



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** GREEN LEAF- CANNABIS DISPENSARY  
**PROJECT NO.:** 24-3  
**PROJECT LOCATION:** SECTION 60, BLOCK 3, LOT 43  
**REVIEW DATE:** 11 APRIL 2024  
**MEETING DATE:** 18 APRIL 2024  
**PROJECT REPRESENTATIVE:** AFR ENGINEERING

1. Parking calculations have been identified on the site. 120 parking spaces are identified as being required, 139 spaces are provided.
2. The parking striping in the overflow parking area is identified as being very faded. Restriping of this area should be considered.
3. A Sign Report has been provided for the entire site.
4. A building layout plan has been provided identifying uses in the structure.
5. A dumpster enclosure is proposed with details provided.
6. Referral to Orange County Department of Planning is required as the project is on State highway.
7. Adjoiner's Notices have been circulated and an Affidavit of Mailing has been submitted.
8. Any approval must be conditioned on State licensing being provided and continuing the site.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines  
Principal  
PJH/ltn

**NEW YORK OFFICE**

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April 5, 2024

Town of Newburgh  
Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, New York 12550

Re: Special Permit Green Leaf – Cannabis Dispensary  
AFR Project # 4919

Greetings Mr. Chairman and members of the Planning Board,

Please find attached 31 copies of a Special Permit Site Plan for the above referenced project. PDF copies of the documents will be emailed to your secretary.

Also attached is a sign report intended to supplement the plan and address concerns raised by MHE's review of February 15, 2024.

The application is for a Special Permit for a Cannabis Dispensary. The facility is proposed to be located within an existing medium sized strip shopping center. The dispensary will be located to the rear of the building.

Addressing the reviewed items from MHE's report of February 15, 2024 using the same numbers as the report;

1. The application is for a Special Permit and the term Special Permit is included on the title of the plan sheet.
2. The plan and report being submitted will be signed and bear the impression seal of the design professional.
3. Required Parking computations for the entire site are provided on the plan. The existing number of spaces are indicated on the plan. There will be a reduction of 1 space to allow for the dumpster enclosure. The remaining existing number of parking spaces exceed the require number of spaces.
4. The location of existing and proposed signs are indicated on the plan and further documented with a written report.
5. All items pursuant to Section 185-49.9C 1-5 are addressed on the plan and have their own specific section of Notes.

6. This is the narrative and appropriate details and notes have been placed on the plan to address the issues raised.
7. The applicant will provide the State licensing information under separate cover.
8. We acknowledge and agree that this is a Type II under SEQRA.
9. We acknowledge and agree that this application has to go to the County for review. Respectfully the applicant requests that this application be sent to the County Planning review.
10. The applicant will provide the adjoiner's notices under separate cover.
11. A dumpster enclosure location and appropriate construction details have been added to the plan.
12. We acknowledge that the application is for a Special Permit and that a Public Hearing is required.

Feel free to contact me if there are any questions or concerns. My best contact is via email at [john.loch@afrgroup.net](mailto:john.loch@afrgroup.net).

We look forward to the Planning Board's review.

Sincerely,



John A. Loch, P.E., P.L.S.

# Sign Report

Special Permit Green Leaf – Cannabis  
Dispensary  
1400 Route 300  
Newburgh, New York 12550

April 5, 2024

AFR Project # 4919

AFR Engineering & Land Surveying, P.C.  
110 Stage Road  
Monroe, New York 10950

(845) 782-8681  
[john.loch@afrgroup.net](mailto:john.loch@afrgroup.net)

April 5, 2024

Greetings Mr. Chairman and members of the Planning Board,

This report is intended to provide clarification and documentation regarding the existing and proposed signs located at the subject site and is intended to be viewed as part of the Special Permit application.

There is an existing double-sided freestanding sign. The location is shown on the Site Plan. The dimensions of the sign are also documented on the Site Plan. A photo graph of the sign is provided in this report. At the time the photograph was taken there were some temporary banners wrapping part of the sign. The intent is to remove the banners and replace one panel, both sides, with a sign similar to the one labeled as 6P in this report.

There are 5 existing building mounted signs. They are labeled 1 thru 5 both on the Site Plan and on a diagram included with this report. Scaled photographs of each sign with their approximate sizes are provided within this report. There is no intention to modify these signs at this time and the information is being provided to provide documentation to the Town regarding the existing conditions.

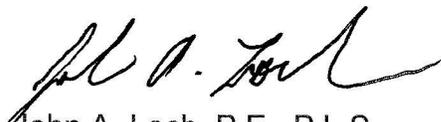
One building mounted sign is proposed. It is labeled 6P on the Site Plan and within this report. The intention is to install this sign for the Cannabis Dispensary.

See attached diagram and photographs of signs 1 thru 5, artist image for sign 6P, and the photograph of the freestanding sign. Note orange and cyan linework and annotation are superimposed on the photographs for scaling and approximate dimensions.

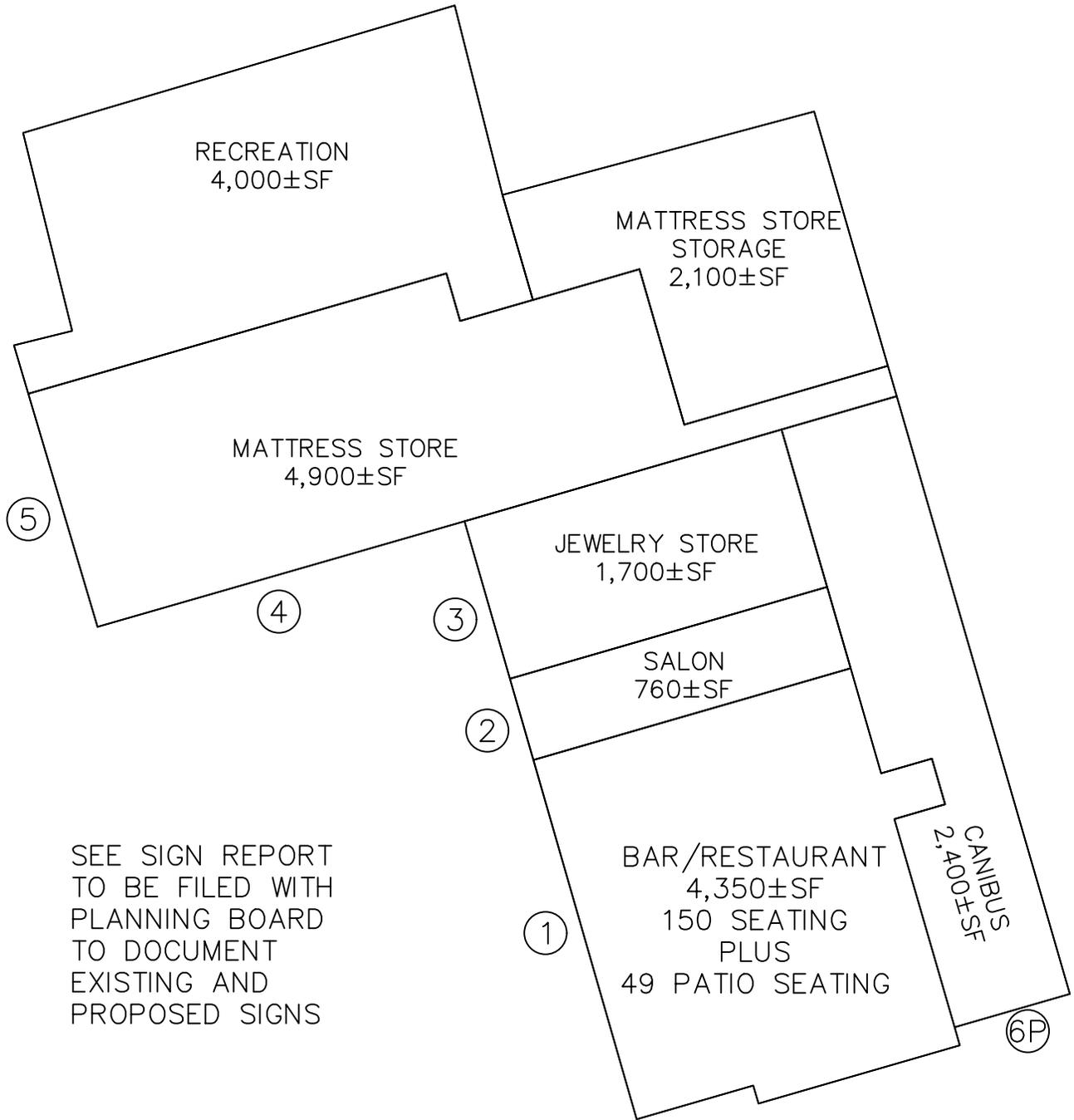
Feel free to contact me if there are any questions or concerns. My best contact is via email at [john.loch@afrgroup.net](mailto:john.loch@afrgroup.net).

We look forward to the Planning Board's review.

Sincerely,

A handwritten signature in black ink, appearing to read "John A. Loch". The signature is fluid and cursive, with a large initial "J" and "L".

John A. Loch, P.E., P.L.S.  
NYPE 64337, NYPLS 49985



# GROSS USE AREA & SIGN KEY

1" = 30'



Existing sign 1 located as shown on site plan.

Approximate Scale 1" = 2'.

Approximate overall size 12' x 3.8'.

Internally illuminated.

Photograph taken on 3-12-24.



Existing sign 2 located as shown on site plan.

Approximate Scale 1" = 2'.

Approximate overall size 11.1' x 2'.

Internally illuminated.

Photograph taken on 3-12-24.



Existing sign 3 located as shown on site plan.

Approximate Scale 1" = 3'.

Approximate overall size 17' x 3.8'.

Internally illuminated.

Photograph taken on 3-12-24.



Existing sign 4 located as shown on site plan.

Approximate Scale 1" = 3'.

Approximate overall size 22.1' x 3.1'.

Internally illuminated.

Photograph taken on 3-12-24.



Existing sign 5 located as shown on site plan.

Approximate Scale 1" = 3'.

Approximate overall size 17.4' x 2.4'.

Internally illuminated.

Photograph taken on 3-12-24.



Proposed sign 6P located as shown on site plan.

A similar sign panel is proposed for both sides of the existing freestanding sign located on the site. Panel dimensions for the freestanding sign are shown on the site plan.

Approximate Scale 1" = 1'.

Approximate overall size 6' x 3'.

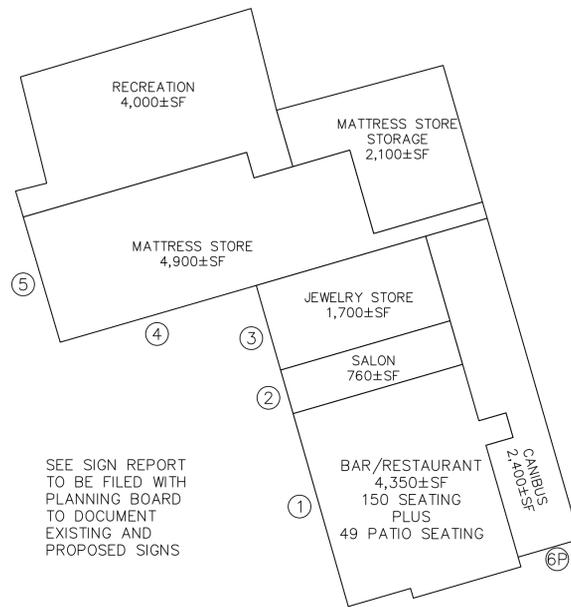
Internally illuminated.

Artwork for proposed sign is provided by the applicant.

# SECTION 185-49.9C NOTES

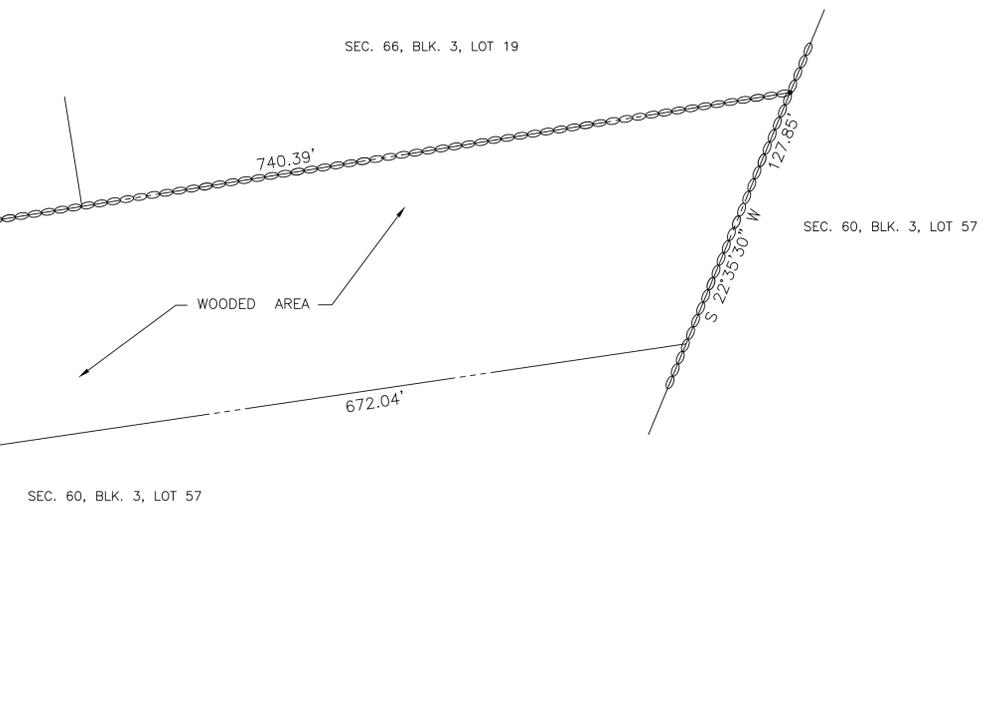
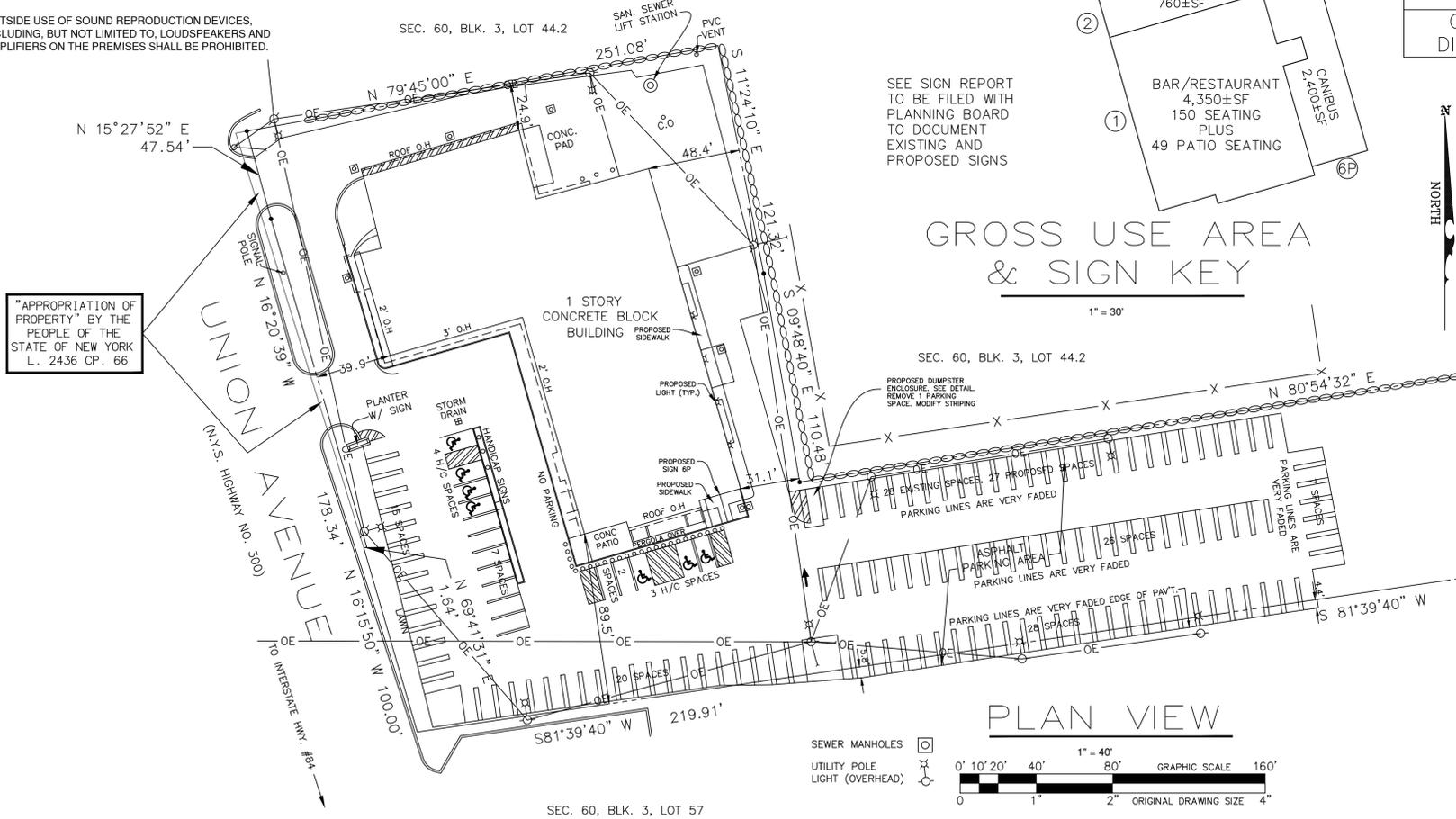
THESE NOTES ARE INTENDED TO ADDRESS THE SPECIAL CONCERNS OF SECTION 185-49.1C 1-5 OF THE TOWN CODE.

- EXISTING LIGHTING IS ALREADY PROVIDED FOR THE OVERALL SITE. THE DISPENSARY IS ADDING 4 BUILDING MOUNTED LIGHTS NEAR THEIR SHOP. THESE WILL BE SET TO OPERATE FROM DAWN TO DUSK.
- A DUMPSTER ENCLOSURE IS PROPOSED TO BE CONSTRUCTED.
- THE DISPENSARY WILL PROVIDE FOR CONTINUED MAINTENANCE AND CLEANING OF AREA ASSOCIATED WITH THEIR FACILITY. OTHER SITE AREAS WILL REMAIN THE RESPONSIBILITY OF THE OTHER TENANTS AND OR THE LANDLORD.
- NO SALES PRODUCT OR PARAPHENALIA RELATED TO THE PREPARATION OR CONSUMPTION OF PRODUCT SHALL BE VISIBLE OFF-SITE OR FROM A PUBLIC RIGHT-OF-WAY.
- OUTSIDE USE OF SOUND REPRODUCTION DEVICES, INCLUDING, BUT NOT LIMITED TO, LOUDSPEAKERS AND AMPLIFIERS ON THE PREMISES SHALL BE PROHIBITED.



USE	QUANTITY	UNIT	RATE	RATE UNITS	REQUIRED
RECREATION	4000	SQUARE FEET	150	SPACE PER SQUARE FOOT	27
FURNITURE	4900	SQUARE FEET	500	SPACE PER SQUARE FOOT	10
STORAGE	2100	SQUARE FEET	0	SPACE PER SQUARE FOOT	0
JEWERY	1700	SQUARE FEET	150	SPACE PER SQUARE FOOT	12
SALON	750	SQUARE FEET	150	SPACE PER SQUARE FOOT	5
BAR RESTAURANT	199	SEATS	4	SPACE PER SEAT	50
CANNIBUS DISPENSARY	2400	SQUARE FEET	150	SPACE PER SQUARE FOOT	16

120 PARKING SPACES ARE REQUIRED.  
139 PARKING SPACES INCLUDING 7 HANDICAP SPACES ARE PROVIDED.



## GENERAL NOTES

- THIS SURVEY IS BASED ON A FIELD SURVEY BY AFR ENGINEERING & LAND SURVEYING, P.C., COMPLETED ON 12/14/23.
- AREA OF SUBJECT PARCEL: 3.475 ACRES.
- LOCATIONS OF ALL UTILITIES AND SUBSTRUCTURES ARE APPROXIMATE ONLY BASED ON SURFACE EVIDENCE AND EXISTING PLANS. THE INFORMATION GIVEN ON THE SURVEY PERTAINING TO UTILITIES AND SUBSTRUCTURES IS NOT CERTIFIED AS TO THE ACCURACY OR COMPLETENESS. CONSULT WITH THE APPROPRIATE COMPANY OR AGENCY BEFORE DESIGNING OR CONSTRUCTING IMPROVEMENTS.
- HANDICAPPED PARKING SPACES ARE SHOWN AS MARKED, BUT MAY NOT BE ADA COMPLIANT.

## REFERENCES

- DEED: LIBER 5583, PAGE 112 & LIBER 3070, PAGE 324
- BEING SECTION 60 BLOCK 3, LOT 43, OF THE TOWN OF NEWBURGH TAX MAPPING

"SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED. THIS MAP MAY NOT BE COPIED, IN WHOLE OR IN PART, THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP IS COPYRIGHTED BY AZZOLINA, FEURY & RAMONDI ENGINEERING GROUP, AND MAY NOT BE SOLD, RENTED, LEASED, PHOTOCOPIED, TRACED, ENLARGED, REDUCED, OR TRANSFERRED IN ANY OTHER WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE AZZOLINA, FEURY & RAMONDI ENGINEERING GROUP.

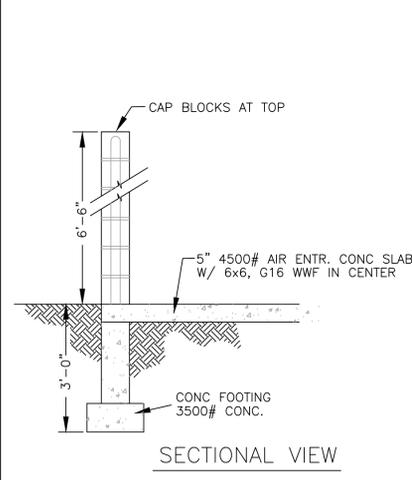
ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF A NEW YORK STATE LICENSED ENGINEER OR LAND SURVEYOR ARE VALID. UNAUTHORIZED ALTERATION OR ADDITION TO THIS MAP IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. EASEMENTS OR RIGHTS OF WAY ON OR BELOW THE SURFACE OF THE GROUND THAT ARE NOT VISIBLE ARE NOT SHOWN. SUBJECT TO THE FINDINGS OF A COMPLETE AND UP TO DATE TITLE SEARCH.

**SPECIAL USE PERMIT - SITE PLAN**  
PREPARED FOR  
**GREEN LEAF DISPENSARY**  
**1400 ROUTE 300**  
TOWN OF NEWBURGH  
ORANGE COUNTY NEW YORK  
**TM 60-3-43**

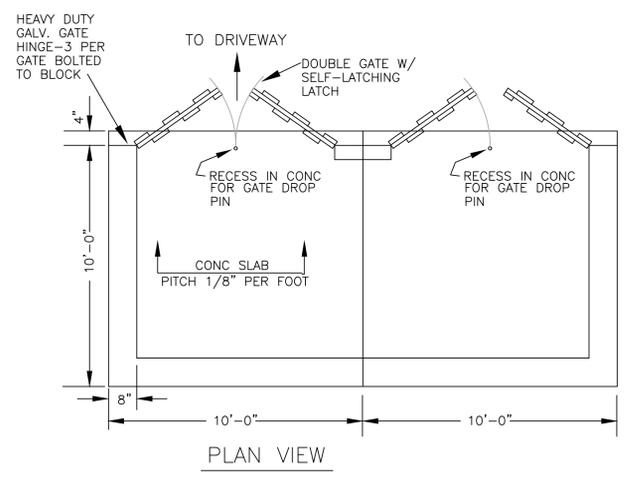
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John A. Loch, P.E., P.L.S.  
N.Y.P.E. 64337 N.Y.P.L.S. 49985

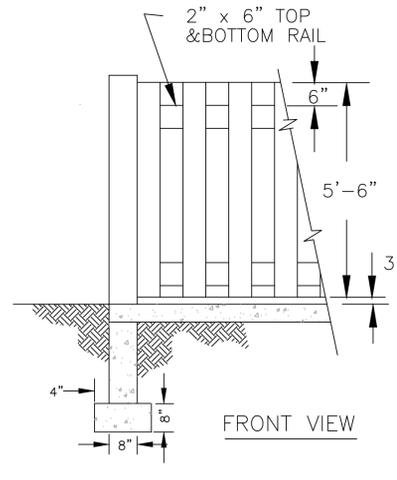
DATE: APRIL 4, 2024      DRAWN BY: JAL      CHECKED BY: JAF  
SCALE: 1" = 40'      JOB No.: 4919      SHEET: 1 OF 1



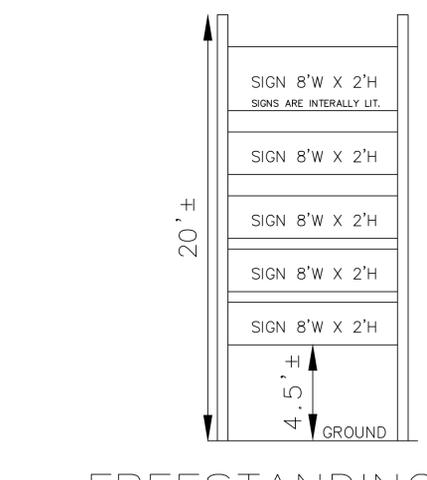
- NOTES: 1. ALL LUMBER SHALL BE PRESSURE TREATED  
2. ALL FASTENINGS SHALL BE GALVANIZED STEEL.  
3. STAIN AS PER OWNER



**DUMPSTER AREA DETAIL**  
N.T.S.



**FRONT VIEW**



**FREESTANDING SIGN DETAIL FACE VIEW**  
1" = 4'