



CONSULTING ENGINEERS, D.P.C.

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Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)

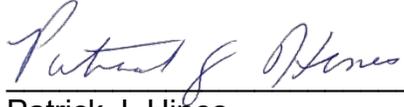
**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MALMARK
PROJECT NO.: 20-15
PROJECT LOCATION: SECTION 9, BLOCK 3, LOT 2
REVIEW DATE: 30 APRIL 2021
MEETING DATE: 6 MAY 2021
PROJECT REPRESENTATIVE: MECURIO-NORTON- TAROLLI-MARSHALL

1. Copy of the Highway Superintendents sign off letter for the access points should be submitted for the Planning Boards use.
2. Several comments continue to be outstanding from the 29 January 2021 including addressing encroachments onto proposed Lot 2. Internal subdivision lot line metes and boundaries should be added to the plans. Driveway access and maintenance agreement should be submitted to Dominic Cordisco for review. These access agreements should include cross grading easements.
3. Notice of Intent for storm water permit coverage should be submitted to the Planning Board for review. This office will issue a Municipal Authorization at the appropriate time.
4. Orange County Health Department approval for the subsurface sanitary sewer disposal system is required. Preliminary approval must be granted to submit to Health Department.
5. The Planning Board declared its intent for Lead Agency on 4 February 2021 and circulated the Notice of Intent on 11 February 2021. No agencies have taken exception to the Planning Boards Lead Agency, therefore the Planning Board can now declare itself Lead Agency for review of the project. Based on a review of the information submitted this office would recommend the Planning Board issue a Negative Declaration for the project.
6. The project requires a Public Hearing. This office takes no exception to the Planning Board scheduling the Public Hearing at its next available date.

Respectfully submitted,

**McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.**

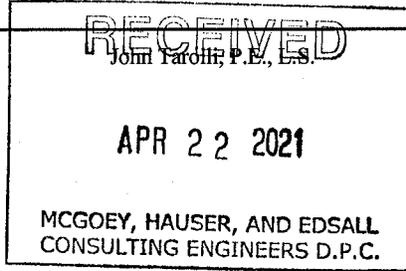
A handwritten signature in blue ink, appearing to read "Patrick J. Hines", written over a horizontal line.

Patrick J. Hines
Principal

PJH/kbw

Lawrence J. Marshall, P.E.

Zachary A. Peters, P.E.



April 22, 2021

Planning Board
Town of Newburgh
21 Hudson Valley Professional Plaza
Newburgh, New York 12550
Also via email: planningboard@townofnewburgh.org

Re: Job No. 3807-3
Tax Map Parcel: 9-3-2
Town of Newburgh
Orange County
Lattintown Road
5-lot Residential Subdivision

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Fourteen (14) copies of the revised Subdivision Plan

The following comments are in response to a review by Patrick Hines of McGoe, Hauser, & Edsall Consulting Engineers, P.C. dated January 29, 2021:

1. We are in receipt of the signoff letter from the Highway Superintendent, dated April 19, 2021.
2. The applicant is in discussion with the adjoining owner to grant an easement for the existing encroachments. The limits of the easement will be indicated on the subdivision plan as soon as they have been finalized.
3. Metes & bounds will be included on the proposed property lines for future submissions.
4. No response required.
5. Reference to the proposed access easements for the common driveways is included in notes 8 and 9 on sheet 1. The easements will include provisions for installation and maintenance of the proposed driveways and utilities serving the individual lots.
6. See response 5, above.
7. A Notice of Intent (NOI) will be prepared and submitted to NYSDEC for coverage under the SPDES Stormwater general permit.
8. The proposed plan will be submitted to the Orange County Department of Health (OCDOH) for the necessary review.
9. No response required.
10. Note 1 has been added under the Zoning Legend on sheet 1 specifying lot specific bulk zoning information is provided on sheet 3. Note 10 has also been added on sheet 1 to this effect.



Zoning Legend: AR

	REQUIRED (1)
MINIMUM LOT AREA (2)	40,000 S.F.
MINIMUM LOT WIDTH (3)	150'
MINIMUM LOT DEPTH	150'
MINIMUM FRONT YARD	50'
MINIMUM REAR YARD	50'
MINIMUM SIDE YARD (ONE)	30'
MINIMUM SIDE YARD (BOTH)	80'
MINIMUM HABITABLE FLOOR AREA	900 S.F.
MAXIMUM BUILDING COVERAGE	10%
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM LOT COVERAGE	20%

(1) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.
 (2) MINIMUM LOT AREA, IN SQUARE FEET, EXCLUDES THE AREA OF THE PROPOSED PRIVATE ROAD EASEMENT.
 (3) AS PER TOWN CODE, LOT WIDTH IS MEASURED AT THE FRONT SETBACK REQUIREMENT OR AT THE BUILDING LINE.

Zoning Legend: R-3

- WITH PUBLIC WATER ONLY -

	REQUIRED (1)
MINIMUM LOT AREA	15,000 S.F.
MINIMUM LOT WIDTH	100'
MINIMUM LOT DEPTH	75'
MINIMUM FRONT YARD	40'
MINIMUM REAR YARD	40'
MINIMUM SIDE YARD (ONE)	15'
MINIMUM SIDE YARD (BOTH)	30'
MINIMUM HABITABLE FLOOR AREA	900 S.F.
MAXIMUM BUILDING COVERAGE	15%
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM LOT COVERAGE	30%

(1) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.

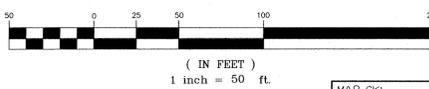
Legend

- PROPERTY LINE & CORNER
- SET 5/8" IRON ROD AT PROPERTY CORNER
- ADJOINER PROPERTY LINE
- L. XXXX, P. XXX DEED LIBER, PAGE
- XX-X-XX TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
- UL-UL EXISTING UTILITY POLE & LINE
- XX" EXISTING CULVERT & SIZE
- STONE WALL
- APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE
- WATERCOURSE
- SIGN LOCATION
- FIRE HYDRANT
- WATER VALVE
- MAILBOX
- WELL LOCATION
- EXISTING TREE LINE
- EXISTING TREE & SHRUBS
- ZONING MINIMUM SETBACK LINE
- EXISTING CONTOUR LINE
- PROPOSED BUILDING

Notes:

- 1.) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. ON DECEMBER 16, 2020.
- 2.) THE TOPOGRAPHY SHOWN IS BASED ON AERIAL IMAGERY PROVIDED BY GOLDEN AERIAL SURVEYS, INC. DATED APRIL 2020.
- 3.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 4.) SUBJECT TO UTILITY GRANTS OF RECORD.
- 5.) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF LATTINTOWN ROAD FOR USE AS A PUBLIC HIGHWAY.
- 6.) VERTICAL DATUM IS NAVD88.
- 7.) TO AVOID ADVERSE IMPACTS TO THE INDIANA BAT (MYOTIS SODALIS), A STATE- AND FEDERALLY-LISTED ENDANGERED SPECIES, CLEARING OF TREES FOUR (4) INCHES D.B.H. OR GREATER SHALL ONLY OCCUR BETWEEN NOVEMBER 1 AND MARCH 31.
- 8.) LOTS 1 & 2 SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'A', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.
- 9.) LOTS 3 & 4 SUBJECT TO A PROPOSED ACCESS & UTILITY EASEMENT, EASEMENT 'B', TO BE FILED IN THE ORANGE COUNTY CLERKS OFFICE.
- 10.) SEE SHEET 3 FOR LOT SPECIFIC BULK ZONING INFORMATION.

GRAPHIC SCALE



MAP CK:

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
 "ONLY COPIES FROM THE ORIGINAL TRACINGS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
 "CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
3	4-20-21	ENGINEER COMMENTS	ZAP
2	3-15-21	HIGHWAY COMMENTS	ZAP
1	11-5-21	DETAILED SUBDIVISION PLAN	ZAP

I HEREBY CERTIFY TO MALMARK CONSTRUCTION CORPORATION THAT THIS MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. COMPLETED ON DECEMBER 16, 2020.

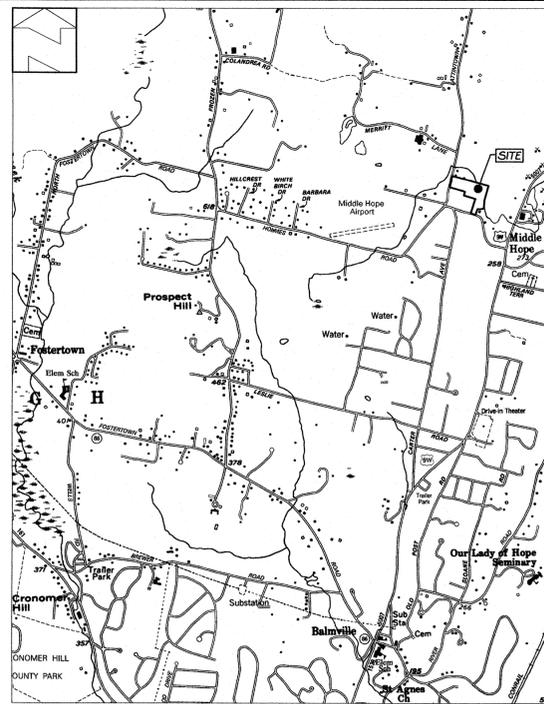
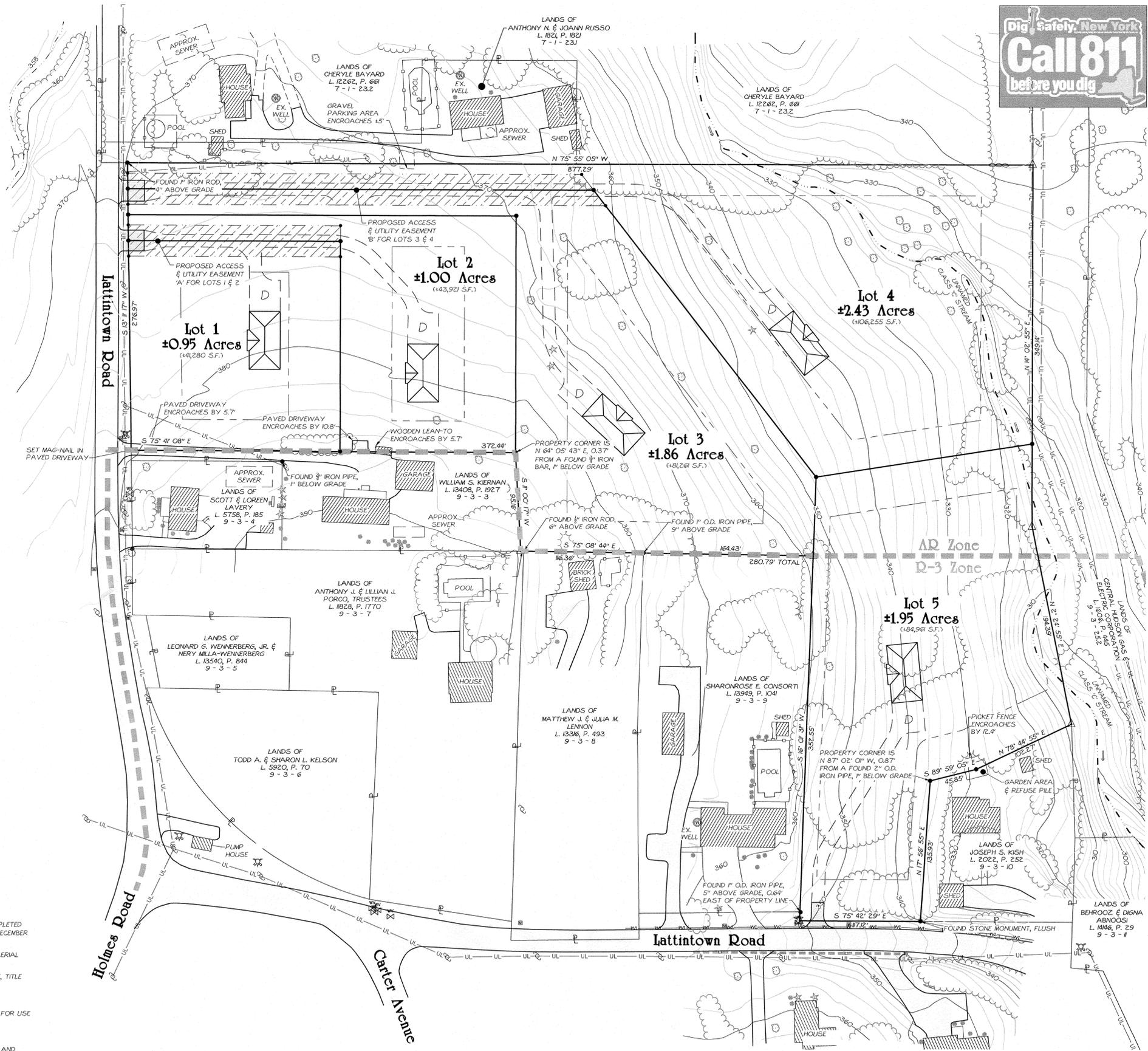
JOHN TAROLLI LS #049201
 LAWRENCE MARSHALL PE #087107

Survey Map & Subdivision Plan
 for
Malmark Construction Corp.

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845)744.3620 F:(845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.

TAX MAP PARCEL: 9-3-2
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: ZAP
 DATE: OCTOBER 22, 2020
 PROJECT: 3807-3
 SHEET: 1 / 6

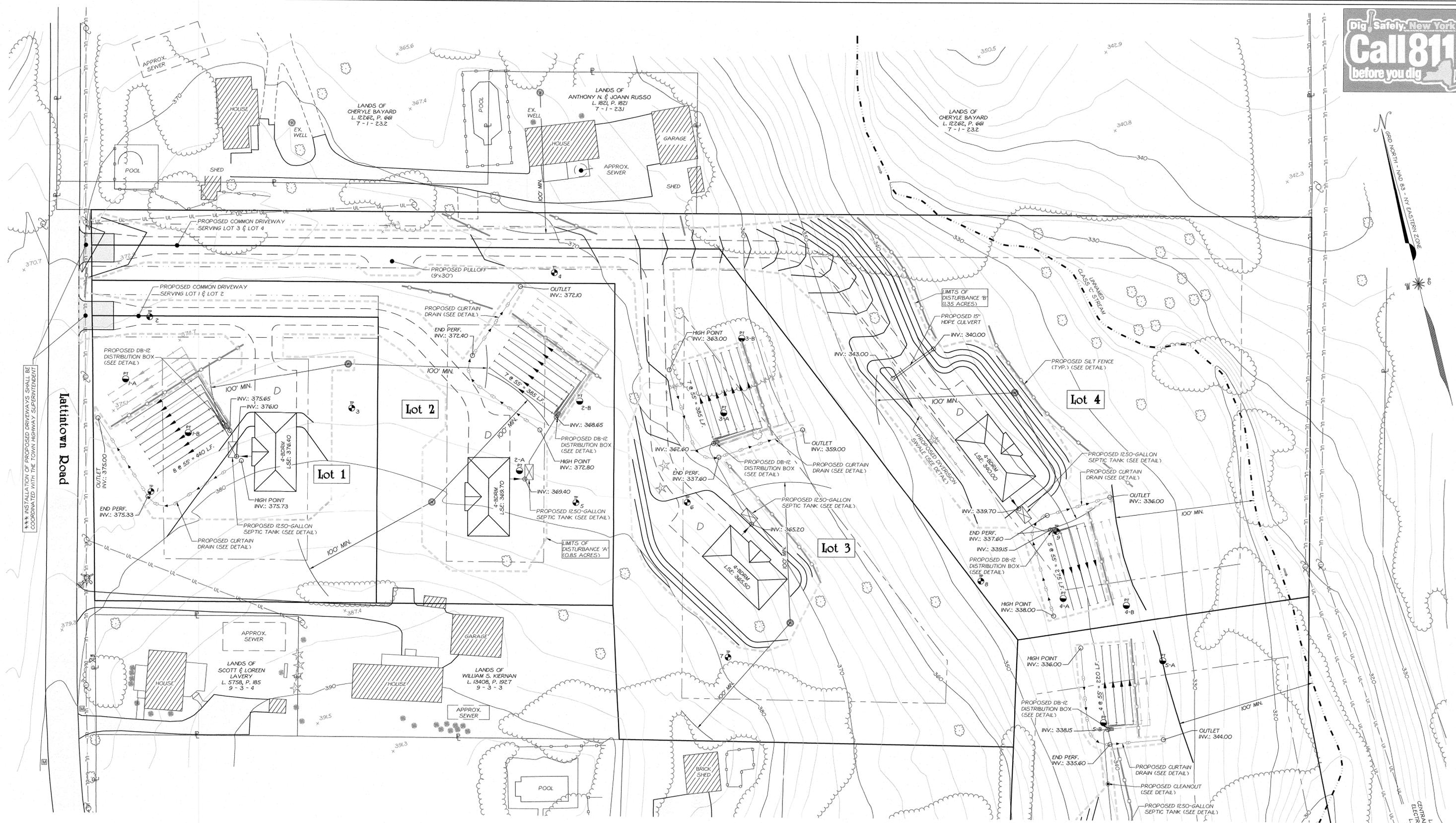


Location Map
 SCALE: 1" = 2,000'

Parcel Information

TAX PARCEL:	9-3-2
AREA:	±8.30 ACRES
RECORD OWNER:	MALMARK CONSTRUCTION CORP. 36 SLOANE ROAD NEWBURGH, NEW YORK 12550
DEED REFERENCE:	LIBER 14778, PAGE 243
MAP REFERENCE:	-



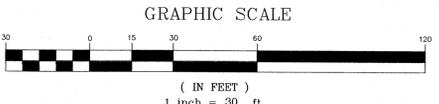


ALL INSTALLATION OF PROPOSED DRIVEWAYS SHALL BE COORDINATED WITH THE TOWN HIGHWAY SUPERVISOR

GSD NORTH - IND. 83 - NY EASTERN ZONE

Legend

- | | | | |
|--|---|--|--|
| | PROPERTY LINE & CORNER | | SIGN LOCATION |
| | SET 5/8" IRON ROD AT PROPERTY CORNER | | FIRE HYDRANT |
| | ADJOINER PROPERTY LINE | | WATER VALVE |
| | L. XXXX, P. XXX | | MAILBOX |
| | XX-X-XX | | WELL LOCATION |
| | EXISTING UTILITY POLE & LINE | | EXISTING TREE LINE |
| | EXISTING CULVERT & SIZE | | EXISTING TREE & SHRUBS |
| | STONE WALL | | ZONING MINIMUM SETBACK LINE |
| | APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE | | EXISTING CONTOUR LINE |
| | WATERCOURSE | | PROPOSED CONTOUR LINE |
| | TEST PIT LOCATION | | PERCOLATION TEST LOCATION |
| | PROPOSED BUILDING | | PROPOSED SEPTIC TANK (SEE DETAIL) |
| | PROPOSED SEPTIC TANK (SEE DETAIL) | | PROPOSED PUMP STATION (SEE DETAIL) |
| | PROPOSED CLEANOUT | | PROPOSED DISTRIBUTION BOX |
| | PROPOSED 4" PERFORATED SEWER LATERAL | | PROPOSED 4" PERFORATED SEWER RESERVE LATERAL |
| | PROPOSED SITE FENCE (SEE DETAIL) | | LIMITS OF DISTURBANCE |



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NO.	DATE	REVISION	BY
1	3-15-21	HIGHWAY COMMENTS	ZAP
			LAWRENCE MARSHALL PE #08707

Subdivision Detail - A
 for
Malmark Construction Corp.

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING

PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

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 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: ZAP
 DATE: OCTOBER 22, 2020
 PROJECT: 3807-3
 SHEET: 2 / 6

Zoning Legend: AR

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MINIMUM LOT AREA (1)	40,000 S.F.	141,280 S.F.	143,921 S.F.	181,261 S.F.	1106,255 S.F.
MINIMUM LOT WIDTH (2)	150'	-	-	-	-
MINIMUM LOT DEPTH	150'	-	-	-	-
MINIMUM FRONT YARD	50'	-	-	-	-
MINIMUM REAR YARD	50'	-	-	-	-
MINIMUM SIDE YARD (ONE)	30'	-	-	-	-
MINIMUM SIDE YARD (BOTH)	80'	-	-	-	-
MINIMUM HABITABLE FLOOR AREA	900 S.F.	>900 S.F.	>900 S.F.	>900 S.F.	>900 S.F.
MAXIMUM BUILDING COVERAGE	10%	10%	10%	10%	10%
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'	35'
MAXIMUM LOT COVERAGE	20%	20%	20%	20%	20%

(1) MINIMUM LOT AREA, IN SQUARE FEET, EXCLUDES THE AREA OF THE PROPOSED PRIVATE ROAD EASEMENT.
 (2) AS PER TOWN CODE, LOT WIDTH IS MEASURED AT THE FRONT SETBACK REQUIREMENT OR AT THE BUILDING LINE.

Zoning Legend: R-3

- WITH PUBLIC WATER ONLY -	REQUIRED	LOT 5
MINIMUM LOT AREA	15,000 S.F.	184,961 S.F.
MINIMUM LOT WIDTH	100'	-
MINIMUM LOT DEPTH	125'	-
MINIMUM FRONT YARD	40'	-
MINIMUM REAR YARD	40'	-
MINIMUM SIDE YARD (ONE)	15'	-
MINIMUM SIDE YARD (BOTH)	30'	-
MINIMUM HABITABLE FLOOR AREA	900 S.F.	>900 S.F.
MAXIMUM BUILDING COVERAGE	15%	<15%
MAXIMUM BUILDING HEIGHT	35'	<35'
MAXIMUM LOT COVERAGE	30%	<30%

Notes:

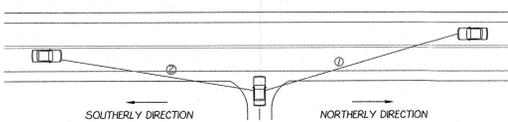
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Sight Distance Tables

LATTINTOWN ROAD SPEED LIMIT ALONG SITE FRONTAGE: 40 MPH
 MEASURED BY R. SMITHEN ON OCTOBER 23, 2020

LOCATION	SIGHT LINE	DISTANCE	REQUIRED (1)	NOTES
PROPOSED LOT 1 & 2 DRIVEWAY	1	> 1,000'	445'	LIMITED BY HORIZONTAL CURVATURE
	2	1,390'	385'	LIMITED BY VERTICAL CURVATURE
PROPOSED LOT 3 & 4 DRIVEWAY	1	> 1,000'	445'	LIMITED BY HORIZONTAL CURVATURE
	2	1,440'	385'	LIMITED BY VERTICAL CURVATURE

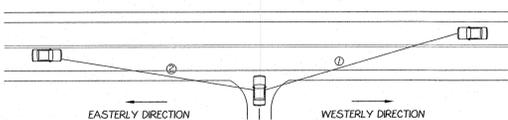
(1) REQUIRED SITE DISTANCE BASED UPON AASHTO STANDARDS FOR THE POSTED SPEED LIMIT



LATTINTOWN ROAD SPEED LIMIT ALONG SITE FRONTAGE: 30 MPH
 MEASURED BY R. SMITHEN ON OCTOBER 23, 2020

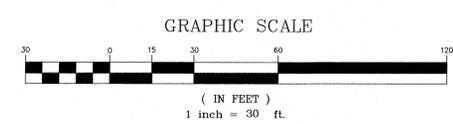
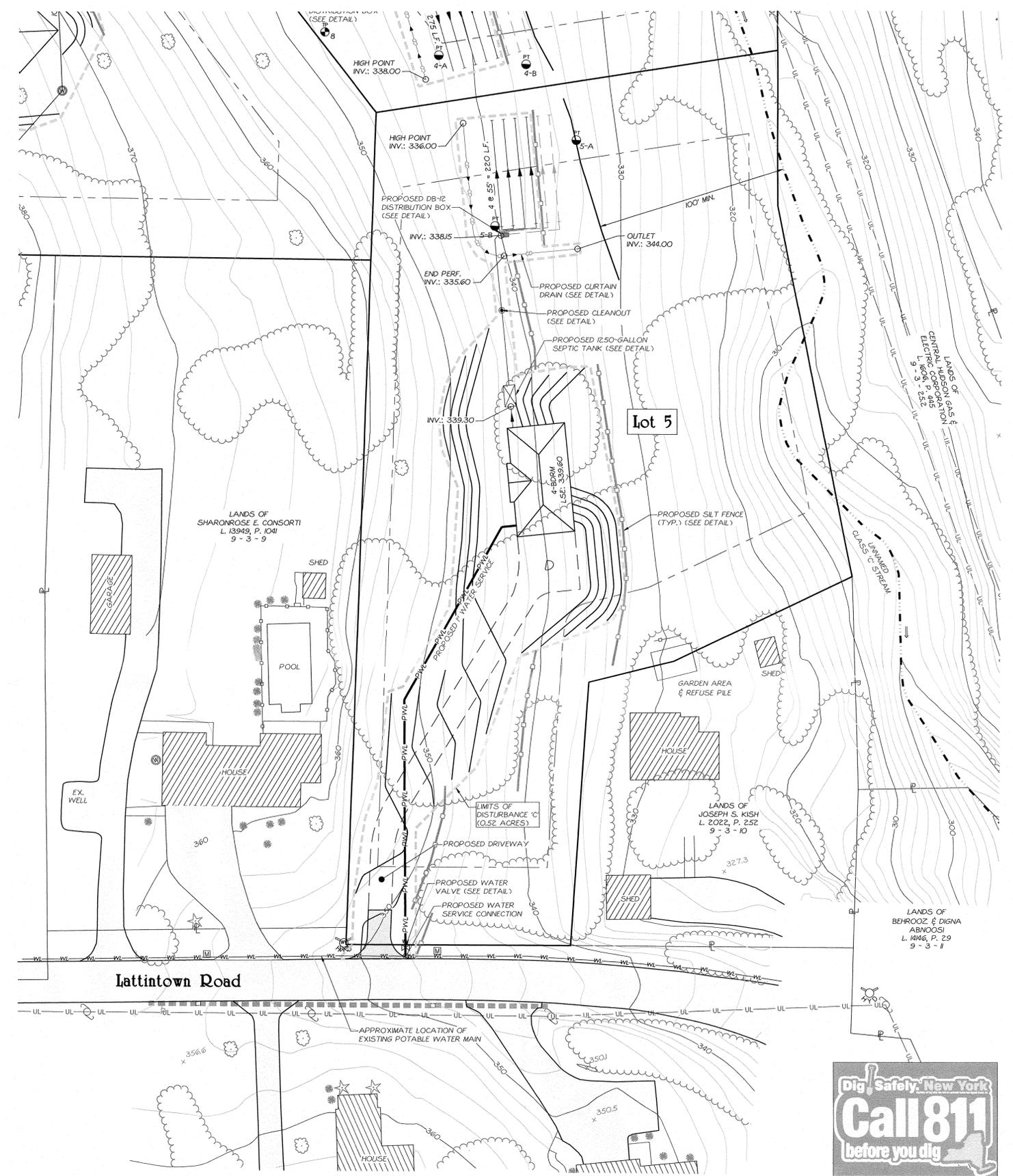
LOCATION	SIGHT LINE	DISTANCE	REQUIRED (1)	NOTES
LOT 5 PROPOSED DRIVE	1	1,455'	335'	LIMITED BY VERTICAL CURVATURE
	2	1,305'	290'	LIMITED BY VERTICAL CURVATURE

(1) REQUIRED SITE DISTANCE BASED UPON AASHTO STANDARDS FOR THE POSTED SPEED LIMIT



Legend

- PROPERTY LINE & CORNER
- SET 5/8" IRON ROD AT PROPERTY CORNER
- ADJOINER PROPERTY LINE
- DEED LIBER, PAGE
- TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
- EXISTING UTILITY POLE & LINE
- EXISTING CULVERT & SIZE
- STONE WALL
- APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE
- WATERCOURSE
- SIGN LOCATION
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- WATER VALVE
- MAILBOX
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- EXISTING TREE & SHRUBS
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- PROPOSED BUILDING
- PROPOSED SEPTIC TANK (SEE DETAIL)
- PROPOSED PUMP STATION (SEE DETAIL)
- PROPOSED CLEANOUT
- PROPOSED DISTRIBUTION BOX
- PROPOSED 4" PERFORATED SEWER LATERAL
- PROPOSED 4" PERFORATED SEWER RESERVE LATERAL
- PROPOSED SITE FENCE (SEE DETAIL)
- LIMITS OF DISTURBANCE



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NO.	DATE	REVISION	BY
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1	3-15-21	HIGHWAY COMMENTS	ZAP

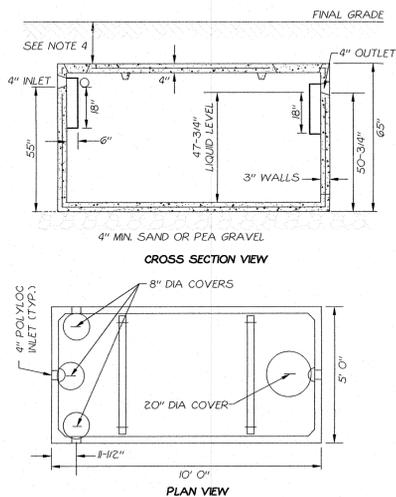
LAWRENCE MARSHALL PE #08707

Site Detail - B
 for
Malmark Construction Corp.

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
 P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
 TAX MAP PARCEL: 9-3-2
 TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK
 DRAFTED BY: ZAP
 DATE: OCTOBER 22, 2020
 PROJECT: 3807-3
 SHEET: 3 / 6



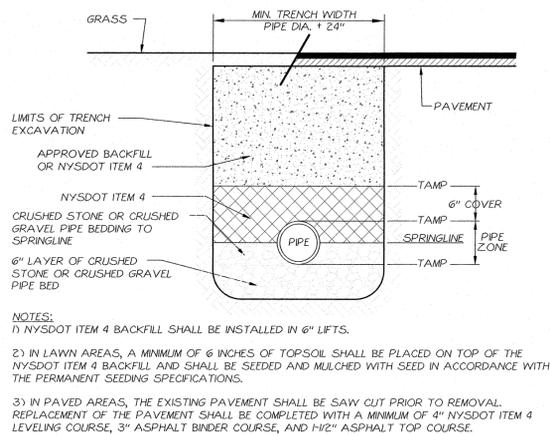


- NOTES:**
- 1.) SEPTIC TANK SHALL BE MODEL ST-1250, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915 (845) 361-3471
 - 2.) ALL PIPE JOINTS (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
 - 3.) INLET BAFFLE CAN BE RELOCATED TO THE SIDE.
 - 4.) IF COVER EXCEEDS 12" A RISER MUST BE USED TO ALLOW ACCESS.

CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. AT 28 DAYS
 STEEL REINFORCEMENT: 6" X 6" 10 GA. STEEL WIRE MESH
 #4 REBAR AROUND PERIMETER
 CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER CEMENT
 WEIGHT: 9,500 LBS
 LOAD RATING: 300 PSF

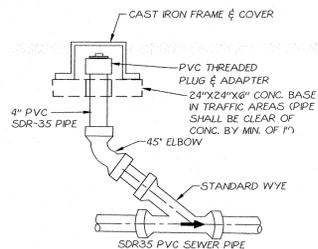
Typical Precast 1,250-Gallon Concrete Septic Tank

NOT TO SCALE



- NOTES:**
- 1.) NYSDOT ITEM 4 BACKFILL SHALL BE INSTALLED IN 6" LIFTS.
 - 2.) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE NYSDOT ITEM 4 BACKFILL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.
 - 3.) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 4" NYSDOT ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND 1/2" ASPHALT TOP COURSE.

Typical Trench Detail

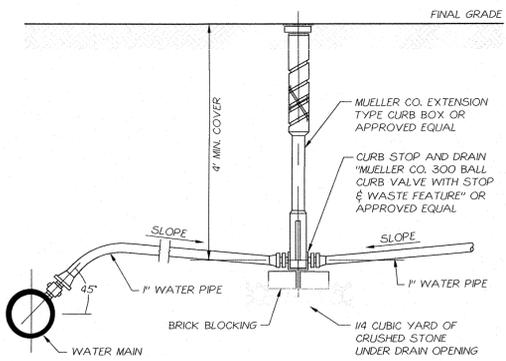


- NOTES:**
- 1.) CAST IRON FRAME & COVER AND CONCRETE BASE SHALL ONLY BE INSTALLED IF CLEANOUT IS IN VEHICULAR TRAFFIC AREAS.
 - 2.) IN LAWN AREAS, CLEANOUT SHALL BE INSTALLED A MINIMUM OF 4" ABOVE FINAL GRADE.

In-Line Sewer Cleanout

General Notes:

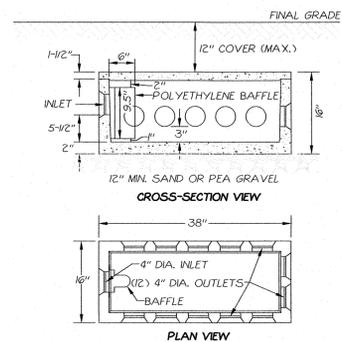
- 1.) PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- 2.) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.
- 3.) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
- 4.) NO DRIVEWAY, ROADWAY, PARKING AREAS, STRUCTURES OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
- 5.) ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.
- 6.) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.
- 7.) MAXIMUM GROUND SLOPE OF TILE FIELD AREA SHALL NOT EXCEED 15%.
- 8.) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
- 9.) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.
- 10.) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
- 11.) FLOW EQUALIZERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS.
- 12.) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE HOUSE SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.
- 13.) THE SEWER PIPE RUNNING FROM THE HOUSE TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE HOUSE. THE PIPE SHALL BE SCH 80 PVC OR CAST IRON.
- 14.) THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED, ANY RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN, TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE APPROVED BY THE DESIGN ENGINEER AND ORANGE COUNTY DEPARTMENT OF HEALTH (OCDOH).
- 15.) ALL WELLS AND SEPTIC SYSTEMS WITHIN 300 FEET THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC SYSTEMS ARE SHOWN ON THE PLANS.
- 16.) THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- 17.) HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNLIE COMPACTATION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.
- 18.) THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND REVIEWED AND APPROVED BY OCDOH. THE PROPOSED SEWAGE DISPOSAL SYSTEMS HAVE BEEN DESIGNED TO ACCOMMODATE A MAXIMUM OF 80 GALLONS PER DAY (GPD) FOR WATER TREATMENT SYSTEM BACKWASH, IF APPLICABLE.
- 19.) THE OWNER/APPLICANT OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES, INCLUDING A COPY OF THE NYSDOC WELL COMPLETION REPORT.
- 20.) SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- 21.) DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- 22.) A NEW YORK STATE LICENSED ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICE THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN TESTED FOR WATER TIGHTNESS.



- NOTES:**
- 1.) WATER SERVICE CONNECTION SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH DEPARTMENT OF PUBLIC WORKS.
 - 2.) THIS DETAIL APPLICABLE FOR LOT 5 ONLY.

Typical Water Service Detail

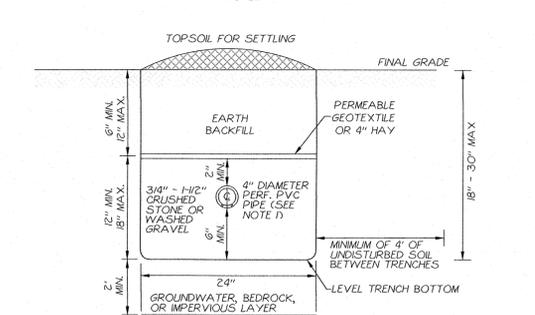
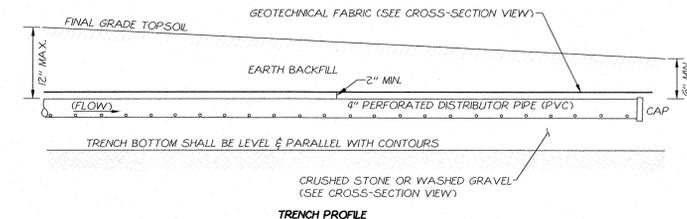
NOT TO SCALE



- NOTES:**
- 1.) DISTRIBUTION BOX SHALL BE MODEL DB-12, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915 (845) 361-3471
 - 2.) FLOW EQUALIZERS SHALL BE USED TO ENSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.
 - 3.) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
 - 4.) A SANITARY TEE, 90° ELBOW, OR OTHER APPROVED BAFFLE SHALL BE INSTALLED AT THE INLET.
 - 5.) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.
 - 6.) DISTRIBUTION BOXES SHALL BE SIZED TO ACCOMMODATE THE PRIMARY SYSTEM AND 50% RESERVE AREA.
 - 7.) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

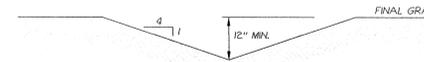
Typical Precast Concrete Distribution Box

NOT TO SCALE



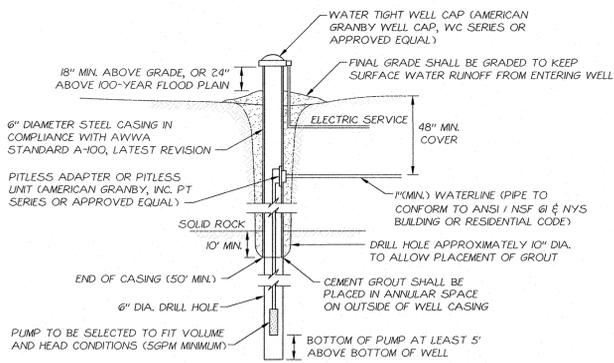
- NOTES:**
- 1.) DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN.
 - 2.) DO NOT INSTALL TRENCHES IN WET SOIL. TRENCH SIDES AND BOTTOMS SHALL BE RAKED PRIOR TO INSTALLATION OF GRAVEL.
 - 3.) THE END OF EACH LATERAL SHALL BE CAPPED.
 - 4.) LATERALS SHALL BE SLOPED 1/8" - 1/32" PER FOOT FOR GRAVITY SYSTEMS.
 - 5.) LATERALS SHALL BE INSTALLED SIX (6) FEET ON CENTER, MINIMUM MAINTAIN A MINIMUM OF FOUR (4) FEET OF UNDISTURBED SOIL BETWEEN TRENCHES.

Absorption Trench Detail



NOTE: THE DIVERSION SWALE SHALL BE SEEDED & MULCHED IMMEDIATELY FOLLOWING CONSTRUCTION

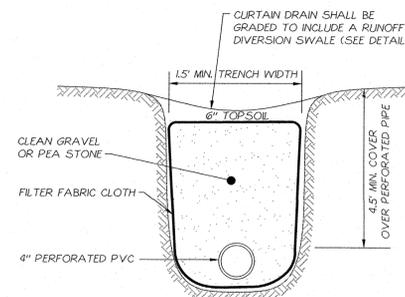
Diversion Swale Detail



- NOTES:**
- 1.) WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2 OF THE NEW YORK STATE DEPARTMENT OF HEALTH (NYSDOH) APPENDIX 5-B "STANDARDS FOR WATER WELLS."
 - 2.) THE WELL CAP MUST BE A MINIMUM OF TWO (2) FEET ABOVE THE 100 YEAR FLOOD ELEVATION.
 - 3.) THE END OF WELL CASING SHALL EXTEND TO A MINIMUM DEPTH OF 50 FEET.
 - 4.) THIS DETAIL APPLICABLE FOR LOTS 1, 2, 3, & 4.

Typical Well Detail

NOT TO SCALE



- NOTES:**
- 1.) A 15' MINIMUM SEPARATION IS REQUIRED TO THE ABSORPTION TRENCHES.
 - 2.) THE CURTAIN DRAIN SHALL HAVE A MINIMUM SLOPE OF 0.5%.
 - 3.) THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SCREENED OUTLET.

Curtain Drain Detail

NOT TO SCALE

<p>"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW." "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES." "CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."</p>							
NO.	DATE	REVISION	BY	LAWRENCE MARSHALL	PE #087107		

Water & Sewer Detail Sheet II
 for
Malmark Construction Corp.

TOWN OF NEWBURGH
 COUNTY OF ORANGE
 STATE OF NEW YORK

DRAFTED BY: ZAP
 DATE: OCTOBER 22, 2020
 PROJECT: 3807-3
 SHEET: 6 / 6

Mercurio-Norton-Tarolli-Marshall
 ENGINEERING - LAND SURVEYING
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
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