



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: MKJ PARK, LLC OFFICE & WAREHOUSE
PROJECT NO.: 22-32
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 29.1
REVIEW DATE: 27 OCTOBER 2023
MEETING DATE: 2 NOVEMBER 2023
PROJECT REPRESENTATIVE: LANC & TULLY, PC /JOHN QUEENAN, P.E.

1. The applicant's representatives are asked to discuss the need for two access points to comply with the NYS Fire Code. The proposed structure is 173,000 square feet (7,000 square foot office, 166,000 square foot warehouse) and in excess of 30 feet high. For both these reasons, two access points are required by the NYS Fire Code.
2. Stormwater Pollution Prevention Plan must be submitted in compliance with Town of Newburgh & NYSDEC requirements.
3. The Bulk Table submitted identifies lot width as required 150 feet and 114.25 provided. This should be furthered clarified by the applicant's representative.
4. A sub-surface sanitary sewer disposal system design must be provided.
5. A wetland mitigation plan must be provided in future submissions for compensating for the 0.44 acres of wetlands identified to be disturbed.
6. Ken Wersted's comments on the parking calculation for the warehouse use should be received. Warehouse parking in the code identifies two improved parking spaces per three employees on the premises at any one period of time.
7. The Planning Board should determine the adequacy of the buffer between the residential parcels abutting Paffendorf Drive and the site in accordance with Section 185-22(c)(1) "a buffer must be provided between any non-residential and residential use and in between single family and multi-family uses." While the residential structures on Paffendorf Drive are in the IB Zoning District, this section of the code continues to require a buffer.
8. The future submission should address the water supply to the structure for potable water and firefighting. Jurisdictional Fire Department comments and/or Code Enforcement comments regarding the need for onsite hydrants should be addressed.
9. The Board may wish to have visual simulations from the residential parcels to the project. A finished floor elevation of 452.75 is proposed with a 35 foot high building height, making the top of the structure 487.75 with the elevations at the common property line approximately 464.

NEW YORK OFFICE

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845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

10. The project proposes retaining walls on the western portion of the site at approximately 20-27 feet in height.
11. The applicant's representatives are requested to address the amount of fill to be excavated on the site. The volume of fill proposed to be removed should be identified on the plans and in the SWPPP.
12. Project will be required to be submitted to Orange County Department of Planning in the future once a complete application has been presented.
13. The Planning Board circulated its intent for Lead Agency on 5 May 2023. The Planning Board declare itself Lead Agency as no involved agency has objected to date.
14. Status of review of the Office of Parks, Recreation and Historic Preservation should be received.
15. Status of review from the NYSDOT should be discussed by the applicant's representatives.
16. Compliance with the Tree Preservation Ordinance must be documented. An analysis of the existing trees on the site and trees proposed to be removed based on regulated category must be provided.
17. The grading plan does not account for stormwater management or wetland mitigation areas depicted on the western portions of the site.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal

PJH/ltn



October 19, 2023

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

RE: Application for Site Plan
MKJ Park, LLC
NYS Route 32 – SBL: 34-2-29.1
Town Application # 2022-32

Dear Chairman Ewasutyn and Planning Board Members,

The applicant, MKJ Park, LLC, would request to be placed on the November 2, 2023 Planning Board Agenda to update the Planning Board as to the status of the project and the current design. The Project was last before the Planning Board in May 2023.

Enclosed are 11 copies of the following materials for review:

1. Site Plan entitled "Site Plan Prepared for MKJ Park, LLC." Dated October 18, 2023

The subject property is located along NYS Route 32 about a ½ mile southeast from the intersection of NYS Route 32 and NYS Route 300. The property is currently vacant and is 15.14 acres in size located within the IB zoning district. The project proposes to construct a 173,000-sf office/warehouse building comprised of 7,000 sf of office and 166,000 sf of warehouse. The project proposes the construction of a new access road from NYS Route 32 for ingress and egress to the project site. The plan proposes 31 loading docks on one side of the building with 13 trailer parking spaces and 147 car parking spaces.

The site plan has been updated to provide for increased access drive width from Route 32 into the site at 30 ft, preliminary design of a left turn lane along NYS Route 32 to service the site, finished floor elevations, updated grading plan and tree locations have been completed. The applicant would like to update the Planning Board as to the current design and the status of the outstanding items for the project.

If you require any additional information or have any questions, please do not hesitate to contact our office. Our office looks forward to discussing the application at the upcoming November 2, 2023 Planning Board agenda.

Sincerely,

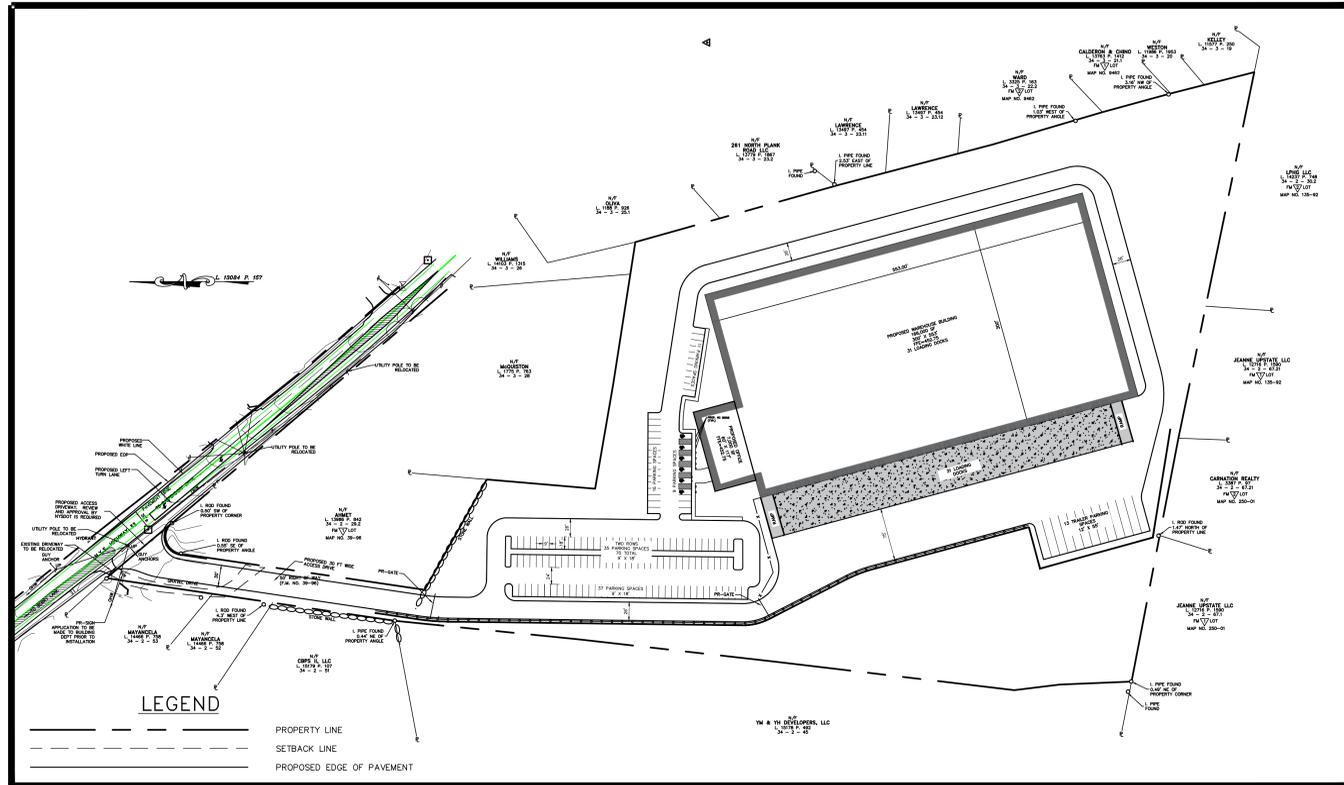
LANC & TULLY, P.C.

John Queenan, P.E.

Enc.
CC: Pat Hines, MH&E
Dominic Cordisco, Esq. – Via Email
Ken Wersted.CME – Via Email
Karen Arent – Via Email

SITE PLAN FOR MKJ PARK, LLC

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



OVERALL PLAN
1 INCH = 100 FEET

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - IB ZONE		
INTERCHANGE BUSINESS - SITE PLAN USE #9		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	114.25 FT.
LOT DEPTH	150 FT.	173.77 FT.
FRONT YARD	60 FT.*/50 FT.	94 FT.
ONE SIDE YARD/BOTH	30/80 FT.	59/157 FT.
REAR YARD	60 FT.	168 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	40 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS

REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA

WAREHOUSE: 2 PARKING SPACES PER 3 EMPLOYEES
166,000 SF / 1000 SF PER EMPLOYEE = 166
166 / 3 EMPLOYEE = 56

56 * 2 EMPLOYEE = 112 PARKING SPACES REQUIRED FOR WAREHOUSE

TOTAL = 147 PARKING SPACES REQUIRED
TOTAL = 147 PARKING SPACES PROVIDED
INCLUDING 6 HANDICAP SPACES

GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 29.1
- TOTAL AREA: 15.14± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: IB INTERCHANGE BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- SITE TO BE SERVICED BY CENTRAL WATER PROVIDED BY THE TOWN OF NEWBURGH
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS ALL OFF-SITE PUBLIC IMPROVEMENTS INCLUDED WITH THIS PLAN ARE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND/OR BUILDING INSPECTOR. THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

CONSTRUCTION NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS" 2008, AS SUPPLEMENTED BY CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT NECESSARY REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION. IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
- THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
- DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

NYS DOT NOTES:

- ALL WORK AND IMPROVEMENTS WITHIN THE NYS DOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYS DOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
A. NYS DOT STANDARD SHEETS 603 FOR DRIVEWAYS
B. NYS DOT STANDARD SHEETS 609
C. NYS DOT STANDARD SHEETS 608-03
D. NYS DOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

SURVEY NOTES:

- THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:

MAP ENTITLED "MAP AND SUBDIVISION FOR MARIO COLANDREA, TOWN OF NEWBURGH, ORANGE COUNTY, N.Y.," DATED AUGUST 25, 1995 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MARCH 11, 1996, AS FILED MAP NO. 39-96.

MAP ENTITLED "LOT LINE CHANGE MAP LANDS OF WILLIAM R. HENRY & R & v REALTY, LLC, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED JULY 18, 2001, LAST REVISED AUGUST 21, 2001 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON SEPTEMBER 25, 2001, AS FILED MAP NO. 205-01.

MAP ENTITLED "SUBDIVISION PLAN LANDS OF JEGAMONT REALTY CORP., TOWN OF NEWBURGH, ORANGE CO., NEW YORK," DATED JANUARY 24, 1986 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JULY 27, 1988, AS FILED MAP NO. 9014.

MAP ENTITLED "COMMERCIAL SUBDIVISION MAP LANDS OF JEGAMONT REALTY CORP., TN. OF NEWBURGH, ORANGE CO., NEW YORK," DATED SEPTEMBER 12, 1989 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON JUNE 26, 1992, AS FILED MAP NO. 135-92.



LOCATION PLAN
1 INCH = 1,000 FEET

SITE PLAN SHEET INDEX:

- COVER SHEET
- EXISTING CONDITIONS
- TREE LOCATION AND REMOVAL PLAN
- SITE PLAN
- GRADING & UTILITY PLAN

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TOWN OF NEWBURGH SITE PLAN APPROVAL:	LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	DATE: OCTOBER 18, 2023 Revision:
COVER SHEET PREPARED FOR			CADD File: 230047-ENG.DWG Layout: COVER Sheet No.: 1 OF 5 Drawing No.: C30 A-21 - 0047 - 01
MKJ PARK, LLC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK			Drawn By: JG Checked By: Scale: AS SHOWN Tax Map No.: 34 - 2 - 29.1 Drawing No.: C30 A-21 - 0047 - 01

RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550

34 - 2 - 29.1
L 15137 P. 1891

FM LOT
MAP NO. 39-96

AREA:
15.141± AC.

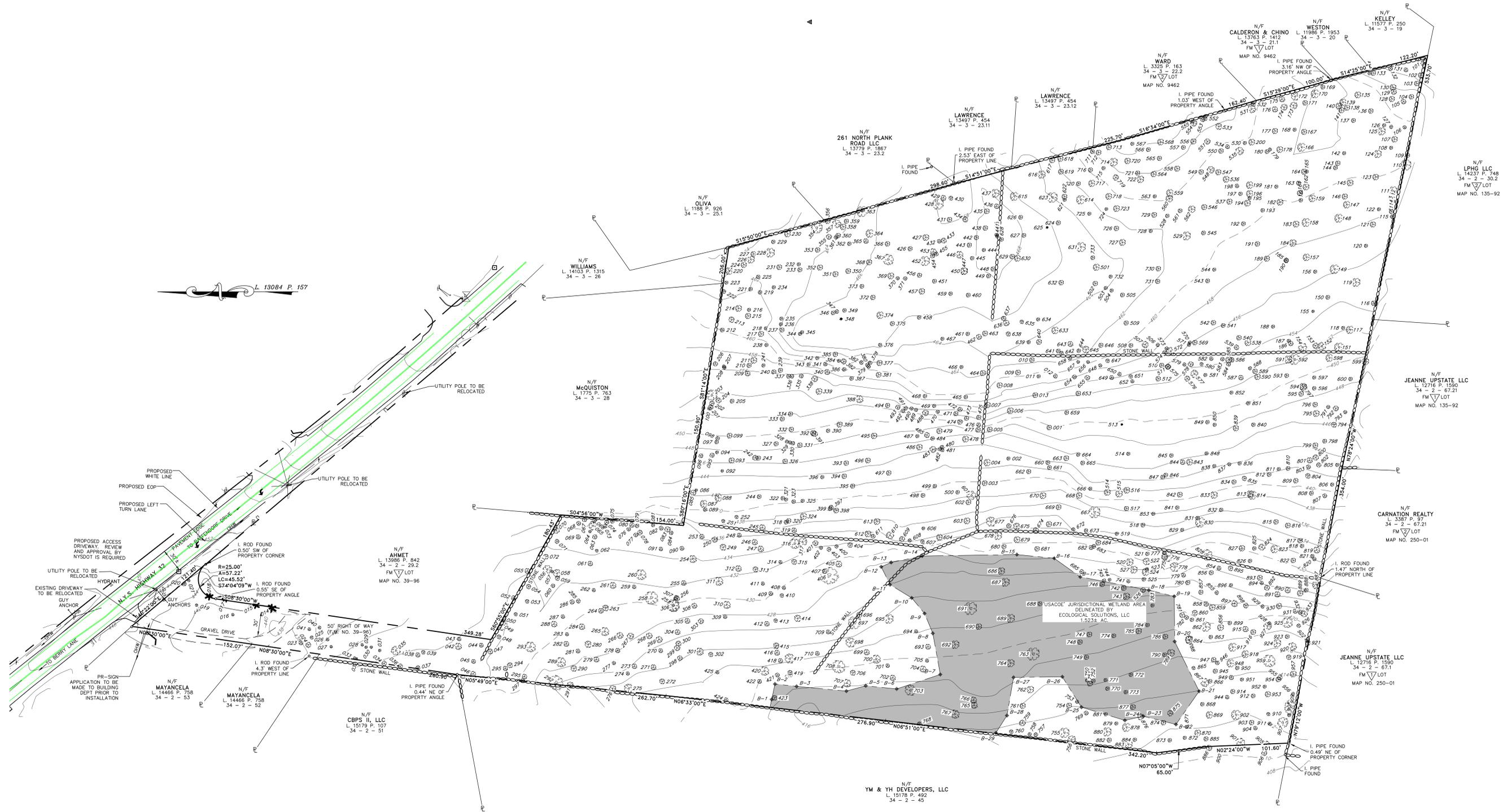
OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

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- THE USACOE WETLAND AREA DEPICTED ON THIS PLAN WAS FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON MARCH 22, 2022 AND FIELD LOCATED BY LANC AND TULLY, P.C. ON APRIL 7, 2022.

RECORD OWNER/APPLICANT:

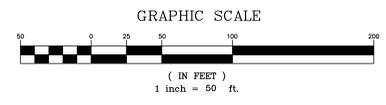
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 34 - 2 - 29.1
 L. 15137 P. 1891
 FM LOT
 MAP NO. 39-96

AREA:
 15,141± AC.

CERTIFICATION:

I HEREBY CERTIFY THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON MARCH 19, 2021.

BY: RODNEY C. KNOWLTON, L.S.
 NEW YORK STATE LICENSE NO. 50276



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		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
EXISTING CONDITIONS PREPARED FOR			
MKJ PARK, LLC			
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK			
Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1
DATE: OCTOBER 18, 2023		Revision:	
CAD File: 210041-SV.DWG		Layout: SVY	
Sheet No.: 2 OF 5		Drawing No.: C30	
A- 21 - 0047 - 01			

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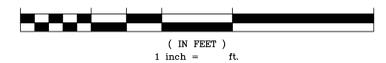
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L. 13084 P. 157



GRAPHIC SCALE



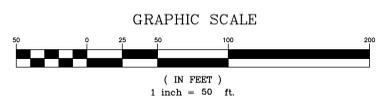
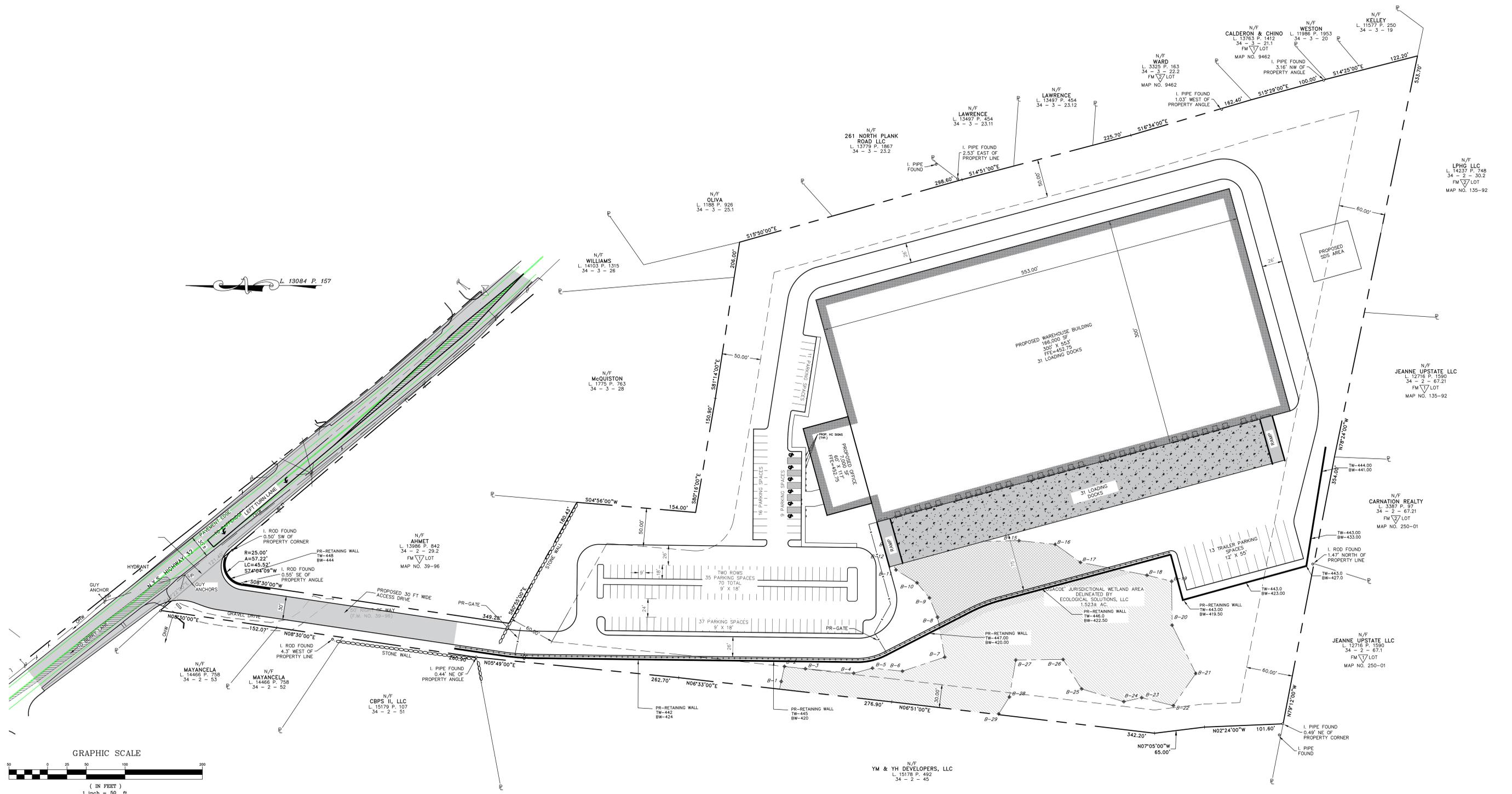
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<p>LANC & TULLY ENGINEERING AND SURVEYING, P.C.</p>	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
	DATE: OCTOBER 18, 2023 Revision:
<p>TREE LOCATION AND REMOVAL PLAN</p>	
<p>MJK PARK, LLC</p>	
<p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>	
Drawn By: JW Checked By: Scale: 1" = 50' Tax Map No.: 34-2-29.1	Drawing No.: C30 A-21-0047-01

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LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR

TABLE OF ZONING REQUIREMENTS
TOWN OF NEWBURGH - IB ZONE
INTERCHANGE BUSINESS - SITE PLAN USE #9

	REQUIRED	PROVIDED
MINIMUM		
LOT AREA	40,000 SF	15.14 ACRES
LOT WIDTH	150 FT.	114.25 FT.
LOT DEPTH	150 FT.	173.77 FT.
FRONT YARD	60 FT./50 FT.	94 FT.
ONE SIDE YARD/BOTH	30/80 FT.	59/157 FT.
REAR YARD	60 FT.	168 FT.
MAXIMUM		
BUILDING HEIGHT	40 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%

*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

PARKING REQUIREMENTS
REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
7,000 SF OFFICE / 200 SF = 35 SPACES REQUIRED FOR OFFICE AREA

WAREHOUSE: 2 PARKING SPACES PER 3 EMPLOYEES
166,000 SF / 1000 SF PER EMPLOYEE = 166
166 / 3 EMPLOYEE = 56
56 * 2 EMPLOYEE = 112 PARKING SPACES REQUIRED FOR WAREHOUSE

TOTAL = 147 PARKING SPACES REQUIRED
TOTAL = 147 PARKING SPACES PROVIDED
INCLUDING 6 HANDICAP SPACES

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RECORD OWNER/APPLICANT:

MKJ PARK, LLC
208 SOUTH PLANK ROAD
NEWBURGH, NY 12550
34 - 2 - 29.1
L. 15137 P. 1891
FM LOT
MAP NO. 39-96

AREA:
15.14± AC.

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

**SITE PLAN
PREPARED FOR**

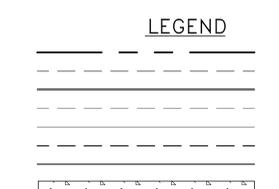
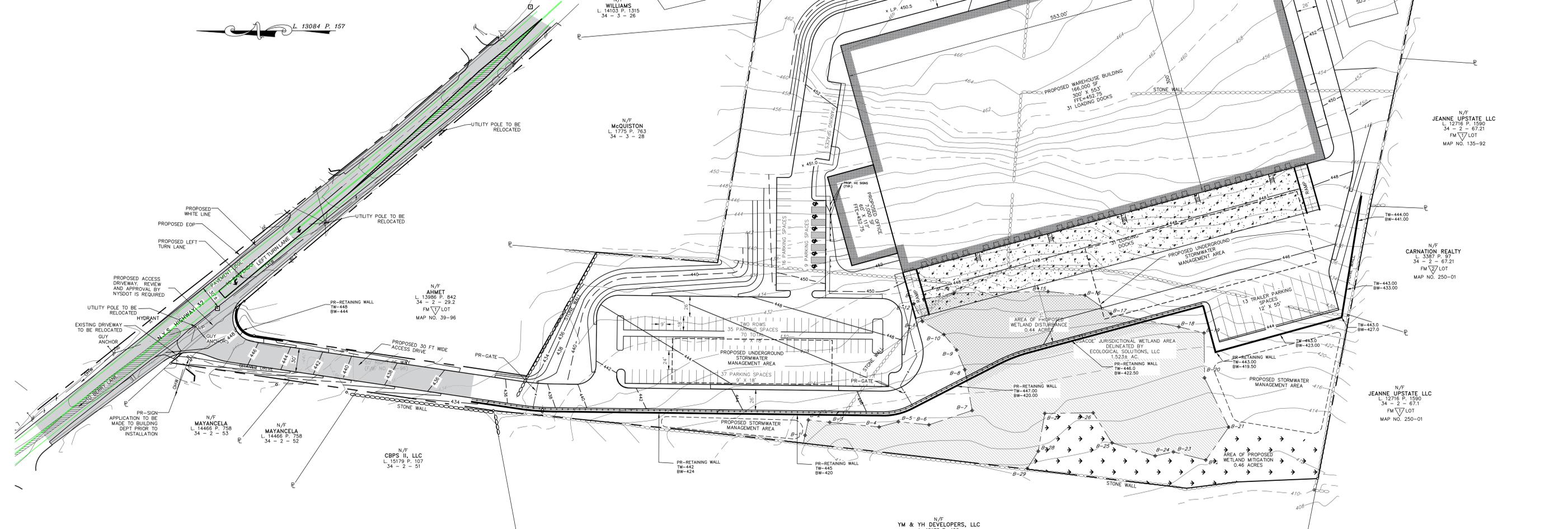
MKJ PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW	Checked By:	Scale: 1" = 50'	Tax Map No.: 34 - 2 - 29.1	Date: OCTOBER 18, 2023
Sheet No.: 4 OF 5	Drawing No.: C30	A- 21 - 0047 - 01		

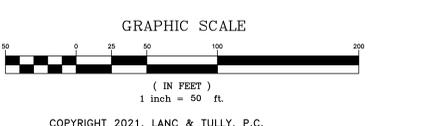
NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF MONROE BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED; CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS; CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS; CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP SURFACE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THE BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE TO WITHIN A ONE FOOT TOLERANCE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS AND REQUIREMENTS OF THIS SITE PLAN.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING, AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THEREOF AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



- TOWN OF NEWBURGH SEWER SYSTEM NOTES**
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
 - ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
 - ALL GRAVITY SANITARY SEWER LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
 - THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
 - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

- TOWN OF NEWBURGH WATER SYSTEM NOTES**
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
 - ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
 - THURST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBRA IRON METALLIC SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
 - ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
 - ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
 - TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL 1-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
 - ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
 - ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1-1/2 OR 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-2500AN FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
 - ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
 - THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
 - THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



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P.O. Box 687, Rt. 207
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DATE: OCTOBER 18, 2023

Revision

Project: 210041-ENG-DWG

Layout: GRADING

Sheet No: 5 OF 5

Drawing No: A-21-0047-01

MJK PARK, LLC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: JW

Checked By:

Scale: 1" = 50'

Tax Map No: 34-2-29.1

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