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Principal Emeritus:  
RICHARD D. McGOEY, P.E. (NY & PA)

**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT: MINARD II SUBDIVISION**  
**PROJECT NO.: 21-02**  
**PROJECT LOCATION: SECTION 20, BLOCK 1, LOT 31.1**  
**REVIEW DATE: 11 JUNE 2021**  
**MEETING DATE: 17 JUNE 2021**  
**PROJECT REPRESENTATIVE: TALCOTT ENGINEERING/CHARLES BROWN**

1. This office continues to have concern regarding the 15-foot strip located on the Western portion of the property. The 15-foot strip is now identified as a potential future driveway. Grading may cause issues within the 15-foot strip to provide a future drive. The location of the 15-foot strip will cause two (2) driveways to be located within 5-feet of each other at the Leslie Road frontage. Based on the current layout it appears that future subdivision of the project is envisioned and may be required to be addressed during the SEQR review for the 2-lot subdivision.
2. Highway Superintendent's comments are requested to be received for the driveway location.
3. Notes should be placed on the plans regarding the grading for site distance which is depicted on both lots. Easements for grading should be provided if grading will be completed after filing of the maps.
4. Updated water system notes are provided to be placed on the plans.
5. Erosion and sediment control plan and details should be added to the plans.

Respectfully submitted,

**McGoey, Hauser and Edsall  
Consulting Engineers, D.P.C.**

Patrick J. Hines  
Principal  
PJH/dns

# Talcott Engineering

## DESIGN, PLLC

1 GARDNERTOWN ROAD ~ NEWBURGH, NY 12550  
(845) 569-8400\* ~ (fax) (845) 569-4583

May 26, 2021

Town of Newburgh  
Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

Re: Resubmission letter  
Town Project No. 2021-02  
Minard II Subdivision  
97 Leslie Road  
SBL: 20-1-31.1  
R-2 Zone  
Job No. 20179-MIN

Dear John,

The following is our;

Response to Town of Newburgh Planning Board Review Comments review dated 1/15/2021 ( Project #2021-02) in the order of comments

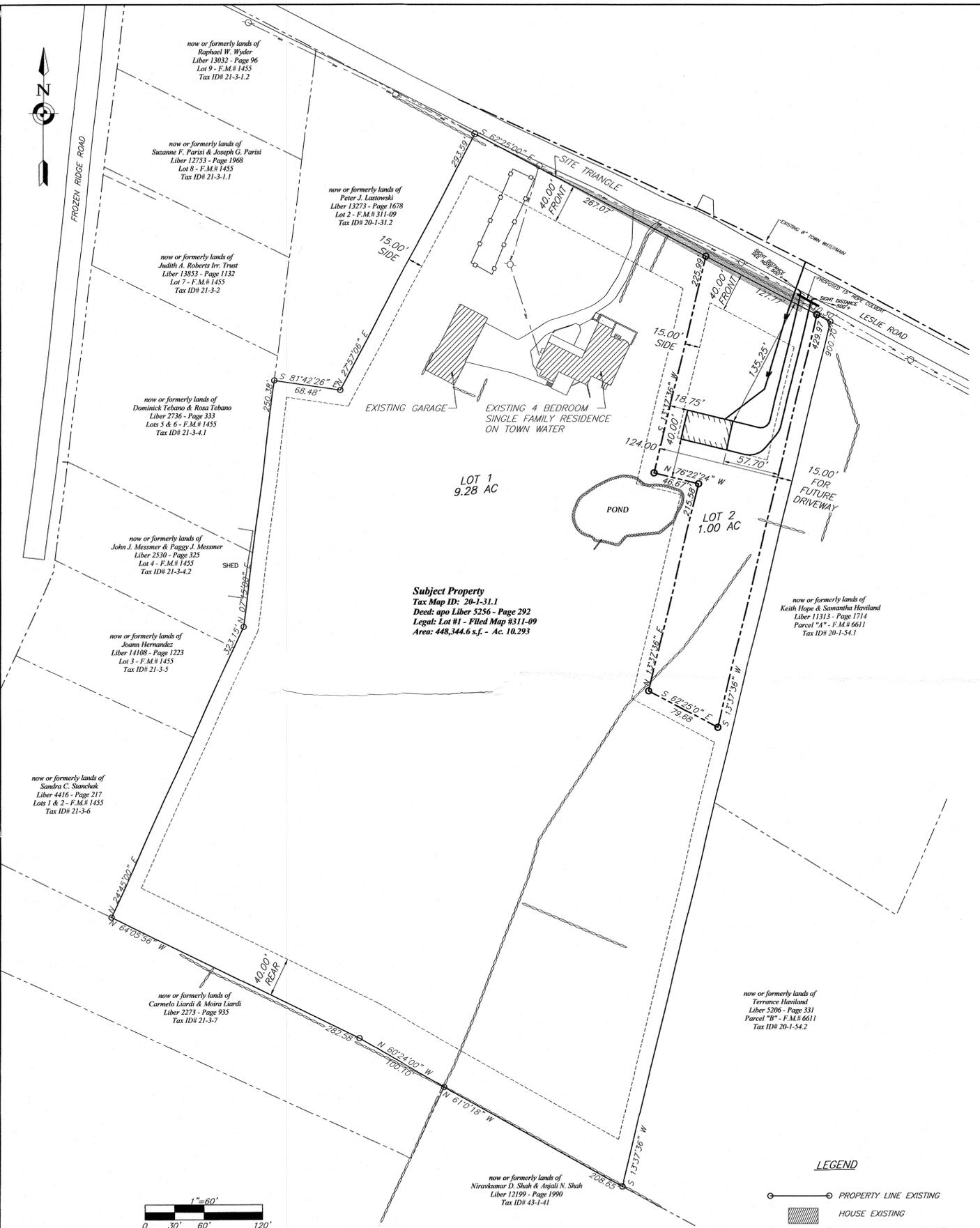
- 1) The bulk table has been revised as requested.
- 2) The strip is now 15' for a future driveway.
- 3, 4, 5) The R.O.W. for Leslie Road now shows proposed grading for site distance to the left and for a road side swale. The stone wall must be moved for this work.
- 6) The note is revised as requested.
- 7) The typical septic plan is revised as requested.

On your authorization, I will deliver 12 sets of prints to you. I will deliver 1 copy to Dominic Cordisco, Esq., and 1 copy to Pat Hines.

Respectfully yours,

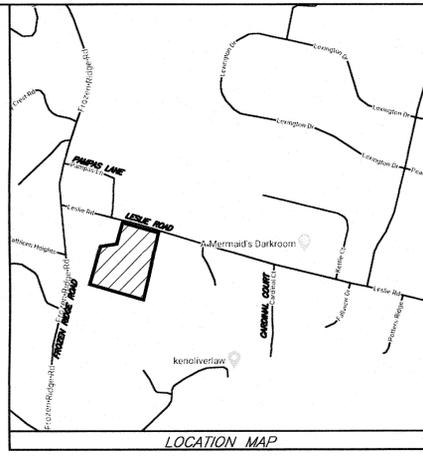
Charles T. Brown, P.E. – President  
Talcott Engineering

Pc: Jim Minard, Client  
Dominic Cordisco, Esq.  
Pat Hines



**ZONING SCHEDULE**

ZONE: R-2	REQUIRED	PROPOSED LOT #1	PROPOSED LOT #2
MINIMUM LOT AREA w/ PUBLIC WATER	17,500 sf.	404,818sf.(9.29ac.)	43,957sf.(1.00AC)
MINIMUM YARDS (feet)			
FRONT	40' MIN.	107'	135'
REAR	40' MIN.	600'	40'
SIDE			
ONE	15' MIN.	69'	18'
BOTH	30' MIN.	263'	76'
MINIMUM LOT WIDTH (feet)	100' MIN.	530'	124'
MINIMUM LOT DEPTH (feet)	125' MIN.	877'	301'
MAXIMUM LOT SURFACE COVERAGE (%)	30% MAX.	5%	7%
MAXIMUM HEIGHT HEIGHT (feet)	35' MAX.	35' MAX	35' MAX.



**Subject Property**  
 Tax Map ID: 20-1-31.1  
 Deed: apc Liber 5256 - Page 292  
 Legal: Lot #1 - Filed Map #311-09  
 Area: 448,344.6 s.f. - Ac. 10.293

**SITE DISTANCE NOTE:**  
 1. HATCHED SITE TRIANGLE SHALL BE GRADED AS SHOWN ON SHEET 2 OF 3 TO PROVIDE SITE DISTANCE SPECIFIED.

**APPLICANT:**  
 JAMES A. MINARD, Jr.  
 97 LESLIE Rd.  
 NEWBURGH, NY 12550

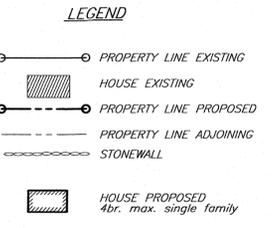
**MAP REFERENCE:**  
 1. EXISTING PROPERTY FEATURES INCLUDING PROPERTY LINES, POND, HOUSE, STONEWALLS AND TOPOGRAPHY PER A SURVEY PERFORMED BY JONATHAN L. MILLEN L.S.

**RECORD OWNER'S CONSENT NOTE:**  
 THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

SIGNATURE \_\_\_\_\_ JAMES A. MINARD, Jr.  
 97 LESLIE Rd.  
 NEWBURGH, NY 12550

**SURVEYOR'S CERTIFICATION:**  
 I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED IN THE FIELD ON NOVEMBER 20, 2020.

SIGNATURE \_\_\_\_\_ JONATHAN N. MILLEN, L.S.

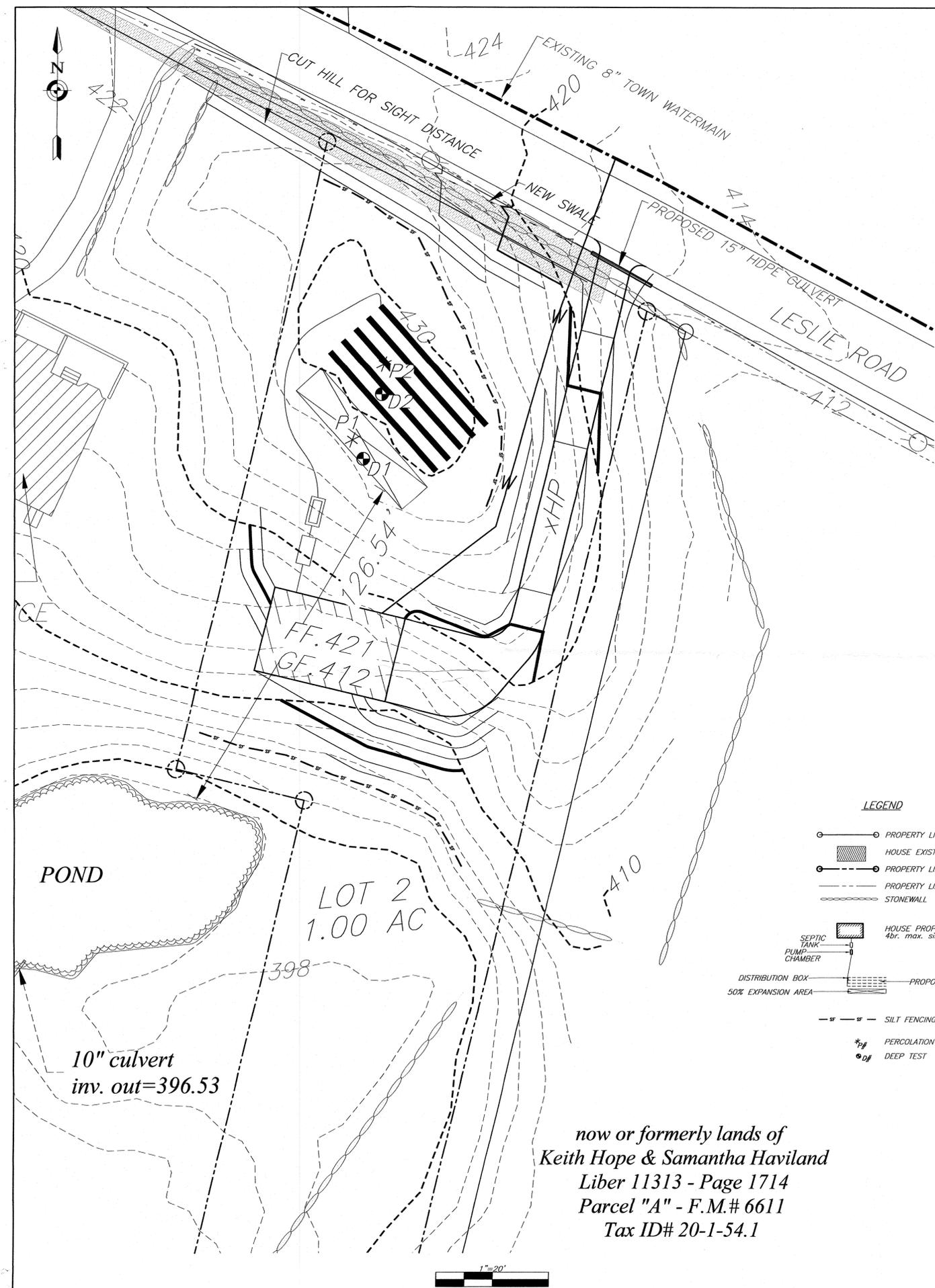


REV.	DATE	BY	DESCRIPTION
2	05/26/21	RBM	REVISED PER PB COMMENTS
1	04/13/21	RBM	REVISED PER PB COMMENTS

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

<b>SURVEYOR</b>	<b>ENGINEER</b>	<b>TALCOTT ENGINEERING DESIGN PLLC</b> 1 GARONERTOWN ROAD NEWBURGH, NY 12550 (845)-569-8400 (FAX)(845)-569-4583 TALCOTTDESIGN12@GMAIL.COM
<b>SUBDIVISION</b> SUBDIVISION PLAN ENTITLED: <b>MINARD II</b> (S/B/L: 20-1-31.1) 97 LESLIE ROAD TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK		
DATE 01/07/2021	SCALE 1"=60'	JOB NUMBER 20179-MIN
		SHEET NUMBER 1 OF 3

**CALL BEFORE YOU DIG... IT'S THE LAW**  
 WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY- TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 1 800 272-4480 (IN NEW YORK CITY AND LONG ISLAND) OR 1 800 962-7962 (IN ALL OTHER AREAS OF THE STATE.)



**SEPTIC DESIGN CRITERIA:**

1. NO. OF BEDROOMS - 4max.
2. SEPTIC TANK DESIGN - 1,250
3. STABILIZED PERCOLATION RATE - 11-15min./inch
4. FLOW RATE (GALS /DAY) - 440
5. DESIGN LENGTHS:  
4BR: 5 LATERALS @ 56' = 280ft. (275ft REQUIRED)
6. FILL REQUIRED: NONE

**PERCOLATION DATA:**

* P1	24" DEEP	09/28/08					
	RUN TIME	5:15	8:13	8:50	9:15	10:15	
	STABILIZED PERCOLATION RATE:	11 MINUTES /INCH					
* P2	24" DEEP	9/28/2020					
	RUN TIME	4:50	6:30	4:38	5:10	5:48	6:10 7:45
	STABILIZED PERCOLATION RATE:	8 MINUTES /INCH					

**DEEP TEST DATA:**

- D1 64" DEEP 09/28/2020  
0-6" TOP SOIL  
6"-28" SILTY CLAY LOAM  
28"-64" GRAVELLY CLAY LOAM  
NO ROCK  
NO WATER  
NO MOTTLING
- D2 72" DEEP 09/28/2020  
0-6" TOP SOIL  
6"-72" SILTY CLAY LOAM  
NO ROCK  
NO WATER  
NO MOTTLING

**TOWN OF NEWBURGH CERTIFICATION:**

"I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWERAGE SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER."

**LOT #2 NOTE:**

1. DUE TO LOT SIZE, SPECIFIC PLOT PLAN FOR NEW LOT SHALL BE SUBMITTED WITH BUILDING PERMIT APPLICATIONS AND FOUNDATIONS, AND SEPTIC SHALL BE STAKED OUT PER PLOT BY A LICENCED SURVEYOR PLAN PRIOR TO CONSTRUCTION.

**SEPTIC SYSTEM GENERAL NOTES:**

1. ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
2. SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
3. CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
4. SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
5. NO TRENCHES TO BE INSTALLED IN WET SOIL.
6. RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
7. GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
8. DISTRIBUTION LINES ARE TO BE CAPPED.
9. THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
10. ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
11. NO SEWAGE SYSTEM SHALL BE PLACED WITHIN 35' OF ANY WATER COURSE DRAINAGE DITCH.
12. ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
13. BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
14. THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.
15. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.
16. THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.
17. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
18. THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
19. THE DESIGN ENGINEER WILL BE REQUIRED TO CERTIFY THE COMPLETED DISPOSAL FACILITY.

**STANDARD NOTES:**

"THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

- "APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
- "WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
- "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
- "PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."

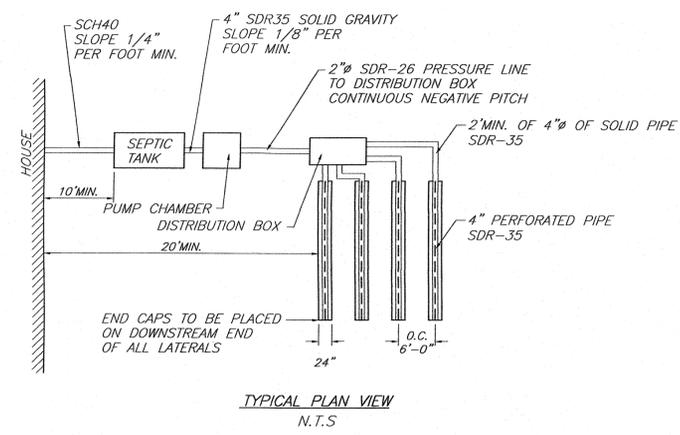
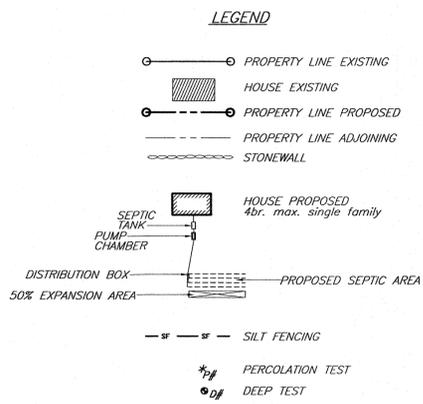
"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."

ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

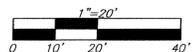
INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.

THE APPROVED PLANS MUST BE FILED WITH THE ORANGE COUNTY CLERK'S OFFICE PRIOR TO OFFERING LOTS FOR SALE AND WITHIN 90 DAYS OF THE LAST APPROVAL OF FINAL PLANS.

A NEW YORK STATE LICENCED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY AND SEWAGE DISPOSAL FACILITY) AND PERCOLATION TEST SEPTIC SYSTEM FILL (IF SPECIFIED) AT THE TIME OF CONSTRUCTION, PRIOR TO OCCUPANCY OF THE HOUSE. (ISSUANCE OF C.O.) THE ENGINEER SHALL CERTIFY TO THE TOWN OF NEWBURGH AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS THAT ANY SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATER TIGHTNESS, AND THAT SEPTIC SYSTEM FILL (IF REQUIRED) IS ADEQUATE FOR THE SYSTEM, AND PREPARE AN AS-BUILT.



now or formerly lands of  
Keith Hope & Samantha Haviland  
Liber 11313 - Page 1714  
Parcel "A" - F.M.# 6611  
Tax ID# 20-1-54.1



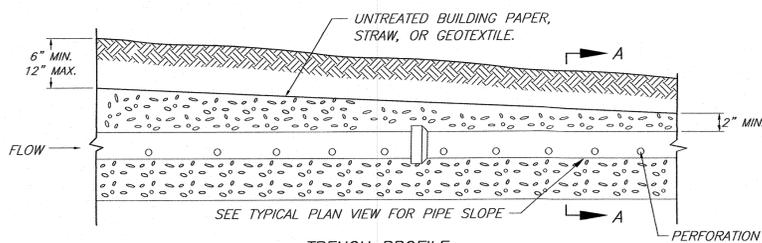
REVISIONS			
REV.	DATE	BY	DESCRIPTION
2	05/26/21	RBM	REVISED PER PB COMMENTS
1	04/13/21	RBM	REVISED PER PB COMMENTS

TOWN PROJECT# 2021-02  
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

**ENGINEER**  
TALCOTT ENGINEERING DESIGN PLLC  
1 GARDNERTOWN ROAD  
NEWBURGH, NY 12550  
(845)-569-8400  
(FAX) (845)-569-4583  
TALCOTTDESIGN12@GMAIL.COM

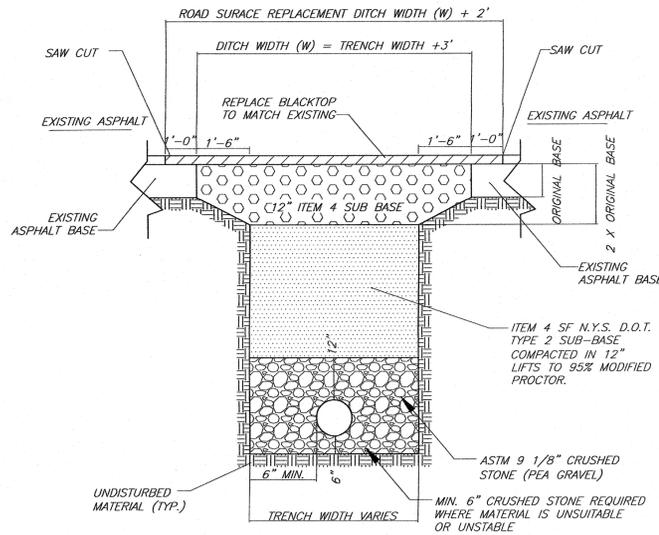
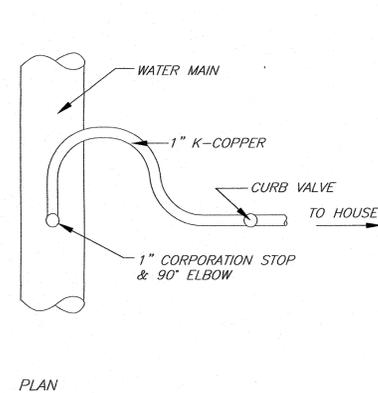
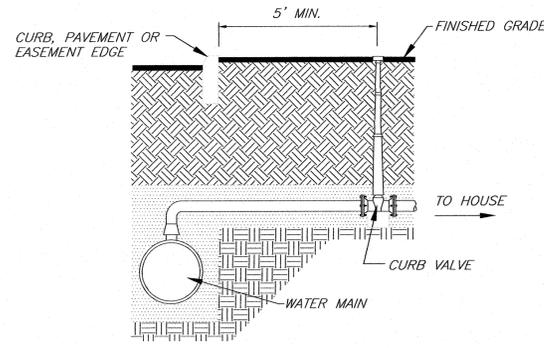
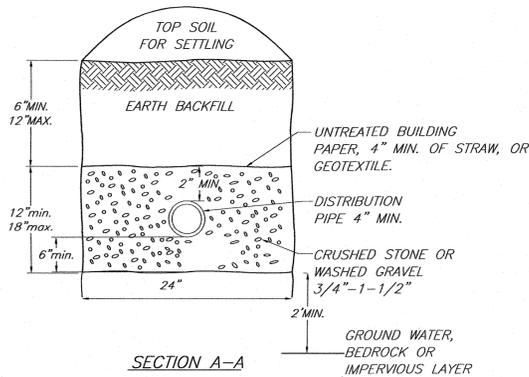
**SUBDIVISION**  
SUBDIVISION PLAN ENTITLED:  
**MINARD II**  
(S/B/L: 20-1-31.1) 97 LESLIE ROAD  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

DATE: 01/07/2021 SCALE: 1"=20' JOB NUMBER: 20179-MIN SHEET NUMBER: 2 OF 3



**NOTES**  
DO NOT INSTALL TRENCHES IN WET SOIL.  
RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL.  
END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED.  
BOTTOM OF TRENCH TO BE LEVEL.

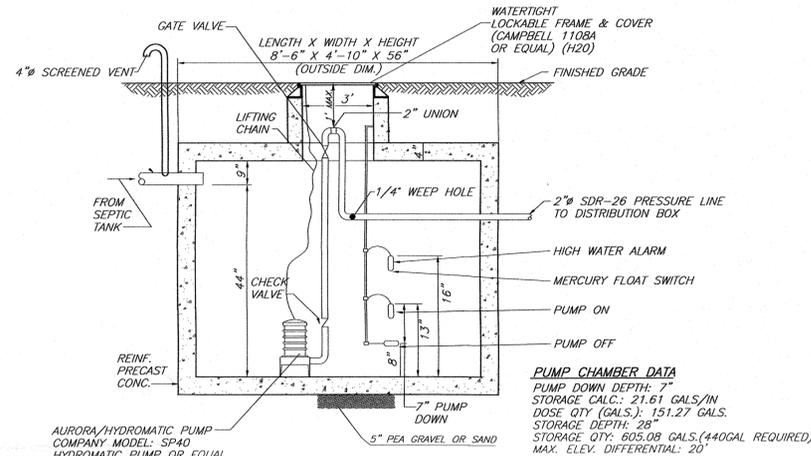
**ABSORPTION TRENCH DETAIL**  
N.T.S.



- ROAD PLATES MUST BE ON-SITE FOR ALL ROAD CUTS IN EXCESS OF 1/4 OF THE ROAD WIDTH.
- VIBRATORY TYPE COMPACTOR MUST BE ON-SITE PRIOR TO COMMENCEMENT OF ROAD CUT.
- ALL FLAG PERSONNEL MUST BE ON-SITE PRIOR TO COMMENCEMENT OF ROAD CUT.
- ALL LOOSE OR BROKEN BLACKTOP MUST BE REMOVED.

**FLEXIBLE PAVEMENT DETAIL AND TRENCH LIMITS**  
N.T.S.

**WATER SERVICE CONNECTION DETAIL**  
N.T.S.



**WOODARD'S GT 750 PUMP CHAMBER OR EQUAL**  
N.T.S.

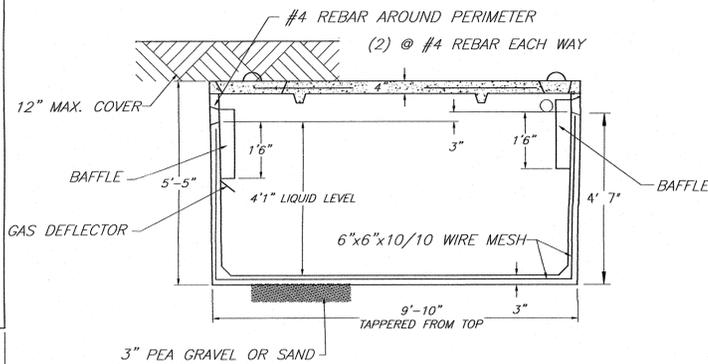
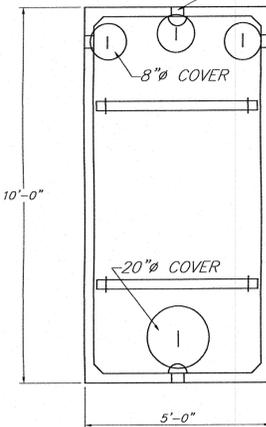
**DOSING QUANTITY**  
FORCE MAIN: 95' X 0.163GAL/LF = 15.49GAL  
LATS.: 75% X 280LF X 0.653GAL/LF = 137.13 GAL  
152.62 GAL. TOTAL

- PUMP CHAMBER NOTES:**
- CONTRACTOR SHALL DETERMINE LENGTHS OF REQUIRED ELECTRICAL CABLE AND AVAILABLE VOLTAGE PRIOR TO ORDERING EQUIPMENT.
  - ALL WIRING SHALL CONFORM TO NATIONAL ELECTRICAL CODE & LOCAL CODE REQUIREMENTS.
  - THE POWER AND CONTROL WIRING SHALL BE MADE DIRECTLY TO THE CONTROL PANEL WITHOUT AND OUTSIDE SPLICES. CONTROL PANEL TO BE LOCATED INSIDE BASEMENT OF HOUSE AUDIBLE ALARMS AND FLASHING LIGHT.
  - A N.Y.S. PROFESSIONAL ENGINEER MUST CERTIFY TO THE CONSTRUCTION OF THE SYSTEM.
  - QUANTITY DOSED IS BASED UPON 75% OF 4\"/>

**TOWN OF NEWBURGH WATER SERVICE NOTES**

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE T.O.N. WATER SYSTEM REQUIRES A PERMIT FROM THE T.O.N. WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE T.O.N.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSIAWWA C151/A21.51-91 FOR DUCTILE IRON PIPE. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSIAWWA C110/A21.10-87 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSIAWWA C153/A21.53-94 FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509 SUCH AS MUELLER MODEL 4-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE T.O.N. WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020 FOR 3/4 AND 1 INCH, MUELLER H-15000 OR B-25000 FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2 FOR 3/4 AND 1 INCH AND MUELLER B-25204 FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314 FOR 3/4 AND 1 INCH AND MUELLER H-10310 FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE T.O.N. WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE T.O.N. WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE T.O.N. REQUIREMENTS. ALL TESTING, DISAFFECTATION AND FLUSHING SHALL BE COORDINATED WITH THE T.O.N. WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE T.O.N. WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.

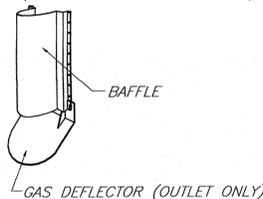
4\"/>



**WOODARD'S 1250gal SEPTIC TANK OR EQUAL**  
N.T.S.

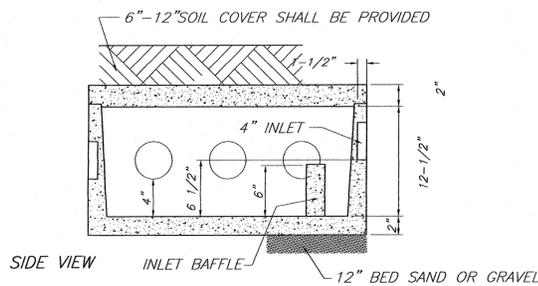
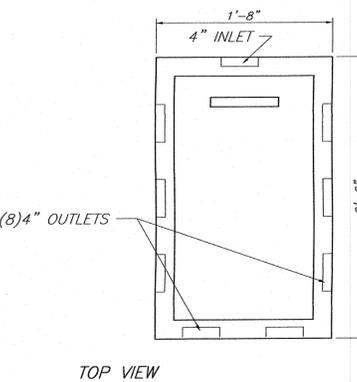
**SPECIFICATIONS**  
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS  
REINFORCEMENT- 6\"/>

BAFFLE (DEFLECTOR ON OUTLET ONLY)



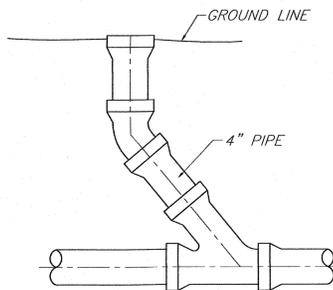
**WOODARD'S PRECAST 8 OUTLET DISTRIBUTION BOX**  
N.T.S.

**SPECIFICATIONS**  
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS  
REINFORCEMENT- FIBER  
AIR ENTRAPMENT- 5%  
PIPE CONNECTION: POLYLOK SEAL (PATENTED)  
LOAD RATING- 300 PSF WEIGHT= 290 lbs



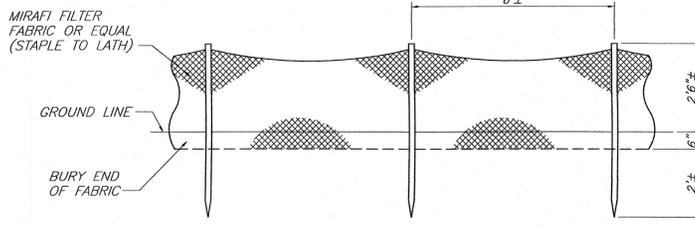
- INSERT A SPEED LEVELER IN THE END OF ALL OUTLET PIPES IN THE DROPBOX.
- ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.

**WOODARD'S SPEED LEVELER FSL-4**  
N.T.S.



**CLEANOUT DETAIL**  
N.T.S.

TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS AND AT EVERY 75' OF STRAIGHT PIPE. (DO NOT USED WITH PUMP CHAMBER)



**SILT FENCE DETAIL**  
N.T.S.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. STRAW BALES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. STRAW BALES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.

REV.	DATE	BY	DESCRIPTION
2	05/26/21	RBM	REVISED PER PB COMMENTS
1	04/13/21	RBM	REVISED PER PB COMMENTS

TOWN PROJECT# 2021-02  
THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

**ENGINEER**  
**TALCOTT ENGINEERING DESIGN PLLC**  
GARDNERTOWN ROAD  
NEWBURGH, NY 12550  
(845)-569-8400  
(FAX) (845)-569-4383  
TALCOTTEDESIGN12@GMAIL.COM

**SUBDIVISION**  
**SUBDIVISION PLAN ENTITLED:**  
**MINARD II**  
(S/B/L: 20-1-31.1) 97 LESLIE ROAD  
**TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK**

DATE: 01/07/2021 SCALE: AS NOTED JOB NUMBER: 20179-MIN SHEET NUMBER: 3 OF 3