



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: HILLSIDE LAND DEVELOPMENT
PROJECT NO.: 22-27
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 66/24 JEANNE DRIVE
REVIEW DATE: 27 JANUARY 2023
MEETING DATE: 2 FEBRUARY 2023
PROJECT REPRESENTATIVE: FELLENER ENGINEERING, LLP

1. This office previously requested the wetland delineation information. The wetland delineation appears to be from 13 April 2005. An updated Wetland Evaluation should be provided.
2. Proposed Grading Plan has been significantly revised in the wetland areas. A Stormwater Pollution Prevention Plan in compliance with Town of Newburgh and NYSDEC requirements must be submitted.
3. Soil testing results for subsurface sanitary sewer disposal system should be placed on the plans. Newburgh does not require percolation and deep testing be witnessed. Septic system design should be provided.
4. The top and bottom of wall elevations for the proposed retaining wall should be depicted on the plans.
5. The water details identify concrete thrust locks. Town of Newburgh requires mechanical joint restraint and does not permit concrete thrust locks. Typical details should be revised consistent with Town of Newburgh requirements.
6. A Restraint Joint Pipe Chart should be added to the plans. See Town of Newburgh notes on Sheet C-002 #3.
7. The fire protection line must be valved such that termination of the fire protection line terminates potable water to the structure. Attached schematic detail is provided.
8. The Bulk Table has been revised to identify a 28 foot high building.
9. The Tree Preservation Ordinance must be addressed on future plan submissions.
10. Lead Agency circulation was sent on 7 December 2022. Response from NYS Office of Parks, Recreation & Historic Preservation has been received identifying *No Impact*. Planning Board can declare itself Lead Agency for review of the project.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal
PJH/kbw

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



Principals:

Mark D. Fellenzer, P.E., LEED AP
John D. Fellenzer, P.E., MBA, LEED Green Associate

Founder:

Archie D. Fellenzer, Jr., P.E.
(1924 - 2014)

January 18, 2023

Town of Newburgh Planning Department
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Attention: Mr. John Ewasutyn, Planning Board Chairman

Subject: Hillside Land Development #2022-27
24 Jeanne Drive, Newburgh, NY
Fellenzer Engineering Project 19-049

Dear Mr. Chairman,

Please find attached proposed site plans in regards to the above referenced project. We have received the MHE technical review comments dated 11/22/22 and offer the following responses in italics below:

1. Calculation for a wetland disturbance on the site should be provided. A wetland delineation should be submitted for the Planning Board's files.

FE Response: A wetland disturbance calculation has been provided. Total proposed wetland disturbance remains to be less than 0.1 acres. Refer to drawing C-101. Wetland delineation and notes also provided on drawing C-001.

2. Commercial sites are required to be curbed. Curbing details and location of all curbing on the project site should be provided.

FE Response: Curbing and curbing details have been included on the plans. Refer to C-101 and detail 7/C-901.

3. The building height should be specifically identified. Building height in the Bulk Table is identified as less than 40 ft. Building in excess of 30 ft. require aerial access drives with a minimum width of 26 feet.

FE Response: Building height will be 28 ft and is now noted on the Bulk Table.

**HILLSIDE LAND DEVELOPMENT – 24 JEANNE DRIVE
FE PROJECT# 19-049**

4. Comments from the Jurisdictional fire Department and/or Code Enforcement Department should be received regarding a fire hydrant on the site.

FE Response: Comments will be requested from the local fire department or the Code Enforcement Department.

5. Building will be required to be sprinklered. Water service details consistent with the attached Town requirement must be provided on the plan. Location of the water service plan must be depicted.

FE Response: Water service details and location have been added to the plans. Refer to sheet C-101.

6. Town of Newburgh Water and Sewer Notes must be added to the plan. (Standard notes are attached).

FE Response: Town notes have been added to the plans. Refer to sheet C-002.

7. A storm water Pollution Prevention Plan consistent with NYSDEC and Town of Newburgh requirements is required.

FE Response: A SWPPP consistent with NYSDEC and Town requirements will be provided.

8. Subsurface sanitary sewer design including percolation and deep testing should be provided.

FE Response: Percolation and deep testing will be conducted and added to the plans. Witnessing, if required by the Town, will be coordinated with the office of MHE.

9. Check 406 labeled contour between the pocket pond and the sediment forebay. Details for all Stormwater Management Facilities must be included in the submission.

FE Response: Grading in this area has been revised to reduce impact to wetlands. Stormwater details are provided on drawing C-402.

10. Project will be subject to ARB approval at a future date.

FE Response: No comment.

11. Landscape Plans should be developed for the site for approval by the Planning Board.

FE Response: Proposed landscaping plan has been included with this submission. See drawing C-701.

12. Based on the Vicinity Map provided, the project is outside the 500 foot limit to NYS Route 300 requiring County Planning submission.

FE Response: No comment.

**HILLSIDE LAND DEVELOPMENT – 24 JEANNE DRIVE
FE PROJECT# 19-049**

13. Provisions of Section 185-13D9a regarding landscaping of the parking lots must be addressed on the Landscape Plan.

FE Response: Per this provision, a landscaping aisle within the parking lot has been added. See drawing C-701.

14. The recently adopted Tree Preservation Ordinance should be reviewed by the applicant's representative. A survey and report regarding the Tree Preservation Ordinance should be submitted for review.

FE Response: A tree survey will be coordinated and provided for review.

We look forward to discussing the application with you at the February 2nd Planning Board meeting

Sincerely,

A handwritten signature in black ink, appearing to read "R. Fellenzer". The signature is stylized and cursive.

Ryan D. Fellenzer, PE
Project Engineer

attachment

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1549 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1549 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1549 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____</p>	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

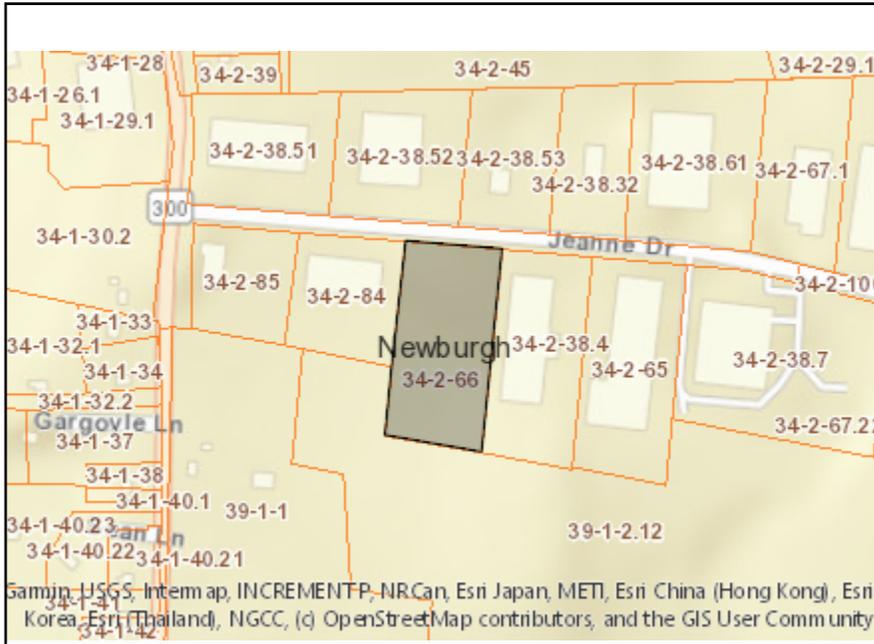
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature *Ryan Fallenger* Title _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

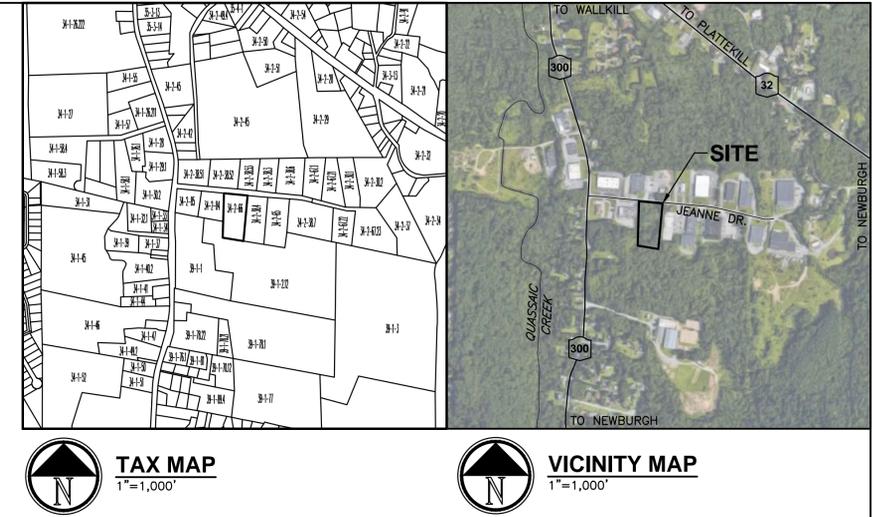


B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

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 Date: Wed, Jan 18, 2023 - 11:32 AM (Name: vmb)

SITE PLAN FOR HILLSIDE LAND DEVELOPMENT 24 JEANNE DRIVE NEWBURGH, NY



BULK REQUIREMENTS
 TOWN OF NEWBURGH
 1B DISTRICT
BULK TABLE REQUIREMENTS

BULK ITEM	MINIMUM REQUIRED	
	REQUIRED	PROVIDED
LOT AREA (AC)	40,000	133,889
LOT WIDTH (FT)	150	257
LOT DEPTH (FT)	150	520
FRONT SETBACK (FT)	50	78
REAR SETBACK (FT)	60	270
ONE SIDE (FT)	30	30
BOTH SIDES (FT)	80	94

BULK ITEM	MAXIMUM PERMITTED	
	PERMITTED	PROVIDED
BUILDING COVERAGE (%)	40	19.9
BUILDING HEIGHT (FT)	40	28
LOT SURFACE COVERAGE (%)	60	45.8

PROPERTY ADDRESS 24 JEANNE DRIVE NEWBURGH, NY 12550
TAX MAP SECTION 34, BLOCK 2, LOT 66 TOWN OF NEWBURGH, NY
OWNER & DEVELOPER ATTN: PAUL HOFFNER 142 ROUTE 17K NEWBURGH, NY 12550
EXISTING USE VACANT
PROPOSED USE WAREHOUSE
REFERENCE "MAP OF SURVEY FOR THE LANDS OF HILLSIDE LAND DEVELOPMENT" BY OSWALD & GILLESPIE CONSULTING ENGINEERS AND SURVEYORS DATED: JULY 18, 2003

DRAWINGS LIST:

PAGE	SHEET	SHEET TITLE
1.	TS-1	TITLE SHEET
2.	C-001	EXISTING CONDITIONS
3.	C-002	GENERAL NOTES SHEET
4.	C-101	SITE PLAN
5.	C-401	STORMWATER PLAN
6.	C-401	STORMWATER PLAN
7.	C-701	LANDSCAPING PLAN
8.	C-901	DETAILS

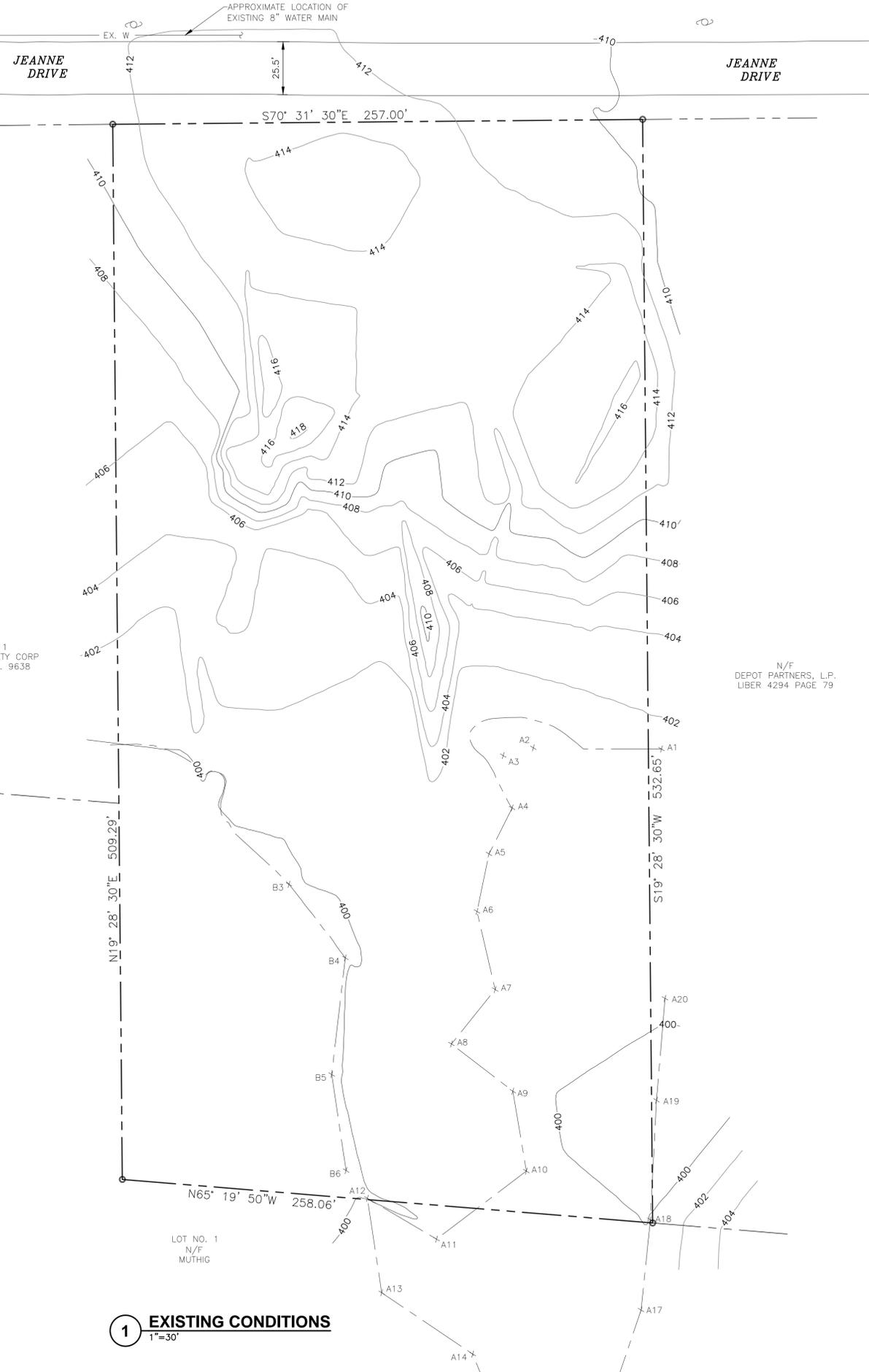
NOTES:

- INDIVIDUAL SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONDUCTED OR USED WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.
- ORANGE COUNTY DEPARTMENT OF HEALTH PLAN APPROVAL IS LIMITED TO 5 YEARS. TIME EXTENSIONS FOR PLAN APPROVAL MAY BE GRANTED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH BASED UPON REGULATIONS IN EFFECT AT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- U DIG NY MUST BE CONTACTED PRIOR TO ANY EXCAVATION OR DEMOLITION (DIAL 811 OR www.UdigNY.org).

1	1/18/23	REVISED PER PB COMMENTS							
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:				
<p>REFERENCE SCALE</p>									
<p>UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.</p>									
<p>FELLENZER ENGINEERING LLP <small>www.fellp.com</small></p> <p>22 Mulberry St., Suite 2A, Middletown, NY 10940 181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-343-1481 fx 845-343-4986 t 845-454-9704 fx 855-320-8735</p>									
STAMP:		PROJECT TITLE: JEANNE DRIVE SITE PLAN							
		DRAWING TITLE: TITLE SHEET							
DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY P.E.: RDF	APPROVED BY P.E.: MDF	DRAWING #: TS-1					
DATE: 11/01/2022	SCALE: AS SHOWN	FE PROJECT #: 19-049		PAGE 1 OF 8					



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LEGEND

- EXISTING PROPERTY LINE
- PROPERTY LINE SETBACK
- EXISTING MAJOR CONTOUR ELEVATION
- EXISTING MINOR CONTOUR ELEVATION
- EXISTING WETLAND BOUNDARY
- EXISTING HYDROLOGIC SUB BASIN BOUNDARY
- EXISTING HYDROLOGIC TIME OF CONCENTRATION
- EXISTING WETLAND FLAG
- EXISTING UTILITY POLE

NOTES:

1. WETLAND DELINEATION REFERENCED FROM SITE PLAN FOR HILLSIDE DEVELOPMENT INC. BY OSWALD & GILLESPIE, P.C., SHEET NO. 1 OF 3, DATED FEBRUARY 10, 2004, LAST REVISED ON JULY 28, 2004.
2. WETLAND DELINEATION CONDUCTED BY MICHAEL NOWICKI OF ECOLOGICAL SOLUTIONS, LLC AND JURISDICTIONALLY APPROVED BY THE ARMY CORPS OF ENGINEERS ON APRIL 13, 2005.

File Name: C:\Users\mb\AppData\Local\Temp\AcPublish_5796\C-001.dwg (Layout: C-001)
Date: Wed, Jan 18, 2023 - 11:32 AM (Name: vmb)

N/F
DEPOT PARTNERS, L.P.
LIBER 4294 PAGE 79

1 EXISTING CONDITIONS
1"=30'

1	1/18/23	REVISED PER PB COMMENTS									
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:						
<p>REFERENCE SCALE</p>											
<p>UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.</p>											
<p>FELLENER III ENGINEERING LLP www.felip.com</p>											
<p>22 Mulberry St., Suite 2A, Middletown, NY 10940 t 845-343-1481 fx 845-343-4986</p>				<p>181 Church St., Suite 100, Poughkeepsie, NY 12601 t 845-454-9704 fx 855-320-8735</p>							
STAMP:		PROJECT TITLE:									
		<p>JEANNE DRIVE SITE PLAN SECTION 34, BLOCK 2, LOT 66.</p>									
DRAWING TITLE: EXISTING CONDITIONS											
DESIGNED BY:	DRAWN BY:	APPROVED BY P.M.:	APPROVED BY P.I.C.:	DRAWING #:							
JB	VMB	RDF	MDF	C-001							
DATE:	SCALE:	FE PROJECT #:									
11/01/2022	AS SHOWN	19-049									



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**ORANGE COUNTY DEPARTMENT OF HEALTH
SEPTIC SYSTEM NOTES:**

- THERE WILL BE NO REGRADING OR COMPACTING IN THE AREA OF THE PROPOSED TILE FIELD. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE TILE FIELD EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE TILE FIELD AREA BEFORE, DURING OR AFTER CONSTRUCTION.
- SANITARY FACILITIES ARE NOT TO BE RELOCATED OR REDESIGNED WITHOUT REVIEW BY THE ORANGE COUNTY DEPARTMENT OF HEALTH OR TOWN OF NEWBURGH.
- CELLAR, ROOF AND FOOTING DRAINS SHALL NOT BE DISCHARGED INTO THE SEPTIC SYSTEM OR IN THE VICINITY OF THE TILE FIELD.
- CONSTRUCTION OF THE SANITARY FACILITIES SHALL BE PERFORMED UNDER THE GUIDANCE OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN NEW YORK STATE. CERTIFICATION THAT THE INSTALLATION WAS MADE IN ACCORDANCE WITH APPROVED PLANS WILL BE MADE TO THE ORANGE COUNTY OFFICE OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE LOCAL CODE ENFORCEMENT OFFICER. THE CERTIFICATION SHALL INCLUDE THAT THE SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS AND THAT THE TANK WAS INSTALLED IN ACCORDANCE WITH APPENDIX 75-A.
- NO SWIMMING POOLS, DRIVEWAYS OR OTHER STRUCTURES THAT MAY COMPACT THE GROUND SHALL BE PLACED OVER ANY PORTION OF THE TILE FIELD.
- THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK TO THE BUILDING, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- THE SEPTIC TANK SHALL BE A 1,000 GALLON CONCRETE TANK AS SHOWN ON PLANS, BY WOODARDS CONCRETE PRODUCTS, BULLVILLE, NEW YORK OR AN APPROVED EQUAL. A CERTIFICATION SHALL BE INCLUDED THAT THE SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS AND THAT THE TANK WAS INSTALLED IN ACCORDANCE WITH APPENDIX 75-A.
- ANY CHANGE IN DIRECTION OF SOLID TILE SEWAGE PIPE WILL REQUIRE A CLEANOUT.
- THE SEWAGE DISPOSAL SYSTEM HAS NOT BEEN DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE TUB OVER 100 GALLONS OR WATER SOFTENERS. AS SUCH, THESE ITEMS SHOULD NOT BE INSTALLED UNLESS THE SEWAGE DISPOSAL SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM AND APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- THE ORANGE COUNTY DEPARTMENT OF HEALTH AND TOWN OF NEWBURGH SANITARY REVIEW ENGINEER MUST BE CONTACTED 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION TO SCHEDULE A REVIEW OF THE INSTALLATION.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND ELEVATIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL VERIFY INVERTS OF ALL NEW UNITS INSTALLED BY THIS CONTRACT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER SHOWING INVERT ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
- ALL PLUMBING SHALL CONFORM TO THE NEW YORK STATE PLUMBING CODE, LATEST EDITION.
- ANY MODIFICATIONS OR ADDITIONS TO THIS DESIGN MUST RECEIVE APPROVAL BY THE ORANGE COUNTY DEPARTMENT OF HEALTH AND TOWN OF NEWBURGH PRIOR TO EXECUTION BY CONTRACTOR.
- ALL JOINTS BETWEEN PIPING AND SEPTIC SYSTEM COMPONENTS (ie. SEPTIC TANK, & DISTRIBUTION BOXES) SHALL BE SEALED WATERTIGHT WITH NONSHRINK GROUT.
- TRENCH SHALL NOT BE INSTALLED IN WET SOIL. THE SIDES AND BOTTOM OF TRENCHES MUST BE RAKED. THE ENDS OF THE LATERALS MUST BE CAPPED.
- THE OWNER/APPLICANT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES.
- BACKFILL INTO ANY TRENCH SHALL NOT HAVE ANY DIMENSION EXCEEDING 4". FILL TO BE ACCEPTABLE BY THE ENGINEER.
- SEWAGE DISPOSAL SYSTEM SHALL ONLY RECEIVE SANITARY WASTES.
- PRIOR TO COMMENCEMENT OF OPERATION, A LETTER MUST BE SUBMITTED TO THE ORANGE COUNTY DEPARTMENT OF HEALTH AND TOWN OF NEWBURGH BY A N.Y.S. LICENSED PROFESSIONAL ENGINEER CERTIFYING THE ARRANGEMENTS OF THIS SEWAGE DISPOSAL SYSTEM IS INSTALLED IN ACCORDANCE WITH THESE PLANS.
- UTILIZATION OF THE EXPANSION AREA REQUIRES A NEW DESIGN BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND THE PERMISSION OF THE ORANGE COUNTY DEPARTMENT OF HEALTH AND TOWN OF NEWBURGH.
- SEPTIC TANKS SHALL BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS. DISTRIBUTION BOXES SHALL BE INSPECTED ANNUALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.
- MINIMUM DISTANCE FROM ANY WELL TO ANY SEPTIC SYSTEM AT A HIGHER ELEVATION SHALL BE 300'. NO KNOWN WELLS EXIST WITHIN 200' OF S.D.S.
- THE MINIMUM DISTANCE FROM ANY SEPTIC SYSTEM TO ANY PRIVATE WELL IS 100' WHEN THE WELL IS AT A HIGHER ELEVATION.
- MINIMUM DISTANCE FROM SEPTIC SYSTEM TO ANY PUBLIC WELL SHALL BE 200 FT.
- THE FIRST 10" OF ALL OUTLET PIPES FROM THE DISTRIBUTION BOX MUST HAVE THE SAME INVERT AND THE SAME EXISTING SLOPE. SPEED LEVELERS SHALL BE USED IN EACH LATERAL TO ENSURE ALL INVERTS ARE THE SAME WITHIN THE DISTRIBUTION BOX.
- THE TOPS OF THE SEPTIC TANK AND THE DISTRIBUTION BOX SHALL BE NO MORE THAN 12" BELOW THE FINISHED GRADE WHEN ALL WORK IS COMPLETE. ORIGINAL GRADE SHALL BE MODIFIED ACCORDINGLY TO PROVIDE 12" OF COVER AT ALL INVERT ELEVATIONS.
- ALL OUTLET PIPES FROM DISTRIBUTOR BOX MUST HAVE THE SAME INVERT AND THE SAME EXISTING SLOPE FOR AT LEAST THE FIRST 10 FEET.

TOWN OF NEWBURGH NOTES:

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDDH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C10/A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/4 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 3/4 AND 1 INCH AND MUELLER B-25204N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1 1/2 AND 2 INCH SIZES.
- PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

TOWN SEWER SYSTEM NOTES:

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

SITE - CIVIL GENERAL NOTES:

- CONTRACTOR, AT THEIR OWN EXPENSE, SHALL ABIDE BY THE LATEST EDITIONS OF ALL OSHA REGULATIONS AND REQUIREMENTS.
- THERE SHALL BE NO CLAIMS AGAINST ORANGE COUNTY FOR WORK STOPPAGES DUE TO ACTS OF GOD, WEATHER CONDITIONS, STOP WORK ORDERS (VERBAL AND/OR WRITTEN), UNDERESTIMATION OF WORK, ESTIMATED QUANTITIES, MATERIALS, SUPPLIES, TOOLS, CORRECTION OF SAFETY PROBLEMS, OR ANY OTHER REASON.
- ALL QUANTITIES SHOWN ON THE DRAWING ARE ESTIMATED QUANTITIES ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY AND ASCERTAIN ALL EXISTING CONDITIONS, DIMENSIONS AND QUANTITIES.
- ALL WORK SHALL BE PERFORMED BY THOSE WHO ARE SKILLED IN THEIR TRADE TO PRODUCE A FIRST CLASS JOB. THE CONTRACTOR IS ADVISED THAT WORK DEEMED UNSUITABLE, UNACCEPTABLE, SECOND CLASS IN NATURE BY BIG SHINE WORLDWIDE SHALL BE DEEMED NON-ACCEPTABLE AND THE CONTRACTOR SHALL REMOVE, REPLACE, RE-DO, TO THE SATISFACTION OF BIG SHINE WORLDWIDE, THE UNACCEPTABLE WORK AT NO ADDITIONAL COST TO THE OWNER. THERE SHALL BE NO ADDITIONAL CLAIMS AGAINST BIG SHINE WORLDWIDE FOR THE ABOVE.
- ROAD WAYS, BUILDING EMERGENCY ACCESS AREAS, AND BUILDING ENTRY AND EXITS AREAS ARE TO BE KEPT CLEAR AT ALL TIMES.
- CONTRACTOR SHALL USE DIG SAFELY NY. "CALL 811".
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND ASCERTAIN IN THE FIELD, ALL EXISTING UTILITIES, EXISTING CONDITIONS, FIELD MEASUREMENTS, DIMENSIONS, AND QUANTITIES RELATED TO THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND ASCERTAIN THE LOCATION, DEPTH, DIRECTION, AND SIZE OF ANY AND ALL UTILITIES EXISTING IN THE GENERAL VICINITY OF THE WORK AREA.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY UTILITY DISRUPTED, BROKEN OR OTHERWISE RENDERED NON-FUNCTIONAL DUE TO THE WORK PERFORMED AT NO ADDITIONAL COST TO BIG SHINE WORLDWIDE DURING THIS COURSE OF WORK.
- THE CONTRACTOR SHALL IDENTIFY ANY NON-FUNCTIONING UTILITY/SYSTEM, PRIOR TO THE START OF WORK TO ORANGE COUNTY. IDENTIFICATION OF SUCH AFTER THE START OF WORK SHALL BE DEEMED AS DISTURBED/DAMAGED BY THE CONTRACTOR AND SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SUPPORT ANY UTILITY ENCOUNTERED IN THE COURSE OF THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL ADD BARRIERS, SECURE ALL EXTERIOR WORK AND STAGING AREAS WITH ACCEPTABLE FENCING.
- THE CONTRACTOR SHALL NOT LEAVE THE WORK AREA UNATTENDED FOR ANY REASON, UNLESS SAFETY PARTITIONS, SAFETY FENCING AND COVERING FOR ALL OPEN TRENCHES ARE INSTALLED AND SECURED.
- THE CONTRACTOR SHALL LEAVE THE WORK SITE CLEAN AND SECURED AT THE END OF EACH WORKING DAY. THE WORK SITE SHALL NOT BE LEFT UNATTENDED AT ANY TIME BY THE CONTRACTOR UNLESS THE WORK AREA IS PROPERLY SECURED BY THE CONTRACTOR.
- THE CONTRACTOR IS ADVISED THAT THEY ARE SOLELY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE AND SHALL TAKE ALL ACTIONS TO ELIMINATE ANY SAFETY HAZARDS THAT SHALL EXIST AND POSE A THREAT OF HARM TO STUDENTS, EMPLOYEES OF BIG SHINE WORLDWIDE, EMPLOYEES OF THE CONTRACTOR OR OTHER(S). IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO TAKE IMMEDIATE ACTION TO ALLEVIATE ANY SAFETY HAZARD THAT MAY EXIST WITHOUT DIRECTION FROM BIG SHINE WORLDWIDE.
- CONTRACTOR SHALL SAW CUT WITH PROPER BLADE ANY ROADS, CURBS AND SIDEWALKS ENCOUNTERED IN THE COURSE OF THIS WORK.
- ALL HOLES SHALL BE CORE-DRILLED WITH DIAMOND CORE BITS.
- CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL DEBRIS FROM THE SITE DAILY AND DISPOSE OF SAME OFF SITE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN THE WORK SITE IN A NEAT AND CLEAN CONDITION. THE WORK SITE SHALL BE CLEANED DAILY OF CONSTRUCTION DEBRIS.
- SUB-GRADE FILL TO BE COMPACTED TO 95% STANDARD PROCTOR RELATIVE DENSITY AND PAVEMENT AREAS SHALL HAVE SUB-GRADE COMPACTED TO 95% MODIFIED RELATIVE DENSITY PER AASHTO REQUIREMENTS.
- ALL ESTABLISHED EGRESS ROUTES SHALL REMAIN CLEAR AT ALL TIMES.
- ALL WORK SHALL BE CONDUCTED WITHIN THE APPROVED FENCING PLAN AREA.
- ALL CONSTRUCTION VEHICLES WILL HAVE A FUNCTIONING BACKUP ALARM.
- CONTRACTOR TO VERIFY LOCATION AND LSE FOR ALL BUILDINGS PRIOR TO START OF CONSTRUCTION. LSE NOT LISTED ARE ASSUMED TO BE APPROXIMATELY 4' BELOW GRADE.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL AND STATE PERMITS PRIOR TO COMMENCEMENT OF WORK.

E&S NOTES:

- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- CONSTRUCTION VEHICLES AND EQUIPMENT ENTERING AND EXITING THE SITE MUST ENTER AND EXIT AT THE STABILIZED CONSTRUCTION ENTRANCE LOCATION(S) ONLY. MEASURES MUST BE TAKEN TO PREVENT SOIL AND SEDIMENT FROM A VEHICLE'S TIRES FROM BEING DEPOSITED ONTO THE PUBLIC ROADS.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO THE TOWN OF NEWBURGH COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS THAT MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE TOWN OF NEWBURGH.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE TOWN OF NEWBURGH, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- THE E&S CONTROL PLAN MAPPING MUST DISPLAY A NY ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.)
- EROSION AND SEDIMENT BMPs (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

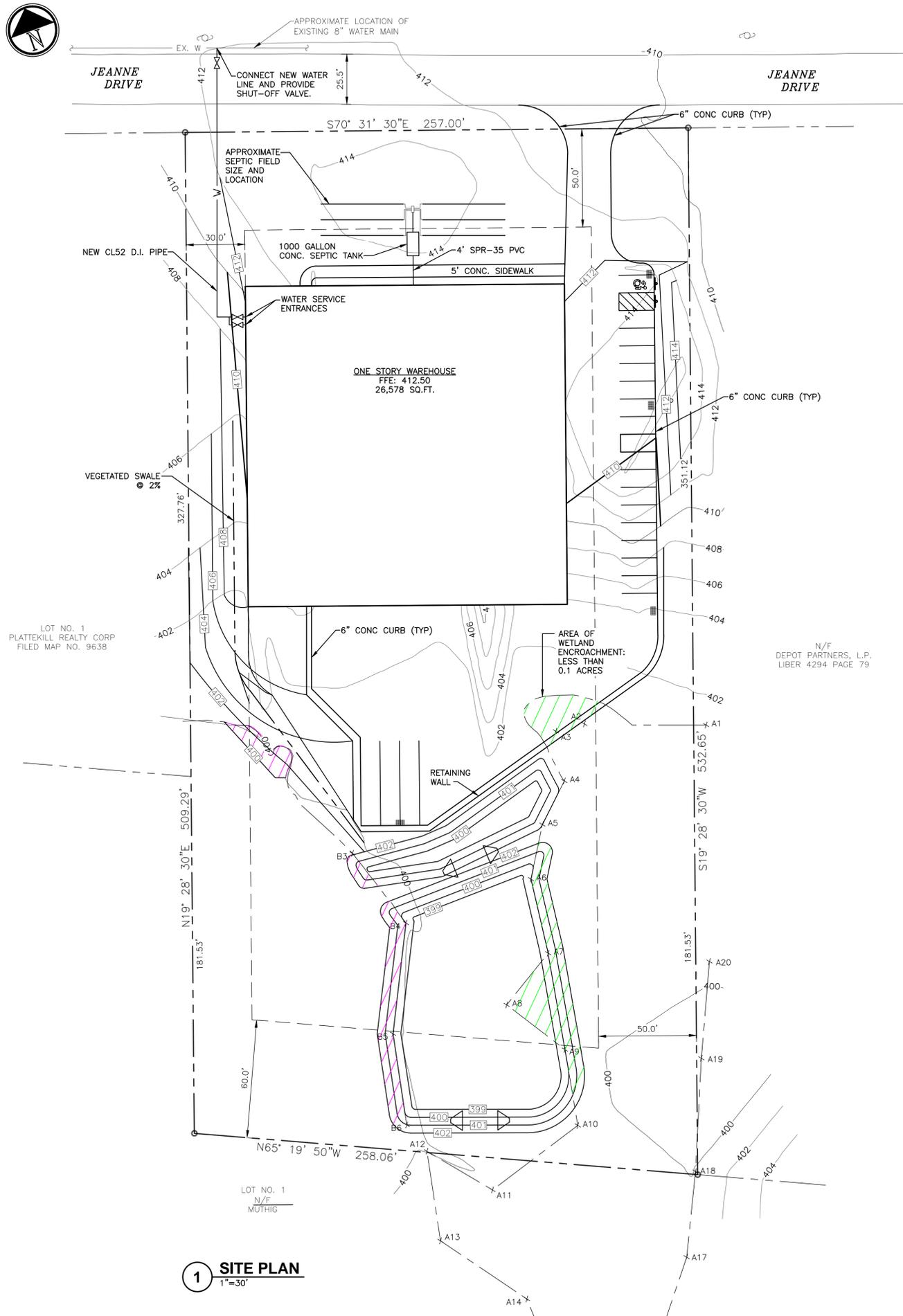
BMPs - AFTER DISTURBANCE

- WITHIN FOURTEEN (14) DAYS OF ACHIEVING FINAL SITE STABILIZATION, TEMPORARY EROSION AND SEDIMENT BMPs CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 80% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

1	1/18/23	REVISED PER PB COMMENTS			
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
<p>REFERENCE SCALE</p>					
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<p>FELLENZER ENGINEERING LLP <small>www.felpp.com</small></p> <p>22 Mulberry St., Suite 2A, Middletown, NY 10940 1845-343-1481 fx 845-343-4986</p> <p>181 Church St., Suite 100, Poughkeepsie, NY 12601 1845-454-9704 fx 855-320-8735</p>					
STAMP:		PROJECT TITLE:			
		<p>JEANNE DRIVE SITE PLAN SECTION 34, BLOCK 2, LOT 66.</p>			
		<p>DRAWING TITLE:</p> <p>GENERAL NOTES SHEET</p>			
DESIGNED BY:	DRAWN BY:	APPROVED BY P.M.:	APPROVED BY P.C.:	DRAWING #:	
JB	VMB	RDF	MDF	C-002	
DATE:	SCALE:	FE PROJECT #:	PAGE 3 OF 8		
11/01/2022	AS SHOWN	19-049			



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1 SITE PLAN
1"=30'

PARKING CALCULATIONS:

TOTAL REQUIRED PARKING SPACES = 23 EMPLOYEES X 2 PARKING SPACES/3 EMPLOYEES = 15
 TOTAL PROVIDED PARKING SPACES = 16
 REQUIRED ADA PARKING SPACES = 1

* OFF-STREET PARKING REQUIREMENTS PER SECTION 185-13.C(B) FOR WAREHOUSE USE

TOTAL REQUIRED TRUCK LOADING SPACES = 25,000 - 39,999SF = 2
 TOTAL PROVIDED TRUCK LOADING SPACES = 3

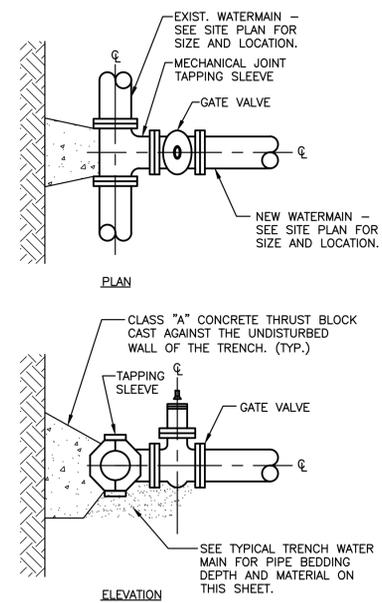
* OFF-STREET TRUCK LOADING PARKING REQUIREMENTS PER SECTION 185-13.B.6

SEPTIC LOAD CALCULATIONS:

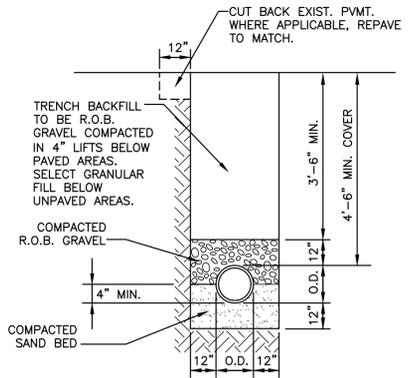
SEPTIC LOAD = 23 EMPLOYEES x 15 GPD = 345 GPD
 ASSUMED PERC RATE = 16-20 MIN.
 TOTAL REQUIRED LINEAR FEET OF SEPTIC FIELD = 247 LF
 TOTAL PROVIDED LINEAR FEET OF SEPTIC FIELD = 6 LATERALS x 42 LF = 252 LF

WETLAND DISTURBANCE CALCULATIONS:

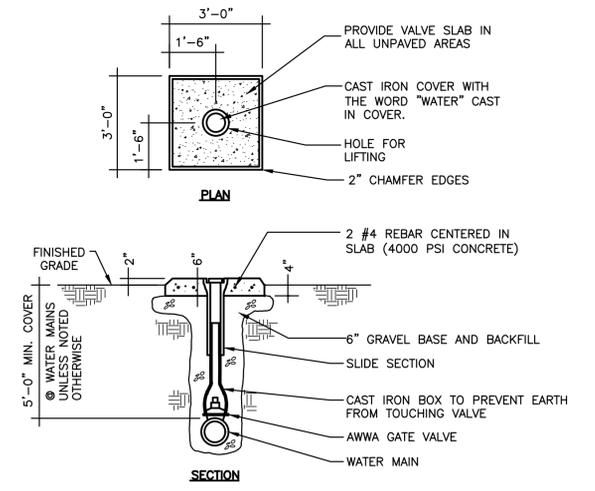
WETLAND A AREA = 2,288FT² = 0.05 ACRES
 WETLAND B AREA = 1,392FT² = 0.03 ACRES
 TOTAL DISTURBANCE AREA = 3,680FT² = 0.08 ACRES



2 TAPPING SLEEVE & GATE VALVE DETAIL
N.T.S.



3 TYPICAL TRENCH - WATER MAIN DETAIL
N.T.S.



3 VALVE BOX AND VALVE SLAB
N.T.S.

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
1	1/18/23	REVISED PER PB COMMENTS			

REFERENCE SCALE

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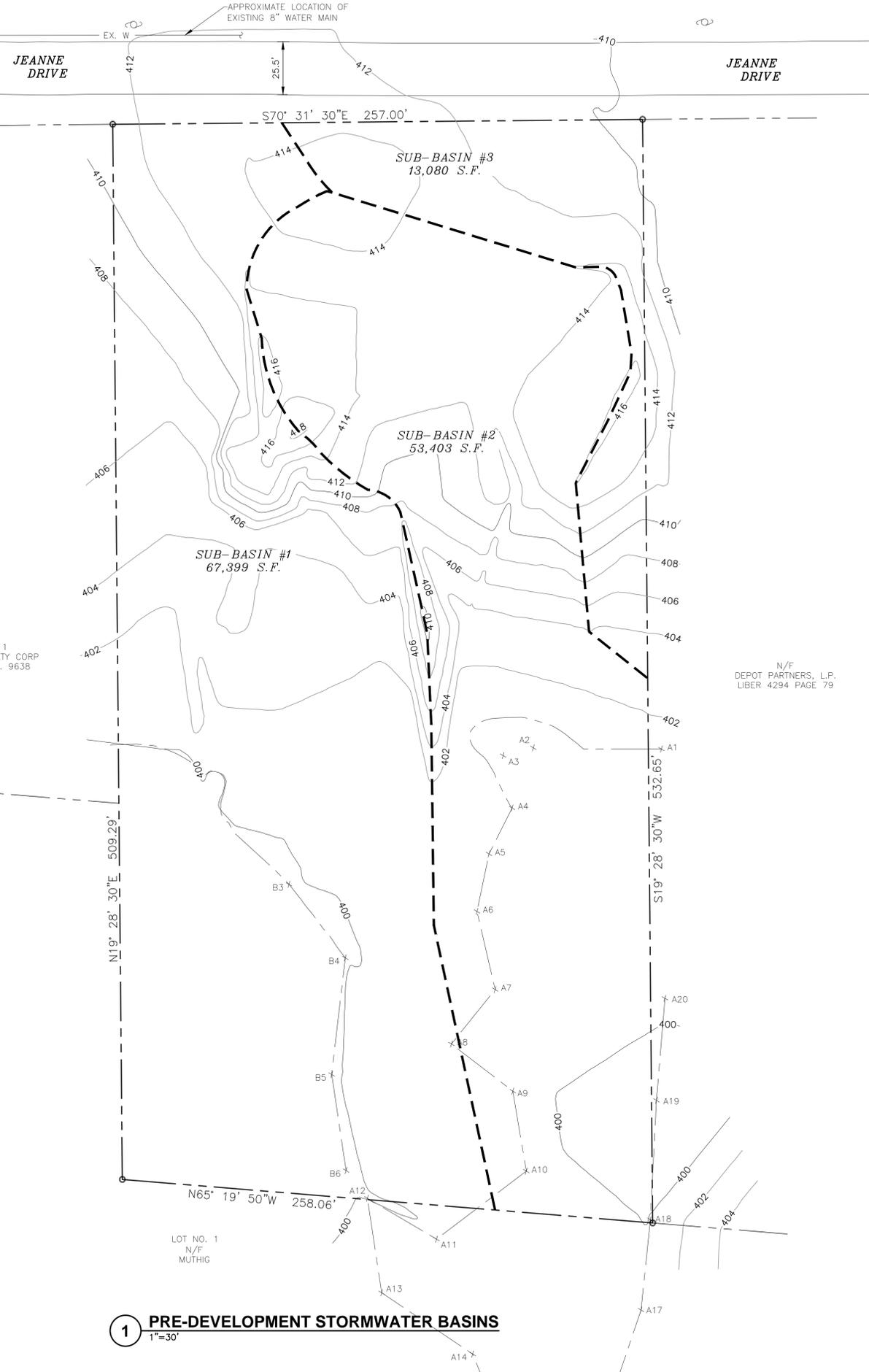
DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY P.M.: RDF	APPROVED BY P.I.C.: MDF	DRAWING #:
DATE: 11/01/2022	SCALE: AS SHOWN	FE PROJECT #:	19-049	C-101

PAGE 4 OF 8

File Name: F:\2019\19-049 Jeanne Drive Site Plan\C-101.dwg (Layout: C-101)
 Date: Wed, Jan 18, 2023 - 11:32 AM (Name: vmb)



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LOT NO. 1
PLATTEKILL REALTY CORP
FILED MAP NO. 9638

N/F
DEPOT PARTNERS, L.P.
LIBER 4294 PAGE 79

LOT NO. 1
N/F
MUTHIG

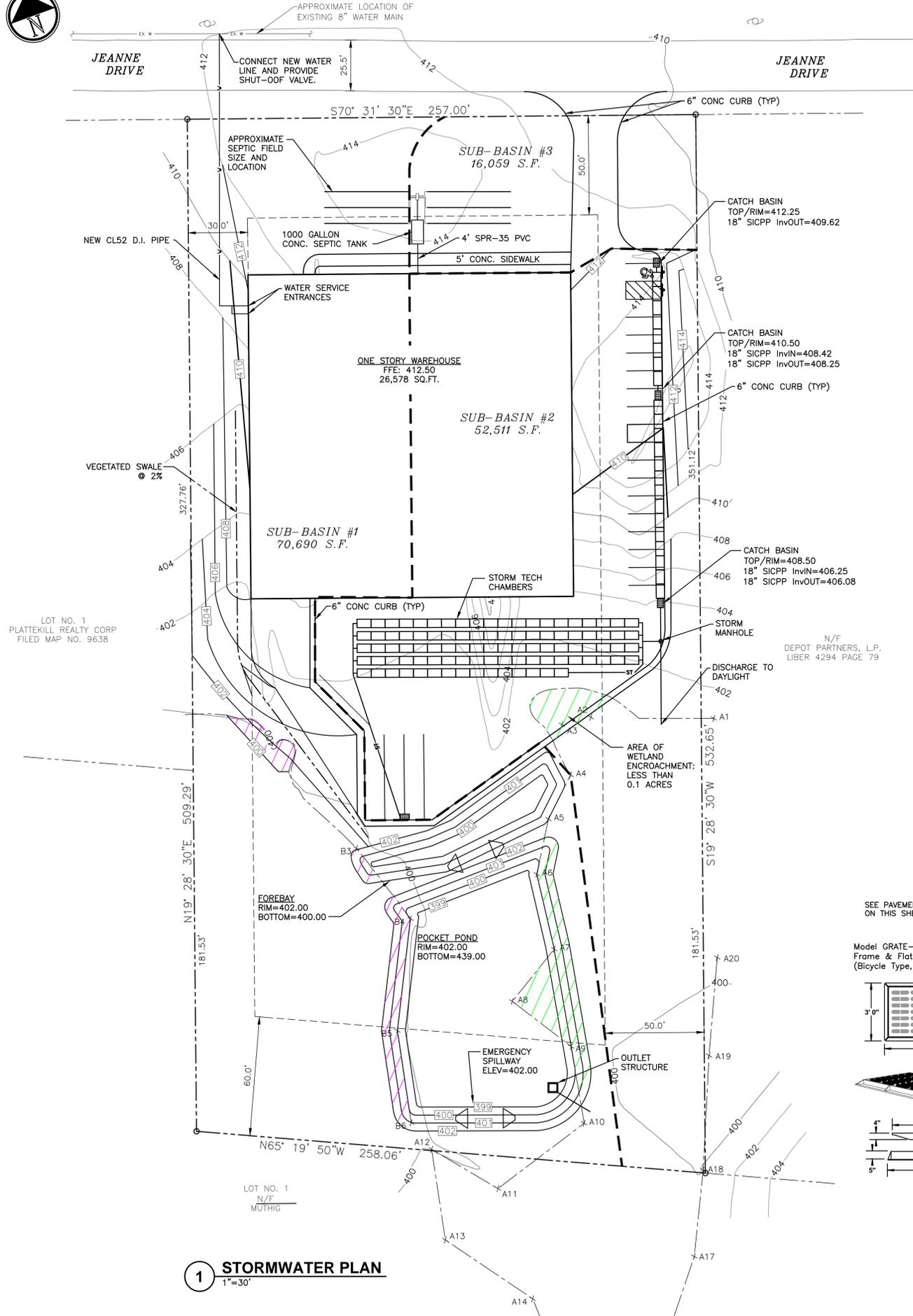
1 PRE-DEVELOPMENT STORMWATER BASINS
1"=30'

File Name: F:\2019\19-049 Jeanne Drive Site Plan\C-401.dwg (Layout: C-401)
Date: Wed, Jan 18, 2023 - 11:32 AM (Name: vmb)

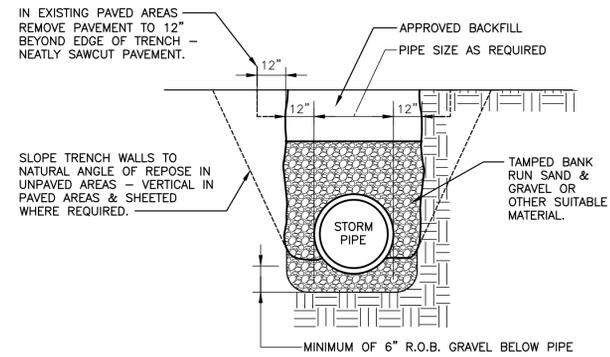
1	1/18/23	REVISED PER PB COMMENTS			
REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
 REFERENCE SCALE					
<small>UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.</small>					
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STAMP:		PROJECT TITLE: JEANNE DRIVE SITE PLAN SECTION 34, BLOCK 2, LOT 66.			
DRAWING TITLE: PRE-DEVELOPMENT STORMWATER BASINS					
DESIGNED BY:	DRAWN BY:	APPROVED BY PM:	APPROVED BY PIC:	DRAWING #:	
JB	VMB	RDF	MDF	C-401	
DATE:	SCALE:	FE PROJECT #:	PAGE # OF #		
11/01/2022	AS SHOWN	19-049	PAGE 5 OF 8		



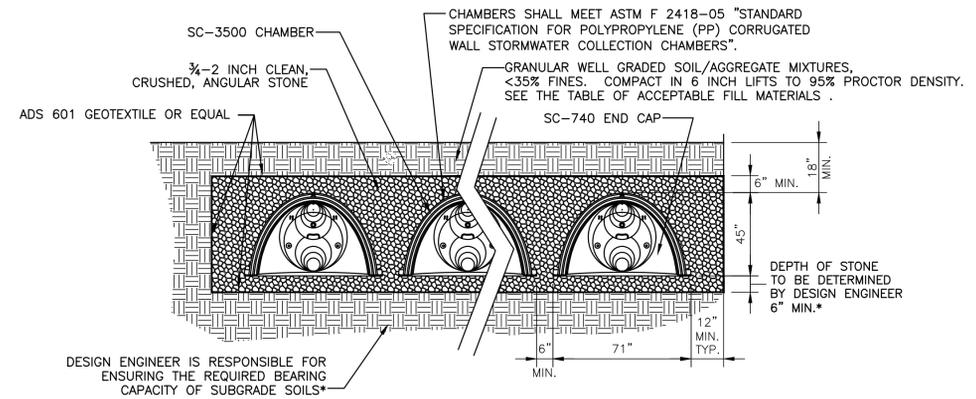
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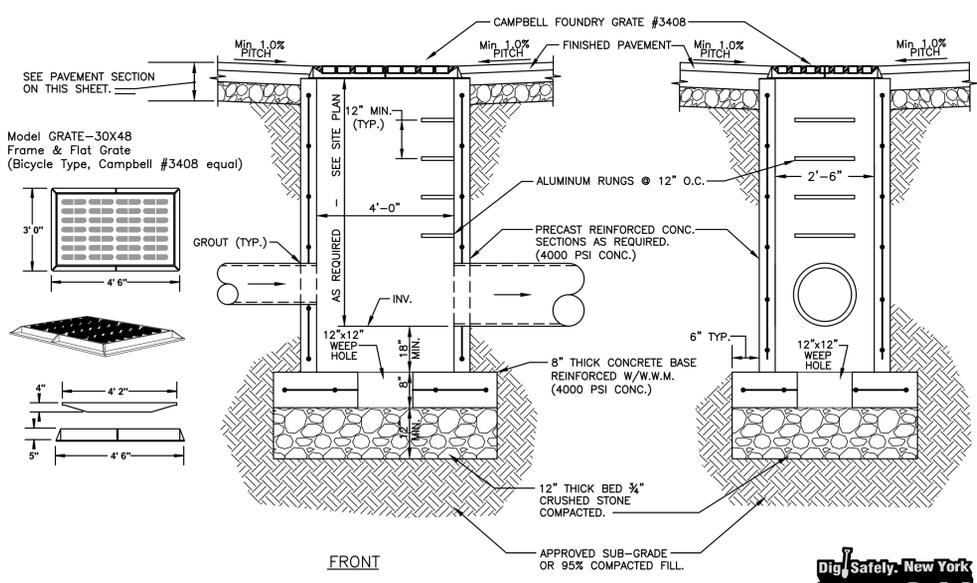
1 STORMWATER PLAN
1"=30'



1 TYPICAL TRENCH - STORM DRAINAGE
N.T.S.



2 STORMTECH CHAMBERS CROSS SECTION
N.T.S.



3 TYPICAL YARD TYPE CATCH BASIN
N.T.S.

IMPERVIOUS COVERAGE CALCULATIONS:

BUILDING AREA = 26,578 SQFT
PAVEMENT AREA = 24,602 SQFT
TOTAL IMPERVIOUS COVERAGE = 51,180 SQFT

WETLAND DISTURBANCE CALCULATIONS:

WETLAND A AREA = 2,288FT² = 0.05 ACRES
WETLAND B AREA = 1,392FT² = 0.03 ACRES
TOTAL DISTURBANCE AREA = 3,680FT² = 0.08 ACRES

1	1/18/23	REVISED PER PB COMMENTS			
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<p>STAMP:</p>		<p>PROJECT TITLE: JEANNE DRIVE SITE PLAN SECTION 34, BLOCK 2, LOT 66.</p>			
<p>DRAWING TITLE: STORMWATER PLAN</p>					
DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY PM: RDF	APPROVED BY PIC: MDF	DRAWING #: C-402	
DATE: 11/01/2022	SCALE: AS SHOWN	FE PROJECT #: 19-049		PAGE 6 OF 8	



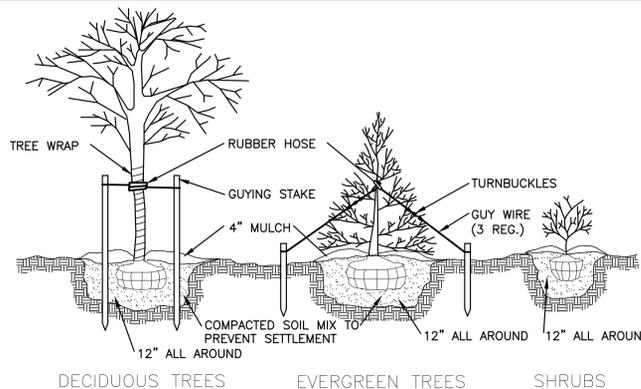
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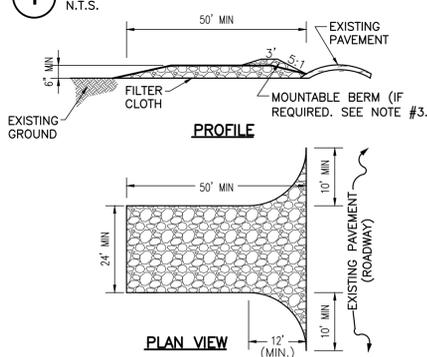
LAWN RESTORATION SCHEDULE & NOTES

	SPECIES	LBS / 1,000 SQFT
PERMANENT SEED MIXTURE	TALL FESCUE	1
	KENTUCKY BLUEGRASS	3
	PERENNIAL RYEGRASS	1

- NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL
- REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA, AND PREPARE SOIL BY TILLING TO A 3"-4" DEPTH.
 - RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
 - FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT RATE OF 6 LBS. PER 1,000 sq.ft. FERTILIZER SHALL BE A COMMERCIAL 10-0-10 MIXTURE.
 - AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
 - PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 lbs. OF SEED MIXTURE PER 1,000 sq.ft. DO NOT OVERSEED, OR OVER CROWDING OF THE SEEDLINGS MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
 - LIGHTLY COVER SEED AREA WITH 1/4"-3/4" OF SOIL. (ROLLING OF SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH A MULCH OF HAY OR STRAW AT A RATE OF 90 lbs (APPROX 2 BALES) PER 1,000 sq.ft.
 - SEED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 lbs. (APPROX. 2 BALES) PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
 - LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
 - NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2"-2 1/2".
 - PRACTICE REGULAR MAINTENANCE & WATER REGULARLY AS CONDITIONS REQUIRE.

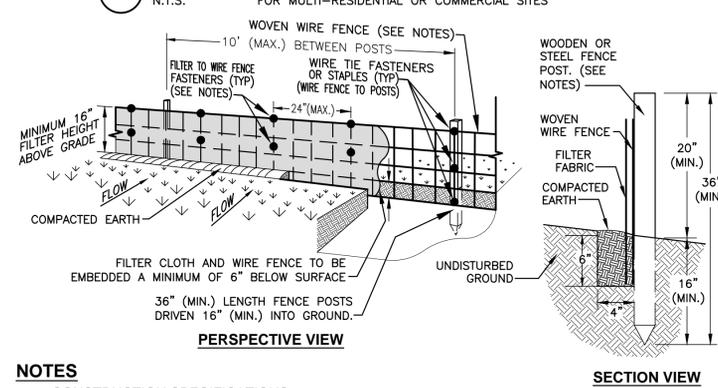


1 PLANTING AND GUYING DETAIL
N.T.S.



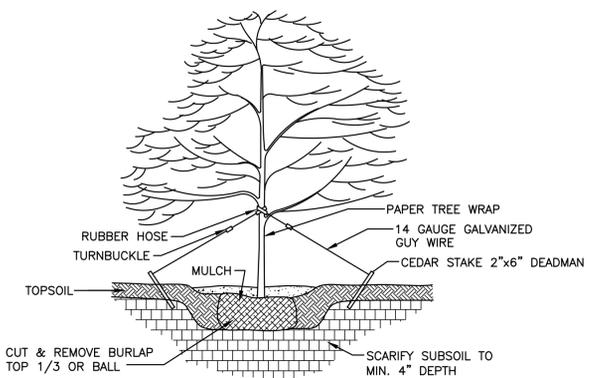
- NOTES:
- SUBGRADE OF ENTRANCE AREA TO BE COMPACTED, AND FILTER CLOTH INSTALLED OVER THE ENTIRE STABILIZED ENTRANCE AREA PRIOR TO PLACING OF STONE. FILTER FABRIC SHALL BE TREVIRA #1127 OR APPROVED EQUAL.
 - STONE SHALL BE MIN OF 6" OF 2" CRUSHED GRAVEL. USE OF A RECLAIMED OR RECYCLED CONCRETE EQUIVALENT IS ALSO ACCEPTABLE.
 - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED UNDER AND ACROSS THE ENTRANCE. IF PIPING IS NOT POSSIBLE OR IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - WHEN WASHING OF VEHICLE TIRES IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - ALL INGRESS AND EGRESS POINTS TO JOB SITE SHALL HAVE A STABILIZED CONSTRUCTION ENTRANCE

2 STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S. FOR MULTI-RESIDENTIAL OR COMMERCIAL SITES



- NOTES
- CONSTRUCTION SPECIFICATIONS:**
- WOVEN WIRE FENCE SHALL BE 12 GAUGE WITH A MAXIMUM MESH OPENING OF 6", AND SHALL BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES, WIRE TIES OR NYLON "ZIP" TIES.
 - FENCE POSTS SHALL BE EITHER STEEL ("I" OR "U" TYPE) OR HARDWOOD (2"x2"). POSTS SHALL BE MINIMUM 36" IN LENGTH AND INSTALLED WITH A MINIMUM 16" OF EMBEDMENT, WITH A MAXIMUM OF 10' O.C. BETWEEN POSTS.
 - FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR AN APPROVED EQUAL, AND SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH WIRE TIES OR NYLON "ZIP" TIES SPACED EVERY 24" AT TOP AND MID SECTION OF FILTER FABRIC.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED, WITH THE OVER-LAP BEING SECURELY FASTENED TO THE WOVEN WIRE FENCE AS PER NOTE #3 ABOVE.
 - AT END POSTS OF SILT FENCE, THE FILTER FABRIC SHALL BE WRAPPED AROUND THE POST AND APPROPRIATELY FASTENED AS PER NOTE #3 ABOVE.
 - PREFABRICATED SILT FENCE UNITS SHALL BE GEOFAB, ENVIROFENCE, OR AN APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL (SEDIMENT) REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

3 SILT FENCE W/ WIRE REINFORCEMENT DETAIL
N.T.S.



4 TREE PLANTING DETAIL
N.T.S.

PLANTS LIST

TYPE	SYM.	QTY.	BOTANICAL NAME	COMMON NAME	MIN. SIZE
SHADE TREES	7	1	Acer Rubrum "Red Sunsets"	Red Sunset Red Maple	2-1/2"-3" c
	1	1	Tilia Tomentosa "Greenspire"	Green Mountain Linden	2-1/2"-3" c
EVERGREEN TREES	11	1	Picea Abies	Norway Spruce	6' - 7' hgt
SHRUBS	15	1	Forsythia Intermedia "Lyrwood"	Lyrwood Forsythia	4' - 5' hgt
	48	1	Tatusx Media "Densiformis"	Dense Yew	18" - 24" hgt

- LEGEND**
- LYRWOOD FORTSYTHIA
 - DENSE YEW
 - ✱ NORWAY SPRUCE
 - ✱ RED MAPLE
 - GREEN MOUNTAIN LINDEN

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
1	1/18/23	REVISED PER PB COMMENTS			

1" = 30'

REFERENCE SCALE: 1/8" = 1', 1/4" = 2', 1/2" = 4', 3/4" = 6', 1" = 8', 1 1/4" = 12', 1 1/2" = 18', 2" = 24'

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENZER ENGINEERING LLP
www.felpp.com

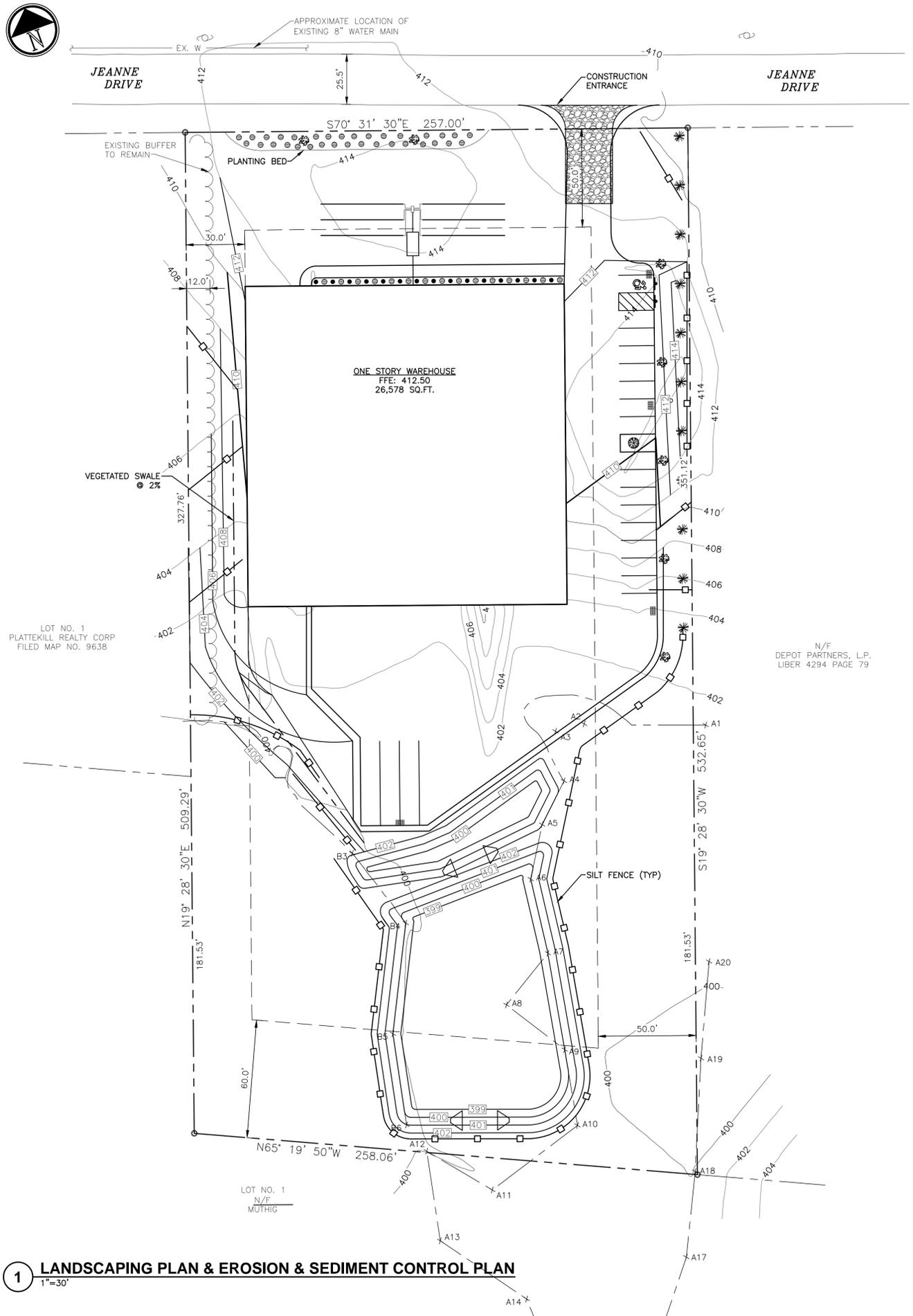
22 Mulberry St., Suite 2A, Middletown, NY 10940
1 845-343-1481 fx 845-343-4986

181 Church St., Suite 100, Poughkeepsie, NY 12601
1 845-454-9704 fx 855-320-8735

STAMP: PROJECT TITLE: **JEANNE DRIVE SITE PLAN**
SECTION 34, BLOCK 2, LOT 66.

DRAWING TITLE: **LANDSCAPING PLAN & EROSION & SEDIMENT CONTROL PLAN**

DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY P.M.: RDF	APPROVED BY P.I.C.: MDF	DRAWING #: C-701
DATE: 11/01/2022	SCALE: AS SHOWN	FE PROJECT #:	19-049	PAGE 7 OF 8

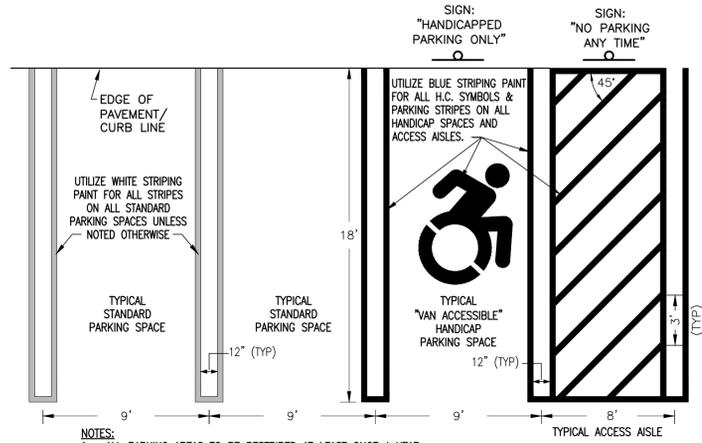


1 LANDSCAPING PLAN & EROSION & SEDIMENT CONTROL PLAN
1" = 30'

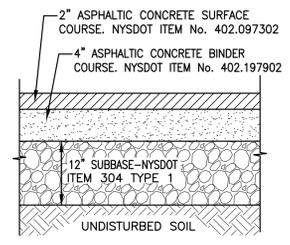
File Name: F:\2019\19-049 Jeanne Drive Site Plan\C-701.dwg (Layout: C-701)
Date: Wed, Jan 18, 2023 - 11:33 AM (Name: vmb)



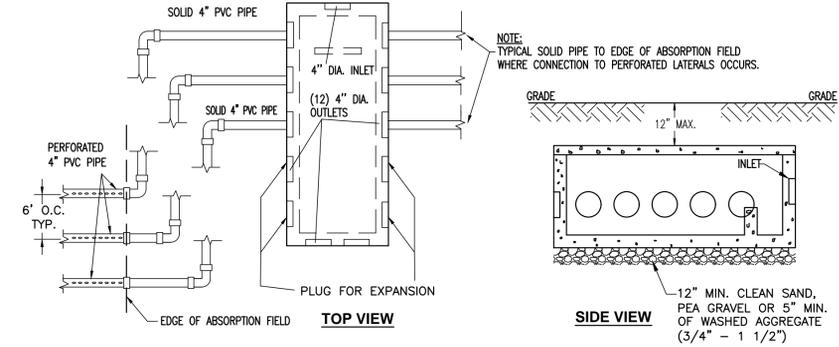
PROGRESS PRINT
1/18/23
NOT FOR CONSTRUCTION



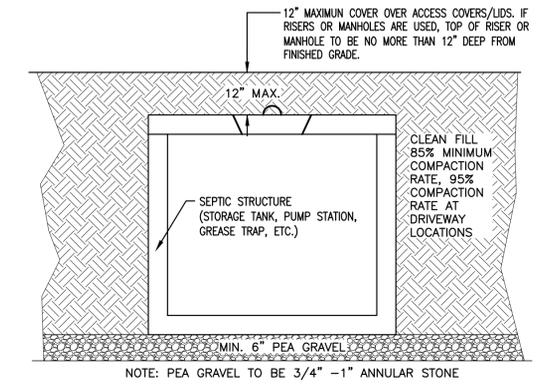
1 VAN ACCESSIBLE HANDICAP PARKING - STRIPING DETAIL
N.T.S.



2 HEAVY DUTY ASPHALTIC PAVEMENT DETAIL
N.T.S.



3 DISTRIBUTION BOX INSTALLATION DETAIL
N.T.S.



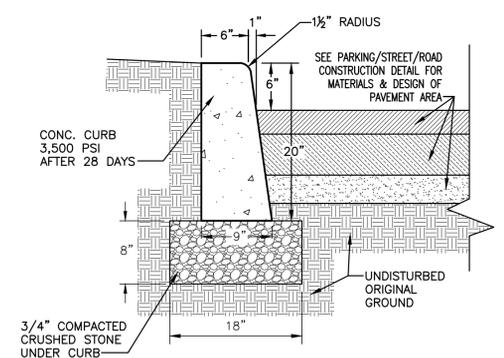
4 SEPTIC STRUCTURE BEDDING & COVER DETAIL
N.T.S.



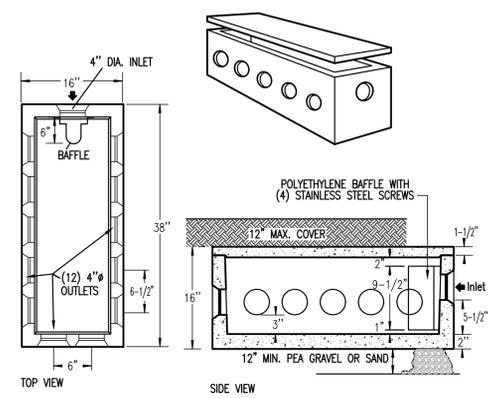
5 HANDICAP RESERVED PARKING SIGN
N.T.S.



6 NO PARKING ANYTIME SIGN
N.T.S.

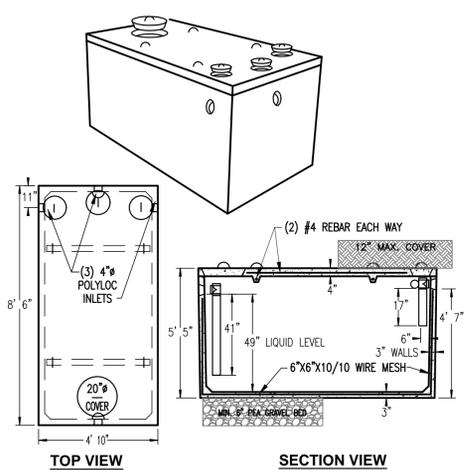


7 CONCRETE CURB DETAIL
N.T.S.



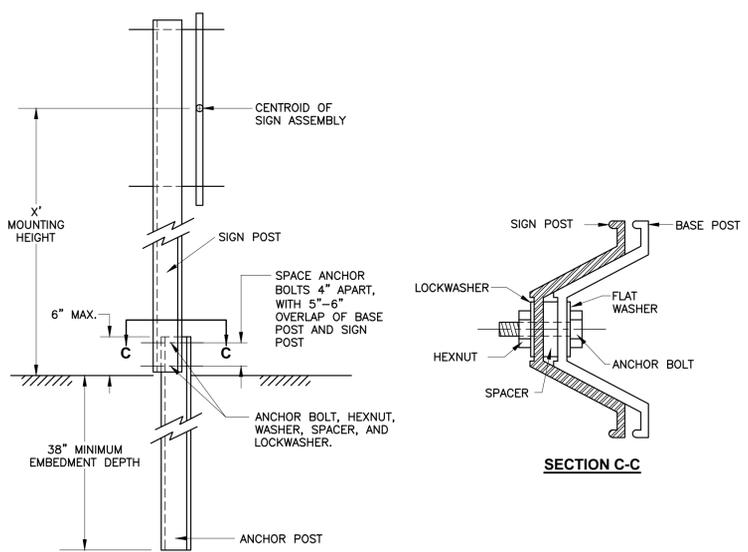
SPECIFICATIONS		PRECAST DISTRIBUTION BOXES	
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS	REINFORCEMENT: FIBER, 10GA. WIRE MESH	MODEL DB-12 / 12 OUTLETS W/BAFFLE	
AIR ENTRAINMENT: 5%	PIPE CONNECTION: POLYLOK SEAL (PATENTED)	WOODARD'S CONCRETE PRODUCTS, INC.	
LOAD RATING: 300 PSF	WEIGHT = 325 LBS	629 LYBOLT ROAD, BULLVILLE, NY 10915	
		(845) 361-3471 / FAX 361-1050	
		WWW.WOODARDSCONCRETE.COM	

8 DISTRIBUTION BOX DETAIL - DB-12
N.T.S.



SPECIFICATIONS	
CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS	REINFORCEMENT: #4 REBAR, 6X6X10GA. W/M
AIR ENTRAINMENT: 5%	CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
PIPE CONNECTION: POLYLOK SEAL (PATENTED)	WEIGHT = 8,700 LBS
LOAD RATING: 300 PSF	

9 PRECAST CONCRETE 1000 GALLON GREASE TRAP
N.T.S.



10 BREAKAWAY STYLE SIGN POST DETAIL
N.T.S.

File Name: F:\2019\19-049_Jeanne Drive_Site Plan\C-901.dwg (Layout: C-901) Date: Wed, Jan 18, 2023 - 11:33 AM (Name: vmb)

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:
1	1/18/23	REVISED PER PB COMMENTS			

REFERENCE SCALE

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 1 845-343-1481 | 1 845-343-4986 | 1 845-454-9704 | 1 855-320-8735

PROJECT TITLE: **JEANNE DRIVE SITE PLAN**
 SECTION 34, BLOCK 2, LOT 66.

DRAWING TITLE: **DETAILS**

DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY P.M.: RDF	APPROVED BY P.C.: MDF	DRAWING #: C-901
DATE: 11/01/2022	SCALE: AS SHOWN	FE PROJECT #:	19-049	PAGE 8 OF 8



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