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CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: HEALY KIA
PROJECT NO.: 19-25
PROJECT LOCATION: SECTION 95, BLOCK 1, LOT 54.2
REVIEW DATE: 25 NOVEMBER 2019
MEETING DATE: 5 DECEMBER 2019
PROJECT REPRESENTATIVE: DAY & STOKOSA ENGINEERING P.C.

1. The Applicant is proposing to construct an overflow parking area for the Healy Kia site on Route 17K on an adjoining parcel. It appears that the parcels are in common ownership. It is unclear why a lot consolidation or a lot line change cannot be accomplished to place the overflow parking on the dealership lot in order to eliminate the requirement for covenants or cross agreements.
2. The proposed overflow parking identifies a 2.2 +/- acre disturbance on the adjoining property. It is noted the project is located in the City of Newburgh Watershed for Washington Lake through Murphy's Ditch diversion, when such diversion is utilized. Stormwater Management Facilities will be required to be addressed on the site in order to provide for water quality and quantity control. The Town of Newburgh requires treatment of 110% of the water quality volume within the City of Newburgh Watershed.
3. Site development details should be added to the plans including any piping, surface treatment, and Stormwater Management Facilities. Details for removal of the curbing between the existing asphalt parking and adjoining asphalt parking should be provided.
4. Similar arrangements for off-site parking have been evaluated by the Planning Board in the past including at the Orange County Choppers Facility and Toyota Facility. In each of those cases these sites were not in common ownership.
5. The EAF identifies potential impacts to threatened or endangered species which must be addressed by the Applicant through the NYS DEC.

6. A portion of the project involves clearing of the adjoining property frontage in order to provide visibility of the dealership from Route 17K. The extent of this clearing activity should be detailed on the plans and potential impacts to the stream should be addressed on the plans.
7. Previously the Planning Board restricted access by the public to the overflow parking areas which were not constructed of conventional asphalt pavement. Appropriate signage and gates should be provided should the Board wish to consider the off-site use.
8. The metes and bounds of any potential lease area between the adjoining properties should be identified.
9. Notes should be added to the plans identifying what the sites will operate as a unified site plan and trying the approvals to the current property use of the Kia dealership. Any change in the use of any property should eliminate the adjoining parking spaces without further approvals or action by the Town.

Respectfully submitted,

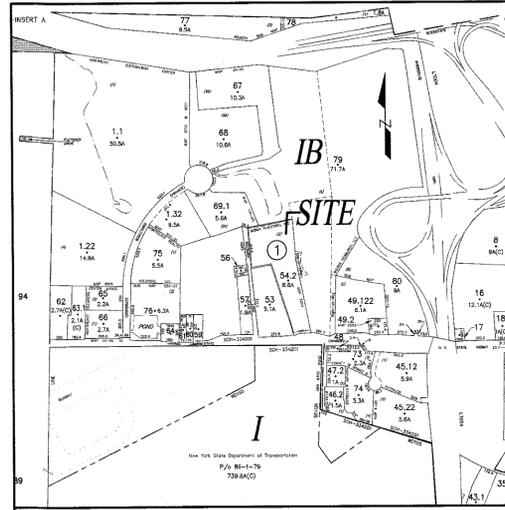
***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

PJH/JLC



Area Map N.T.S.



Location Map N.T.S.

ZONING INFORMATION

TAX MAP No. 95-1-54.2
 ZONING DISTRICT: IB-INTERCHANGE BUSINESS
 TOPOGRAPHIC DATUM: USGS
 TOTAL ACREAGE: 8.62 ACRES (+/-)
 WATER & SEWER: TOWN OF NEWBURGH

BULK REQUIREMENTS	REQUIRED	PROPOSED
MIN. LOT AREA (SQ. FT.)	40,000 S.F.	375,301 S.F.
MIN. WIDTH (FEET)	150'	>150'
MIN. LOT DEPTH (FEET)	150'	>150'
MIN. FRONT YARD (FEET)	50'	N/A
MIN. REAR YARD (FEET)	60'	N/A
MIN. ONE SIDE YARD (FEET)	30'	N/A
MIN. BOTH SIDE YARDS (FEET)	80'	N/A
HABITABLE FLOOR AREA PER DWELLING UNIT (S.F.)	N/A	N/A
DWELLING UNITS PER ACRE	N/A	N/A
MAX. LOT BLDG COVERAGE (%)	40%	N/A
MAX BUILDING HEIGHT (FEET)	35'	N/A
MAX. LOT SURFACE COVERAGE (%)	80%	20%

SOURCE: TOWN OF NEW BURGH ZONING CODE
 "TABLE OF USE AND BULK REGULATIONS" DATED 4-9-18
 *EXISTING NON-CONFORMING

OWNER/APPLICANT

PDH REALTY, LLC
 2528 ROUTE 17M
 GOSHEN, NEW YORK 10924

OWNER'S CONSENT NOTE

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

PAUL HEALY, PDH REALTY, LLC DATE

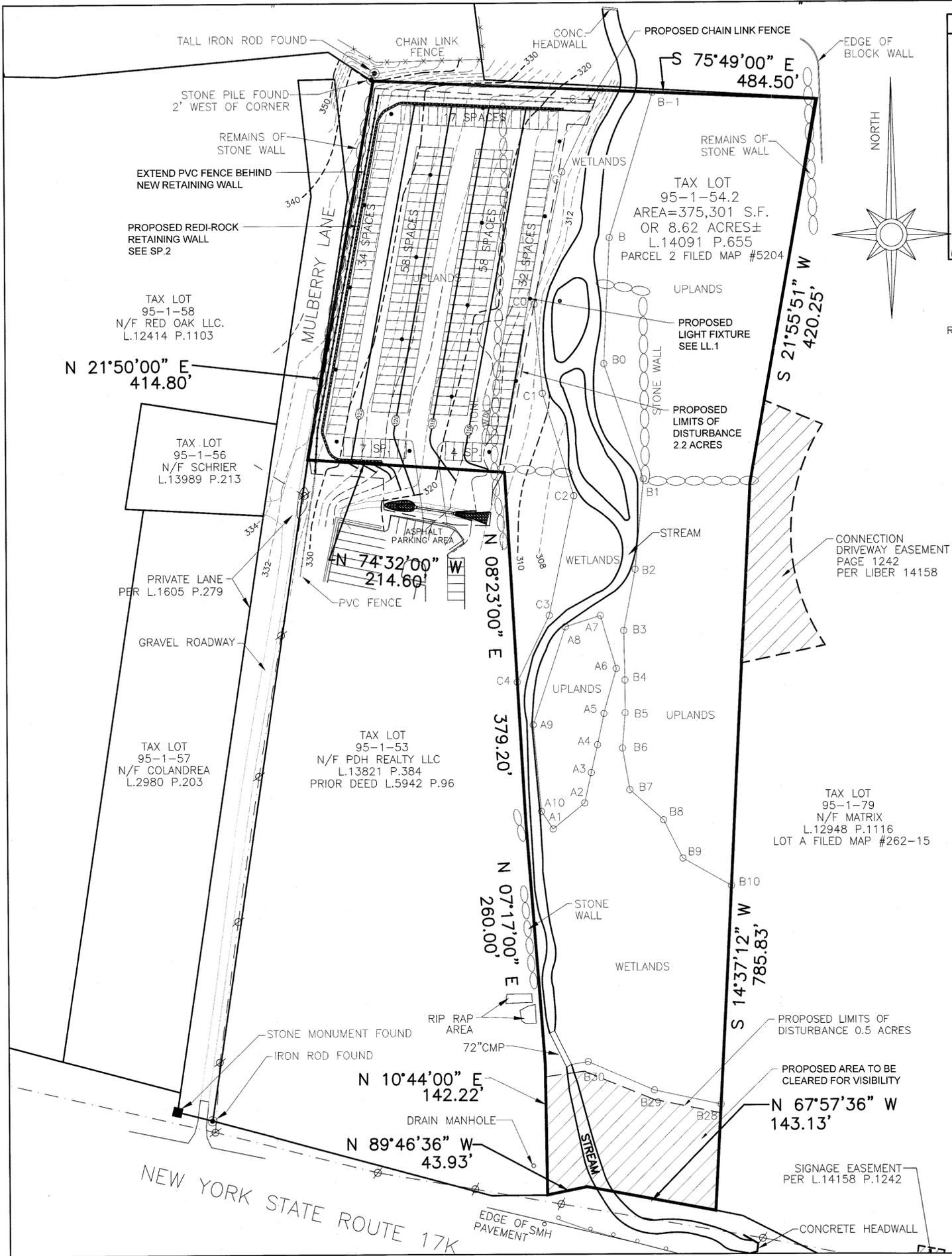
ADJACENT PROPERTY OWNERS

- 334600-95-1-69.1, A. Dute P/te, Inc., P.O. Box 546, West Chester, PA. 19381
- 334600-95-1-58, Red Oak S/Ds, LLC, 57 Alexander Street,
- 334600-95-1-57, Cosimo J. Calandrea, P.O. Box 3257, Newburgh, New York 12550
- 334600-95-1-47.2, DP66, LLC, 333 North Bedford Rd, Ste. 145, Mt. Kisco, New York 10549
- 334600-95-1-53, PDH Realty, LLC, P.O. Box 859, Goshen, New York 10924
- 334600-95-1-54.2, PDH Realty, LLC, P.O. Box 859 Goshen, New York 10924
- 334600-95-1-56, Van Shrier, 120 Route 17K, Newburgh, New York 12550
- 334600-89-1-79, New York State Department of Transportation, Albany, New York 12201
- 334600-95-1-1.32, Business Center Northeast, 4.5 Associates, 3 Manhattanville Rd., Purchase, NY 10577
- 334600-95-1-48, Patten Cemetery, Newburgh, New York 12550
- 334600-95-1-73, Exit 21 Real Estate, LLC, P.O. Box 10804, Newburgh, New York 12550
- 334600-95-1-49.122, Debrizzi, 1089 Little Britain Road, New Windsor, New York 12550

**TOWN PLANNING BOARD
TOWN OF NEWBURGH, NEW YORK**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF NEWBURGH, NEW YORK ON THE _____ DAY OF _____ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS SITE PLAN, AS APPROVED, SHALL VOID THIS APPROVAL. SITE PLAN IS VOID IF CONSTRUCTION IS NOT STARTED WITHIN ONE YEAR AND COMPLETED IN TWO YEARS OR THE DATE OF THE SIGNING OF THIS PLAN.

TOWN OF NEWBURGH PLANNING BOARD
 SIGNED THIS _____ DAY OF _____ BY _____
 Chairman, Planning Board



SURVEY CERTIFICATION

I HEREBY CERTIFY THAT THIS MAP OR PLAN IS BASED UPON THE FIELD NOTES OF THE SURVEY AND OTHER REFERENCES SHOWN. ALL RECORDED EASEMENTS OR RIGHT-OF-WAY AS SHOWN IN THE TITLE REPORT AND OTHER REFERENCES ARE SHOWN. ALL OBSERVABLE EVIDENCE OF EASEMENTS ON THE GROUND ARE SHOWN. ALL OBSERVABLE, ABOVE GROUND EVIDENCE OF THE BUILDING, STRUCTURES AND OTHER IMPROVEMENTS ARE SHOWN.

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THIS CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF. BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP-TO-DATE TITLE SEARCH.

DARREN J. STRIDIRON, PROFESSIONAL LAND SURVEYOR NYS LIC. #056448

THE SURVEY INFORMATION CONTAINED HEREON WAS OBTAINED FROM THE MAP ENTITLED "WETLAND LOCATION SURVEY" PREPARED BY HERITAGE LAND SURVEYING, PC ON 7-16-18

REFERENCES:

- TOWN OF NEWBURGH TAX MAP SECTION 95.
- DEEDS FILED IN THE ORANGE COUNTY CLERK'S OFFICE AS:
 L.14091 P.655 L.12414 P.1103
 L.13821 P.384 L.13989 P.213
 L.5942 P.96 L.2980 P.203
 L.12948 P.1116
 L.12341 P.857
- MAPS FILED IN THE ORANGE COUNTY CLERK'S OFFICE AS:
 FILED MAP #5204
 FILED MAP #171-95
 FILED MAP #262-15

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Mark A. Day, PE

Project No. 2016.136 License No. 089646

DAY STOKOSA
ENGINEERING P.C.

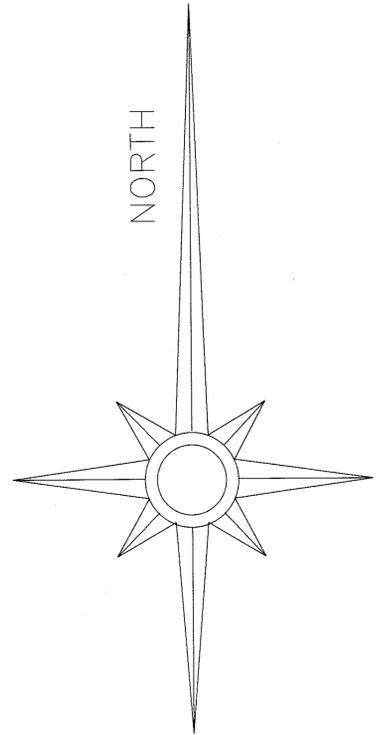
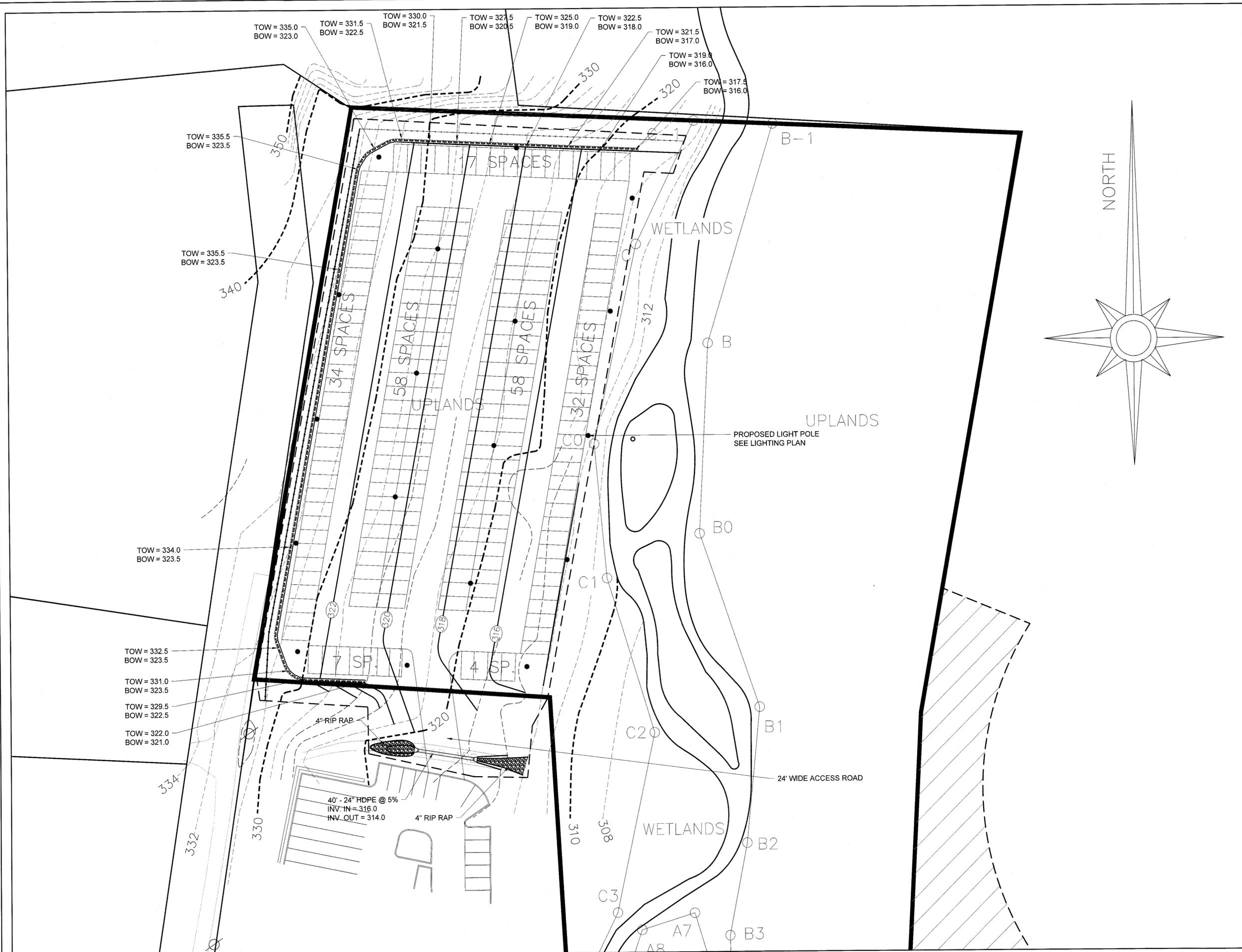
3 Van Wyck Lane Suite 2
 Wappingers Falls, New York
 (845)-223-3202

PROJECT: Healey KIA - Newburgh
 114 NY-17K
 Town of Newburgh Orange County, New York

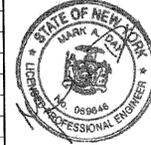
SITE PLAN

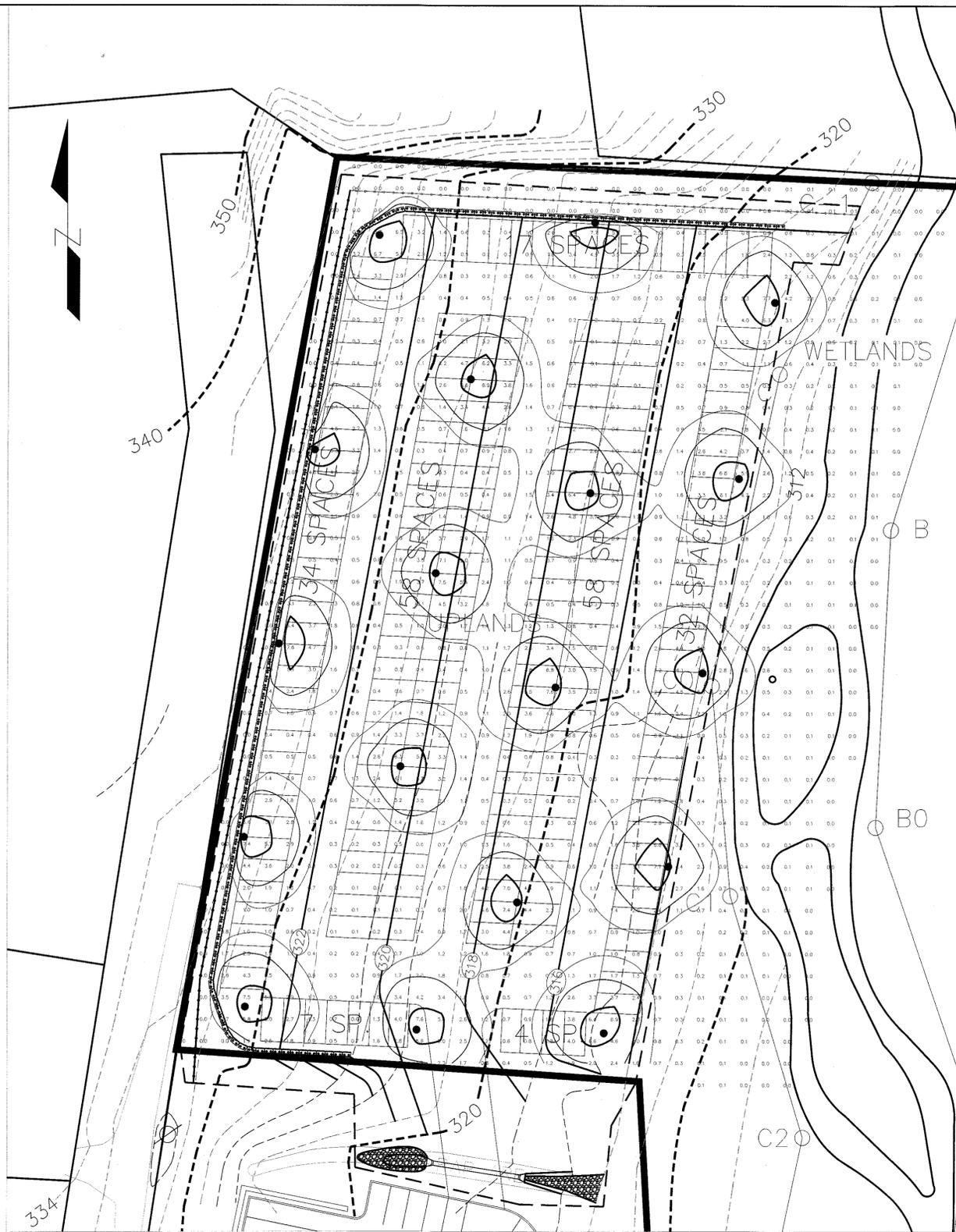
SCALE: 1" = 60' DRAWN BY: MAD
 DATE: 11-14-19 CHECKED BY: MAD

SP.1
1 of 6



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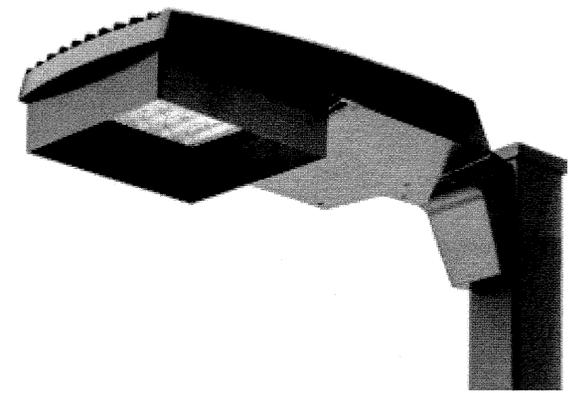
Mark A. Day, PE	
	
Project No. 2016.136	License No. 089646
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Suite 2 Wappingers Falls, New York (845)-223-3202	
Healey KIA - Newburgh 114 NY-17K Town of Newburgh Orange County, New York	
PARTIAL SITE PLAN	
SCALE 1" = 30'	DRAWN BY MAD
DATE 11-14-19	CHECKED BY MAD
SP.2 2 of 6	



1 LIGHTING PLAN
LL.1 SCALE: 1" = 30'

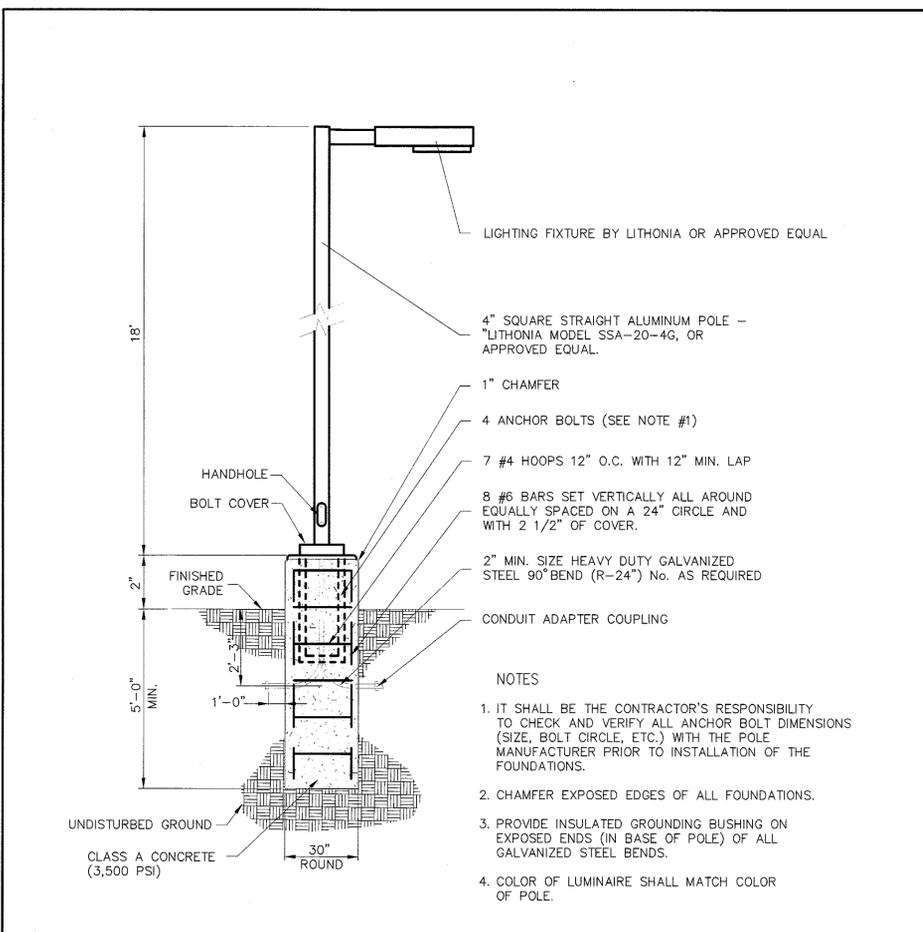
LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 1	QUANTITY
Pole	●	(1)	RSX Area Luminaire Size 2 P1 Lumen Package 3000K CCT Type R3S Distribution with EGFV Shield	ELECTRONIC	18' HIGH POLE	Lithonia Lighting, RSX2 LED P1 30K R3S EGFV	120V 1P 2W	/29/2019 SCALED PHOTOMETRY TYPE III, VERY SHORT, BUG RATING: B2 - U0 - G2 ARM MOUNT 2.36, 1.12, 0.25 RSX2 LED Area Luminaire	18

RSX Area Luminaire Size 2 P1 Lumen Package 3000K CCT Type R3S Distribution with EGFV Shield



External 360 Full Visor

D.1 LITHONIA RSX2 LED AREA LUMINAIRE WITH FULL VISOR - MOUNTING HEIGHT 18'
LL.1 SCALE: NOT TO SCALE



D.2 LIGHT POLE BASE AND POLE DETAIL
LL.1 SCALE: NOT TO SCALE

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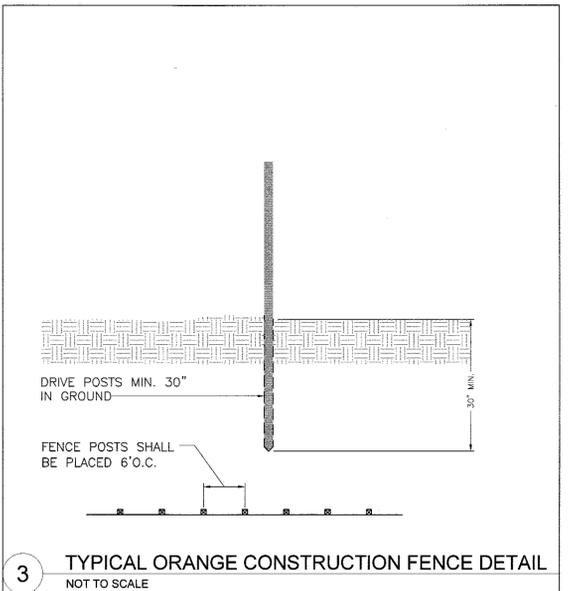
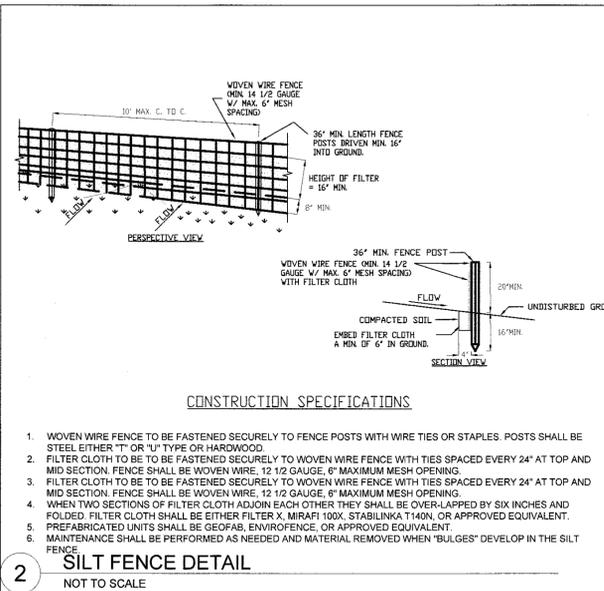
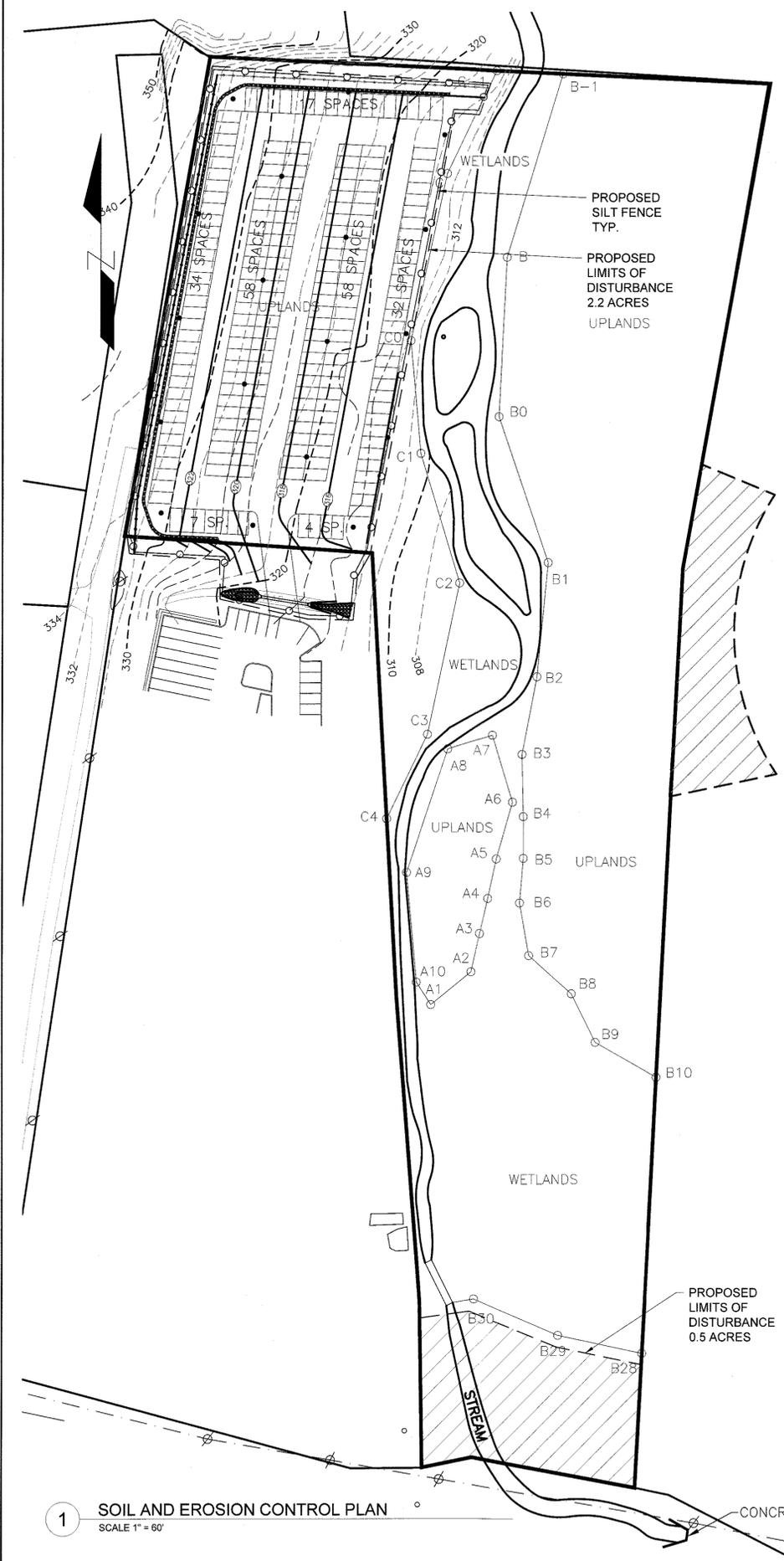
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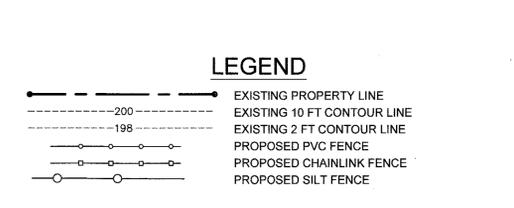
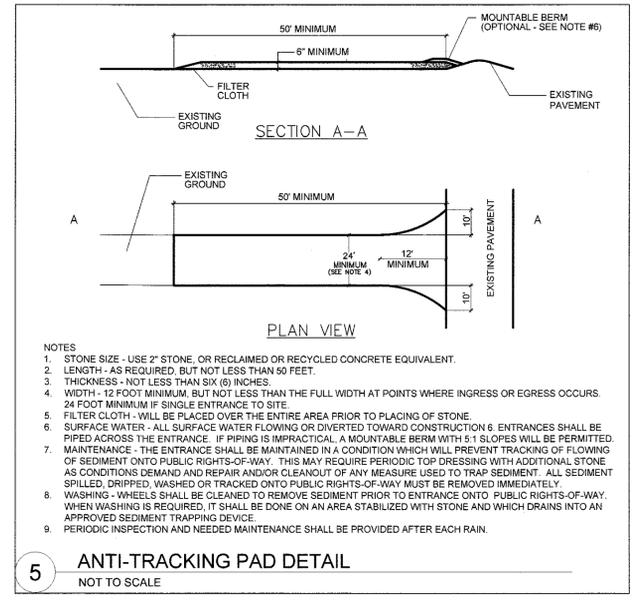
DRAWING: LIGHTING PLAN

SCALE: AS NOTED	DRAWN BY: MAD	DRAWING NO. LP.1
DATE: 11-14-19	CHECKED BY: MAD	3 of 6



- 4 SEEDING & MULCHING NOTES**
NOT TO SCALE
- ALL SEDIMENT & EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS & DETAILS. CHANGES, OMISSIONS AND/OR OTHER ALTERATIONS CAN NOT BE MADE TO THESE PLANS WITHOUT THE CONSENT OF THE DESIGN ENGINEER.
 - SILT FENCE SHALL BE INSTALLED AS SHOWN ON THIS DRAWING PRIOR TO BEGINNING ANY CLEARING, GRUBBING AND EARTHWORK.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 21 DAYS, GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:
- | | |
|---------------------|-----|
| KENTUCKY BLUEGRASS | 40% |
| CREeping RED FESCUE | 40% |
| RYE GRASS | 20% |
- GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.
 - SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 80 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.
 - SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE OWNER'S FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OF WATER OR OTHER APPROVED METHODS AS NECESSARY AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 - CUTS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY, NOR DIVERT SURFACE WATER ONTO ADJOINING PROPERTIES.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIALS AND TO PREVENT SETTLEMENT.
 - EXCAVATIONS AND FILLS TO BE ROLLED, SEALED AND STABILIZED AT COMPLETION OF EACH DAY'S WORK.
 - THE OWNER'S FIELD REPRESENTATIVE SHALL INSPECT THE DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES MAY BE ADDED TO THIS PLAN BY THE SITE ENGINEER, TOWN ENGINEER AND HIGHWAY SUPERINTENDENT. ANY REVISIONS TO THIS PLAN MUST BE SUBMITTED TO THE SITE ENGINEER. ANY CHANGES DEEMED NECESSARY TO THIS PLAN SHALL BE DICTATED BY THE SITE ENGINEER AS NECESSARY TO CARRY-OUT THE INTENT OF THIS PLAN.

- EROSION AND SEDIMENT CONTROL MEASURES**
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", AUGUST 2005.
 - DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
 - AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
 - SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
 - PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
 - SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
 - WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES**
- PERMANENT AND TEMPORARY VEGETATION**
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.
 - STABILIZED CONSTRUCTION ENTRANCE**
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.
 - SILT FENCE**
INSPECT FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
 - DUST CONTROL**
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.



- CONSTRUCTION WASTE MANAGEMENT PLAN**
- CONSTRUCTION WASTE MANAGEMENT PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. THIS WILL REDUCE THE POTENTIAL FOR SIGNIFICANT MATERIALS TO COME INTO CONTACT WITH STORMWATER. A MAINTENANCE SCHEDULE SHALL BE DEVELOPED FOR THESE AREAS. THE GENERAL CONTRACTOR SHALL IMPLEMENT THE FOLLOWING PRACTICES:
- MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION WILL BE STOCKPILED UP SLOPE FROM ADEQUATE SEDIMENTATION CONTROLS.
 - EQUIPMENT CLEANING, MAINTENANCE, AND REPAIR AREAS SHALL BE DESIGNATED AND PROTECTED BY A TEMPORARY PERIMETER BERM.
 - THE USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.).
 - SPILL PREVENTION AND RESPONSE**
A SPILL PREVENTION AND RESPONSE PLAN SHALL BE DEVELOPED FOR THE SITE BY THE GENERAL CONTRACTOR. THE PLAN SHALL DETAIL THE STEPS NEEDED TO BE FOLLOWED IN THE EVENT OF AN ACCIDENTAL SPILL AND SHALL IDENTIFY CONTACT NAMES AND PHONE NUMBERS OF PEOPLE AND AGENCIES THAT MUST BE NOTIFIED.

THE PLAN SHALL INCLUDE MATERIAL SAFETY DATA SHEETS (MSDS) FOR ALL MATERIALS TO BE STORED ON-SITE. ALL WORKERS ON-SITE WILL BE REQUIRED TO BE TRAINED ON SAFE HANDLING AND SPILL PREVENTION PROCEDURES FOR ALL MATERIALS USED DURING CONSTRUCTION. REGULAR TAILGATE SAFETY MEETINGS SHALL BE HELD AND ALL WORKERS THAT ARE EXPECTED ON THE SITE DURING THE WEEK SHALL BE REQUIRED TO ATTEND.

CONSTRUCTION MATERIALS SHALL BE STORED IN A DEDICATED STAGING AREA. THE STAGING AREA SHALL BE LOCATED IN AN AREA THAT MINIMIZES THE IMPACTS OF THE CONSTRUCTION MATERIALS EFFECTING STORMWATER QUALITY.

CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. EXCEPT DURING APPLICATION, THE CONTENTS MUST BE KEPT IN TRUCKS OR WITHIN STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
 - TEMPORARY CONCRETE WASHOUT FACILITY**
TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.

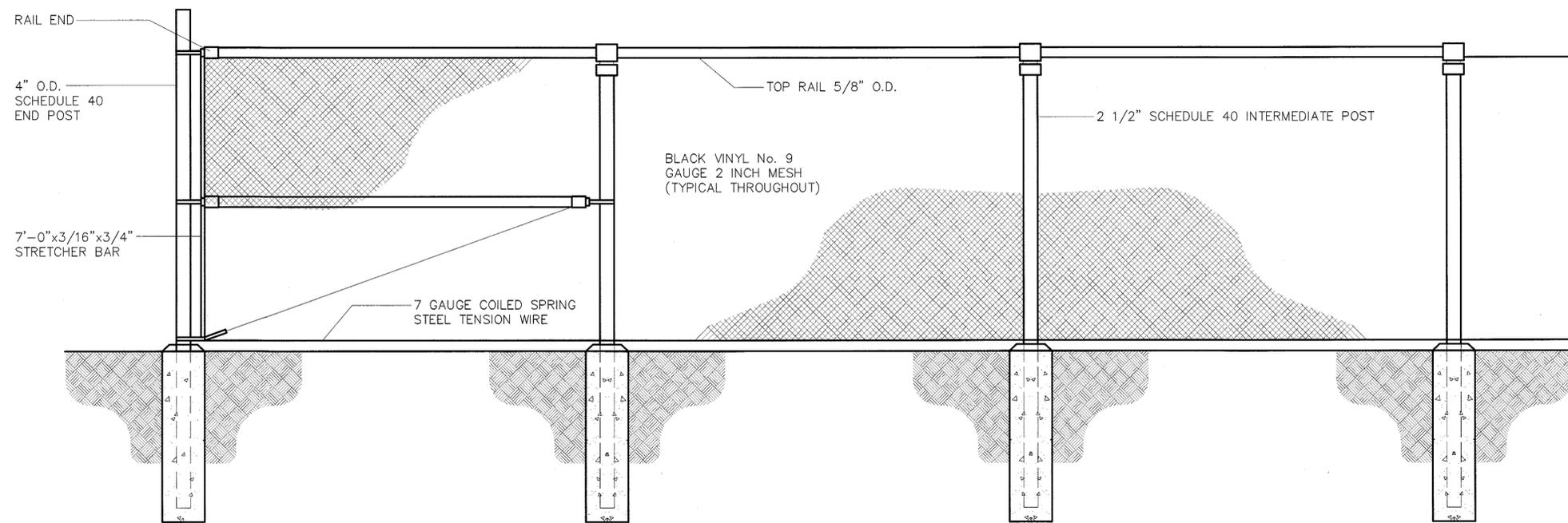
WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED AND/OR REPAIRED AND SEEDING AND MULCHED FOR FINAL STABILIZATION.
 - SOLID WASTE DISPOSAL**
NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED PERIODICALLY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.

SUBSTANCES THAT HAVE THE POTENTIAL FOR POLLUTING SURFACE AND/OR GROUNDWATER MUST BE CONTROLLED BY WHATEVER MEANS NECESSARY IN ORDER TO ENSURE THAT THEY DO NOT DISCHARGE FROM THE SITE. AS AN EXAMPLE, SPECIAL CARE MUST BE EXERCISED DURING EQUIPMENT FUELING AND SERVICING OPERATIONS. IF A SPILL OCCURS, IT MUST BE CONTAINED AND DISPOSED SO THAT IT WILL NOT FLOW FROM THE SITE OR ENTER GROUNDWATER. EVEN IF THIS REQUIRES REMOVAL, TREATMENT, AND DISPOSAL OF SOIL. IN THIS REGARD, POTENTIALLY POLLUTING SUBSTANCES SHOULD BE HANDLED IN A MANNER CONSISTENT WITH THE IMPACT THEY REPRESENT.
 - WATER SOURCE**
NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

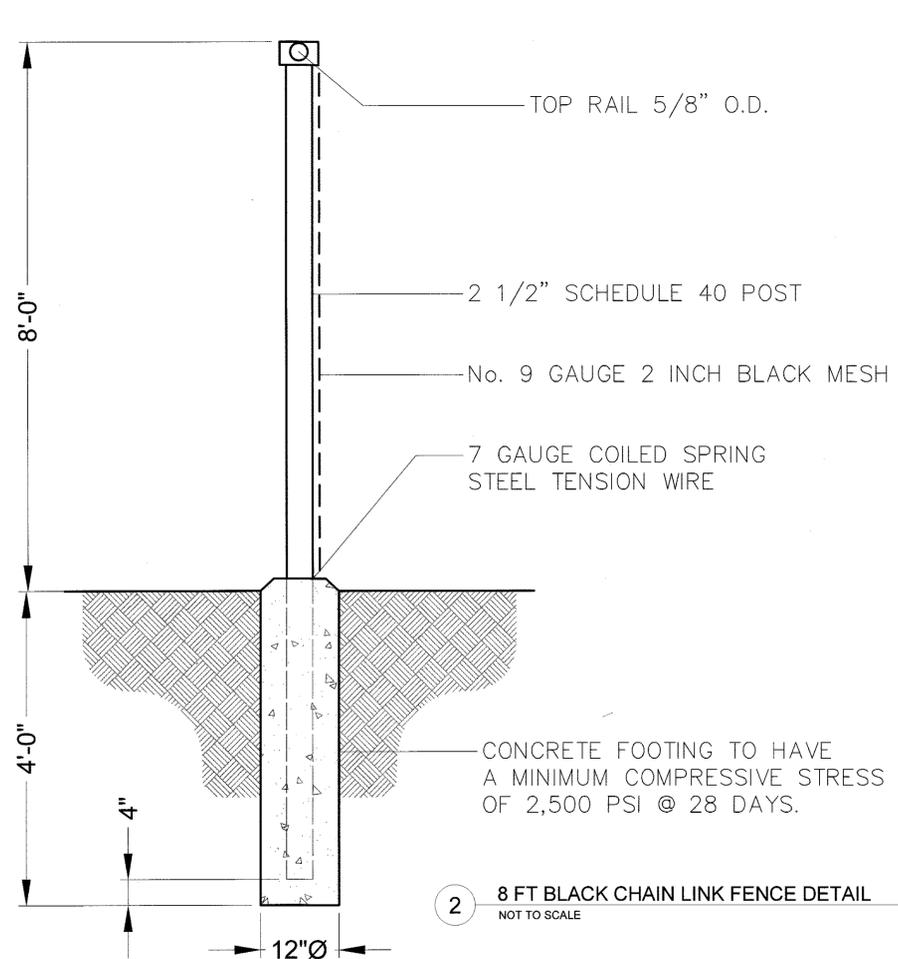
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3 Van Wyck Lane Suite 2 Wappingers Falls, New York (845)-223-3202	
PROJECT: Healey KIA - Newburgh	
114 NY-17K	
Town of Newburgh Orange County, New York	
DRAWING: Erosion and Sediment Control Plan	
SCALE	DRAWN BY
AS NOTED	MAD
DATE	CHECKED BY
11-14-19	MAD
ESC.1	
4 of 6	

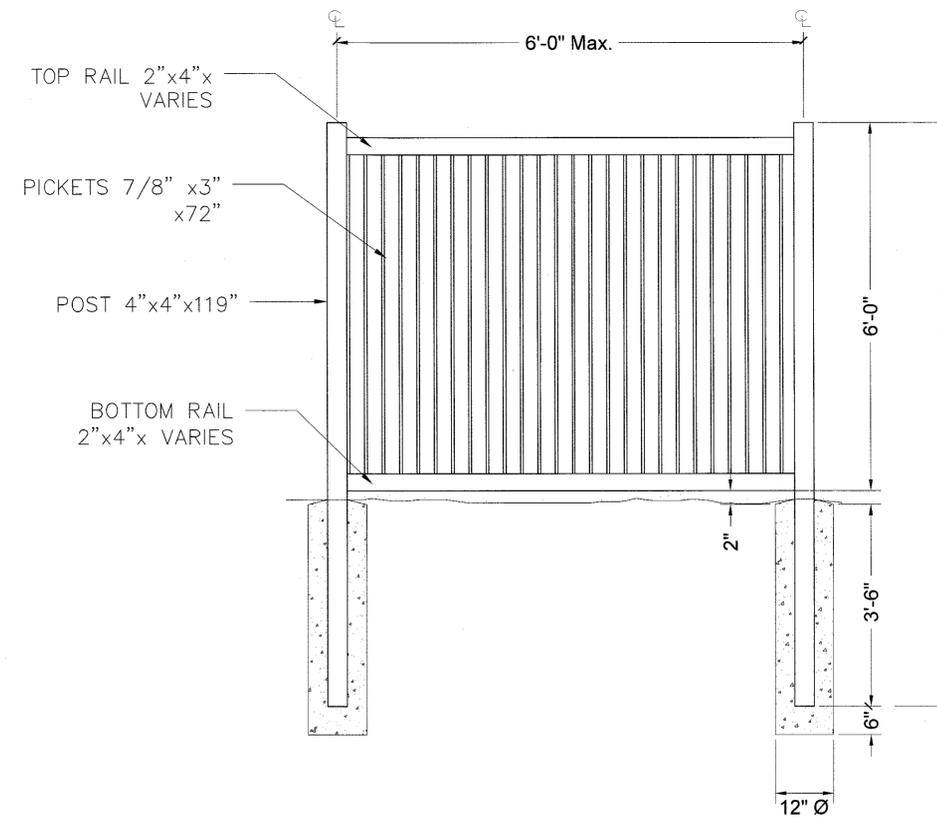
1 SOIL AND EROSION CONTROL PLAN
SCALE 1" = 60'



1 8 FT BLACK CHAIN LINK FENCE DETAIL
NOT TO SCALE



2 8 FT BLACK CHAIN LINK FENCE DETAIL
NOT TO SCALE



3 6 FT WHITE PVC BOARD ON BOARD FENCE DETAIL
NOT TO SCALE

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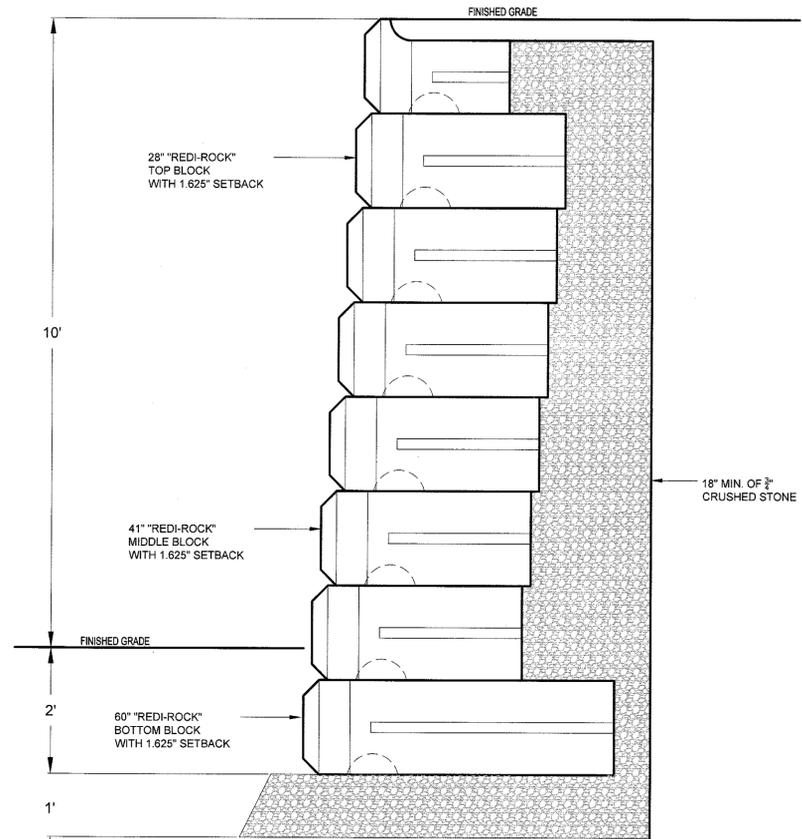
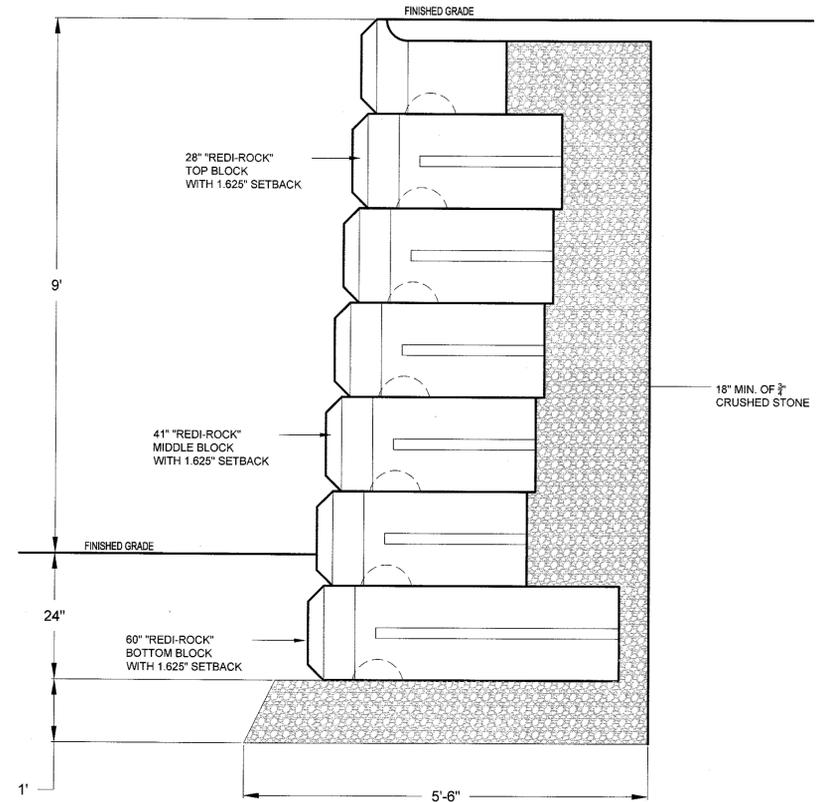
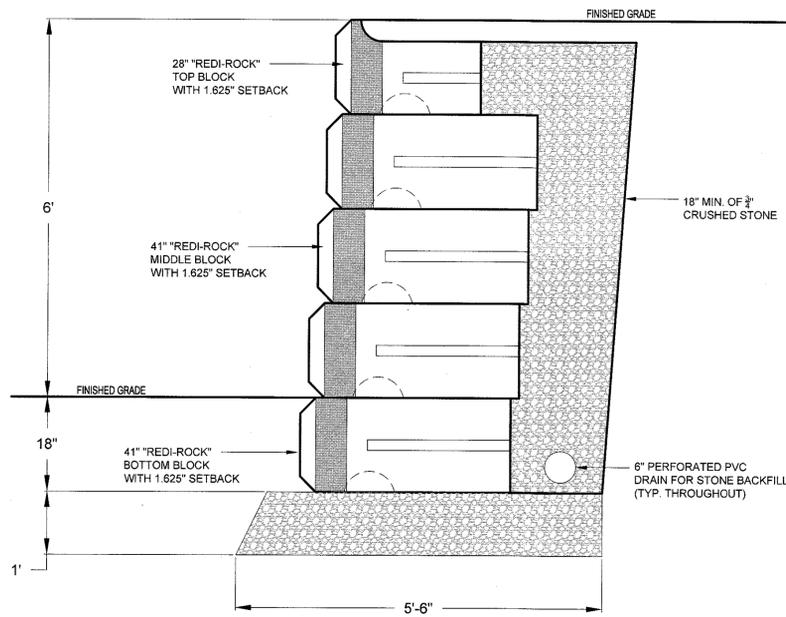
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Detail Sheet

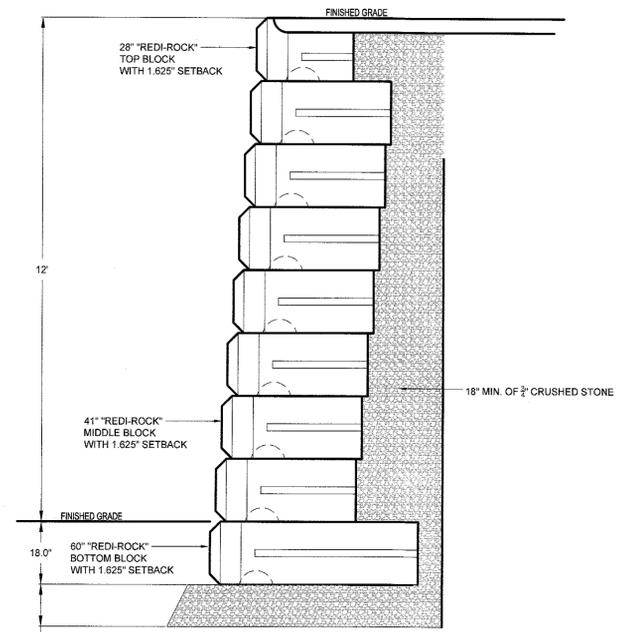
SCALE: AS NOTED	DRAWN BY: MAD	DT.1 5 of 6
DATE: 11-14-19	CHECKED BY: MAD	



1 6' RETAINING WALL CROSS-SECTION
3/4" = 1'-0"

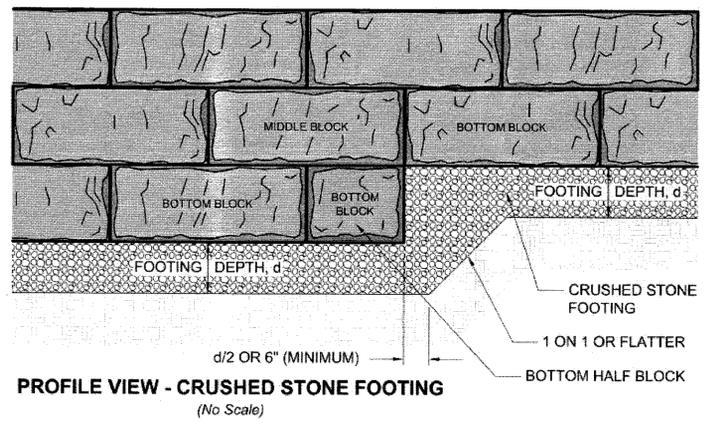
2 9' RETAINING WALL CROSS-SECTION
3/4" = 1'-0"

3 10' RETAINING WALL CROSS-SECTION
3/4" = 1'-0"



4 12' RETAINING WALL CROSS-SECTION
1/2" = 1'-0"

STEP FOOTING DETAILS



PROFILE VIEW - CRUSHED STONE FOOTING
(No Scale)

5 STEPPED FOOTING DETAIL
N.T.S.

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RETAINING WALL
DETAILS

SCALE	DRAWN BY	DRAWING NO.
AS NOTED	MAD	RW.1
DATE	CHECKED BY	6 of 6
11-14-19	MAD	