PLAN PREPARED FOR</p>	
<p>MKJC REALTY, LLC</p> <p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>		<p>Revision: SEPTEMBER 26, 2023 OCTOBER 18, 2023</p>
		<p>Drawn By: EK Checked By: SVY Scale: 1" = 30' Tax Map No.: 35 - 3 - 3.22</p>

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON JUNE 16, 2023.

BY: RODNEY C. KNOWLTON, L.S.
 NEW YORK STATE LICENSE NO. 50276

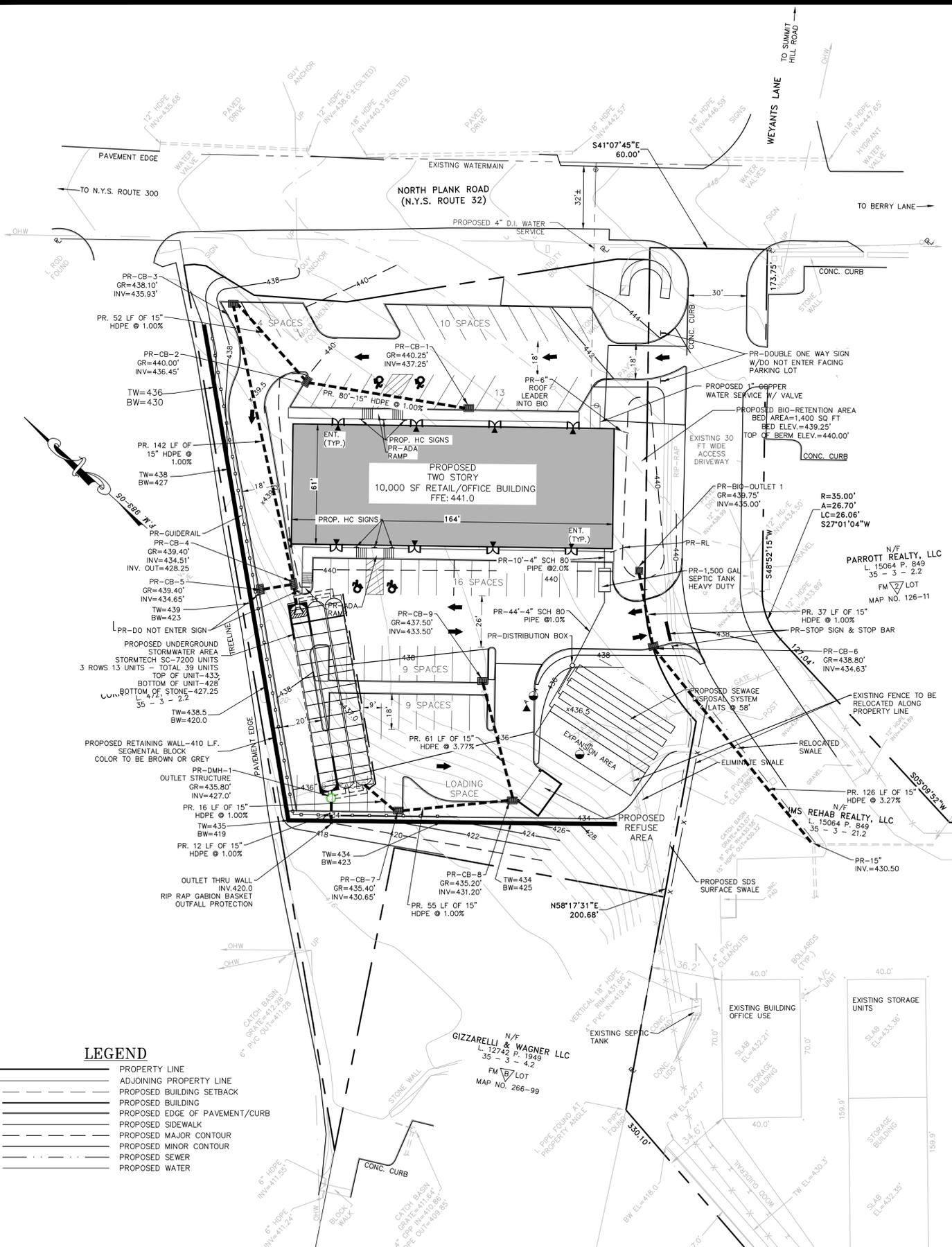
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- THIS SET OF PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. LANC & TULLY HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

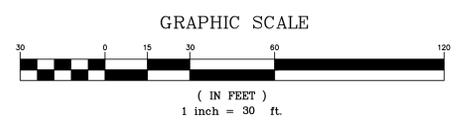


LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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RECORD OWNER/APPLICANT:

MKJC REALTY, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12250
 35 - 3 - 3.22
 L. 15137 P. 1318
 FILED MAP NO. 938-05

AREA:
 1.674± AC.

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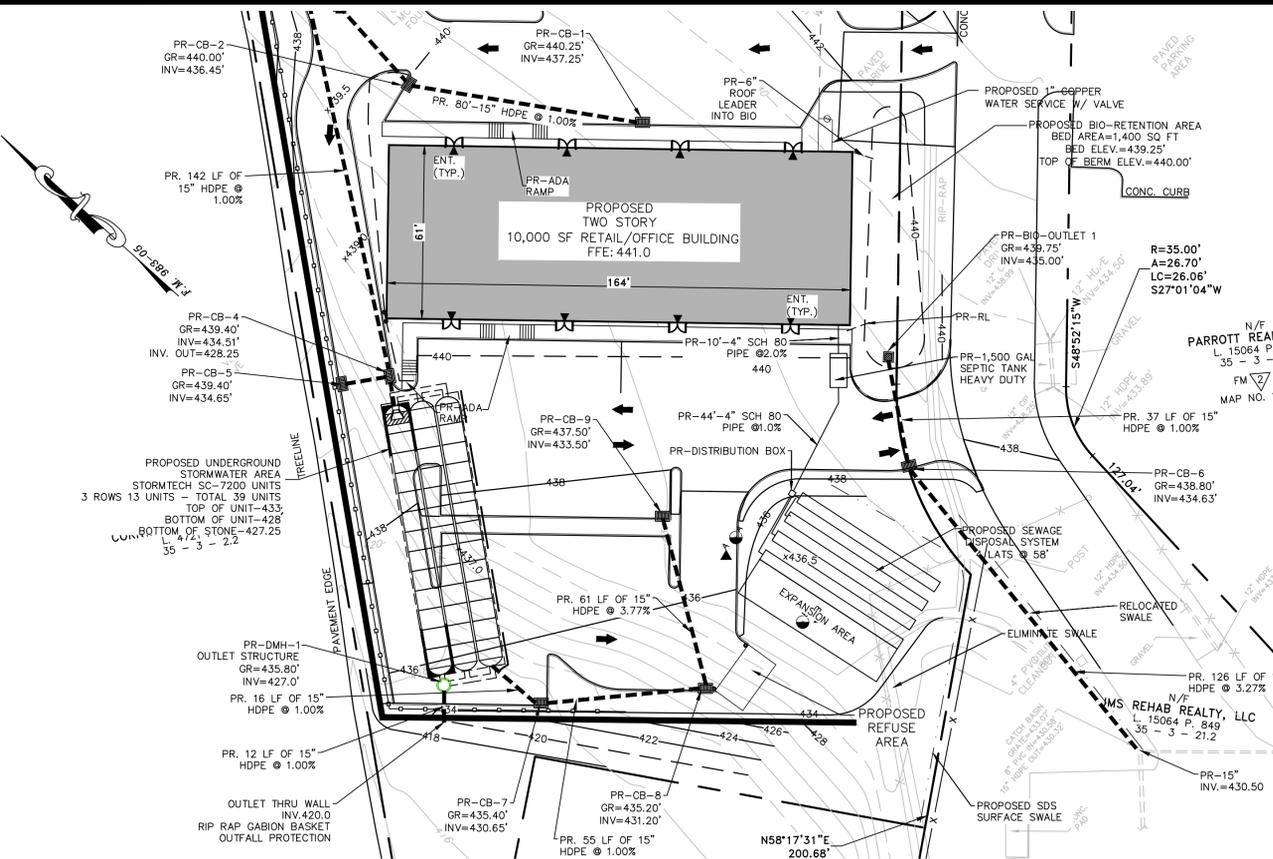
LANC & TULLY
 Engineering and Surveying, P.C.
 P.O. Box 687, Rt. 207
 Goshen, N.Y. 10924
 (845) 294-3700

GRADING AND UTILITY PLAN
 PREPARED FOR

MKJC REALTY, LLC
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

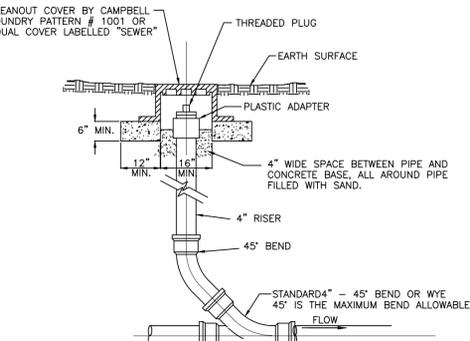
Date: JUNE 27, 2023
 Revision: JULY 5, 2023
 AUGUST 23, 2023
 OCTOBER 18, 2023

Drawn By: JQ
 Checked By:
 Scale: 1" = 30'
 Tax Map No.: 35 - 3 - 3.22
 Drawing No.: 4 OF 12
 B- 23 - 0107 - 01



LEGEND

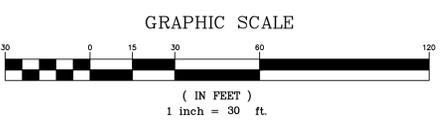
- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
- ▭ PROPOSED BUILDING
- ▬ PROPOSED EDGE OF PAVEMENT/CURB
- ▬ PROPOSED SIDEWALK
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- - - PROPOSED MINOR CONTOUR
- - - PROPOSED SEWER
- - - PROPOSED WATER



CLEANOUT DETAIL
NOT TO SCALE

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PERCOLATION TEST RESULTS:

PERCOLATION TESTS 'A' & 'B' WERE PERFORMED ON APRIL 9, 2023, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C.

	LENGTH OF FIELD (FEET)		TYPE OF SYSTEM
	REQUIRED	PROPOSED	
	225	232	PRESBY

SYSTEM DESIGN

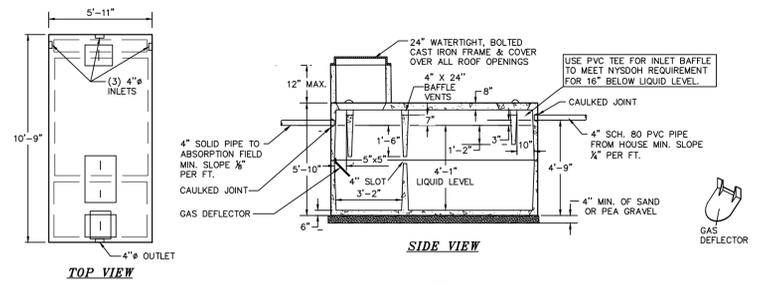
SYSTEM FLOWS AND DESIGN FOR NEW SDS:
 FLOW RATE FOR OFFICE/RETAIL = 1,008 GPD (10,080 SF * 0.1 GPD/SF)
 20% WATER SAVINGS = 201 GPD
 1,008 GPD - 201 GPD = 807 GPD (DESIGN FLOW)
 DESIGN PERCOLATION RATE: 21-30 MINUTES/INCH
 DESIGN APPLICATION RATE: 0.6 GAL/DAY/SQUARE FOOT
 APPLICATION RATE (PRESBY): 6 SQ FT/LIN. FT. OF TRENCH
 SQUARE FOOTAGE REQ'D: 807 GPD / 0.6 GPD/SQ FT = 1,345 SQ FT
 ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,345 SQ FT/6 SQ FT PER LIN. FT. = 225 LIN. FT. OF TRENCH
 ABSORPTION FIELD TRENCH PROVIDED: 4 LATERALS @ 58 FEET = 232 LINEAR FEET
 SEPTIC TANK SIZING: 807 GPD X 1.5 = 1,210 GPD - USE 1,500 GAL TANK

DEEP TEST RESULTS

A & B - SITE INSPECTION PERFORMED ON APRIL 9, 2023 BY LANC AND TULLY ENGINEERING, P. C.

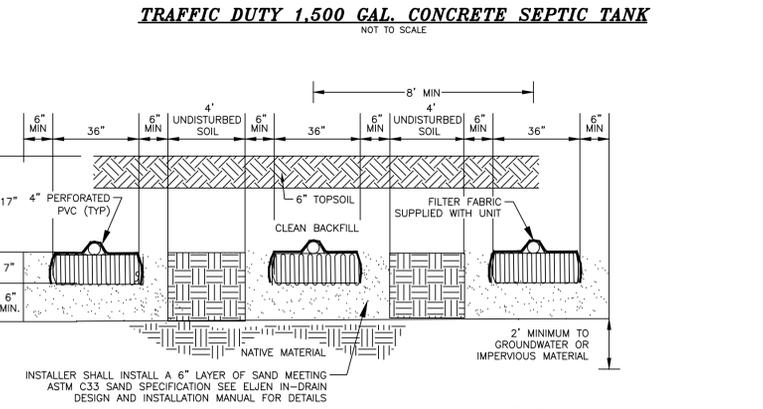
GROUND LEVEL	A		B	
	1'	2'	1'	2'
0'	GRAVEL 8"	GRAVEL 8"	GRAVEL 8"	GRAVEL 8"
1'	SILT LOAM/ GRAVEL	SILT LOAM/ GRAVEL	SILT LOAM/ GRAVEL	SILT LOAM/ GRAVEL
2'	36"	36"	36"	36"
3'	SILT LOAM WITH STONES			
4'	72"	72"	72"	72"
5'				
6'				
7'				

NO BR NO MOTTLING NO GW



TRAFFIC DUTY 1,500 GAL. CONCRETE SEPTIC TANK
NOT TO SCALE

SPECIFICATIONS	PRECAST TRAFFIC DUTY SEPTIC TANK 1500 GALLONS
CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS	CONCRETE SEPTIC TANK BY WOODWARD'S CONCRETE PRODUCTS, INC., BULLVILLE, NY OR EQUAL.
REINFORCEMENT: #4 & #5 REBAR / ASTM A615	WOODWARD'S CONCRETE PRODUCTS, INC. 629 LYSBET ROAD, BULLVILLE, NY 10924 (914) 581-5871 / Fax 914-581-1000 Page 4A
AIR ENTRAINMENT: 6%	
CONSTRUCTION JOINT: BUTYL RUBBER SEALANT	
PIPE CONNECTION: POLYLOK SEAL (PATENTED)	
LOAD RATING: HS20-44 + 30% / ASTM C857	



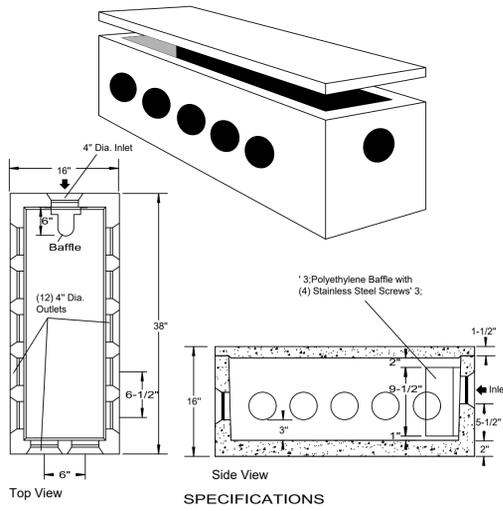
NOTES:

- DO NOT INSTALL TRENCHES IN WET SOIL.
- RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL/CONCRETE SAND.
- END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.
- TRENCHES TO BE INSTALLED PARALLEL WITH EXISTING CONTOURS WITH SPACING OF ABSORPTION TRENCHES TO BE A MINIMUM OF 8 FEET ON CENTER WITH A MINIMUM OF 4 FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.
- ALL TRENCHES ARE TO HAVE IDENTICAL NUMBER OF ELJEN UNITS.
- NO SYSTEM IS TO BE CONSTRUCTED ON GROUND WITH A SLOPE IN EXCESS OF 15%.
- THE TRENCH BOTTOM SHALL BE FLAT. PERFORATED PIPE SLOPE SHALL BE 1/16"-1/32" FOR GRAVITY FED SYSTEMS AND SET NEARLY LEVEL FOR DOSED SYSTEMS.
- ALL PIPE PERFORATIONS MUST FACE DOWN.
- THE BACKFILL IN THE TRENCHES MUST BE MOUND FOR SETTLING. BACKFILL SHALL BE NATIVE MATERIAL DEVOID OF LARGE ROCKS (GREATER THAN 4") OR DEBRIS.

INSTALLER SHALL INSTALL A 6" LAYER OF SAND MEETING ASTM C33 SAND SPECIFICATION SEE ELJEN IN-DRAIN DESIGN AND INSTALLATION MANUAL FOR DETAILS

ASTM C33 SAND SPECIFICATION		
SIIEVE SIZE	SIIEVE SQUARE OPENING SIZE	SPECIFICATION PERCENT PASSING (WET SIIEVE)
3/8 INCH	9.5 mm	100.0 - 100.0
#4	4.75 mm	95.0 - 100.0
#8	2.36 mm	80.0 - 100.0
#16	1.18 mm	50.0 - 85.0
#30	600 µm	25.0 - 60.0
#50	300 µm	5.0 - 30.0
#100	150 µm	< 10.0
#200	75 µm	< 5.0

TYPICAL ELJEN TRENCH CROSS SECTION
NOT TO SCALE



12-OUTLET DISTRIBUTION BOX
NOT TO SCALE

Concrete Min. Strength: 4,000 psi at 28 days
 Reinforcement: Fiber, 10ga. wire mesh
 Air Entrainment: 5%
 Pipe Connection: Polylok Seal (patented)
 Load Rating: 300 psf
 Weight = 325 lbs

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LANC & TULLY
Engineering and Surveying, P.C.

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Goshen, N.Y. 10924
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SEWAGE DISPOSAL SYSTEM DESIGN
PREPARED FOR

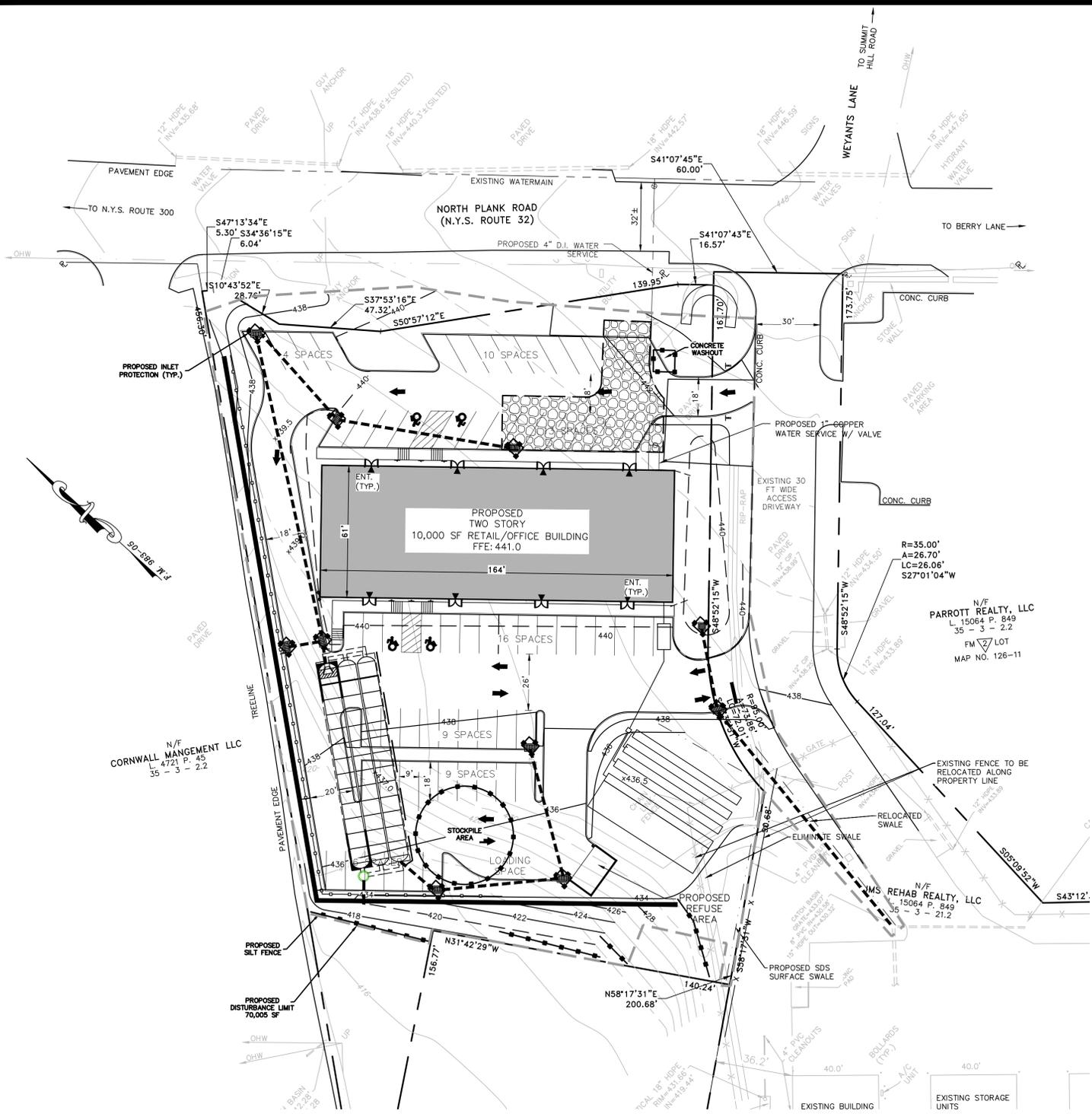
MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
 Revision: JULY 5, 2023
 AUGUST 23, 2023
 OCTOBER 18, 2023

CD File: ENGDWG
 Layout: SDS
 Sheet No.: 5 OF 12
 Drawing No.: C3D
 B- 23 - 0107 - 01

Drawn By: JQ
 Checked By: Scale: 1" = 30'
 Tax Map No.: 35 - 3 - 3.22



LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	AROOSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

NOTES:

- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2½ TO 3 TONS PER ACRE.

PERIMETER SEEDING

A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED ON THE PLANS AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT.

PLANTING SCHEDULE

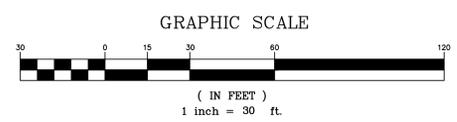
TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT/CURB
- PROPOSED SIDEWALK
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SEWER
- PROPOSED WATER

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EROSION AND SEDIMENT CONTROL PLAN
PREPARED FOR

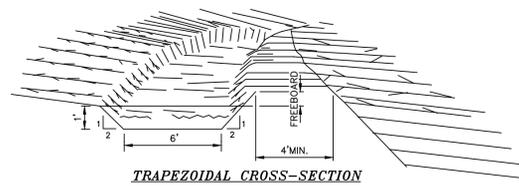
Date: JUNE 27, 2023
Revision:
JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:
JQ		1" = 30'	35 - 3 - 3.22	B- 23 - 0107 - 01

CAD File: ENG.DWG
Layout: EROSION
Sheet No.: 6 OF 12

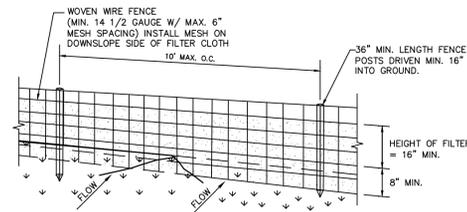


CONSTRUCTION SPECIFICATIONS

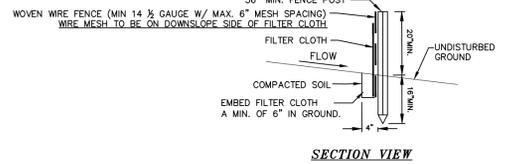
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
 2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
 4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
 5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
- A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

TEMPORARY DIVERSION SWALE

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

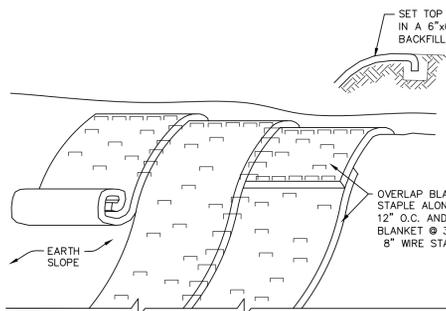


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

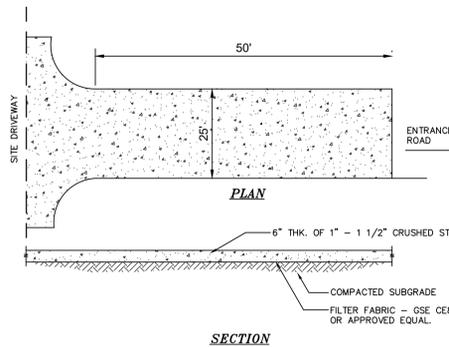
SILTATION FENCE

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- NOTES:
1. SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 25%.
 2. STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:
-S150BN - NORTH AMERICAN GREEN 1-800-772-2040
-ECS-2B - EAST COAST EROSION BLANKET 1-800-582-4005
-APPROVED EQUAL.
 3. ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
 4. PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
 5. AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLITS CUT IN FABRIC.



NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1" - 1/2" CRUSHED STONE, WILL BE AT LEAST 24" X 50' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.

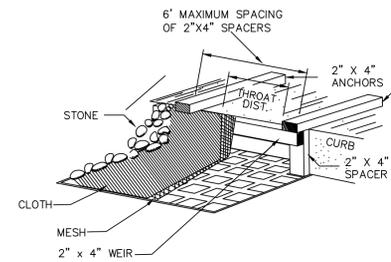
ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.

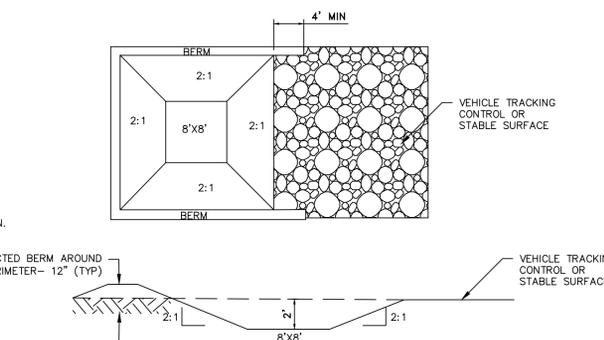


CONSTRUCTION SPECIFICATIONS:

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
6. THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

STORM DRAIN INLET FILTER DETAIL

NOT TO SCALE



NOTES:

1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
2. THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
3. BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE MINIMUM OF 1'.
4. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
5. USE EXCAVATED MATERIAL FOR PERIMETER CONSTRUCTION.

CONCRETE WASHOUT AREA DETAIL

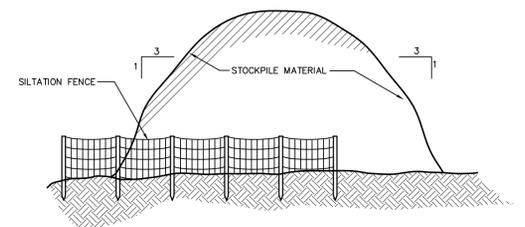
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
3. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
4. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
6. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
7. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
8. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
9. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
10. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
11. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
12. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
13. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
14. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
15. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
16. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
B. SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
FALL/WINTER - AROOSTOOK WINTER RYE AT 100 LBS PER ACRE
C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
17. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:
A. LIME TOPSOIL TO pH 6.0.
B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
C. SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
18. DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
19. MAINTAIN ALL SEEDING AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
20. MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
21. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
22. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".
23. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

SOIL RESTORATION REQUIREMENTS

1. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
2. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION."



TYPICAL STOCKPILE DETAIL

NOT TO SCALE

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EROSION AND SEDIMENT CONTROL
DETAILS PREPARED FOR

MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revision: JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023

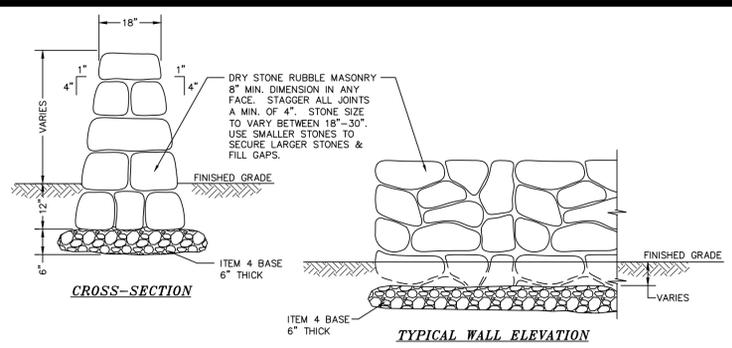
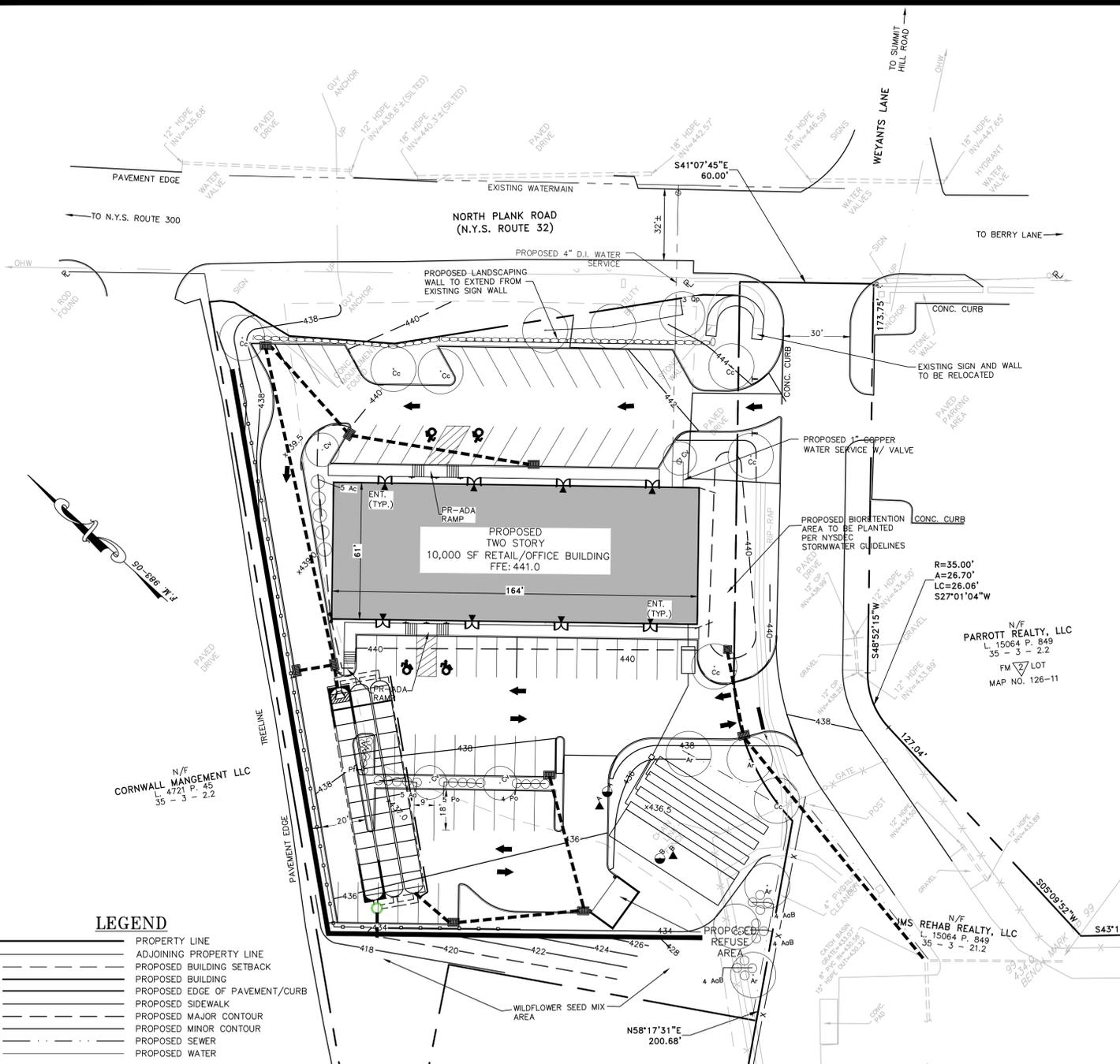
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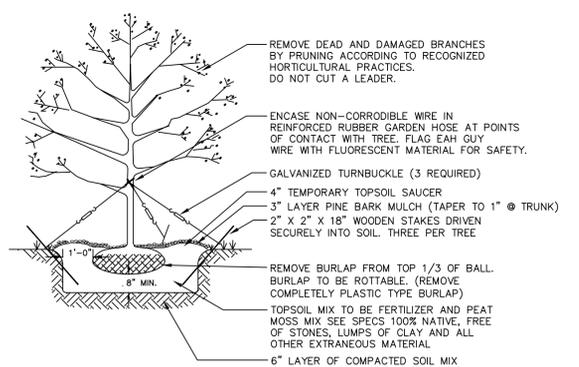
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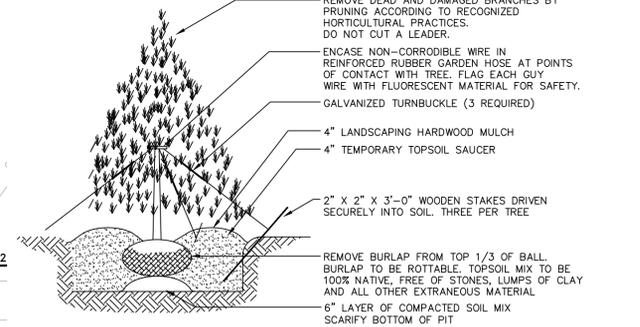




LANDSCAPING DRY-SET STONE RETAINING WALL DETAIL
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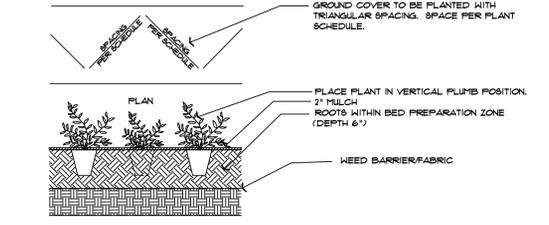


DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

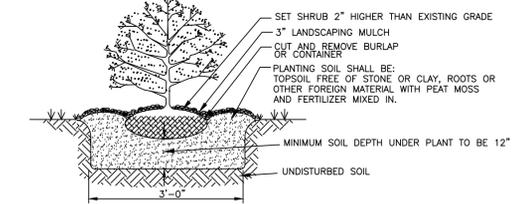


EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
1. ALL DISTURBED AREAS TO BE TOPSOILED AT A DEPTH OF 6" AND SEEDED.
 2. ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
 3. ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
 4. A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
 5. UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



GROUND COVER PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
3. ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
4. ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
5. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
6. ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
7. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
8. ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
9. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
10. ALL LAWN/GRASSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 4" AND SEEDED AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 12" OF TOPSOIL SHALL BE PROVIDED IN ALL PLANTING AREAS.
11. MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3' DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.

LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	ARROSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

NOTES:
1. TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
2. SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING. HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

PERIMETER SEEDING

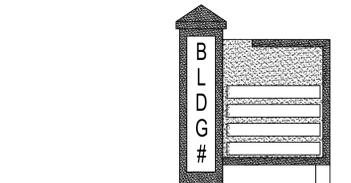
A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 153-1 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREAS AND OTHER AREAS AS NOTED AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT. THIS SHALL BE APPLIED TO THE SOUTHERN PORTION OF THE SITE BEHIND THE RETAINING WALL.

PLANTING SCHEDULE

TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

SITE PLANT LIST				
Symbol	Qty	SCIENTIFIC NAME	COMMON NAME	INSTALLATION SIZE
Cc	8	CERCIS CANADENSIS	RED BUD	7'-8" HGT
Cv	4	CRAETAGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	7'-8" HGT
Qp	3	QUERCUS PALUSTRIS	PIN OAK	7'-8" HGT
Ar	4	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	7'-8" HGT
SHRUBS (DECIDUOUS AND EVERGREEN)				
Aa	5	ARONIA ARBUTIFOLIA	CHOKEBERRY	30"-36" HGT
Ac	5	AMELANCHIER CANADENSIS	SHADBLOW SERVICE BERRY	6-7' HGT
Pf	7	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	30"-36" HGT
Po	9	PHYSOCARPUS OPULIFOLIUS	NINEBARK	30"-36" HGT
AaB	12	Brilliantissima Aronia	BRILLIANT RED CHOKEBERRY	30"-36" HGT
Site Cover				
ERNX-153-1		ERNST SEEDS SHOWY NORTHEAST NATIVE WILDFLOWER MIX		SEED

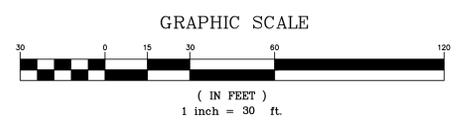
- LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - PROPOSED BUILDING SETBACK
 - PROPOSED BUILDING
 - PROPOSED EDGE OF PAVEMENT/CURB
 - PROPOSED SIDEWALK
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED SEWER
 - PROPOSED WATER



GENERAL SIGN DETAIL
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LANDSCAPING PLAN AND DETAILS
PREPARED FOR

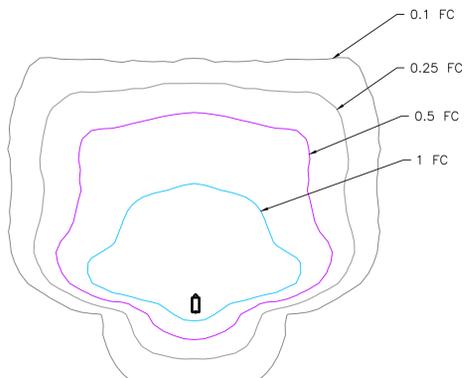
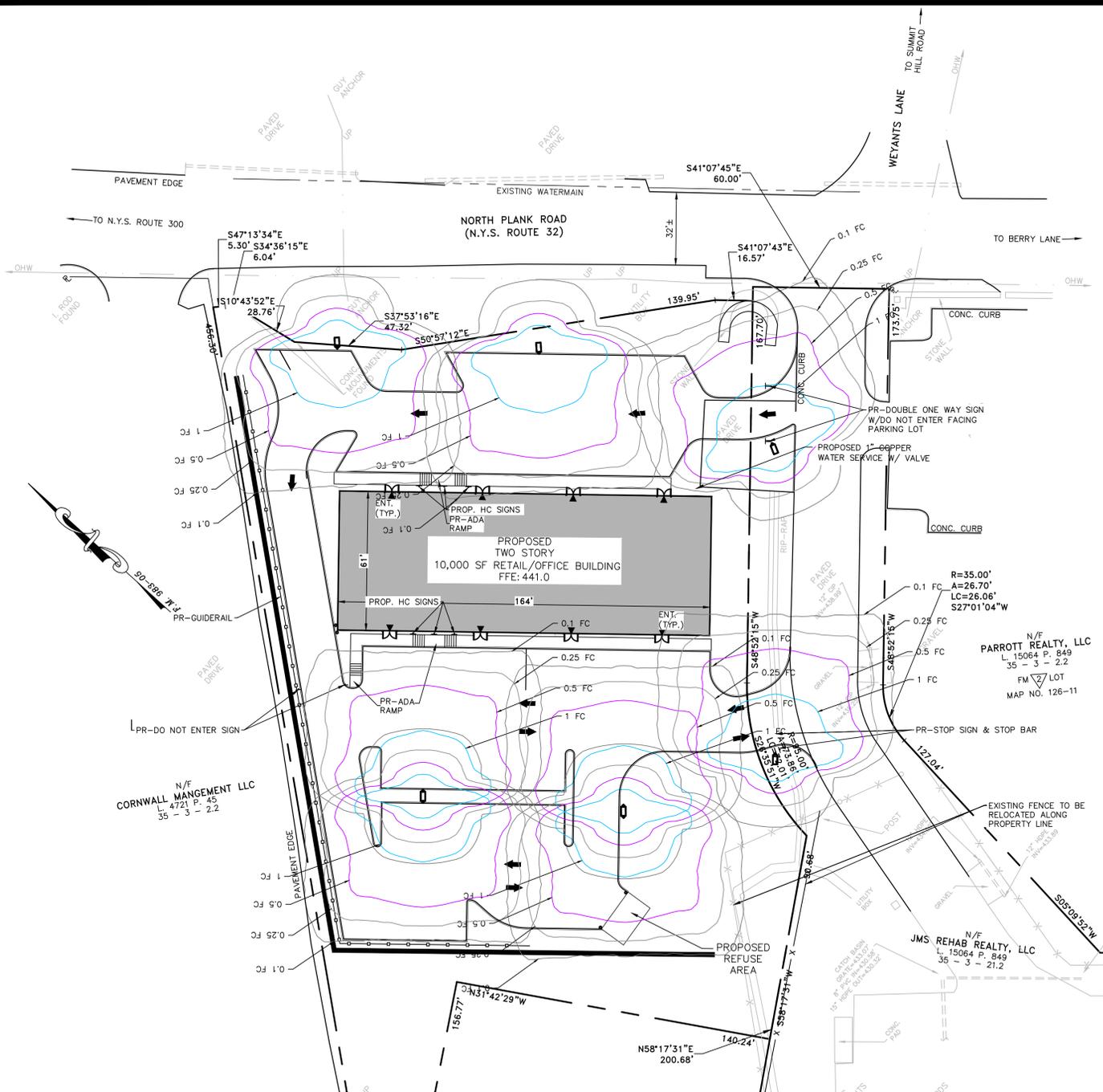
MKJC REALTY, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revision: JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023

CD File: ENG.DWG
Layout: LANDSCAPING
Sheet No.: 8 OF 12
Drawing No.: C3D
B- 23 - 0107 - 01

Drawn By: JQ
Checked By: JQ
Scale: 1" = 30'
Tax Map No.: 35 - 3 - 3.22

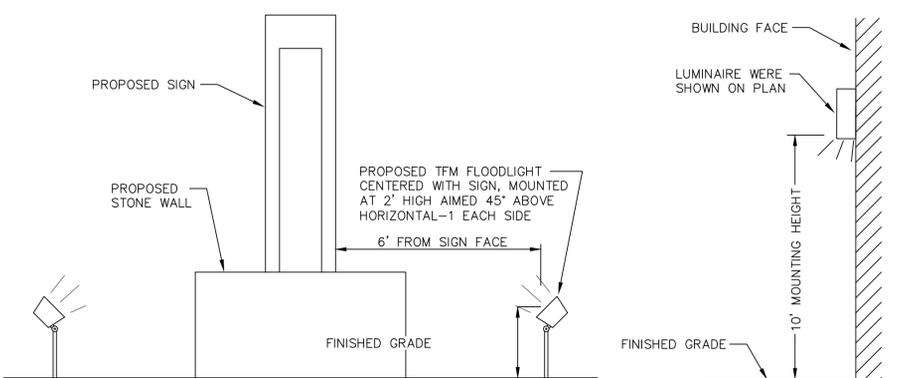


NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 17' MOUNTING HEIGHT

EATON "GAN GALLEON" LUMINAIRE "C" TYPE T4FT DISTRIBUTION PHOTOMETRIC DIAGRAM

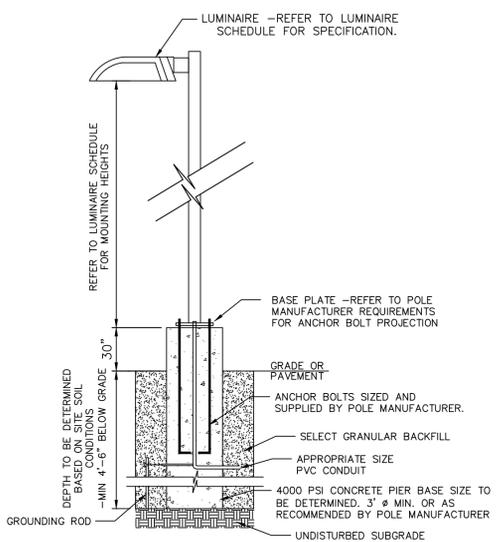


EATON "GAN GALLEON" LED AREA LUMINAIRE TYPICAL POLE MOUNT AREA LUMINAIRE



PROPOSED SIGN LIGHTING DETAIL NOT TO SCALE

BUILDING MOUNTED LIGHTING DETAIL NOT TO SCALE



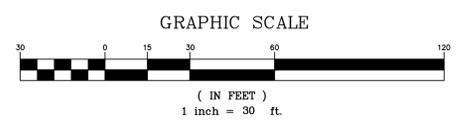
NOTE:
 1. INSTALL LIGHT POLE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 2. POLE BASE SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.

LIGHT POLE BASE DETAIL NOT TO SCALE

- LEGEND**
- PROPERTY LINE
 - ADJOINING PROPERTY LINE
 - PROPOSED BUILDING SETBACK
 - PROPOSED BUILDING
 - PROPOSED EDGE OF PAVEMENT/CURB
 - PROPOSED SIDEWALK
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED SEWER
 - PROPOSED WATER

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 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12250
 35 - 3 - 3.22
 L. 15137 P. 1318
 FILED MAP NO. 938-05

AREA:
 1.674± AC.

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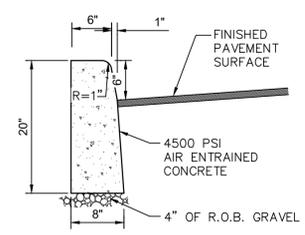
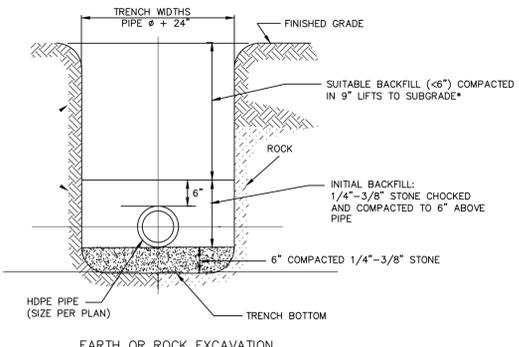
LIGHTING PLAN AND DETAILS
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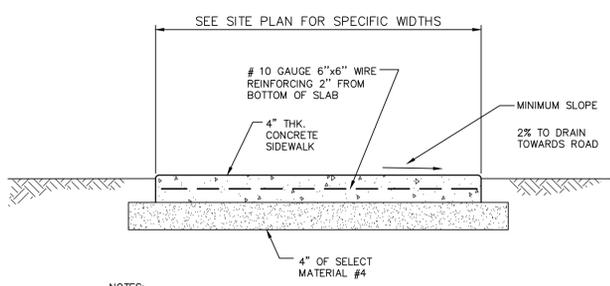
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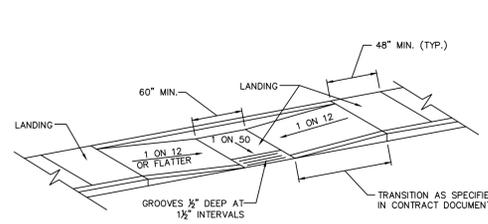
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/2".

CONCRETE CURB
NOT TO SCALE

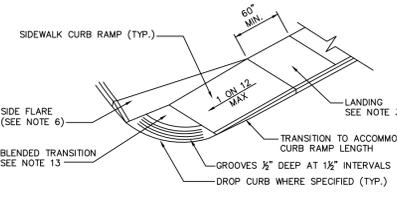


NOTES:
1. EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
2. CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
3. EDGES SHALL HAVE 3/4" RADIUS.
4. USE 4000 PSI CONCRETE.
5. BROOM FINISH TOP SURFACE.

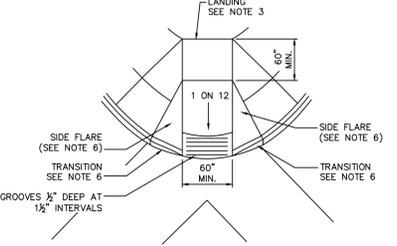
STANDARD SIDEWALK DETAIL
NOT TO SCALE



PARALLEL CURB RAMPS
NOT TO SCALE

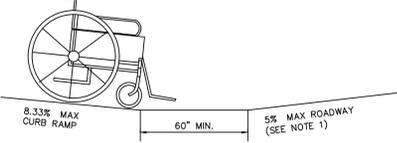


SIDEWALK CURB RAMP
NOT TO SCALE



DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE

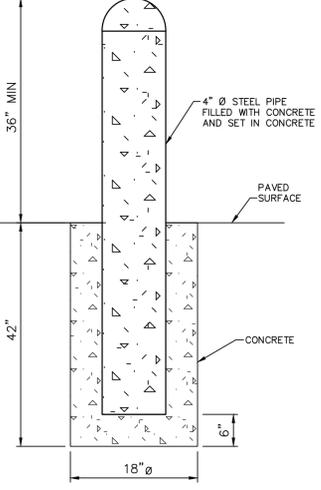
- GENERAL NOTES:
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
 - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
 - THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
 - CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 - THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
 - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
 - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MATCH. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
 - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 - DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROP CURBS MAY BE SPECIFIED.
 - SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.



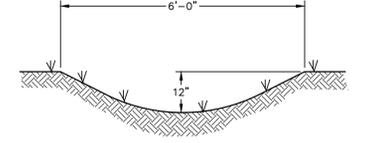
NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1:50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

COUNTER SLOPE CONDITIONS
NOT TO SCALE

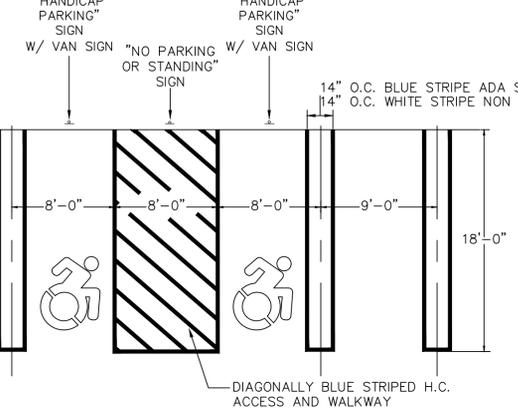
CURB RAMP DETAILS



BOLLARD DETAIL
NOT TO SCALE

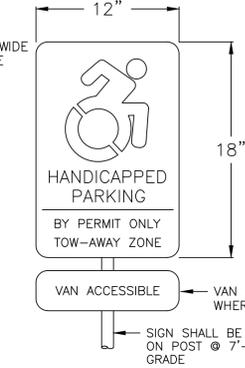


SWALE DETAIL
NOT TO SCALE

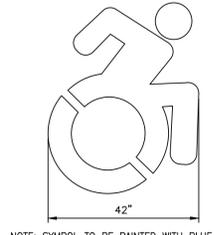


ADA AND TYPICAL PARKING SPACE STRIPING DETAIL
NOT TO SCALE

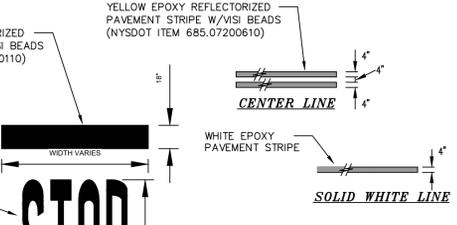
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



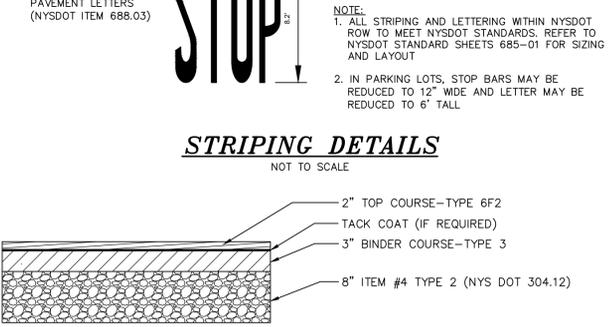
HANDICAP SIGN
NOT TO SCALE



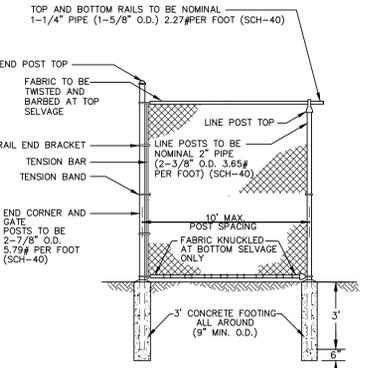
NYS COMPLIANT ACCESSIBILITY SYMBOL
NOT TO SCALE



STRIPING DETAILS
NOT TO SCALE



PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



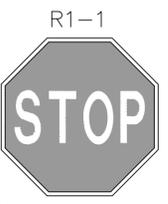
TYPICAL CHAIN LINK FENCE
NOT TO SCALE

- FENCE SPECIFICATIONS:**
- FENCING MATERIAL SHALL BE CYCLONE TYPE 1 FENCE AS MANUFACTURED BY USS OR EQUAL.
 - FABRIC HEIGHT IS TO BE 4'.
 - FABRIC SHALL BE 2" MESH 9 GAUGE (MIN.) WITH FUZZED BLACK VINYL COATING.
 - GATE SHALL HAVE LATCHING DEVICES WITH PROVISIONS FOR PADLOCKING.
 - ALL POSTS, RAILS, AND APPURTENANCES SHALL BE GALVANIZED STEEL. PIPE POSTS SHALL HAVE TOPS WHICH EXCLUDE MOISTURE.
 - END, CORNER, PULL, AND GATE POSTS ARE TO BE BRACED WITH THE SAME MATERIAL AS TOP RAIL. ALL POSTS SHALL BE SET IN A CONCRETE FOUNDATION OF 1:2:4 MIX. LINE POSTS SHALL BE EVENLY SPACED 10' OR LESS.
 - FENCE IS TO BE INSTALLED IN A PROFESSIONAL MANNER TO ENHANCE THE APPEARANCE OF THE INSTALLATION, TO PREVENT ENTRANCE OF PERSONS AND ANIMALS AND TO PROTECT EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THAT THE GRADE AT THE FENCE LINE IS CORRECT, LEVEL AND FINAL BEFORE THE FENCE IS INSTALLED. ALL POSTS SHALL BE ALIGNED TOP RAIL SHALL BE HELD LEVEL.
 - EXPERIENCED PERSONNEL IN THE FENCE INDUSTRY SHALL INSTALL THE FENCE.

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
	SOIL CLASSIFICATION	ASTM	AASHTO	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	D2321	M43	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	M5	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM SM SC	M5	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.
* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 30414) TO SUBGRADE.

UTILITY TRENCH CROSS SECTION
NOT TO SCALE

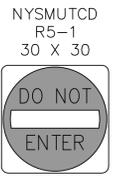


NOTE: STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 2B OF THE MUTCD.

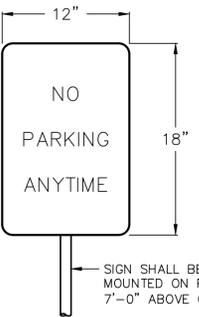
NYS MUTCD R3-10C
36 X 12



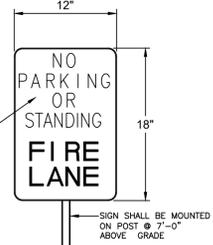
REGULATORY SIGNS
NOT TO SCALE



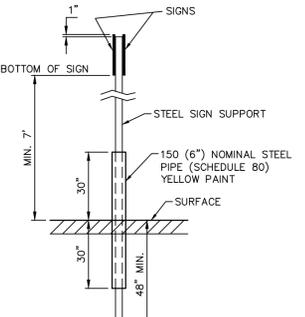
NYS MUTCD R5-1
30 X 30



NO PARKING SIGN
NOT TO SCALE



FIRE LANE SIGN
NOT TO SCALE



POST BASE DETAIL
NOT TO SCALE

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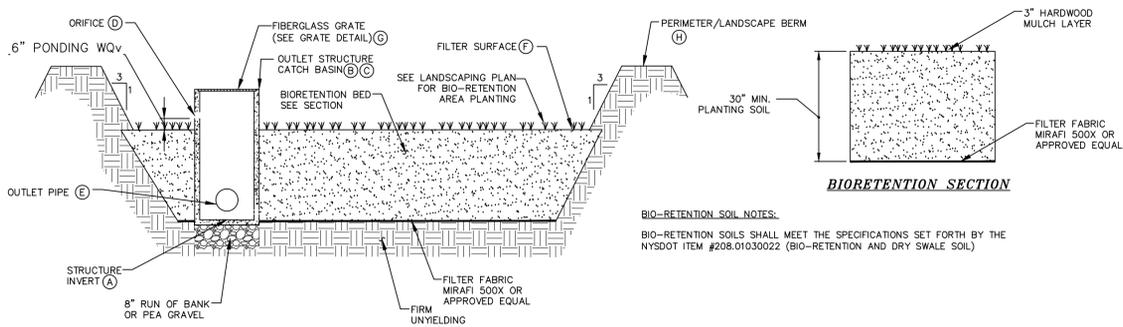
LANC & TULLY Engineering and Surveying, P.C.
P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700

CONSTRUCTION DETAILS 1 PREPARED FOR

MKJC REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

DATE: JUNE 27, 2023
REVISION: JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023

Drawn By: JQ
Checked By: N.T.S.
Scale: 35 - 3 - 3.22
Tax Map No.: B- 23 - 0107 - 01

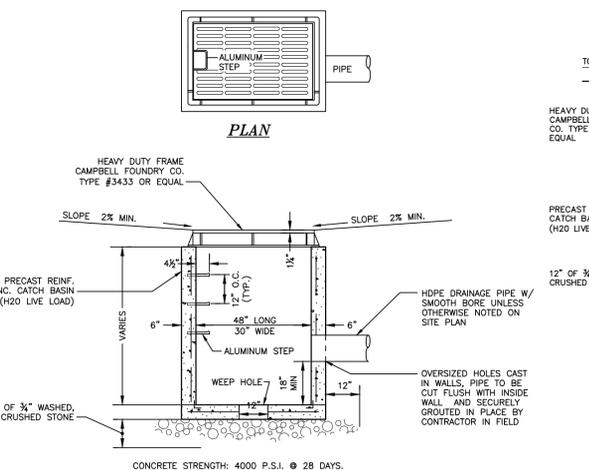


BIO-RETENTION AREA DETAIL
NOT TO SCALE

- BIORETENTION AREA MAINTENANCE REQUIREMENTS:**
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:
- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
 - RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THAN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
 - REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
 - ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
 - WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDING ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
 - REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.

BIO-RETENTION AREA DATA

BIO-RETENTION AREA OUTLET STRUCTURE	
A INVERT OF OUTLET STRUCTURE	435.00'
B OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	36" x 60"
C TOP OF STRUCTURE ELEVATION	439.75'
D ORIFICE: SIZE/INVERT ELEVATION	N/A
E CULVERT: DIAMETER/INVERT ELEVATION	15" HDPE @ 435.00'
F FILTER SURFACE ELEVATION	439.25'
G GRATE DIMENSION	30" x 48"
H TOP OF PERIMETER BERM	440.00'



SECTION
ENCLOSED SIDES



REFUSE PAD DETAIL
NOT TO SCALE

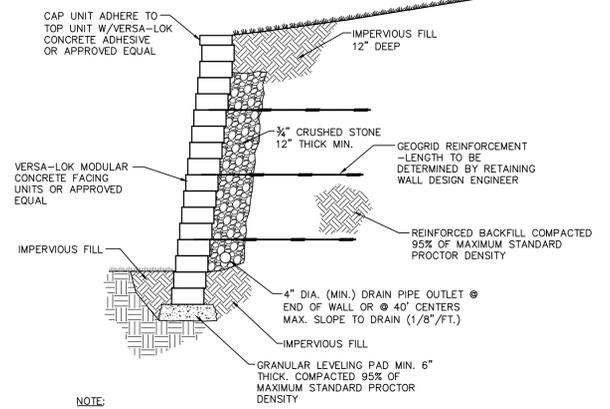
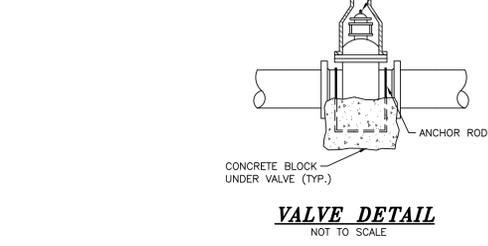
Labels include: FINISHED GRADE AT POST, 3"x8"x16'-0" PLANK, 3/4" GALVANIZED LAG BOLTS, 8"x8" POST, 1'-0" height, 1'-6" height, 3'-0" MIN. height, PAVEMENT.

WOOD GUIDE RAIL
NOT TO SCALE

NOTE: ALL WOOD TO BE PRESSURE TREATED.

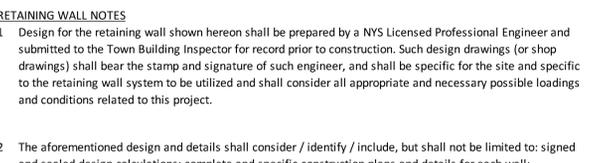
ANCHORAGE OF VALVES

WORKING PRESSURE (PSI)	SIZE OF VALVE REQUIRING ANCHORAGE
50-100	12 INCH & UP
101-150	8 INCH & UP
151-200	ALL SIZES

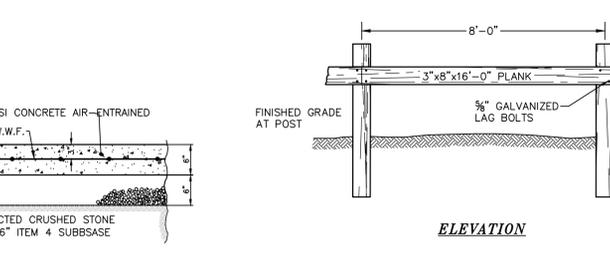


- RETAINING WALL NOTES**
- WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

BUILDING WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

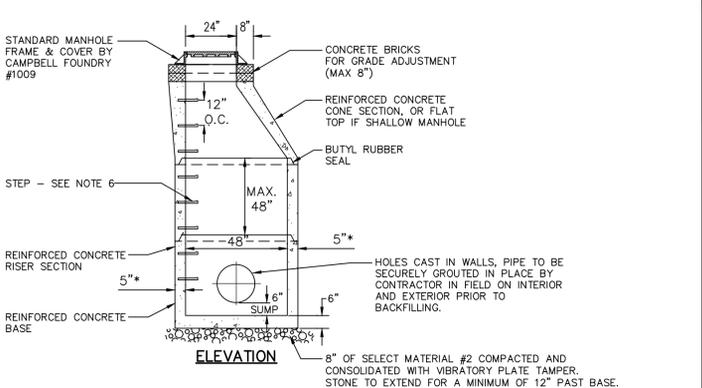
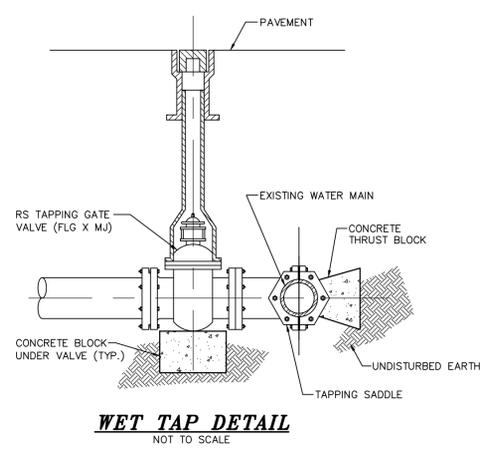


- RETAINING WALL NOTES**
- Design for the retaining wall shown hereon shall be prepared by a NYS Licensed Professional Engineer and submitted to the Town Building Inspector for record prior to construction. Such design drawings (or shop drawings) shall bear the stamp and signature of such engineer, and shall be specific for the site and specific to the retaining wall system to be utilized and shall consider all appropriate and necessary loadings and conditions related to this project.
 - The aforementioned design and details shall consider / identify / include, but shall not be limited to: signed and sealed design calculations; complete and specific construction plans and details for each wall; appropriate sizing for drainage system to handle intense storm conditions; maintenance ability to clean stormwater piping systems; appropriate backfill material sufficient porosity to allow free drainage of water; evaluate potential failure by internal/external failure mechanisms, global failure or other potential failures; and seismic design considerations.
 - If the wall or walls are tiered walls, the design shall include an analysis of the minimum spacing of walls to allow the individual walls to act as individual walls based on the specific site and construction conditions. If the walls are to be placed closer than the same, the specific design shall consider the loads superimposed by one wall to the other.
 - During construction, the work must be inspected by a NYS Licensed Professional Engineer who shall provide written verification to the Town Building Inspector, prior to the request for a certificate of occupancy, that he/she has personally inspected the work, and the installation is in compliance with the design drawings and manufacturer's installation recommendations.
 - If deemed necessary by the design engineer and/or the Town, third party testing will be performed regarding material compaction, fill quality, etc. A copy of all such testing records shall be provided to the Town Building Department for record.



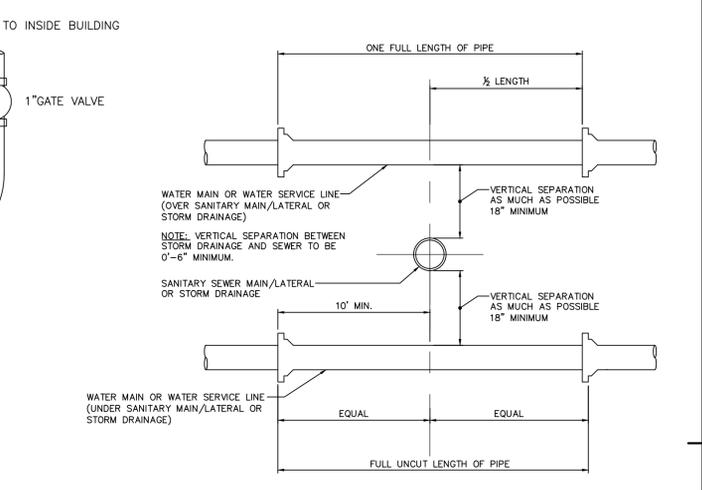
WOOD GUIDE RAIL
NOT TO SCALE

NOTE: ALL WOOD TO BE PRESSURE TREATED.



- NOTES:**
- PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
 - OPENING FOR PIPE SHALL BE PRE-CAST.
 - MANHOLE COVERS TO BE STAMPED "STORM".
 - PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H2O LIVE LOAD.
 - *WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
 - STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
 - PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 - BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

WATER & SEWER CROSSING DETAIL
NOT TO SCALE



WATER & SEWER HORIZONTAL SEPARATION
NOT TO SCALE



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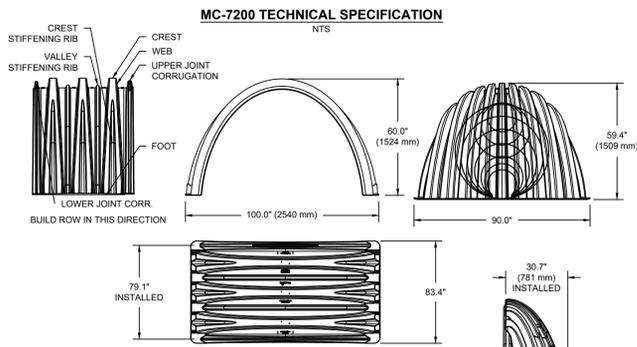
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

CONSTRUCTION DETAILS 2
PREPARED FOR

MKJC REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
Revision: JULY 5, 2023
AUGUST 23, 2023
OCTOBER 18, 2023

Drawn By: JQ
Checked By: N.T.S.
Scale: 35 - 3 - 3.22
Tax Map No.:
Drawing No.: C3D
B- 23 - 0107 - 01



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	100.0' X 60.0' X 48.3"	(2540 mm X 1524 mm X 1227 mm)
CHAMBER STORAGE	106.5 CUBIC FEET	(3.01 m ³)
MINIMUM INSTALLED STORAGE	162.6 CUBIC FEET	(4.60 m ³)
WEIGHT	130.0 lbs.	(59.0 kg)

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	90.2" X 59.4" X 30.7"	(2291 mm X 1509 mm X 781 mm)
END CAP STORAGE	35.7 CUBIC FEET	(1.01 m ³)
MINIMUM INSTALLED STORAGE	108.7 CUBIC FEET	(3.08 m ³)
WEIGHT	135.0 lbs.	(61.2 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A WELDED CROWN PLATE END WITH "C" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC4500REPE06T	6" (150 mm)	42.54" (1,081 mm)	0.89" (22 mm)
MC4500REPE08B	8" (200 mm)	40.50" (1,029 mm)	---
MC4500REPE08T	8" (200 mm)	---	1.01" (26 mm)
MC4500REPE08B	8" (200 mm)	38.37" (975 mm)	---
MC4500REPE10T	10" (250 mm)	---	1.33" (34 mm)
MC4500REPE10B	10" (250 mm)	35.69" (907 mm)	---
MC4500REPE12T	12" (300 mm)	---	1.55" (39 mm)
MC4500REPE12B	12" (300 mm)	32.72" (831 mm)	---
MC4500REPE15T	15" (375 mm)	---	1.70" (43 mm)
MC4500REPE15B	15" (375 mm)	29.36" (746 mm)	---
MC4500REPE18T	18" (450 mm)	---	1.97" (50 mm)
MC4500REPE18B	18" (450 mm)	23.05" (585 mm)	---
MC4500REPE24T	24" (600 mm)	---	2.26" (57 mm)
MC4500REPE24B	24" (600 mm)	---	2.95" (75 mm)
MC4500REPE30B	30" (750 mm)	---	3.25" (83 mm)
MC4500REPE36B	36" (900 mm)	---	3.55" (90 mm)
MC4500REPE42B	42" (1050 mm)	---	---

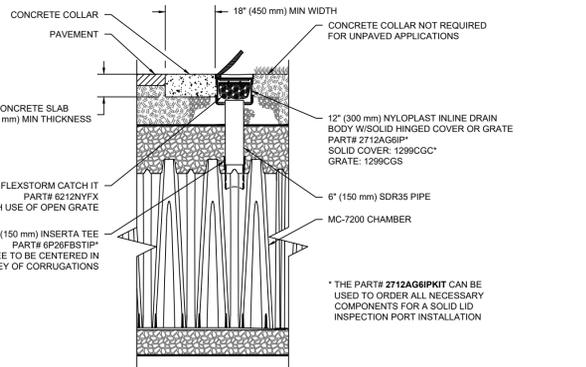
CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVERTED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-4500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SLUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

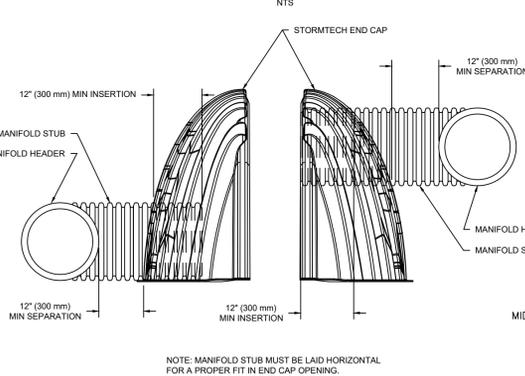
NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



MC-7200 6" (150 mm) INSPECTION PORT DETAIL

MC-SERIES END CAP INSERTION DETAIL



STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET, THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-7200 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONE SHOTTER LOCATED OFF THE CHAMBER BED
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - FULL 90" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

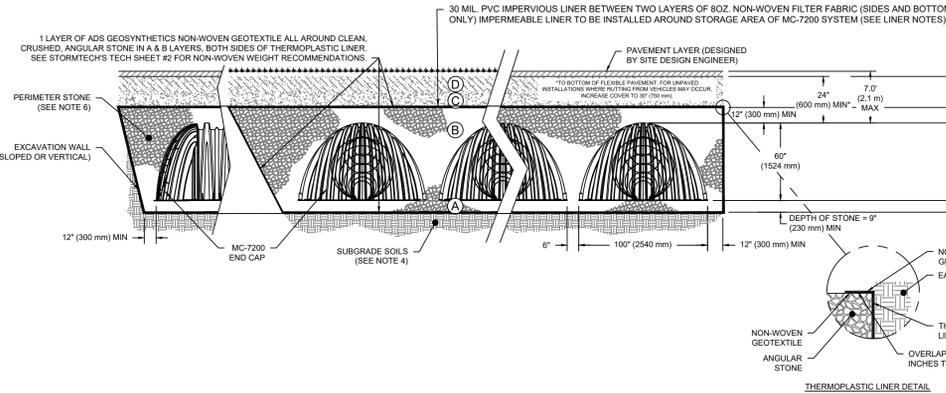
ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

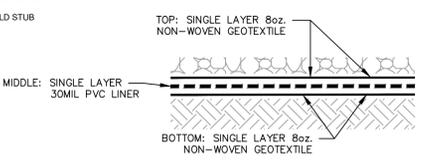
PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

NOTES:

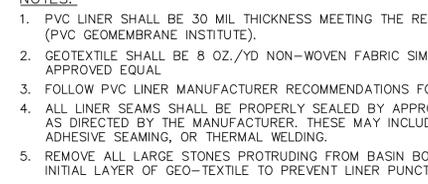
- MC-7200 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.



CROSS-SECTION
OUTLET PROTECTION DETAIL FOR RETAINING WALL PIPE PENETRATION

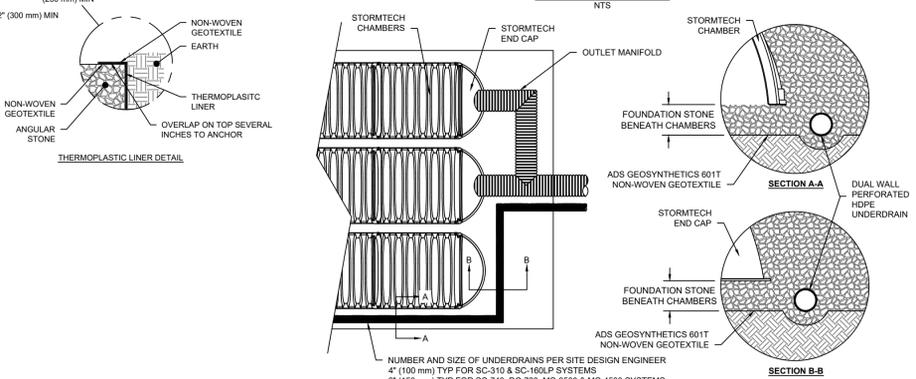


TYPICAL LINER SECTION



- NOTE:
 STONE FILL FOR GABION BASKETS SHALL BE HARD ANGULAR TO ROUND BETWEEN 4" AND 8" IN SIZE.
- NOTES:
- PVC LINER SHALL BE 30 MIL THICKNESS MEETING THE REQUIREMENTS OF PGI 1104 (PVC GEOMEMBRANE INSTITUTE).
 - GEOTEXTILE SHALL BE 8 OZ./YD NON-WOVEN FABRIC SIMILAR TO MIRAFI 180N OR APPROVED EQUAL.
 - FOLLOW PVC LINER MANUFACTURER RECOMMENDATIONS FOR INSTALLATION.
 - ALL LINER SEAMS SHALL BE PROPERLY SEALED BY APPROPRIATE WELDING TECHNIQUES AS DIRECTED BY THE MANUFACTURER. THESE MAY INCLUDE CHEMICAL WELDING, ADHESIVE SEAMING, OR THERMAL WELDING.
 - REMOVE ALL LARGE STONES PROTRUDING FROM BASIN BOTTOM PRIOR TO PLACING INITIAL LAYER OF GEO-TEXTILE TO PREVENT LINER PUNCTURE.

UNDERDRAIN DETAIL



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CONSTRUCTION DETAILS 3
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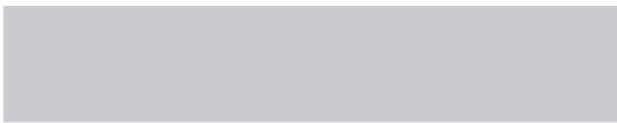
TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

Date: JUNE 27, 2023
 Revision: JULY 5, 2023
 AUGUST 23, 2023
 OCTOBER 18, 2023

Drawn By: JQ
 Checked By: N.T.S.
 Scale: 35 - 3 - 3.22
 Tax Map No.: C3D
 B- 23 - 0107 - 01



**Insulated Metal Panels
PVDF Cool Coatings**



Reflective White

IR .59 SRI 70



Royal Blue

IR .26 SRI 25



Pearl Gray

IR .45 SRI 51

**TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK**
Tax Map: 35 - 3 - 3.22

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