



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJ PARK, LLC OFFICE & WAREHOUSE
PROJECT NO.: 22-32
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 29.1
REVIEW DATE: 1 MARCH 2024
MEETING DATE: 7 MARCH 2024
PROJECT REPRESENTATIVE: LANC & TULLY, PC /JOHN QUEENAN, P.E.

1. The project must still address the single access point for the structure which exceeds the size for the NYS Building Code of having a single access point.
2. The project has increased the undisturbed buffer between the adjoining residential properties to the east of the site to 35 feet. It is noted that those properties are located in the IB Zoning District which does not require compliance with the Town's extensive buffer requirements typically required for commercial properties abutting residential properties in a residential zone.
3. US Army Corp of Engineers & NYSDEC permits are required for filling of the wetlands.
4. The tree location plan has been submitted. Tree information should be provided on the chart which identifies the trees with regard to the criteria in the Tree Preservation Ordinance. Calculations identifying the amount of each of the criteria to be removed must be provided.
5. The Town of Newburgh's sewer system notes have been added to the plans. However, the site will be served by an onsite sub-surface sanitary sewer disposal system.
6. A Stormwater Pollution Prevention Plan must be provided.
7. Orange County Department of Planning referral will be required for future submissions.
8. NYSDOT approval for access and utilities must be received.
9. The amount of cut and fill should be identified for the Planning Board's review including construction related impacts.
10. The Planning Board may wish to request visual simulations from the properties located east of the site. Landscaping plans for the infill of the undisturbed buffer as well as the area for the proposed retaining wall should be provided.
11. The basis of design of the sub-surface sanitary sewer disposal system is employee count. Information pertaining to how the employee count was calculated should be provided. The employee count for the sanitary sewer disposal system is identified as 83 employees while the

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhpa@mhepc.com

parking count identifies 166 employees. Additionally, the parking count does not identify office employees which should be included in the total calculation.

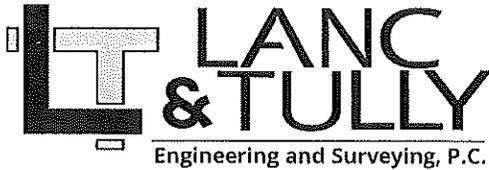
Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive style with a large, stylized initial 'P'.

Patrick J. Hines
Principal

PJH/ltn



February 26, 2024

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

RE: Application for Site Plan
MKJ Park, LLC
NYS Route 32 – SBL: 34-2-29.1
Town Application# 2022-32

Dear Chairman Ewasutyn and Planning Board Members,

The applicant, MKJ Park, LLC, would request to be placed on the March 7, 2024 Planning Board Agenda to update the Planning Board as to the status of the project and the current design. The Project was last before the Planning Board in November 2023.

Enclosed are 10 copies of the following materials for review:

1. Site Plan entitled "Site Plan Prepared for MKJ Park, LLC:" Last revised February 26, 2024

The subject property is located along NYS Route 32 about a 1/2 mile southeast from the intersection of NYS Route 32 and NYS Route 300. The property is currently vacant and is 15.14 acres in size located within the IB zoning district. The project proposes to construct a 173,000-sf office/warehouse building comprised of 7,000 sf of office and 166,000 sf of warehouse. The project proposes the construction of a new access road from NYS Route 32 for ingress and egress to the project site. The plan proposes 31 loading docks on one side of the building with 13 trailer parking spaces and 147 car parking spaces.

The site plan has been updated with significant changes to the grading which has lowered the proposed building floor elevation by approximately 4'. The lowering of the building provides for an increased buffer of 35' along the eastern property boundary. Also with the lowering of the building, a retaining wall is now proposed along the rear access drive which will also assist in noise reduction to the rear of the lots. We would like to review this change with the Planning Board so that it can be determined if the buffer is adequate.

If you require any additional information or have any questions, please do not hesitate to contact our office.

Sincerely,

LANC & TULLY, P.C.

John Queenan, P.E.

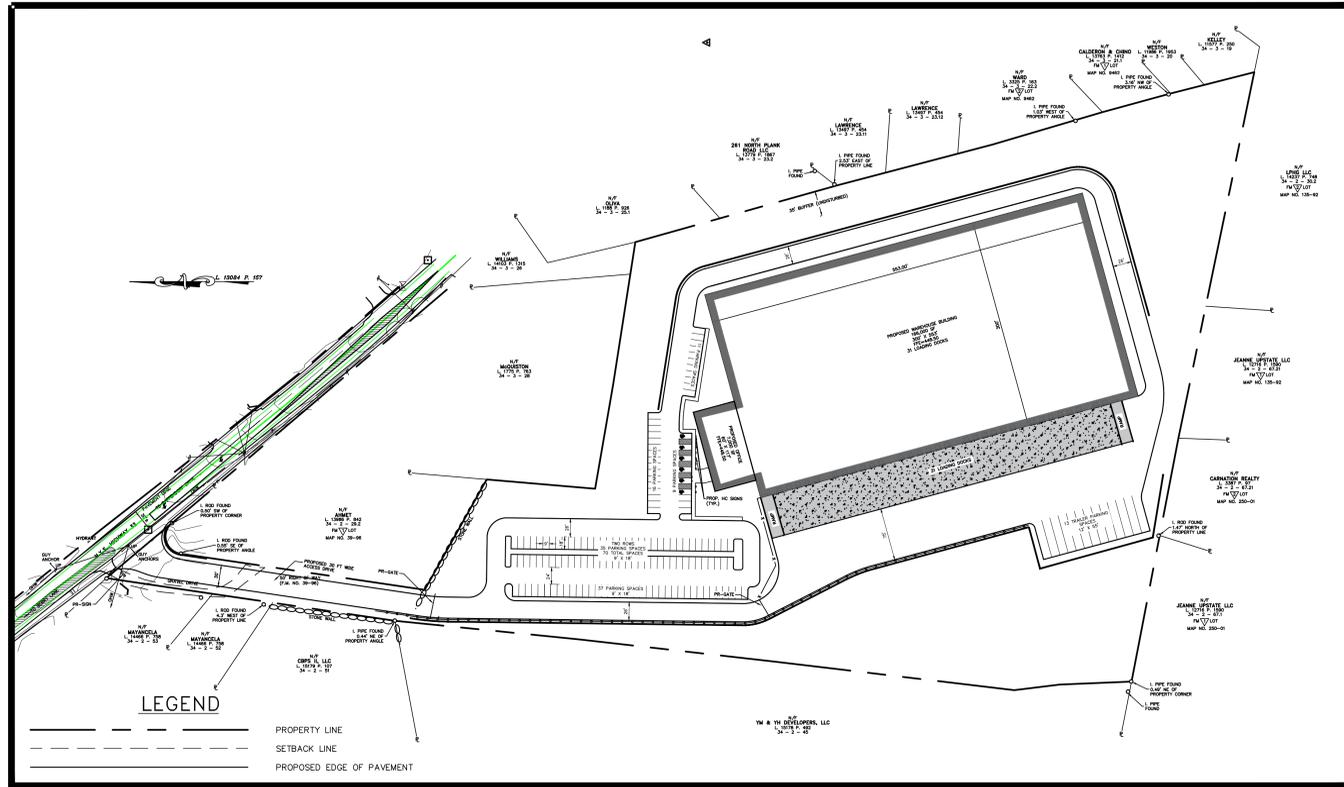
Enc.
cc: Pat Hines, MH&E
Dominic Cordisco, Esq. -Via Email
Ken Wersted.CME- Via Email
Karen Arent- Via Email

P.O. Box 687, Goshen, New York 10924 | (845) 294-3700

www.lanctully.com

SITE PLAN FOR MKJ PARK, LLC

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



OVERALL PLAN
1 INCH = 100 FEET

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - IB ZONE INTERCHANGE BUSINESS - SITE PLAN USE #9		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	220 FT.
LOT DEPTH	150 FT.	1,007 FT.
FRONT YARD	50 FT.*	109.1 FT.
ONE SIDE YARD/BOTH	30/80 FT.	99.1/329.5 FT.
REAR YARD	60 FT.	68.3 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	40 FT.	40 FT.
BUILDING COVERAGE	40%	26.4%
DEVELOPMENT COVERAGE	80%	71.4%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA

WAREHOUSE: 2 PARKING SPACES PER 3 EMPLOYEES
166,000 SF / 1000 SF PER EMPLOYEE = 166 EMPLOYEES
166 EMPLOYEES / 3 EMPLOYEE = 56

56 * 2 SPACES = 112 PARKING SPACES REQUIRED FOR WAREHOUSE

TOTAL = 147 PARKING SPACES REQUIRED
TOTAL = 147 PARKING SPACES PROVIDED
INCLUDING 6 HANDICAP SPACES

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- SITE TO BE SERVICED BY CENTRAL WATER PROVIDED BY THE TOWN OF NEWBURGH
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

CONSTRUCTION NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS" 2008, AS SUPPLEMENTED BY CURRENT PREVALING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT NECESSARY REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION. IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREON, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
- THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
- DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDING AND STABILIZED.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

NYS DOT NOTES:

- ALL WORK AND IMPROVEMENTS WITHIN THE NYS DOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYS DOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
A. NYS DOT STANDARD SHEETS 603 FOR DRIVEWAYS
B. NYS DOT STANDARD SHEETS 609
C. NYS DOT STANDARD SHEETS 608-03
D. NYS DOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:

MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.

MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & V REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.

MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.

MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN. OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.



LOCATION PLAN
1 INCH = 1,000 FEET

SITE PLAN SHEET INDEX:

- COVER SHEET
- EXISTING CONDITIONS
- SITE PLAN
- TREE LOCATION AND REMOVAL PLAN
- TREE LOCATION CHART
- GRADING & UTILITY PLAN
- SEWAGE DISPOSAL SYSTEM DESIGN
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2

COPYRIGHT 2023, LANC & TULLY, P.C.

TOWN OF NEWBURGH
SITE PLAN APPROVAL:

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

COVER SHEET PREPARED FOR

MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JG Checked By: Scale: AS SHOWN Tax Map No.: 34-2-29.1 Drawing No.: C30

DATE: OCTOBER 18, 2023
Revision: FEBRUARY 26, 2024
CADD File: 210047-ENG.DWG
Layout: COVER
Sheet No.: 1 OF 9
Drawing No.: C30
A-21-0047-01

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34-2-29.1
L 15137 P. 1891

FM LOT
MAP NO. 39-96

AREA:
15.141± AC.

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



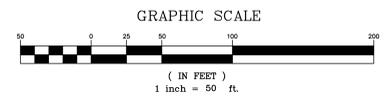
SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.
 - MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & V REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.
 - MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.
 - MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN, OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.
- THE USACOE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12550
 34 - 2 - 29.1
 L. 15137 P. 1891
 FM LOT
 MAP NO. 39-96

AREA:
 15.141± AC.



COPYRIGHT 2021, LANC & TULLY, P.C.

		LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
EXISTING CONDITIONS PREPARED FOR					
MKJ PARK, LLC					
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK					
Drawn By: JW	Checked By: JW	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1	Date: OCTOBER 18, 2023	Revision: FEBRUARY 26, 2024
Drawing No.: A-21 - 0047 - 01				Drawing No.: C30	

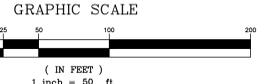
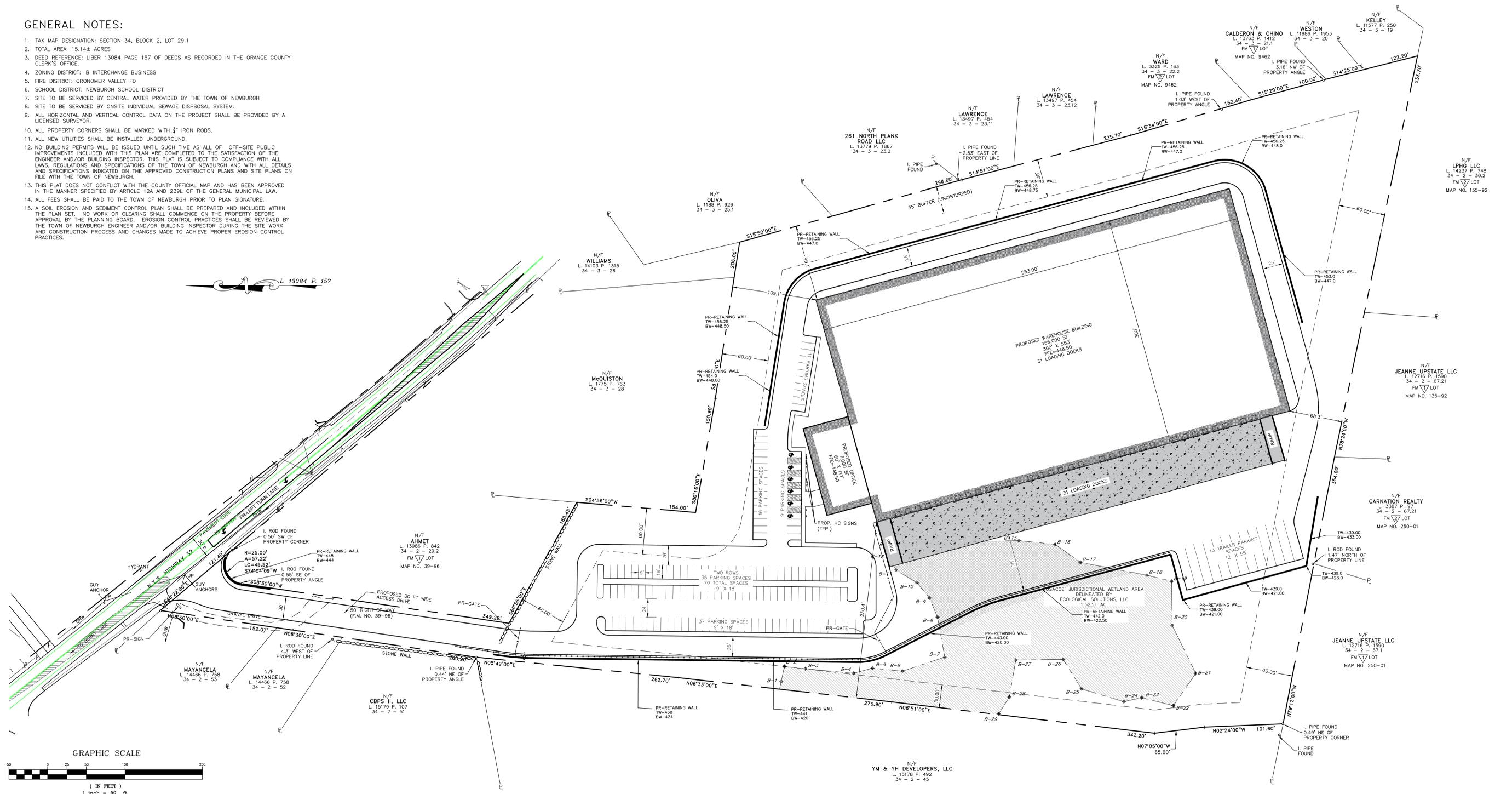
COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- SITE TO BE SERVICED BY CENTRAL WATER PROVIDED BY THE TOWN OF NEWBURGH
- SITE TO BE SERVICED BY ONSITE INDIVIDUAL SEWAGE DISPOSAL SYSTEM.
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OF OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.



LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - IB ZONE INTERCHANGE BUSINESS - SITE PLAN USE #9

MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	220 FT.
LOT DEPTH	150 FT.	1,007 FT.
FRONT YARD	60 FT.*	109.1 FT.
ONE SIDE YARD/BOTH	30/80 FT.	99.1/329.5 FT.
REAR YARD	60 FT.	68.3 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	40 FT.	40 FT.
BUILDING COVERAGE	40%	26±%
DEVELOPMENT COVERAGE	80%	71±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA

WAREHOUSE: 2 PARKING SPACES PER 3 EMPLOYEES
166,000 SF / 1000 SF PER EMPLOYEE = 166 EMPLOYEES
166 EMPLOYEES / 3 EMPLOYEE = 56
56 * 2 SPACES = 112 PARKING SPACES REQUIRED FOR WAREHOUSE

TOTAL = 147 PARKING SPACES REQUIRED
TOTAL = 147 PARKING SPACES PROVIDED INCLUDING 6 HANDICAP SPACES

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550
34 - 2 - 29.1
L. 15137 P. 1891
FM LOT
MAP NO. 39-96

AREA:
15.14± AC.

COPYRIGHT 2022, LANC & TULLY, P.C.

		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
DATE: OCTOBER 18, 2023 REVISION: FEBRUARY 26, 2024		
SITE PLAN PREPARED FOR		
MKJ PARK, LLC		
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
Drawn By: JW Checked By: Scale: 1" = 50' Tax Map No.: 34 - 2 - 29.1	Drawing No.: 3 OF 9 A- 21 - 0047 - 01	



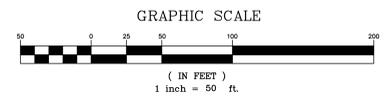
SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.
 - MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & V REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.
 - MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.
 - MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN, OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.
- THE USACOE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
 208 SOUTH PLANK ROAD
 NEWBURGH, NY 12550
 34 - 2 - 29.1
 L. 15137 P. 1891
 FM LOT
 MAP NO. 39-96

AREA:
 15.141± AC.



COPYRIGHT 2021, LANC & TULLY, P.C.

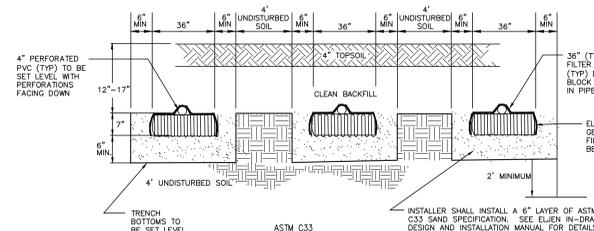
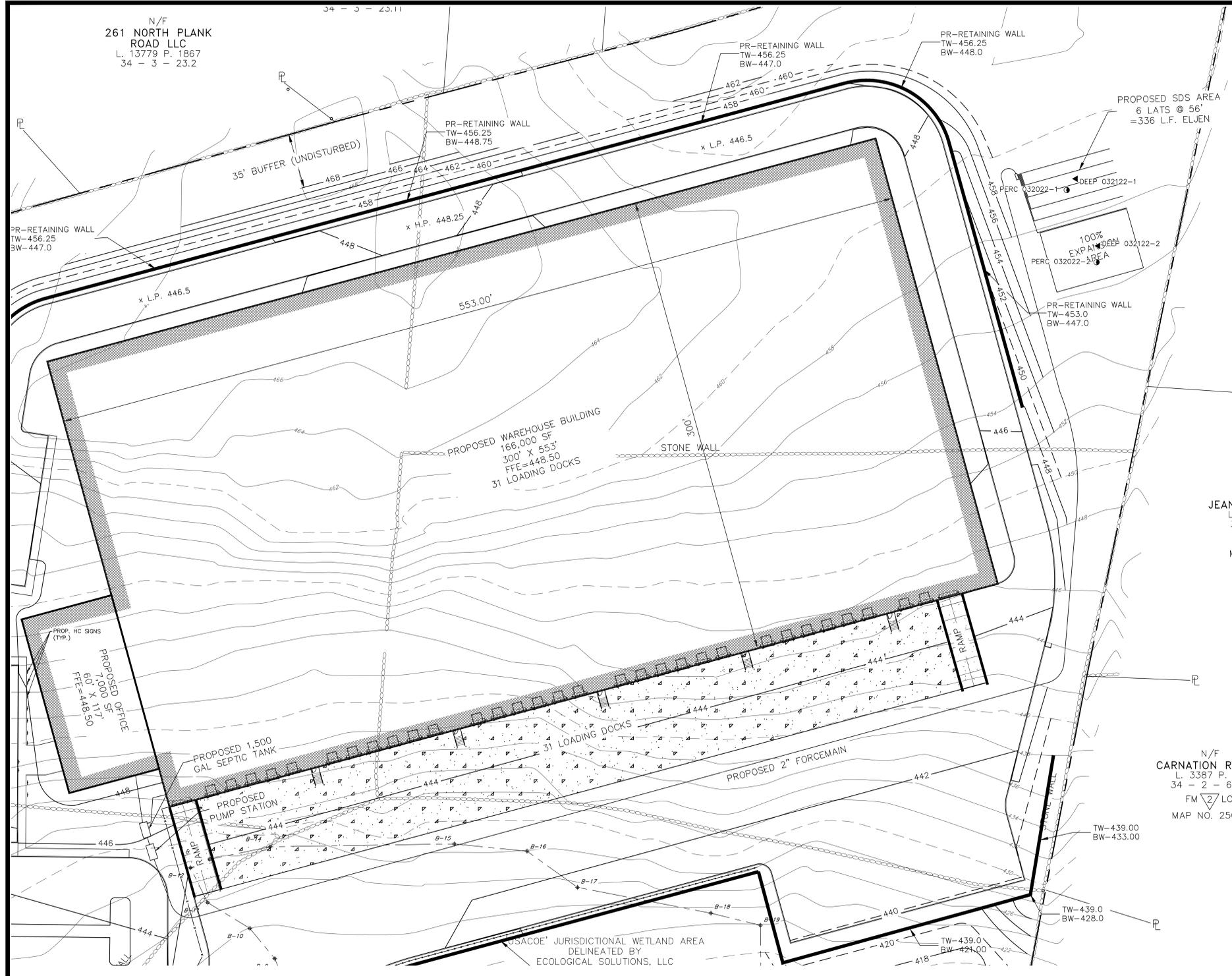
		LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
TREE LOCATION AND REMOVAL PLAN PREPARED FOR					
MKJ PARK, LLC					
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK					
Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1	Date: OCTOBER 18, 2023	Revision: FEBRUARY 26, 2024
Drawing No.: A-21 - 0047 - 01				Drawing No.: C30	

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

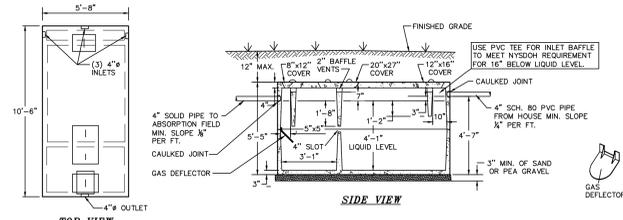


N/F
261 NORTH PLANK
ROAD LLC
L. 13779 P. 1867
34 - 3 - 23.2



SEIVE SIZE	MINIMUM PERCENT PASSING BY WEIGHT	MAXIMUM PERCENT PASSING BY WEIGHT
3/8 INCH	100	100
NO. 4	85	100
NO. 8	50	100
NO. 16	20	85
NO. 30	10	60
NO. 50	5	30
NO. 100	2	10
NO. 200 (NET)	0	5

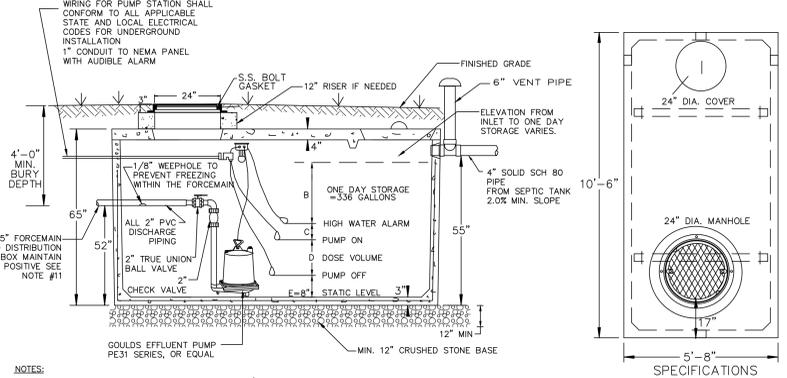
TYPICAL "ELJEN" TRENCH CROSS SECTION DETAIL
NOT TO SCALE



SPECIFICATIONS	PRECAST SEPTIC TANKS MODEL
CONCRETE MINIMUM STRENGTH: 4000 PSI AT 28 DAYS	ST-1500 / 1500 GALLONS
REINFORCEMENT: #3 REBAR, 4# REBAR	
AIR ENTRAINMENT: 5%	
CONSTRUCTION JOINT: BUTYL RUBBER SEALANT	
PIPE CONNECTION: POLYLOK SEAL (PATENTED)	
LOAD RATING: 300 PSF WEIGHT = 10,600 LBS	

- NOTES:
1. CONCRETE SEPTIC TANK BY TO BE ST-1500 CONCRETE SEPTIC TANK BY WOODWARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
 2. AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF MANHOLE COVERS, INSPECTION COVERS, AND CLEANOUT COVERS.
 3. CONCRETE MIN. STRENGTH: 4,000 PSI @ 28 DAYS.
 4. STEEL REINFORCEMENT: 6"x6"x10GA. STEEL WIRE MESH.
 5. ALL JOINTS TO BE CAULKED.

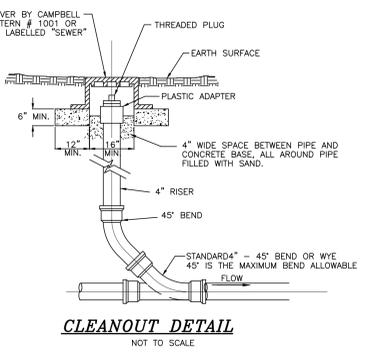
1,500 GAL. CONCRETE SEPTIC TANK
NOT TO SCALE



- NOTES:
1. CONCRETE PRECAST PUMP CHAMBER BY WOODWARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
 2. PRECAST CHAMBER TO MEET H=20 LOADING SPECIFICATIONS.
 3. CONTROL PANEL TO BE AUTOMATED CONTROL SYSTEMS SF11 NEMA 1 ENCLOSURE OR EQUAL.
 4. ELECTRICAL EQUIPMENT IN WELLS OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 1, GROUPS C AND D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPLICES, JUNCTION BOXES OR CONNECTIONS OF ANY KIND IN SEWAGE WET WELLS OF ANY NEC RATING.
 5. ALL JOINTS SHALL BE CAULKED.
 6. AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF BASE AND RISER SECTIONS, WHERE APPLICABLE.
 7. THE REQUIRED DOSE VOLUME = SEE PUMP CHAMBER DESIGN CHART.
 8. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
 9. ALL COVERS SHALL BE LOCKABLE AND WATER TIGHT.
 10. ALL NEC REQUIREMENTS SHALL BE MET FOR THE PUMP STATION CONSTRUCTION.
 11. THE FORCE MAIN MUST MAINTAIN A POSITIVE SLOPE BACK TO THE PUMP STATION TO ALLOW THE EFFLUENT TO DRAIN BACK INTO THE PUMP CHAMBER AFTER EACH PUMPING CYCLE.

PRECAST PUMP CHAMBER TANK (1,500 GAL.)
NOT TO SCALE

PUMP DETAIL ITEM	DEPTH OF PUMP FLOAT (IN INCHES)
ONE DAY STORAGE	B=30" MIN.
HIGH WATER ALARM	C=3"
PUMP ON	D=5"
PUMP OFF	E=8"
DOSE VOLUME	153 GAL



CLEANOUT DETAIL
NOT TO SCALE

PERCOLATION TEST RESULTS:

PERCOLATION TESTS '1' & '2' WERE PERFORMED ON MARCH 20, 2022, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C..

PERC. TEST RATE (MIN.)	DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)	TYPE OF SYSTEM
032022-1	31-45	996 GPD	332	ELJEN
032022-2				

SYSTEM DESIGN

SYSTEM FLOWS AND DESIGN FOR NEW SDS:
 FLOW RATE FOR OFFICE/WAREHOUSE = 1,245 GPD (83 EMPLOYEES * 15 GPD/EMPLOYEE)
 20% WATER SAVINGS = 249 GPD
 1,245 GPD - 249 GPD = 996 GPD (DESIGN FLOW)
 DESIGN PERCOLATION RATE: 31-45 MINUTES/INCH
 APPLICATION RATE: 0.5 GAL/DAY/SQUARE FOOT
 APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH
 SQUARE FOOTAGE REQ'D: 996 GPD / 0.5 GPD/SQ FT = 1,992 SQ FT
 ABSORPTION FIELD TRENCH LENGTH REQUIRED: 1,992 SQ FT / 6 SQ FT PER LIN. FT. = 332 LIN. FT. OF TRENCH
 ABSORPTION FIELD PROVIDED: 6 LATERALS @ 56 FEET = 336 LINEAR FEET
 SEPTIC TANK SIZING: 996 GPD X 1.5 = 1,494 GPD - USE 1,500 GAL TANK

DOSEING CALCULATIONS:

TOTAL PIPE VOLUME (FORCE MAIN): 950 LINEAR FEET X 0.121 GALLONS/FOOT = 61 GALLONS
 DOSE VOLUME: 61 GALLONS X 1.00 = 61 GALLONS
 TOTAL PIPE VOLUME (DISTRIBUTION): 44 LINEAR FEET X 0.653 GALLONS/FOOT = 29 GALLONS
 DOSE VOLUME: 29 GALLONS X 1.00 = 29 GALLONS
 TOTAL PIPE VOLUME (ABSORPTION FIELD): 128 LINEAR FEET X 0.653 GALLONS/FOOT = 84 GALLONS
 DOSE VOLUME: 84 GALLONS X 0.75 = 63 GALLONS
 TOTAL DOSEING VOLUME: 61 GALLONS + 29 GALLONS + 63 GALLONS = 153 GALLONS

DEEP TEST RESULTS

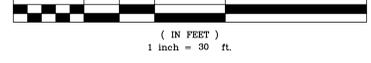
1 & 2 - SITE INSPECTION PERFORMED ON MARCH 21, 2022 BY LANC AND TULLY ENGINEERING, P.C.

GROUND LEVEL	1 TOPSOIL 6"	GROUND LEVEL	2 TOPSOIL 6"
1'	SILTY LOAM	1'	SILTY LOAM
2'	30"	2'	36"
3'	SILT LOAM WITH COBBLES & CLAY	3'	SILT LOAM WITH COBBLES & CLAY
4'		4'	
5'		5'	
6'	72"	6'	72"

TOWN OF NEWBURGH SEWER SYSTEM NOTES

1. CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
2. ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
3. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING CASSETT CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
4. THE SEWERMAN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
5. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

GRAPHIC SCALE



LEGEND

- PROPERTY LINE
- SEBACK LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED GRAVEL AREA



COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

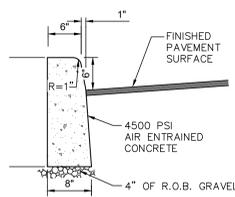
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: OCTOBER 18, 2023
Revision: FEBRUARY 26, 2024

MJK PARK, LLC

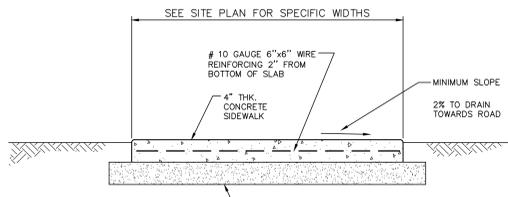
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW | Checked By: | Scale: 1" = 30' | Tax Map No.: 34-2-29.1 | Drawing No.: C30
A-21-0047-01



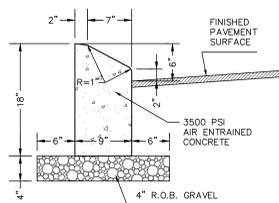
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

CONCRETE CURB
NOT TO SCALE



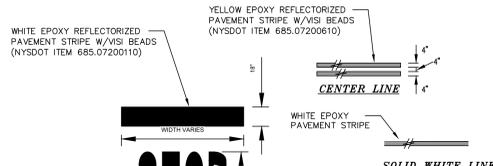
- NOTES:
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 3. EDGES SHALL HAVE 1/2" RADIUS.
 4. USE 4500 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL
NOT TO SCALE

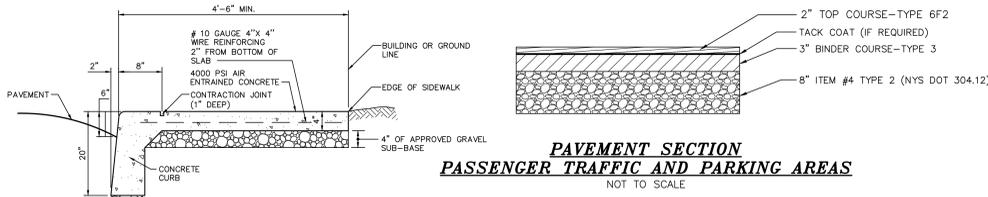


CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

CONCRETE CURB DETAIL (MOUNTABLE)
NOT TO SCALE

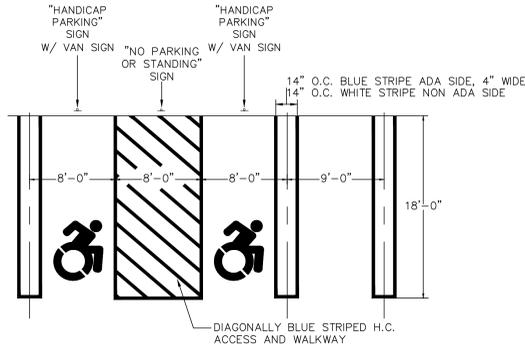


STRIPING DETAILS
NOT TO SCALE



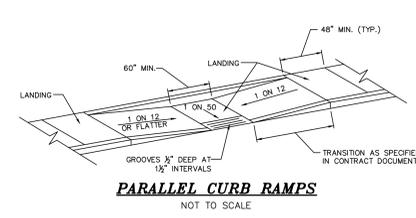
PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE

MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE

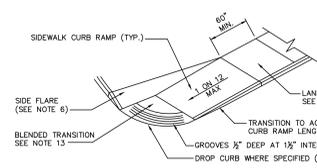


ADA AND TYPICAL PARKING SPACE STRIPING DETAIL
NOT TO SCALE

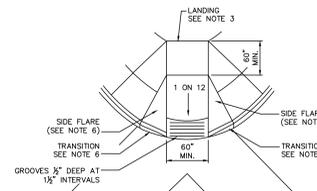
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



PARALLEL CURB RAMP
NOT TO SCALE

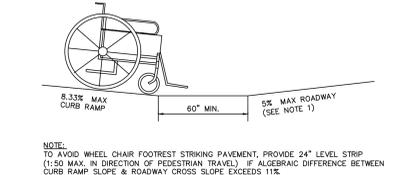


SIDEWALK CURB RAMP
NOT TO SCALE



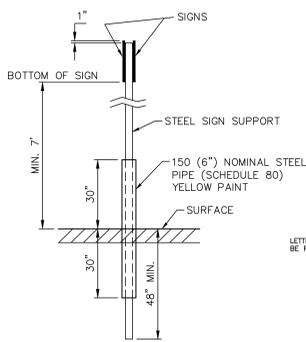
DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE

- GENERAL NOTES:
1. THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGN. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 2. THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
 3. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OF A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 4. CROSS SLOPES: THE MAXIMUM CROSS SLOPE OF CURB RAMP SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
 5. THE RUNNING GRADE OF CURB RAMP SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.33%). CURB RAMP ARE NOT REQUIRED TO BE LONGER THAN 15'.
 6. CURB RAMP LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 7. THE SURFACE OF ALL CURB RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
 8. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
 9. COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 10. WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED. THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
 11. AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMP (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 12. DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STRIPING SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMP. DROPPED CURBS MAY BE SPECIFIED.
 13. SLOPES ON BLEEDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.

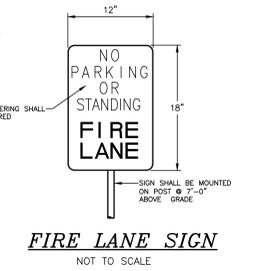


COUNTER SLOPE CONDITIONS
NOT TO SCALE

CURB RAMP DETAILS



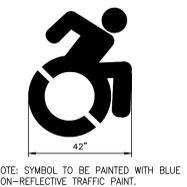
POST BASE DETAIL
NOT TO SCALE



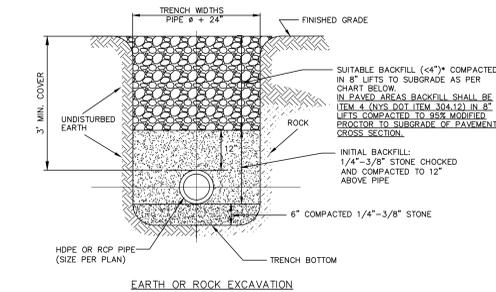
FIRE LANE SIGN
NOT TO SCALE



REGULATORY SIGNS



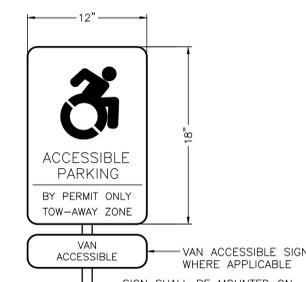
NYS COMPLIANT ACCESSIBILITY SYMBOL



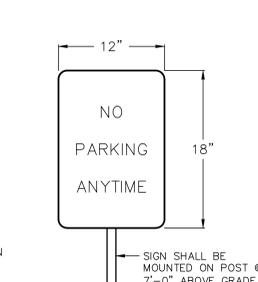
ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
DESCRIPTION	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GR SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.
* BACKFILL SHALL CONTAIN NO STONES OVER 4" IN ANY DIMENSION.

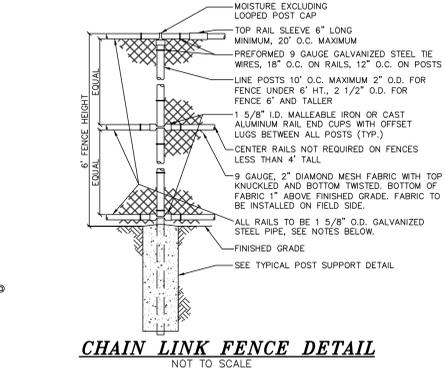
STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE



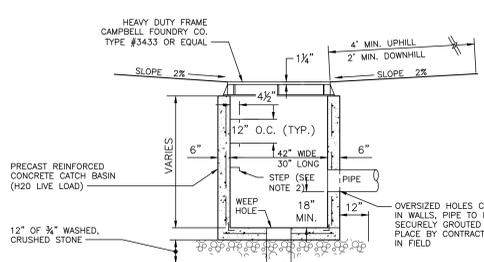
HANDICAP SIGN
NOT TO SCALE



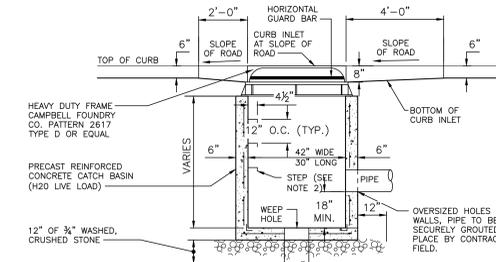
NO PARKING SIGN
NOT TO SCALE



CHAIN LINK FENCE DETAIL
NOT TO SCALE



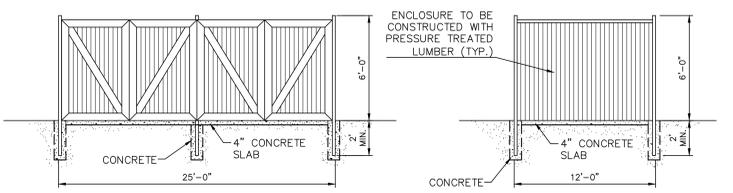
FLAT TOP CATCH BASIN



CURB TOP CATCH BASIN

CATCH BASINS
NOT TO SCALE

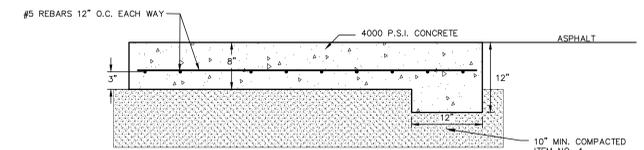
- NOTES:
1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT
 3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.



PICK UP ENTRANCE

ENCLOSED SIDES

REFUSE STORAGE ENCLOSURE DETAIL
NOT TO SCALE



- NOTES:
1. CONCRETE APRON SHALL BE INCREASED TO 12" THICKNESS / 12" WIDE WHERE APRON ADJOINS ASPHALT.
 2. ITEM NO. 4 SUBBASE TO BE COMPACTED TO 95% PROCTOR.
 3. CONCRETE SHALL BE 4000 PSI 5% AIR ENTRAINED.
 4. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR APPROVED MATERIAL AND CONTRACTION JOINTS 1" DEEP SHALL BE PLACED. SEE CONCRETE APRON JOINT DETAIL FOR PLACEMENT.
 5. CONCRETE SHALL BE CURED AND SEALED. REFER TO PENNSYLVANIA SPECIFICATIONS FOR REQUIREMENT.
 6. BROOM FINISH TOP SURFACE.

DUMPSTER ENCLOSURE CONCRETE PAD DETAIL
NOT TO SCALE

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



COPYRIGHT 2021, LANC & TULLY, P.C.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

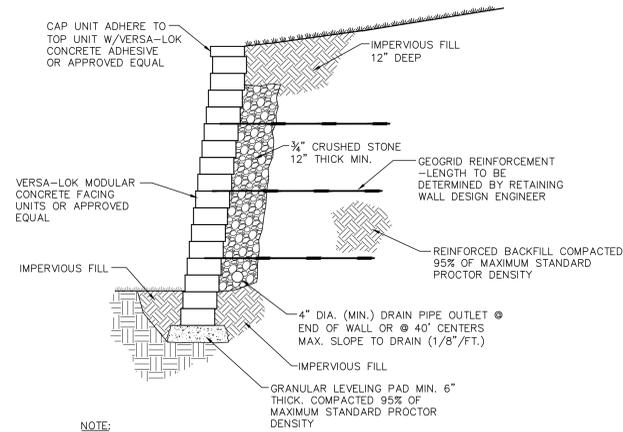
DATE: OCTOBER 18, 2023
REVISION: FEBRUARY 26, 2024

CONSTRUCTION DETAILS 1
PREPARED FOR

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW
Checked By: N.T.S.
Scale: 34 - 2 - 29.1
Tax Map No.: C30
Drawing No.: A-21 - 0047 - 01

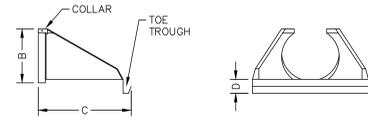


- NOTE:**
- WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR TO PROVIDE ACTUAL WALL DESIGN SIGNED AND SEALED BY NEW YORK STATE LICENSED ENGINEER FOR REVIEW AND APPROVAL PRIOR TO WALL CONSTRUCTION.

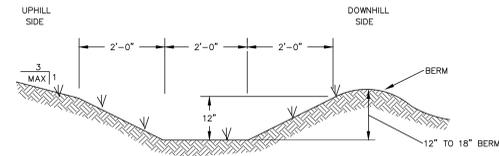
TYPICAL SECTION-REINFORCED RETAINING WALL
NOT TO SCALE

DIMENSION	PIPE DIAMETER					
	10/12	15	18	24	30	36
A	42	41	49	59.5	88	88
B	14.5	19	22	28	36	43
C	33	34	43	48	63.5	66.5
D	6	6	6	6	6	6

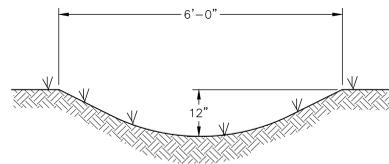
NOTE: ALL MEASUREMENTS IN INCHES



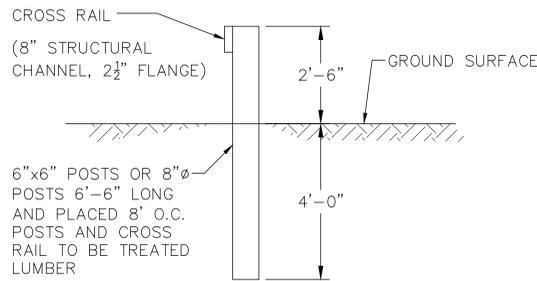
HDPE FLARED END SECTION
NOT TO SCALE



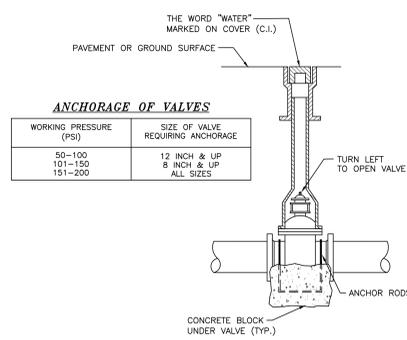
BERM WITH SWALE DETAIL
NOT TO SCALE



SWALE DETAIL
NOT TO SCALE



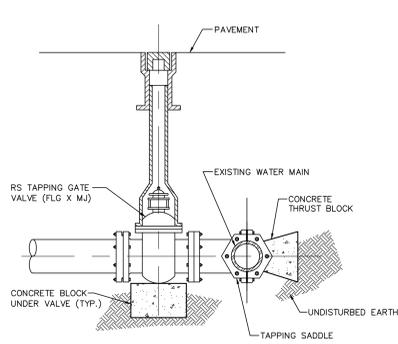
GUIDE RAIL DETAIL
NOT TO SCALE



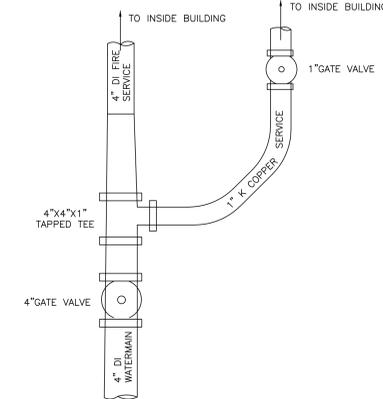
VALVE DETAIL
NOT TO SCALE

ANCHORAGE OF VALVES

WORKING PRESSURE (PSI)	SIZE OF VALVE REQUIRING ANCHORAGE
90-100	12 INCH & UP
101-150	8 INCH & UP
151-200	ALL SIZES

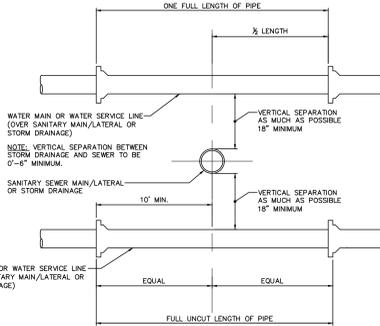


WET TAP DETAIL
NOT TO SCALE

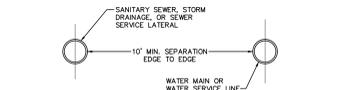


BUILDING WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

- TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
- VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.

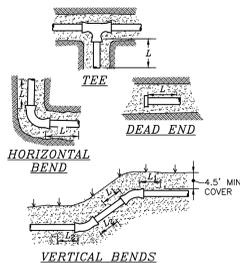


WATER & SEWER CROSSING DETAIL
NOT TO SCALE



WATER & SEWER HORIZONTAL SEPARATION
NOT TO SCALE

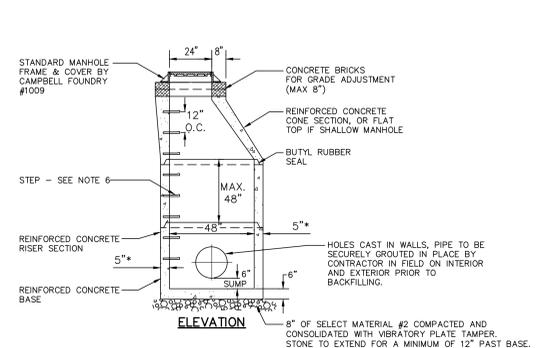
- NOTE:**
LENGTH OF RESTRAINED JOINTS BASED UPON:
- 4.5" MINIMUM COVER
 - TEST PRESSURE = 150 PSI
 - TYPE 5 TRENCH
 - 1.5 TO 1 SAFETY FACTOR



RESTRAINED JOINT TABLE
MINIMUM LENGTH REQUIRED IN L.F.

FITTING	LENGTH IN L.F. (L)	
	DUCTILE IRON	CS900 PVC
TEES & DEAD ENDS	6"	22
	8"	29
	10"	34
	12"	40
	14"	46
	16"	52
90° BEND	6"	10
	8"	12
	10"	15
	12"	17
	14"	20
	16"	22
45° BEND	6"	4
	8"	5
	10"	6
	12"	7
	14"	8
	16"	9
22 1/2° BEND	6"	2
	8"	3
	10"	4
	12"	4
	14"	5
	16"	5
VERTICAL BENDS	6"	9
	8"	12
	10"	14
	12"	17
	14"	19
	16"	22

RESTRAINED JOINT DETAILS
NOT TO SCALE



- NOTES:**
- PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
 - OPENING FOR PIPE SHALL BE PRE-CAST.
 - MANHOLE COVERS TO BE STAMPED "STORM".
 - PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H20 LIVE LOAD.
 - WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
 - STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
 - PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
 - BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

PRE-CAST DRAINAGE MANHOLE
NOT TO SCALE

TOWN OF NEWBURGH WATER SYSTEM NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBAA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL OR THE USE OF A MANUFACTURED RESTRAINT JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C151/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8" MAIN VALVE OPENING, TWO 2" DIAMETER HOSE NOZZLES, ONE 4" HOSE END STEAMER NOZZLE, A 6" INCH DIAMETER INLET CONNECTION AND A 1" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. COPPERATION STOPS SHALL BE MUELLER H-1000N FOR 3/4 AND 1 INCH, MUELLER H-1500N OR B-2500N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-2500N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1031N FOR 3/4 AND 1 INCH AND MUELLER H-1031N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

COPYRIGHT 2021, LANC & TULLY, P.C.

<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>
	<p>Date: OCTOBER 18, 2023 Revision: FEBRUARY 26, 2024</p>
<p>CONSTRUCTION DETAILS 2 PREPARED FOR</p>	
<p>MKJ PARK, LLC</p>	
<p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>	
<p>Drawn By: JW Checked By: Scale: N.T.S. Tax Map No.: 34-2-29.1</p>	<p>Drawing No.: C30 A-21-0047-01</p>

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.