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CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MCDONALD'S
PROJECT NO.: 2017-14
PROJECT LOCATION: SECTION 60, BLOCK 3, LOT 41.21
REVIEW DATE: 09 AUGUST 2017
MEETING DATE: 17 AUGUST 2017
PROJECT REPRESENTATIVE: CORES STATES GROUP/ ALAN D. ROSCOE, P.E.

1. A demolition permit is required. Notes on sheet one should identify that a permit is required prior to any demolition.
2. General notes on sheet C4 should be revised identifying the project in the Town of Newburgh not the City of Newburgh.
3. Bulk table on sheet C4 appears to have been taken off a lease line and not the actual lot line for the facility. All bulk table dimensions and information should be for the entire parcel.
4. The existing lease parcel does not contain adequate parking spaces based on parking calculations. The Planning Board should discuss the availability of parking on the remainder of the site.
5. Parking lot striping should be in compliance with Town of Newburgh double striped lines. Detail of parking lot striping should be added to the plans. If all other existing parking spaces are to remain, parking striping should remain consistent with existing.
6. The Planning Board should discuss with the Applicant's representative any improvements to the site landscaping.

7. Signage on the site should be addressed on the plans.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

Patrick J. Hines
Principal

DESIGN AND DEVELOPMENT CONTACTS:

PROPERTY OWNER: MCDONALD'S CORPORATION
1 MCDONALD'S PLAZA
OAKBROOK, IL 60523
TEL: (830) 823-3000

CIVIL ENGINEER: CORE STATES ARCHITECTURE AND
ENGINEERING, P.C.
201 S. MAPLE AVENUE
SUITE 300
AMBLER, PA 19002
CONTACT: AARON BODENSCHATZ
TEL: (215) 809-2125

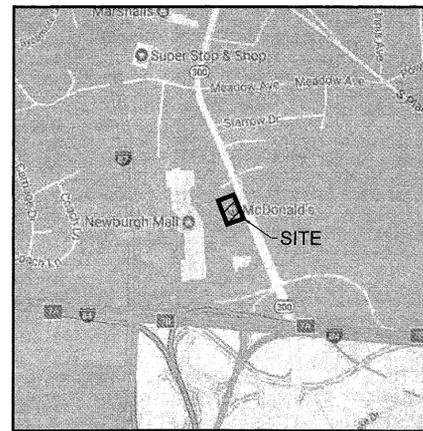
ARCHITECT: CORE STATES ARCHITECTURE AND
ENGINEERING, P.C.
201 S. MAPLE AVENUE
SUITE 300
AMBLER, PA 19002
CONTACT: ANDREW LEE
TEL: (215) 809-2125

SURVEYOR: GALLAS SURVEYING GROUP
2865 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
CONTACT: GREGORY GALLAS
TEL: (732) 422-6700

UTILITIES:
REFER TO SURVEY BY OTHERS FOR EXISTING UTILITY CONTACT INFORMATION.

PRELIMINARY SITE PLAN FOR MCDONALD'S SIDE BY SIDE

McDONALD'S STORE No.: 031-0738
1403 ROUTE 300
NEWBURGH, NY 12550



VICINITY MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	SHEET NAME
C1	COVER SHEET
C2	GENERAL NOTES
C3	DEMOLITION AND EROSION CONTROL PLAN
C4	SITE PLAN
C5	GRADING AND UTILITY PLAN
C6	CONDUIT SITE PLAN
C7	CONSTRUCTION DETAILS
C8	CONSTRUCTION DETAILS
C9	CONSTRUCTION DETAILS
C10	CONSTRUCTION DETAILS
C11	CONSTRUCTION DETAILS
REFERENCE DRAWINGS	
SV1	BOUNDARY AND TOPOGRAPHIC SURVEY (BY GALLAS SURVEYING GROUP)

PRELIMINARY

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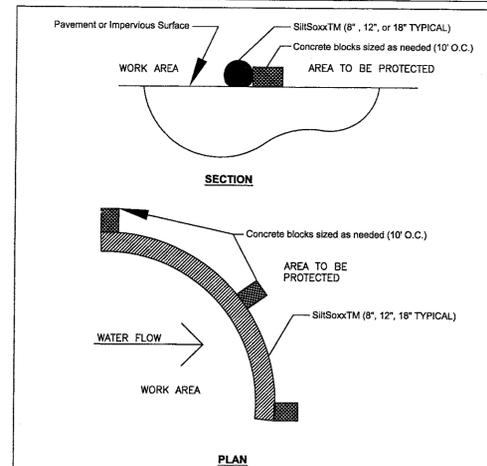
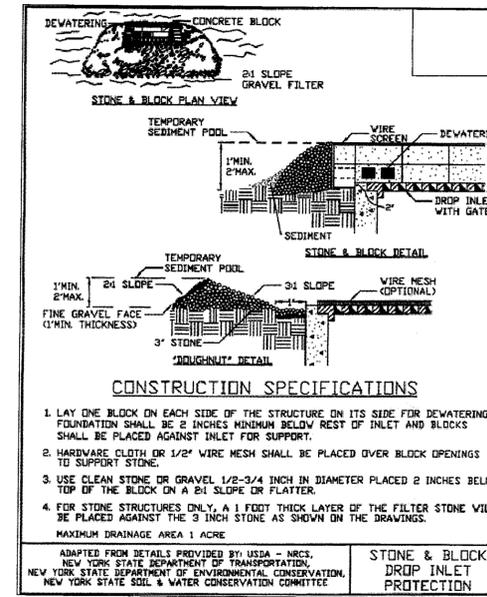
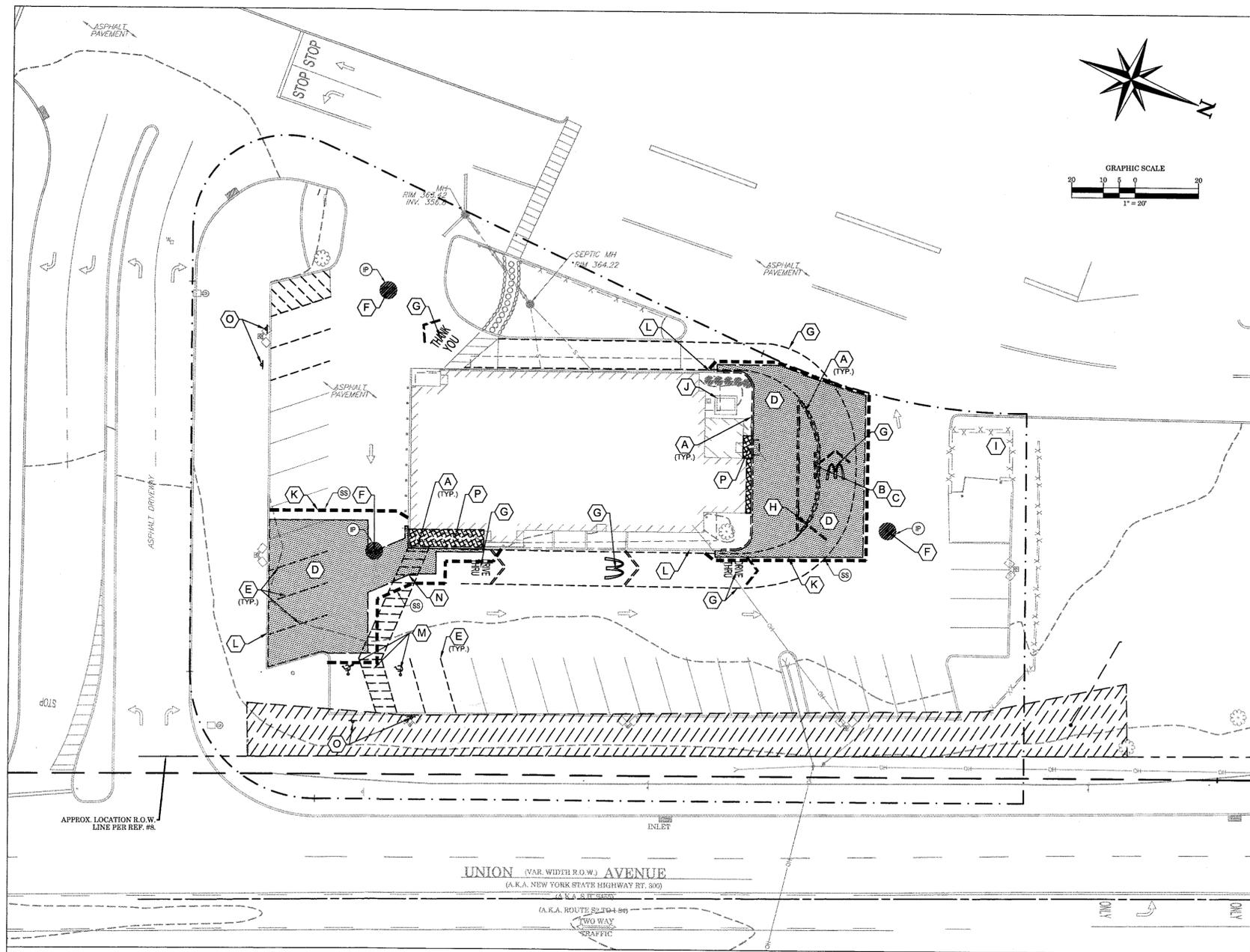
SHEET NO.	TITLE	DATE	REV	DATE	DESCRIPTION	BY
C1	SITE PLAN	JUL 27 2017				
	COVER SHEET					

DATE: 07/27/2017
PROJECT: MCD-20353
SITE ADDRESS: 1403 Rte. 300 Newburgh, NY 12550
SITE ID: 031-0738

PREPARED FOR: MCDONALD'S USA, LLC
DRAWN BY: BM
DATE: 07/27/2017
ISSUE DATE: 07/27/2017
REVIEWED BY: MD
DATE ISSUED: 07/27/2017
C.S.C. PROJECT #: MCD-20353

MATTHEW DEWITT, P.E.
NY LICENSE #088101

CORE STATES ARCHITECTURE AND ENGINEERING P.C.
ARCHITECTURE AND ENGINEERING P.C.
201 S. MAPLE AVENUE
AMBLER, PA 19002
PHONE (215) 809-2125
FAX (215) 809-2124



NOTES

1. ALL MATERIAL TO MEET SPECIFICATIONS.
2. FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
3. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

N.T.S.

SILT SOXX ON PAVEMENT

- DEMOLITION KEY NOTES:** ○
- A. EXISTING CURB TO BE REMOVED.
 - B. EXISTING MENU BOARD AND FOUNDATION TO BE REMOVED.
 - C. EXISTING DRIVE THRU INTERCOM TO BE REMOVED.
 - D. EXISTING ASPHALT TO BE REMOVED.
 - E. EXISTING PARKING STRIPING TO BE REMOVED (TYP.)
 - F. EXISTING CATCH BASIN FRAME AND GRATE TO REMAIN AND BE PROTECTED IN PLACE.
 - G. EXISTING DRIVE THRU STRIPING TO BE REMOVED.
 - H. EXISTING OVERHEAD CLEARANCE SIGN AND FOUNDATION TO BE REMOVED.
 - I. EXISTING TRASH ENCLOSURE MASONRY WALL TO REMAIN AND BE PROTECTED IN PLACE.
 - J. EXISTING ELECTRIC UTILITY TO REMAIN AND BE PROTECTED IN PLACE.
 - K. SAWCUT LINE.
 - L. EXISTING CURBS TO BE PROTECTED IN PLACE.
 - M. EXISTING ADA PARKING SPACES TO BE RELOCATED.
 - N. EXISTING ADA CROSS WALK TO BE RELOCATED.
 - O. EXISTING SIGNAGE TO BE REMOVED.
 - P. EXISTING CONCRETE TO BE REMOVED.

DEMOLITION NOTES:

1. REFER TO SHEET C2 FOR GENERAL AND DEMOLITION NOTES.

- DEMOLITION LEGEND**
- P — PROPERTY BOUNDARY LINE
 - C — CENTER LINE OF EXISTING ROADWAY
 - A — ADJOINING PROPERTY LINE
 - X — X — X — X — EXISTING EDGE OF PAVEMENT
 - B — EXISTING FENCE
 - 101 — EXISTING BLOCK NUMBER
 - 7 — EXISTING LOT NUMBER
 - 5' — EXISTING 5' INTERVAL CONTOUR LINE
 - 1' — EXISTING 1' INTERVAL CONTOUR LINE
 - — EXISTING TREE
 - G — EXISTING GAS MAIN
 - U — EXISTING UTILITY POLE
 - S — EXISTING STORM STRUCTURES
 - S — EXISTING SANITARY STRUCTURES
 - W — EXISTING WATER MAIN
 - H — EXISTING FIRE HYDRANT
 - V — EXISTING WATER VALVE
 - E — EXISTING UNDERGROUND ELECTRIC
 - T — EXISTING TELEPHONE
 - OH — EXISTING OVERHEAD ELECTRIC
 - S — EXISTING OVERHEAD WIRES
 - S — EXISTING SANITARY
 - S — EXISTING STORM
 - S — DEMO CURB
 - S — DEMO GRAVEL ROAD
 - S — DEMO ASPHALT
 - S — DEMO PROPERTY LINE
 - S — DEMO TREE
 - S — DEMO UTILITY POLE
 - S — DEMO ASPHALT
 - S — DEMO CONCRETE
 - S — PROPOSED SAWCUT LINE
 - LOD — LOD — LIMITS OF DISTURBANCE
- E&S LEGEND**
- SS — SILT SOXX
 - IP — INLET PROTECTION

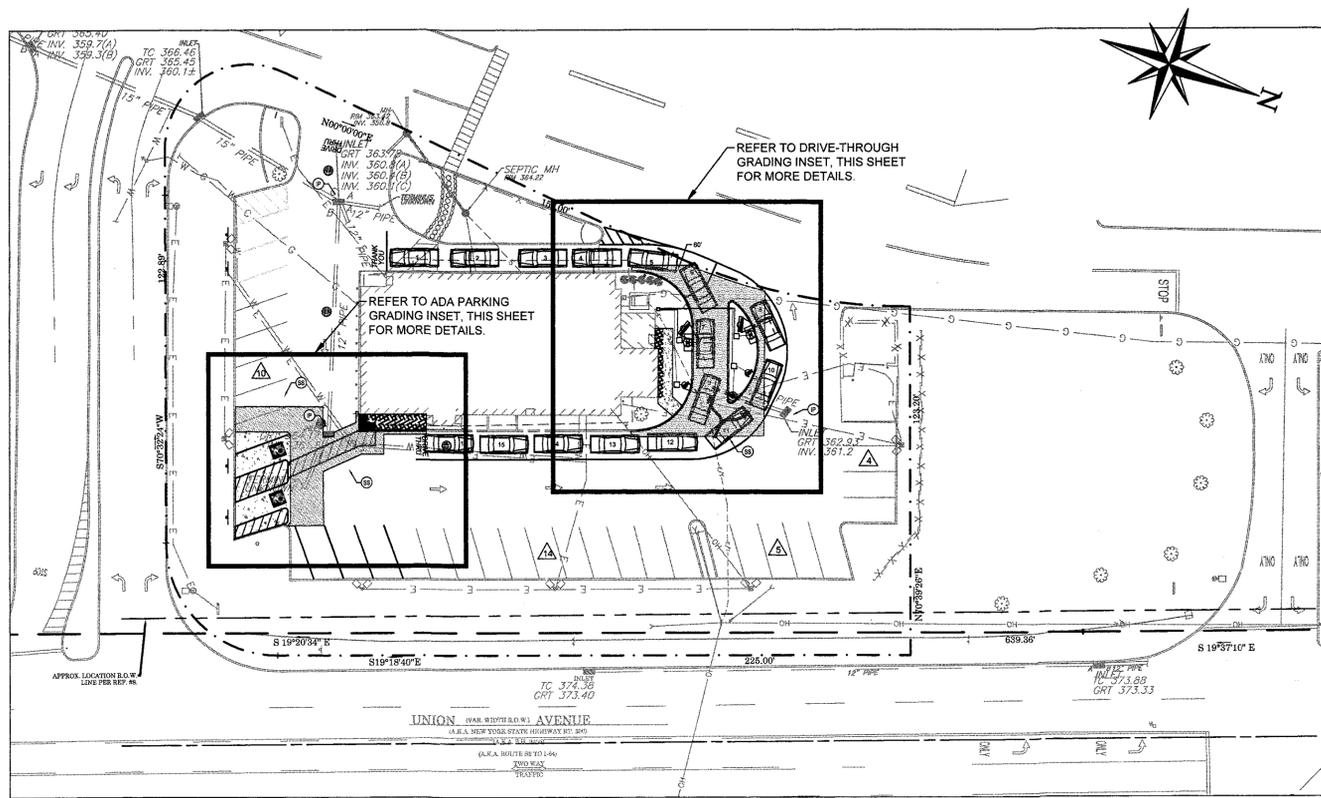
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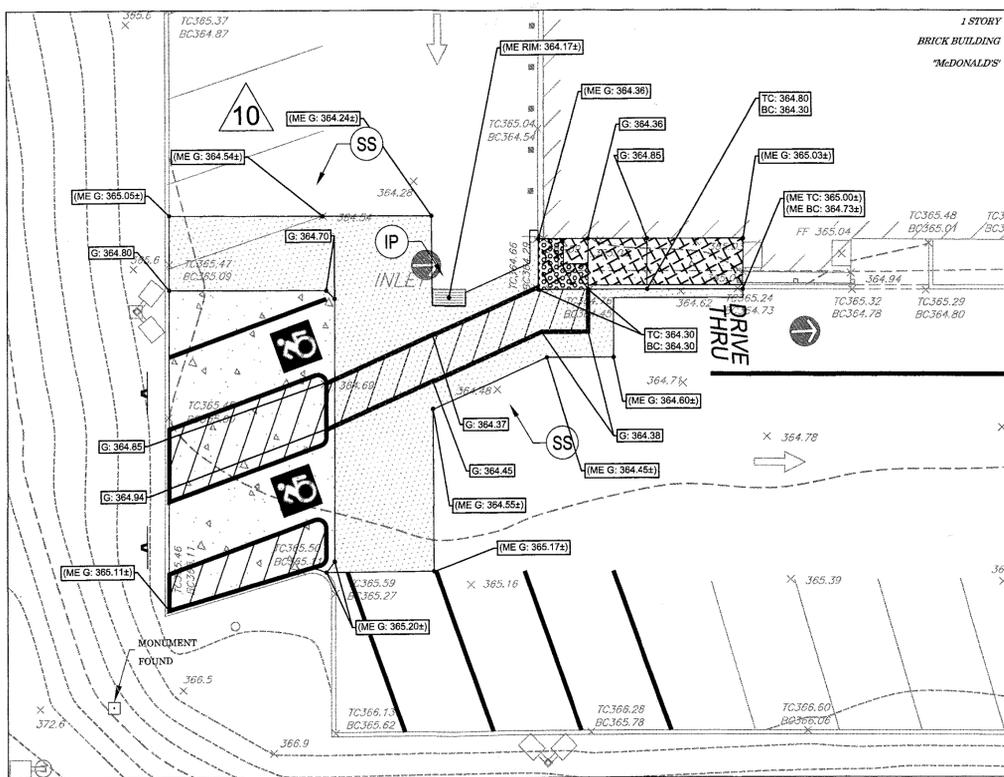
THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DEMOLISERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

DATE	MATTHEW DEWITT, P.E.	NY LICENSE #096101
PREPARED FOR:	M. McDonald's USA, LLC	
DRAWN BY:	BM	
STD ISSUE DATE:	2017	
REVIEWED BY:	MD	
DATE ISSUED:	01/31/2017	
C.S.G. PROJECT #:	MCD-20353	
SHEET NO.	C3	
TITLE	SITE PLAN	
SHEET	DEMOLITION AND EROSION CONTROL PLAN	
SITE ADDRESS	1403 Rte. 300 Newburgh, NY, 12550	
BY		
REV	DATE	DESCRIPTION

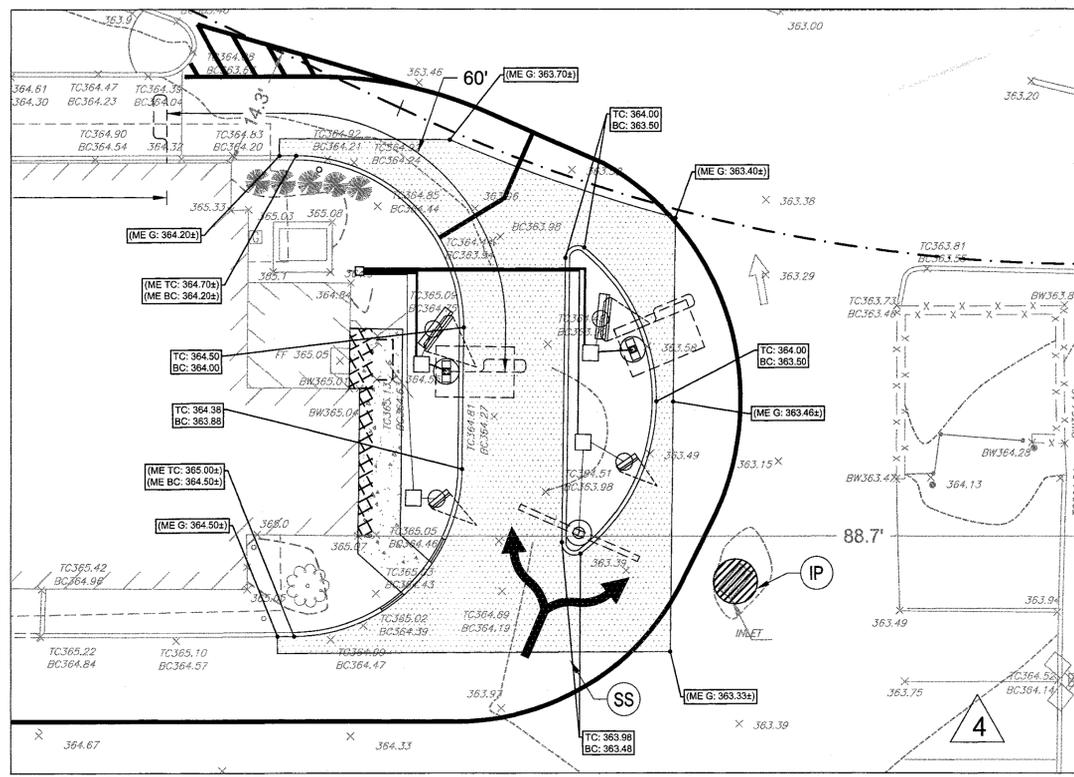


GRADING PLAN
GRAPHIC SCALE
1" = 30'

GRADING AND UTILITY NOTES:
1. REFER TO SHEET C2 FOR GRADING AND UTILITY NOTES.



ADA PARKING GRADING INSET
GRAPHIC SCALE
1" = 10'



DRIVE-THROUGH GRADING INSET
GRAPHIC SCALE
1" = 10'

GRADING AND UTILITY LEGEND

	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	PROPOSED ROAD CENTERLINE
	EXISTING DITCH CENTERLINE
	PROPOSED LIMITS OF BMP / DETENTION
	EXISTING 5' INTERVAL CONTOUR LINE
	EXISTING 1' INTERVAL CONTOUR LINE
	PROPOSED 5' INTERVAL CONTOUR LINE
	PROPOSED 1' INTERVAL CONTOUR LINE
	PROPOSED SPOT SHOTS
	EXISTING CURB
	PROPOSED CURB
	PROPOSED MOUNTABLE
	PROPOSED BUILDING
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING SANITARY STRUCTURES
	EXISTING WATER STRUCTURES
	PROPOSED PARKING COUNT
	EXISTING GAS MAIN
	EXISTING WATER MAIN
	EXISTING UNDERGROUND ELECTRIC
	EXISTING TELEPHONE
	EXISTING OVERHEAD WIRES
	EXISTING SANITARY
	EXISTING STORM
	PROPOSED ELECTRICAL
	LIMIT OF DISTURBANCE

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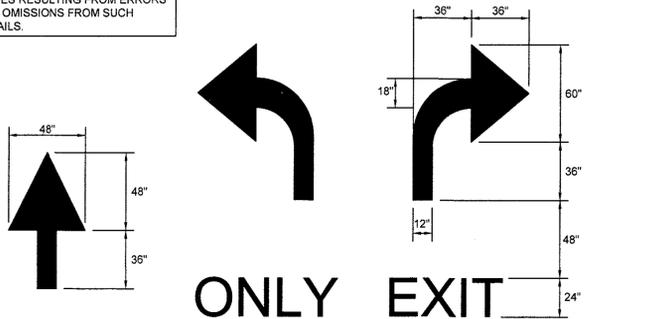
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SHEET NO.	TITLE	DATE	REV	DATE	DESCRIPTION	BY
C5	SITE PLAN GRADING AND UTILITY PLAN	01/31/2017				
		03/1-07/38				

DRAWN BY: BM
 STD ISSUE DATE: 2017
 REVIEWED BY: MD
 DATE ISSUED: 01/31/2017
 C.C. PROJECT #: MCD-20353

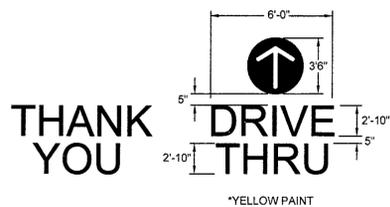
PREPARED FOR: McDonald's USA, LLC
 © 2017, McDonald's Corporation
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 License #096101
 CORE STATES ARCHITECTURE AND ENGINEERING, P.C.
 1403 Rt. 300 Newburgh, NY, 12550
 Phone: 845.562.2125
 Fax: 845.562.124

NOTE: CORE STATES ARCHITECTURE AND ENGINEERING, P.C. DID NOT PROVIDE SUCH DETAILS LABELED WITH AN "M" AND SHALL BE HELD HARMLESS FROM CONSTRUCTION ISSUES RESULTING FROM ERRORS AND OMISSIONS FROM SUCH DETAILS.



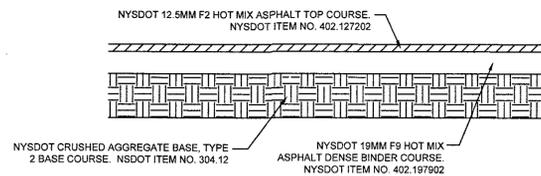
NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

*YELLOW PAINT ON CONCRETE LOTS
*WHITE PAINT ON ASPHALT LOTS



PAVEMENT MARKING
Not To Scale

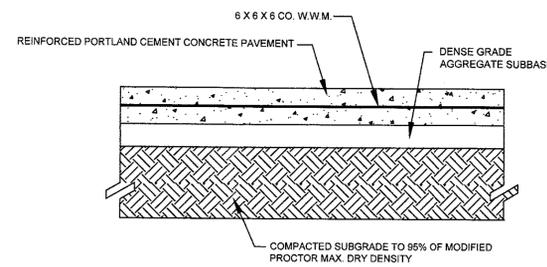
ASPHALT TYPE	LAYER DEPTH
NYS DOT 12.5MM F2 HOT MIX ASPHALT TOP COURSE. NYS DOT ITEM NO. 402.127202	1.5"
NYS DOT 19MM F9 HOT MIX ASPHALT DENSE BINDER COURSE. NYS DOT ITEM NO. 402.197902	3"
NYS DOT CRUSHED AGGREGATE BASE, TYPE 2 BASE COURSE. NYS DOT ITEM NO. 304.12	7"



NOTE: McDONALD'S PROJECT MANAGER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATIONS, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE G.C. WILL BE CHARGED.

HEAVY DUTY ASPHALT PAVING DETAIL
Not To Scale

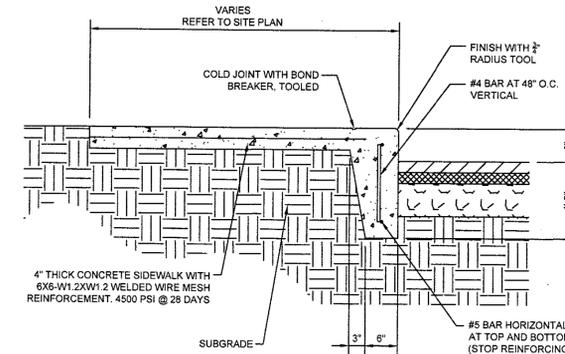
	DRIVE THRU	TRASH ENCLOSURE
CONCRETE MAT	6"	8"
DENSE GRADE AGGREGATE SUBBASE	6"	6"
MINIMUM 28 DAY STRENGTH	4,500 PSI	4,500 PSI



DETAIL NOTES:

- CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS.
- CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.

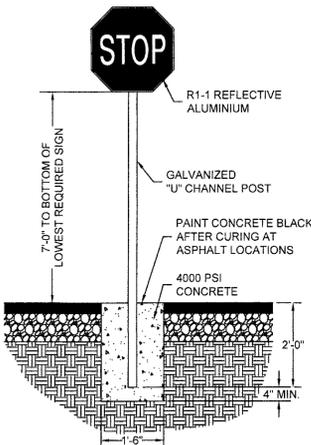
CONCRETE SLAB DETAIL
Not To Scale



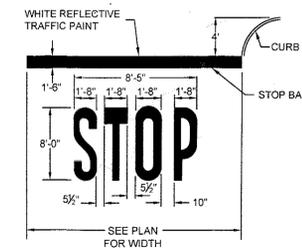
DETAIL NOTES:

- PROVIDE 2\"/>

TURNED DOWN CONCRETE WALK DETAIL
Not To Scale



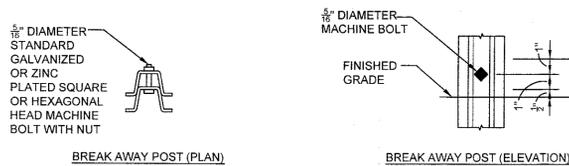
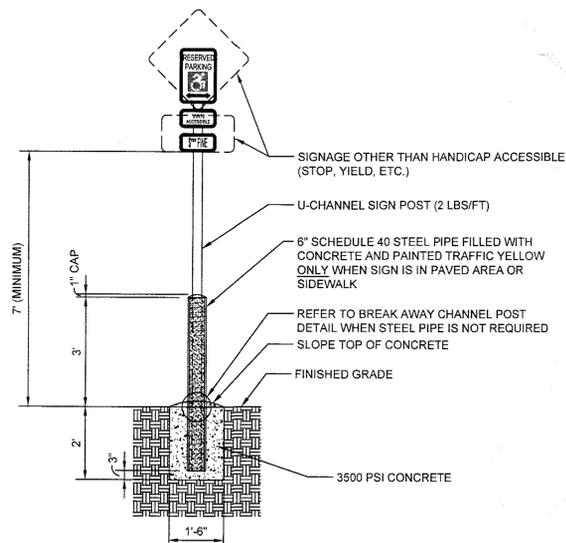
STOP SIGN DETAIL
Not To Scale



STOP w/ BAR
Not To Scale



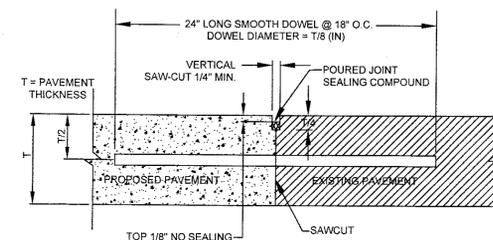
"DO NOT ENTER" SIGN
Not To Scale



DETAIL NOTES:

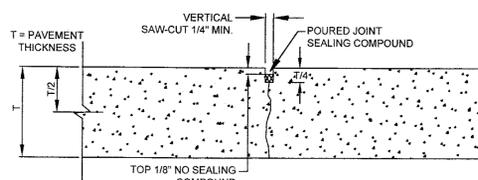
- ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
- MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

SIGN POST DETAIL
Not To Scale



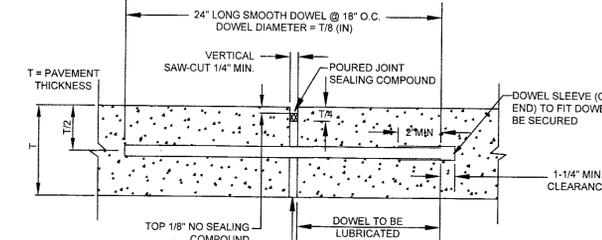
- NOTE:**
- DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
 - DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT



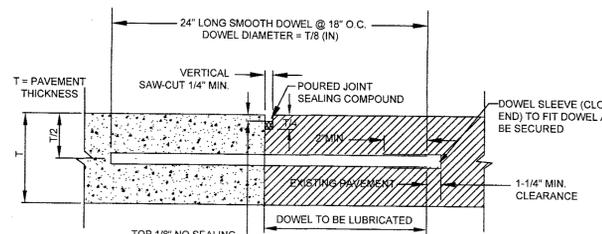
CONTRACTION JOINT

CONCRETE JOINT DETAILS
Not To Scale



- NOTE:**
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



- NOTE:**
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT

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REV	DATE	DESCRIPTION	BY

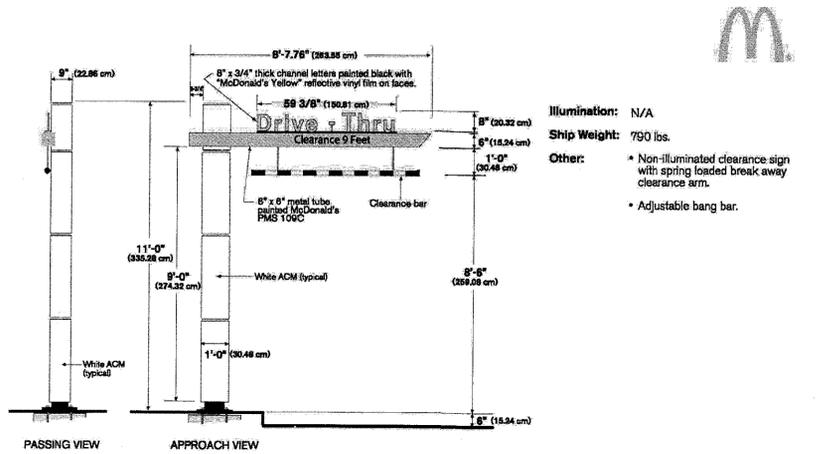
DATE
MATTHEW DEWITT, P.E.
NY LICENSE #096101

CORE STATES
ARCHITECTURE AND ENGINEERING P.C.
CORPORATE ARCHITECTURE AND ENGINEERING
201 S. Maple Avenue
Arden, VA 22025-1205
Fax: (703) 899-2124

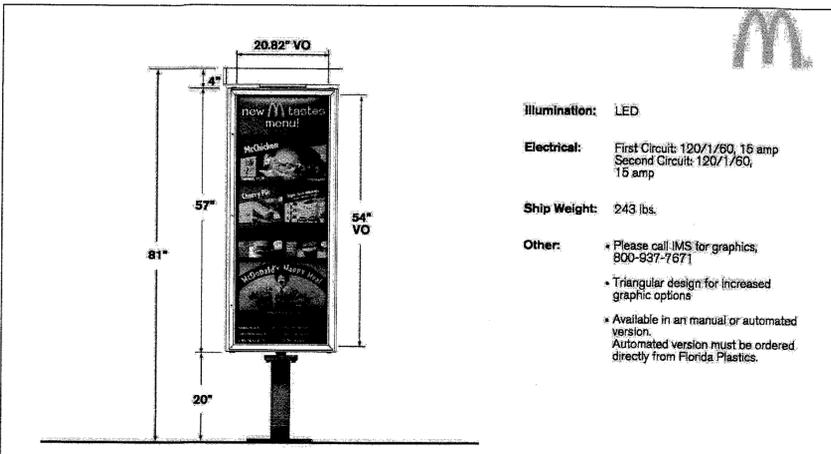
PREPARED FOR:
M. McDonald's USA, LLC
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DRAWN BY: **BM**
STD. ISSUE DATE: **2017**
REVIEWED BY: **MD**
DATE ISSUED: **01/31/2017**
C.S.G. PROJECT #: **MCD-20353**

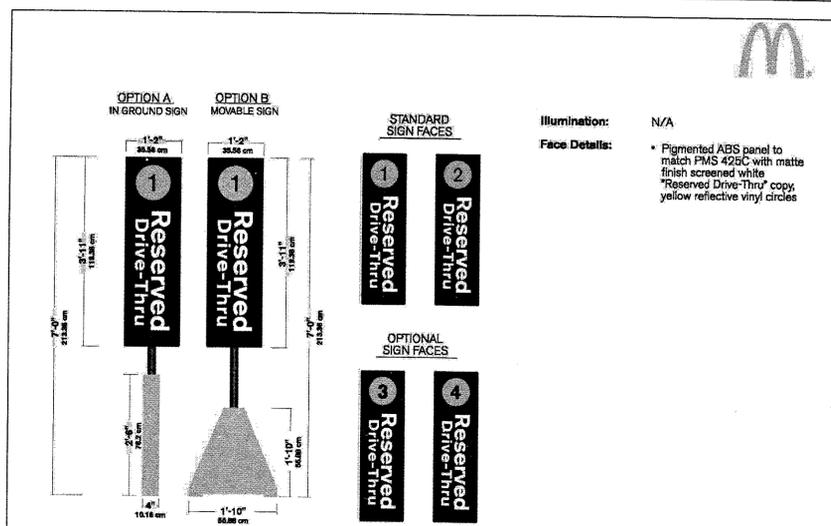
TITLE: **SITE PLAN**
SHEET: **CONSTRUCTION DETAILS**
SITE ADDRESS: **1403 Rte. 300 Newburgh, NY, 12550**
SITE ID: **031-0738**
SHEET NO.: **C8**



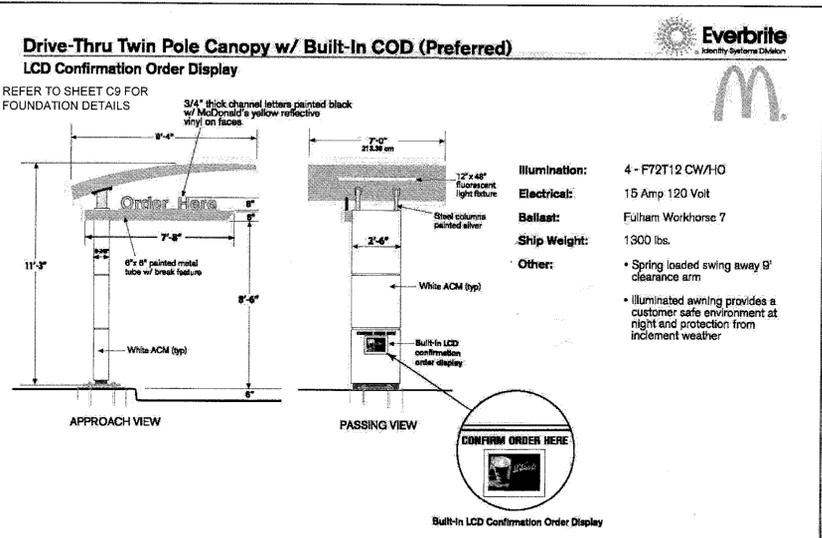
REFER TO SHEET C9 FOR FOUNDATION DETAILS
WELCOME POINT GATEWAY SCALE N.T.S. **S1**



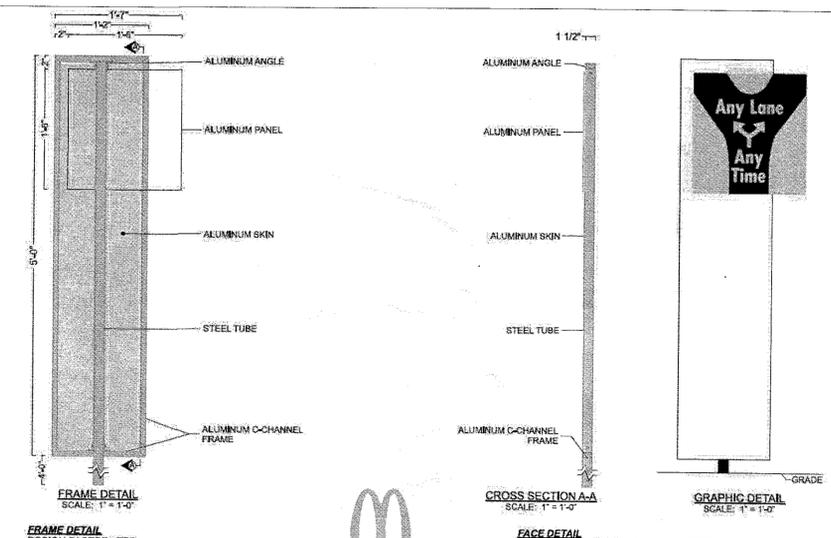
REFER TO SHEET C9 FOR FOUNDATION DETAILS
OPO PRE SELL MENU BOARD SCALE N.T.S. **S4**



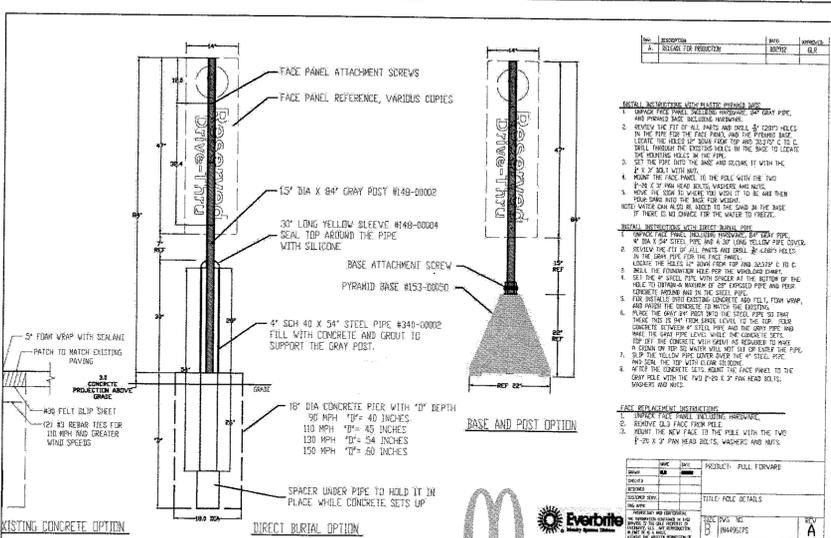
PULL FORWARD SIGNAGE SCALE N.T.S. **S7**



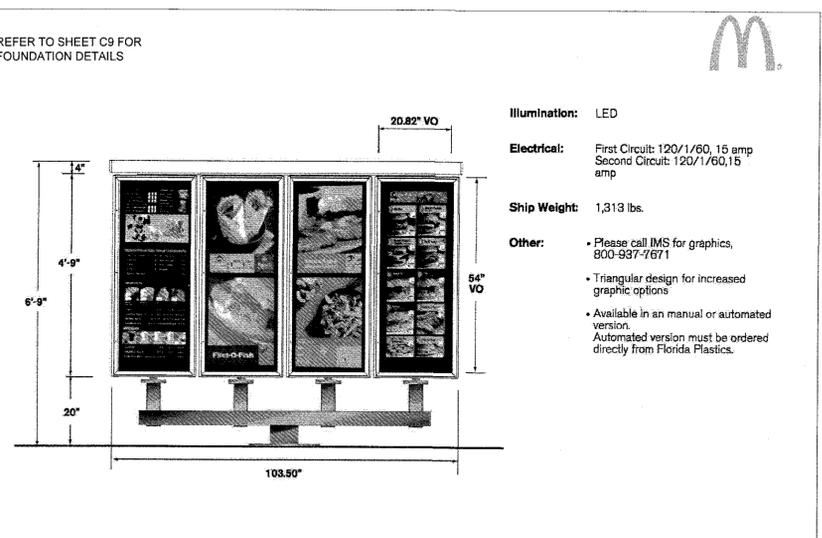
CANOPY WITH LCD CUSTOMER ORDER DISPLAY (COD) SCALE N.T.S. **S2**



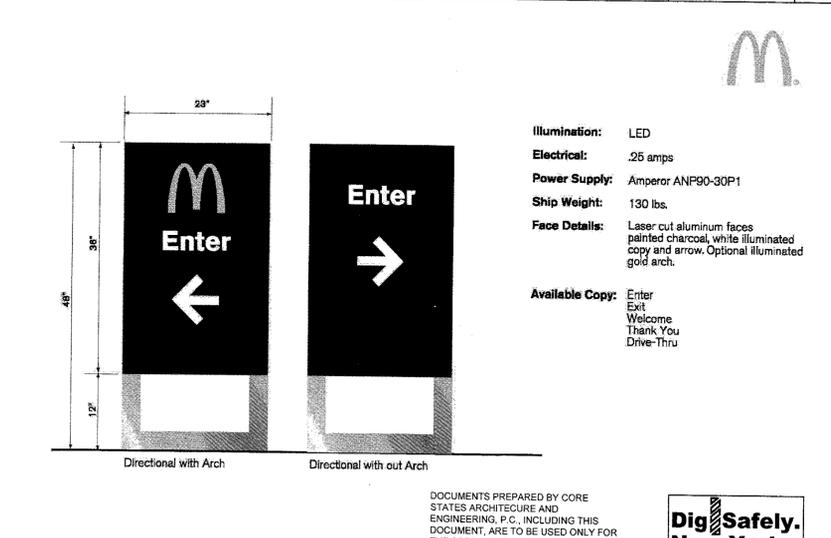
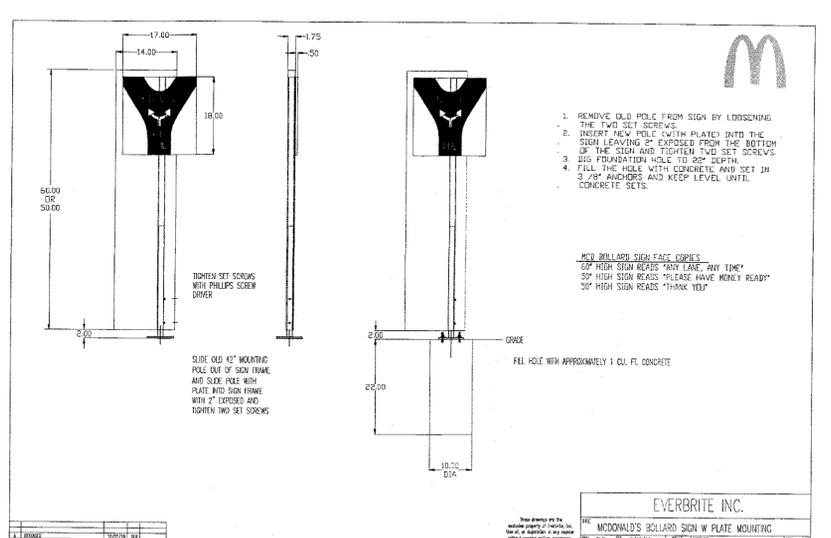
"ANY LANE ANY TIME" SIGNAGE SCALE N.T.S. **S5**



PULL FORWARD FOUNDATION DETAIL SCALE N.T.S. **S7**



FP-43 MENU BOARD



REV	DATE	DESCRIPTION	BY

REFER TO SHEET C9 FOR FOUNDATION DETAILS

DATE: 01/31/2017
MATTHEW DEWITT, P.E.
NY LICENSE #096101

CORE STATES ARCHITECTURE AND ENGINEERING P.C.
ARCHITECTURE AND ENGINEERING P.C.
1000
ANAPOLIS, PA 19002
Phone: (410) 998-2425
Fax: (410) 998-2424

PREPARED FOR: **McDonald's USA, LLC**

DATE: 01/31/2017
DRAWN BY: BM
STD ISSUE DATE: 2017
REVIEWED BY: MD
DATE ISSUED: 01/31/2017
C.S.C. PROJECT # MCD-20353

SITE PLAN
CONSTRUCTION DETAILS

SHEET NO. **C9**

MCD-20353

NOTE: CORE STATES ARCHITECTURE AND ENGINEERING, P.C. DID NOT PROVIDE SUCH DETAILS LABELED WITH AN "M" AND SHALL BE HELD HARMLESS FROM CONSTRUCTION ISSUES RESULTING FROM ERRORS AND OMISSIONS FROM SUCH DETAILS.

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THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATION DESIGNER, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE, ANYWHERE IN THE STATE.

Everbrite MCD LED Adjustable Building Canopy Lighting Specifications

LED Features and Benefits

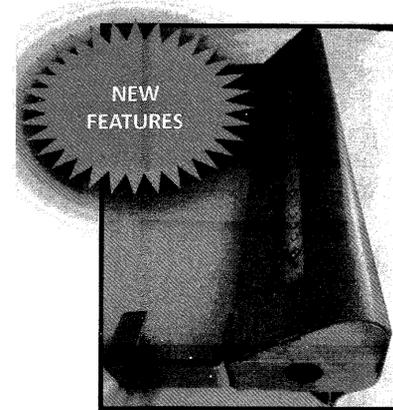
- 172° beam angle for better light displacement
- Waterproof IP 68 rating
- UL certified for use in wet, damp, and dry locations
- UV resistant, suitable for direct sun exposure
- Operating temperature range from -40°C to +70°C (-40°F to +158°F)
- Constant current driven LEDs
- No UV or IR emission
- Complies with FCC Title 47, Part 15, Subpart B for Class A digital devices

LED Module Specifications and Power Ratings

- Input Voltage is 12V
- LED Color/CCT (K) is White/4100K
- Nominal Current (Amps per foot) is .033A
- Max. Wattage (Watts per foot) is 1.5W
- Nominal Light Output per foot (lm)* is 90

Color Temperature Scale

HIRAF HIGH EFFICIENCY LINEAR LED FAÇADE FIXTURE



The HIRAF Linear Façade Lighting System is a holistic LED lighting solution designed from a clean slate to maximize the lighting effect for marketing your building as your brand while keeping energy usage and maintenance to an absolute minimum. Thanks to its intuitive plug and play mounting design with integral driver system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row. The long life LED source minimizes maintenance to only an occasional cleaning of outer lens surfaces. This system is truly a "set it and forget it" solution only from Security Lighting!

FEATURES:

- Extruded aluminum construction, finished in weather proof powder-coat paint
- Tempered glass lenses
- Fully integrated driver for completely self-contained lighting system
- Aluminum mounting brackets are finished in powder-coat paint and each order ships with a formed drilling template
- Power feed required only at beginning of each continuous row, subsequent fixtures plug together in series
- Fixtures available in up and down light, down light only or up light only
- 60,000 hour long life LED illumination
- 5000K color temperature standard +/- 50 CCT
- 80 CRI standard
- Linear Façade Fixture (14 watts per foot)

SAMPLE CATALOG NUMBER

HIRAF-HE-LED-XX-XX-X-XX

Series	Source	Size	Distribution	Voltage	Finish
96	8-foot	UD up and down light (14 watts per foot)	U = universal	PS Platinum Silver	
72	6-foot	UD up and down light (14 watts per foot)	120 to 277 volt	DB Dark Bronze	
48	4-foot	DO down light only (8.5 watts per foot)		WH White	
36	3-foot	DO down light only (8.5 watts per foot)		BK Black	
24	2-foot	UD up light only (5.75 watts per foot)		RAL and custom color	Consult factory

NEW ENHANCEMENTS:

- Increased light uniformity
- Low-power LED's to provide 50% reduced energy consumption
- Cooler operating temps increases driver life
- Ease of Installation
- Ease of Serviceability
- All new construction and design for enhanced product lifetime performance and reliability.

HIRAF	Input Watts	Light Output
HIRAFLED96LEDUD120PS	62.2	600 Down 450 Up
HIRAFLED96LEDUD120PS	34.9	600 Down
HIRAFLED72LEDUD120PS	45.6	600 Down 450 Up
HIRAFLED72LEDUD120PS	26.2	600 Down
HIRAFLED48LEDUD120PS	31.3	600 Down 450 Up
HIRAFLED48LEDUD120PS	17.4	600 Down
HIRAFLED36LEDUD120PS	23.8	600 Down 450 Up
HIRAFLED36LEDUD120PS	13.3	600 Down

SECURITY LIGHTING™ Security Lighting Systems, a division of Hubbell Lighting, Inc. 2100 Golf Road, Suite 460, Rolling Meadows, IL 60008

RADIUS LED WALL SCONCE

Architectural wallpack with molded contours to accentuate building architecture. Provides excellent illumination with a high efficiency LED light source.

72 or 36 mid-power LEDs deliver up to 2835 lumens and up to 144 lumens per watt.

FEATURES

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Lenses are finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses suitable for use in wet locations
- Downlight only, full cut-off
- Dark Sky compliant

Fixture Specifications

Operating Temperature

- -30°C to +40°C

Electrical:

- 120-277 volt universal driver
- 30w LED Driver 350mA output current – down only
- 50w LED Driver 350mA output current – up/down
- Min-Max temp for drivers
 - -30°C to +60°C – Operating Temperature
 - 90°C MAX case Temp

Controls:

- Dimming is an option (consult factory)

Listings:

- UL listed for use in wet locations
- DLC pending, down only

Ordering Information:

RWSC	72L	3K	UD	U	PS	Control Options
Family	72L	3K	UD	U	PS	PC Photocell
RWSC Radius	72L 36 Mid-Power LED's	3K 3000K	UD Down Only	U 120-277 Volts	DB Dark Bronze	PC Photocell
	72L 72 Mid-Power LED's	5K 5000K	UD Up/Down		BK Black	SCG Motion Sensor
					WH White	
					PS Platinum Silver	

Performance Data:

#of LEDs	Color Temp	Driver Current	System Watts	DIST TYPE	Lumens	LPW
36	3000K	350mA	14W	DOWN ONLY	1,539	110
36	5000K	350mA	14W	DOWN ONLY	1,620	116
72	3000K	350mA	25W	UP/DOWN	1,155 / 1,539	110
					total = 2,694	
72	5000K	350mA	25W	UP/DOWN	1,215 / 1,620	116
					total = 2,835	

PAVEMENT MARKING
Not To Scale

DOUBLE ARROW
TO BE USED TO MARK CROSSINGS OF DRIVEWAYS AND SIDEWALKS AT THE END OF THE DRIVEWAY.

SPECIAL USE DOUBLE ARROW
TO BE USED TO MARK CROSSINGS OF DRIVEWAYS AND SIDEWALKS AT THE END OF THE DRIVEWAY.

PAVEMENT MARKING
Not To Scale

DRIVE THRU & ARROW
LETTERS AND ARROW MUST BE PAINTED IN WHITE OR YELLOW. LETTERS MUST BE 1 1/2" HIGH. ARROW MUST BE 1 1/2" HIGH.

END OF PATH "THANK YOU" AND "DRIVE THRU" NO ARROW
TYPE IS POSITIONED VERTICALLY SO BASE OF TYPE ALIGNS WITH HORIZONTAL EDGE OF PATH STRIPING (DASHED LINE DOES NOT PRINT).

PAVEMENT MARKING
Not To Scale

PARKING LOT ARROWS
LETTERS AND ARROW MUST BE PAINTED IN WHITE OR YELLOW. LETTERS MUST BE 1 1/2" HIGH. ARROW MUST BE 1 1/2" HIGH.

PC REVERSIBLE CURVED SHAFT
LETTERS AND ARROW MUST BE PAINTED IN WHITE OR YELLOW. LETTERS MUST BE 1 1/2" HIGH. ARROW MUST BE 1 1/2" HIGH.

PH HEAD
LETTERS AND ARROW MUST BE PAINTED IN WHITE OR YELLOW. LETTERS MUST BE 1 1/2" HIGH. ARROW MUST BE 1 1/2" HIGH.

PS SHAFT
LETTERS AND ARROW MUST BE PAINTED IN WHITE OR YELLOW. LETTERS MUST BE 1 1/2" HIGH. ARROW MUST BE 1 1/2" HIGH.

NOTE: CORES STATES ARCHITECTURE AND ENGINEERING P.C. DID NOT PROVIDE SUCH DETAILS LABELED WITH AN "X" AND SHALL BE HELD HARMLESS FROM CONSTRUCTION ISSUES RESULTING FROM ERRORS AND OMISSIONS FROM SUCH DETAILS.

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Matthew Dewitt, P.E.
NY LICENSE #096101

McDonald's USA, LLC

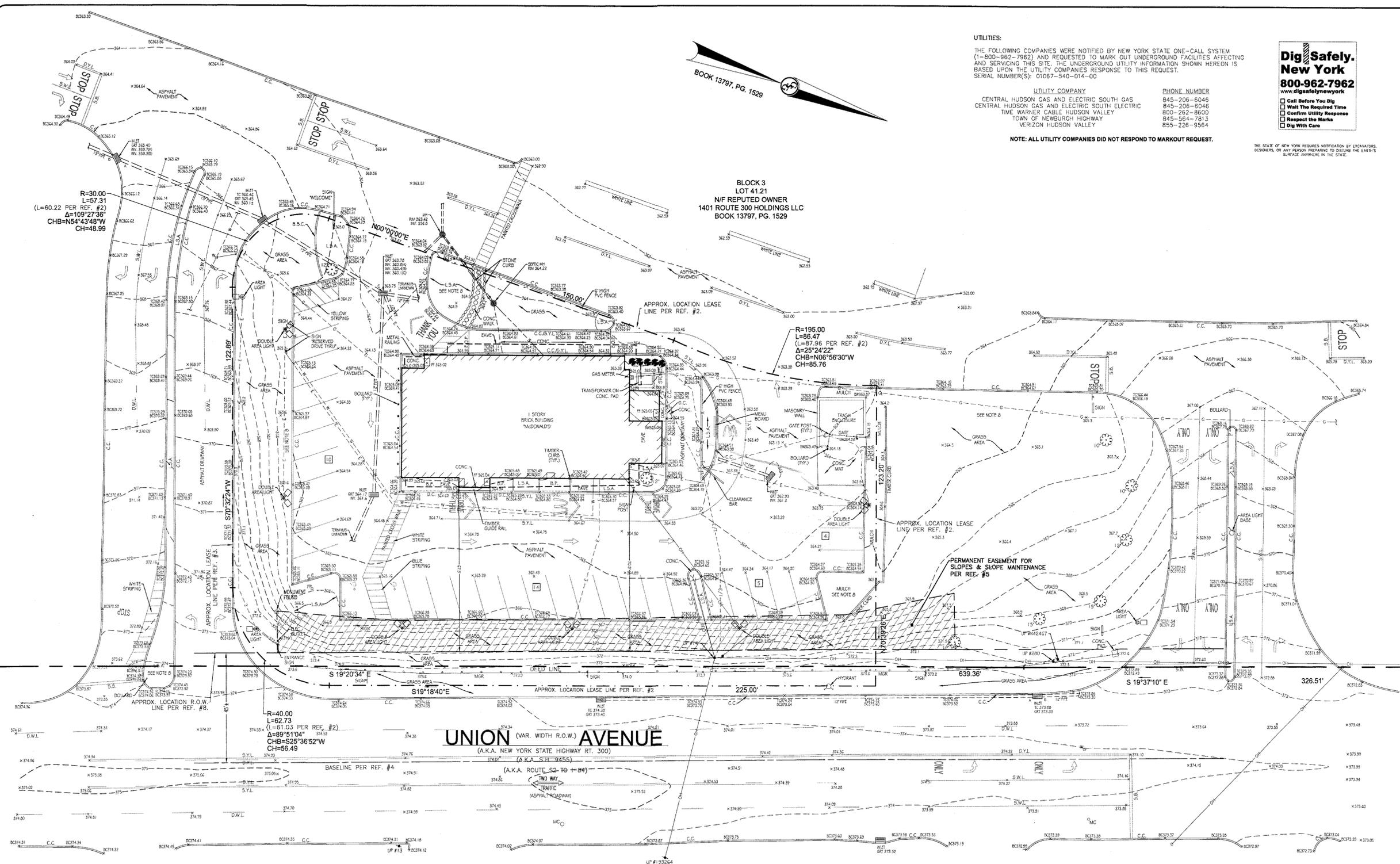
PREPARED FOR: McDonald's Corporation

DRAWN BY: BM
STD. ISSUE DATE: 2017
REVIEWED BY: MD
DATE ISSUED: 01/31/2017
CSCC PROJECT #: MCD-20353

TITLE: SITE PLAN
SHEET: CONSTRUCTION DETAILS
SITE ID: 031-0738
SITE ADDRESS: 1403 Rte. 300 Newburgh, NY, 12550

SHEET NO.: MCD-20353
C11

DATE:
REV:
DESCRIPTION:



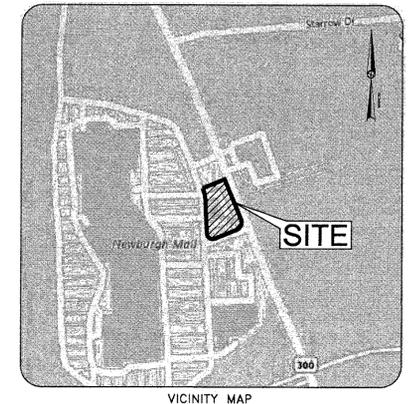
UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK STATE ONE-CALL SYSTEM (1-800-962-7962) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
 SERIAL NUMBER(S): 01067-540-014-00

UTILITY COMPANY	PHONE NUMBER
CENTRAL HUDSON GAS AND ELECTRIC SOUTH GAS	845-206-6046
CENTRAL HUDSON GAS AND ELECTRIC SOUTH-ELECTRIC	845-206-6046
TIME WARNER CABLE HUDSON VALLEY	800-992-8600
TOWN OF NEWBURGH HIGHWAY	845-564-7813
VERIZON HUDSON VALLEY	855-226-9564

NOTE: ALL UTILITY COMPANIES DID NOT RESPOND TO MARKOUT REQUEST.

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MAP LEGEND

---	PROPERTY LINE
- - - -	APPROX. LOCATION LEASE LINE
---	EXISTING CONTOUR
---	FENCE
x	EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
x	EXISTING SPOT ELEVATION
x	EXIST. TOP OF CURB ELEVATION
x	EXIST. GUTTER ELEVATION
x	EXIST. BOTTOM OF WALL ELEVATION
x	FINISH FLOOR ELEVATION
- - - -	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT
- - - -	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT
- - - -	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT
- - - -	APPROX. LOC. UNDERGROUND TELEPHONE LINE PER UTILITY MARKOUT
- - - -	APPROX. LOC. UNDERGROUND SANITARY LINE PER UTILITY MARKOUT
- - - -	OVERHEAD WIRES
+	AREA LIGHT UTILITY POLE
+	UTILITY POLE/LIGHT POLE
+	GUY ANCHOR
+	INLET
+	MANHOLE
+	HYDRANT
+	WATER VALVE
+	BOLLARD
+	PARKING SPACE COUNT
+	PAINTED ARROWS
+	DENOTES TREE & TRUNK DIAMETER
+	MGR
+	RD
+	D.C.
+	E.O.P.
+	L.S.A.
+	C.C.
+	PP
+	S.Y.L.
+	D.W.L.
+	D.Y.L.
+	D.W.L.
+	B.P.
+	S.B.
+	STOP BAR
+	DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

BOUNDARY & TOPOGRAPHIC SURVEY
PART OF LOT 41.21, BLOCK 3, SECTION 60
 1403 NEW YORK STATE ROUTE 300 (UNION AVENUE)
 CITY OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

GALLAS SURVEYING GROUP
 2865 US ROUTE 1
 NORTH BRUNSWICK, NJ 08902
 TELE: 732-422-6700
 FAX: 732-940-8786
 www.gallasurvey.com

DATE	SCALE	DRAWN	CHECKED
02-08-2017	1"=20'	R.S.E.	G.S.C.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
01-31-2017	70	120	M.S.J.W.B.
FILE NO.	DRAWING NAME/SHEET NO.		
G16296	G16296.DWG	SV1	

GRAPHIC SCALE
 0 10 20 30 40 50
 (IN FEET)
 1 inch = 20 ft

NOT VALID UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL.
GREGORY S. GALLAS DATE

- NOTES:**
- PROPERTY KNOWN AND DESIGNATED AS LOT 41.21, IN BLOCK 3, SECTION 60 ON THE OFFICIAL TAX MAP FOR THE TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK.
 - ON-SITE UNDERGROUND UTILITIES WERE MARKED BY MASTER LOCATORS, 675 CONCORD ROAD, GLEN MILLS, PA 49342
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS ARE BASED UPON NAVD 88
 - PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) NO. 36071C0139E, EFFECTIVE DATE AUGUST 3, 2009.
 - THE LOCATION AND EXTENTS OF UNDERGROUND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
 - THIS SURVEY WAS PERFORMED DURING A PERIOD WHEN THE GROUND WAS SNOW COVERED. UTILITY STRUCTURES AND SITE FEATURES HAVE BEEN LOCATED AND IDENTIFIED WHICH WERE VISIBLE ON THE DATE OF THE FIELD SURVEY. REMOVAL OF THIS NOTE FROM THE SURVEY WILL REQUIRE A LATER SITE VISIT AFTER THE SNOW HAS MELTED.

- REFERENCES:**
- BOUNDARY & TOPOGRAPHIC SURVEY, McDONALD'S CORPORATION 1201 UNION AVENUE, LOT 41.21, BLOCK 3, TOWN OF NEWBURGH, ORANGE COUNTY, STATE OF NEW YORK, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 07/19/01.
 - MAP OF LANDS OF McDONALD'S CORPORATION IN THE NEWBURGH MALL, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK, PREPARED BY BRINNIER & LARICS, P.C., DATED SEPTEMBER 13, 1979.
 - SITE PLAN, PROPOSED BUILDING MODIFICATIONS, PREPARED BY BOHLER ENGINEERING, PC, DATED 1/30/02, LAST REVISED 4/22/02, SHEET 2 OF 6.
 - MAP ENTITLED "STATE OF NEW YORK DEPT. OF TRANSPORTATION, PLAN UNION AVENUE, S.H. 9455, STA. 141+00 TO STA. 155+00, DATED MAY, 1985, LAST REVISED 6-23-88, SHEETS 86 & 68R OF 142.
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION, DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY, PARCEL 1, MAP 1, DATED JUNE 25, 1985.