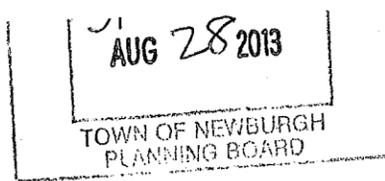


ZEN Design Consultants, Inc.
6 OLD NORTH PLANK ROAD, SUITE #103
NEWBURGH, NEW YORK 12550
(845) 568-0366 (phone)
13-002-BCI



August 23, 2013

Town of Newburgh
Planning Department
308 Gardnertown Road
Newburgh, NY 12550

Re: Gibson Subdivision
4 Lot Residential Subdivision
122 Rock Cut Road
Section 47 Block 1 Lot 28.2
Town Project : 13-09

FILE COPY

Dear Planning Board,

Comments addressed from BC Planning, LLC (dated: 07/18/13):

1. The applicant has provided a revised subdivision plan after receiving variances for the County Road front yard setback and the centerline setback on June 27, 2013.
No comment.

2. The lot line configuration previously showed two strips of approximately 15 feet along the northern and southern property lines to make the necessary square footage for the front lots. The layout now shows a one foot line with a triangle piece of property belonging to the front lots in the back yard of the back lots. I do not believe this configuration will work, as it is bound to cause disputes by the neighbors. The applicant should look to somehow rework the property lines to a more agreeable layout.
We went to the ZBA on 08/22/2013, received the needed variances to have this small strip of property along the northern and southern property lines removed and have noted the zoning variances approved on the plans and the date of the approval.

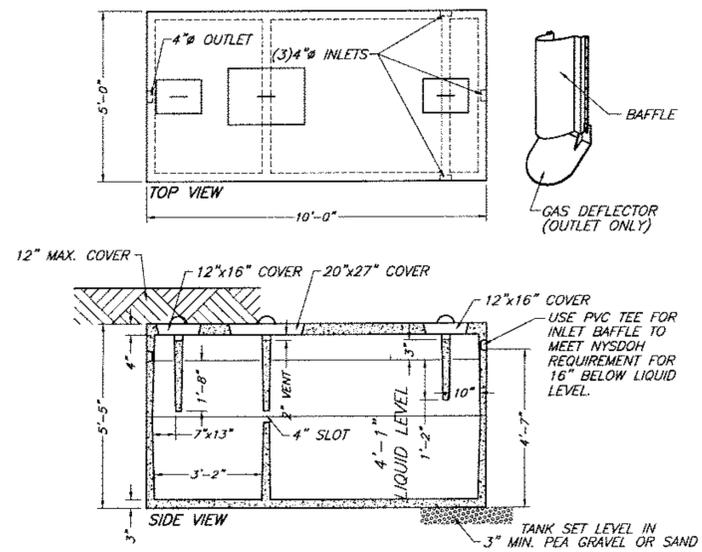
3. The necessary notes have been added to the plans regarding foundation staking and the abandonment of the septic system and driveway on the existing parcel.
No comment.

4. The buildable area requirement of 10,000 square feet has been shown as a shaded area for each lot, as requested
No comment.

5. All of my other previous comments have been addressed at this time.
No comment.
6. The Planning Board should declare their intent for lead agency, since the County DPW must approve the driveway location. The plans must also be sent to the OCPD. I would have no issue with a Negative Declaration if the applicant can re-configure the property lines.
No comment.
7. The applicant sent out the adjoiner notice with after the first Planning Board meeting. The Planning Board should discuss holding a Public Hearing on August 15, 2013.
No comment.

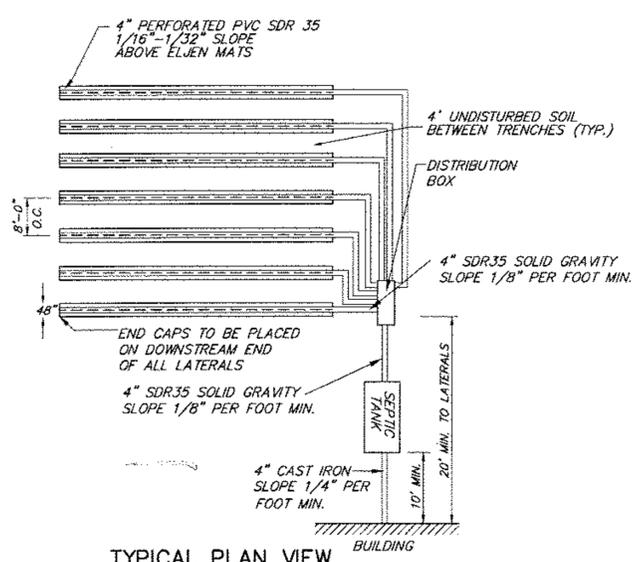
Comments addressed from McGoey, Hauser and Edsall (dated: 05/10/13):

1. Proposed house location note on Sheet 2 of 4 should read that survey plans will be submitted to the Building Department prior to construction of foundations.
This note has been adjusted.
2. If shaded areas within building envelope is to depict a buildable areas, outside of NYSDEC regulated areas should be incorporated. Areas within the regulated wetland are not considered buildable.
The shaded areas have been adjusted and the associated buildable area re-calculated.
3. Reference to septic system notes still contained Orange County Health Department references. Health Department review of this has not been undertaken.
The references have been removed.
4. Construction of a new subsurface sanitary sewer disposal system to serve proposed Lot 1 is required prior to stamping of the plans.
This is understood.
5. Orange County DPW approval for access drives is required.
This is understood.

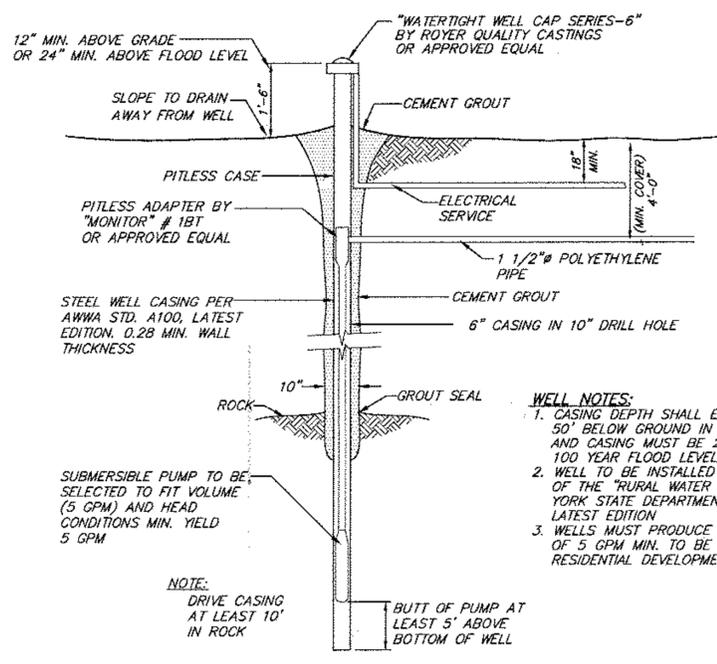


SPECIFICATIONS
 CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- 6"x6" 10GA. WWF, #3 REBAR
 AIR ENTRAPMENT- 5%
 CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 H2O LOADING ON REQUEST

WOODARD 1250gal. SEPTIC TANK OR EQUAL
 N.T.S.

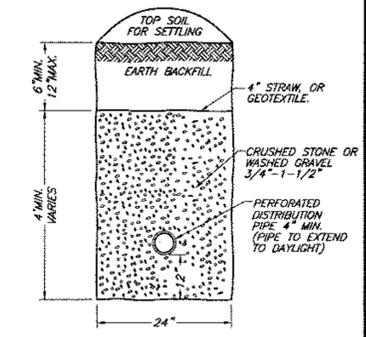


**TYPICAL PLAN VIEW
 (ELJEN SYSTEM)**
 N.T.S.



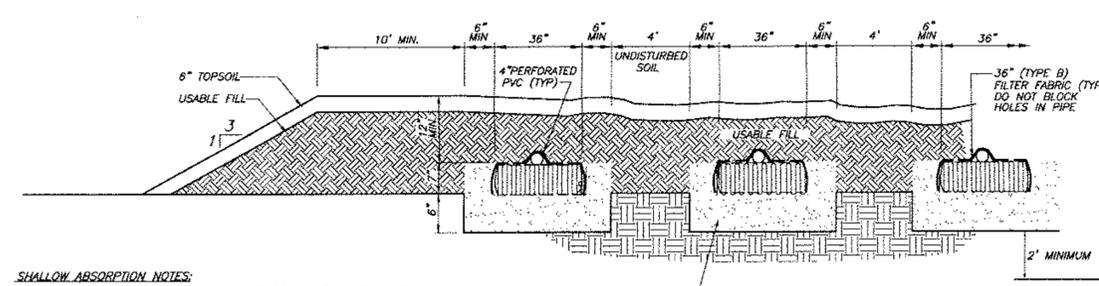
WELL NOTES:
 1. CASING DEPTH SHALL EXTEND AT LEAST 50' BELOW GROUND IN ANY CONDITION AND CASING MUST BE 24" MIN. ABOVE 100 YEAR FLOOD LEVEL.
 2. WELL TO BE INSTALLED PER TABLE 5 OF THE "RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH LATEST EDITION
 3. WELLS MUST PRODUCE AN AVERAGE YIELD OF 5 GPM MIN. TO BE SUITABLE FOR RESIDENTIAL DEVELOPMENT.

WELL DETAIL
 N.T.S.



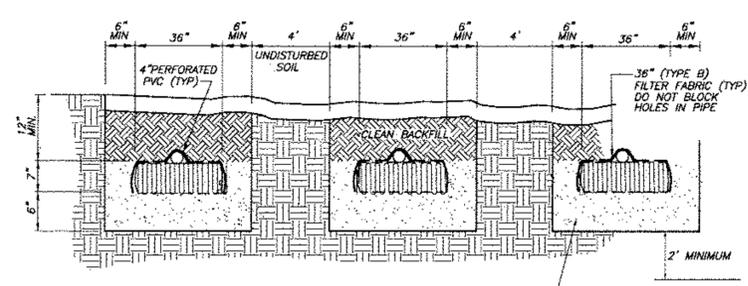
NOTE:
 1. OUTLET TO BE SCREENED TO PREVENT ANIMAL ENTRY.
 2. MINIMUM PIPE SLOPE TO BE 0.4% UP TO END OF SDS FIELD. SOLID PIPE TO BE USED TO EXTEND TO DAYLIGHT.
 3. WELLS MUST PRODUCE AN AVERAGE YIELD OF 5 GPM MIN. TO BE SUITABLE FOR RESIDENTIAL DEVELOPMENT.

CURTAIN DRAIN
 N.T.S.



SHALLOW ABSORPTION NOTES:
 1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL AND BOTTOM OF TRENCHES SHALL BE 6" BELOW ORIGINAL GRADE.
 2. USABLE FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
 3. TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.
 4. MAXIMUM DEPTH OF USABLE FILL PLUS 6" OF TOPSOIL SHALL NOT EXCEED 30".
 5. THE EDGE OF THE FILL MATERIAL SHALL BE TAPERED AT A SLOPE OF NO GREATER THAN ONE VERTICAL TO THREE HORIZONTAL. ON SLOPED SITES A DIVERSION DITCH SHALL BE PLACED ON THE UPHILL SIDE TO PREVENT RUNOFF FROM ENTERING THE FILL.
 6. FILL SHALL EXTEND AT LEAST TEN FEET BEYOND THE ENDS OF TRENCHES BEFORE STARTING ONE ON THREE EDGES OF FILL.

**SHALLOW ABSORPTION
 TRENCH CROSS SECTION
 FOR ELJEN SYSTEM**
 N.T.S.
 LOTS (2 & 3)

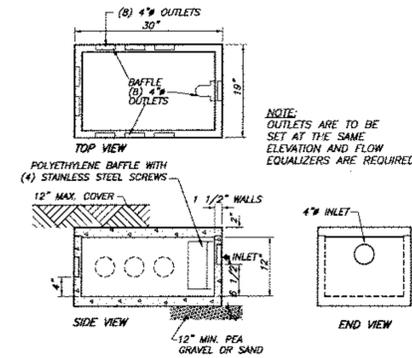


INSTALLER SHALL INSTALL A 6" LAYER OF WASHED MEDIUM TO COURSE CONCRETE SAND OR EQUIV. SEE ELJEN IN-DRAIN DESIGN AND INSTALLATION MANUAL FOR DETAILS

**TRENCH CROSS SECTION
 FOR ELJEN SYSTEM**
 N.T.S.
 LOTS (1 & 4)

ASTM C33 SAND SPECIFICATION

SIEVE SIZE	SIEVE SQ. OPNG. SIZE	SPEC. % PASSING (WET SIEVE)
0.375"	9.5 mm	100.0-100.0
#4	4.75 mm	95.0-100.0
#8	2.36 mm	80.0-100.0
#16	1.18 mm	50.0-85.0
#30	600 um	25.0-60.0
#50	300 um	5.0-30.0
#100	150 um	< 10.0
#200	75 um	< 5.0



DISTRIBUTION BOX DETAILS
 WOODARDS DB-9

SPECIFICATIONS
 CONCRETE MIN. STRENGTH- 4,000 PSI AT 28 DAYS
 REINFORCEMENT- FIBER 10GA WIRE MESH
 AIR ENTRAPMENT- 5%
 PIPE CONNECTION- POLYLOC SEAL (PATENTED)
 LOAD RATING- 300 PSF

REQUIRED SEPARATION DISTANCES FROM WASTEWATER SYSTEM COMPONENTS TO EXISTING OR PROPOSED WELLS, SPRINGS, OR OTHER RESIDENTIAL WASTEWATER TREATMENT SYSTEMS (2004)

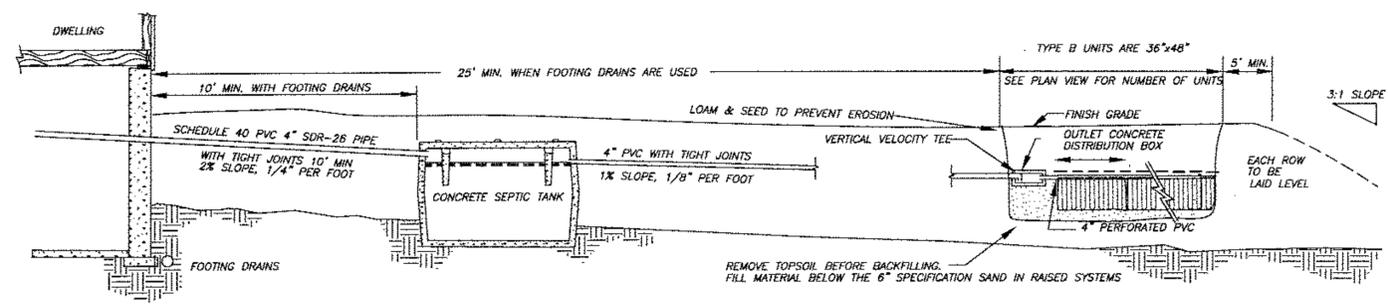
SYSTEM COMPONENTS	WELL OR SPRING	SEPTIC TANK	PERILLING	PROPERTY LINE	ADJACENT LOT
HOUSE SEWER	25'	3'	15'		
INTERMITTENT WELLS					
SEPTIC TANK	50'	50'	10'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'
DISTRIBUTION BOX	100'	150'	20'	10'	20'
ABSORPTION FIELD	100'	100'	20'	10'	50'
SEWAGE FIT	150'	100'	20'	10'	50'
DRY WELL (POOF AND FOOTING)	50'	25'	20'	10'	10'
BASED ON WELLS SYSTEM	100'	100'	20'	10'	50'
INTERMITTENT SAND FILTER	100'	100'	20'	10'	50'
ELECTRODEPOSITION-ABSORPTION SYSTEM	100'	50'	20'	10'	50'
COMPOSTER	50'	50'	20'	10'	10'
SANITARY PUMP FIT	100'	50'	20'	10'	30'
PUMP, WATERTIGHT HULL	50'	50'	20'	10'	10'

3. REVISED 06/23/2013 PER ZONING BOARD APPROVAL 06/22/2013.
 2. REVISED 06/26/2013 PER ZONING BOARD APPROVAL 06/27/2013.
 1. REVISED 05/21/2013 PER PLANNING BOARD COMMENTS 05/16/2013.

WILLIAM J. MOREAU, P.E.
 ENGINEER

**GIBSON ESTATES
 4 LOT SUBDIVISION
 MISC.. DETAILS
 ROCK CUT ROAD, SBL: 47-1-28.2
 TOWN OF NEWBURGH, ORANGE COUNTY, NY**

DATE: 03/28/2013 SCALE: 1"=30' JOB NUMBER: 13-002-BEC SHEET NUMBER: 4 OF 4



TYPICAL SECTION OF ELJEN IN-DRAIN SYSTEM
 N.T.S.

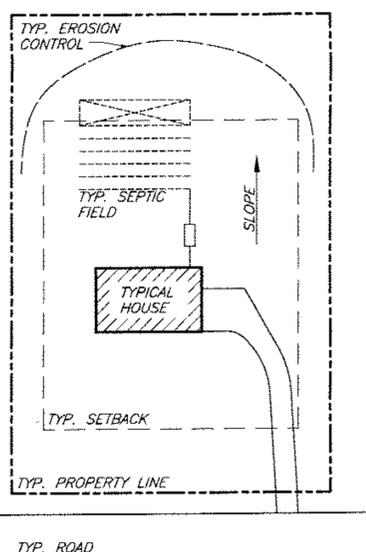
SEPTIC SYSTEM DESIGN DATA:

	LOT #1-INGROUND	LOT #2-SHALLOW	LOT #3-INGROUND	LOT #4-SHALLOW
PERCOLATION DATA *	PT11 24" DEEP STABILIZED RATE- 04/14/13 12 MIN/INCH PT12 24" DEEP STABILIZED RATE- 04/14/13 10 MIN/INCH	PT21 12" DEEP STABILIZED RATE- 04/14/13 22 MIN/INCH PT22 12" DEEP STABILIZED RATE- 04/14/13 29 MIN/INCH	PT31 24" DEEP STABILIZED RATE- 04/14/13 11 MIN/INCH PT32 24" DEEP STABILIZED RATE- 04/14/13 11 MIN/INCH	PT41 24" DEEP STABILIZED RATE- 04/14/13 14 MIN/INCH PT42 24" DEEP STABILIZED RATE- 04/14/13 09 MIN/INCH
DEEP PIT DATA ●	DT11 4'-4" DEEP 04/14/13 0'-6" TOPSOIL 6"-18" GRITTY LOAM 18"-52" LOAM W/ SHALE DT12 4'-1" DEEP 04/14/13 0'-3" TOPSOIL 3"-12" GRITTY LOAM 12"-49" LOAM W/ SHALE	DT21 3'-0" DEEP 04/14/13 0'-3" TOPSOIL 3"-14" GRAVELLY LOAM 14"-28" CLAY LOAM 28"-36" LOAM W/ SHALE DT22 2'-10" DEEP 04/14/13 0'-2" TOPSOIL 2"-12" GRAVELLY LOAM 12"-26" CLAY LOAM 26"-34" LOAM W/ SHALE	DT31 4'-8" DEEP 04/14/13 0'-6" TOPSOIL 6"-36" GRAVELLY LOAM 36"-56" LOAM W/ SHALE DT32 5'-0" DEEP 04/14/13 0'-5" TOPSOIL 5"-48" GRAVELLY LOAM 48"-60" LOAM W/ SHALE BEDROCK @ 60"	DT41 2'-8" DEEP 04/14/13 0'-6" TOPSOIL 6"-32" GRITTY LOAM BEDROCK @ 32" DT42 3'-0" DEEP 04/14/13 0'-3" TOPSOIL 3"-36" GRITTY LOAM BEDROCK @ 36"
DESIGN DATA	1.) NO OF BEDROOMS - 4 (MAX) 2.) DAILY FLOW - 520 G.P.D. 3.) SEPTIC TANK CAPACITY - 1,250 GAL. 4.) STABILIZED PERCOLATION RATE- 12 MIN/INCH 5.) ABSORPTION FIELD LENGTH- REQ'D (4BDRM)- 92 L.F. PROV'D-2 @ 48'= 96 L.F. 6.) FILL REQUIRED- NONE	1.) NO OF BEDROOMS - 3(MAX) 2.) DAILY FLOW - 390 G.P.D. 3.) SEPTIC TANK CAPACITY - 1,250 GAL. 4.) STABILIZED PERCOLATION RATE- 29 MIN/INCH 5.) ABSORPTION FIELD LENGTH- REQ'D (3BDRM)- 110 L.F. PROV'D-2 @ 56'= 112 L.F. 6.) FILL REQUIRED- 12"	1.) NO OF BEDROOMS - 4(MAX) 2.) DAILY FLOW - 520 G.P.D. 3.) SEPTIC TANK CAPACITY - 1,250 GAL. 4.) STABILIZED PERCOLATION RATE- 11 MIN/INCH 5.) ABSORPTION FIELD LENGTH- REQ'D (4BDRM)- 92 L.F. PROV'D-3 @ 32'= 96 L.F. 6.) FILL REQUIRED- NONE	1.) NO OF BEDROOMS - 4(MAX) 2.) DAILY FLOW - 520 G.P.D. 3.) SEPTIC TANK CAPACITY - 1,250 GAL. 4.) STABILIZED PERCOLATION RATE- 14 MIN/INCH 5.) ABSORPTION FIELD LENGTH- REQ'D (3BDRM)- 92 L.F. PROV'D-3 @ 32'= 96 L.F. 6.) FILL REQUIRED- 18"

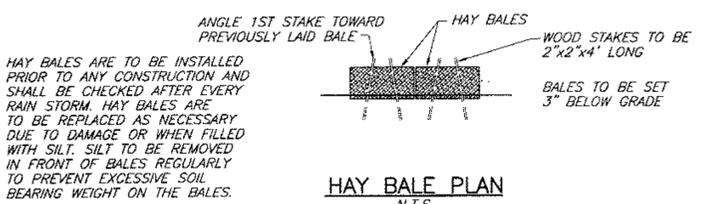
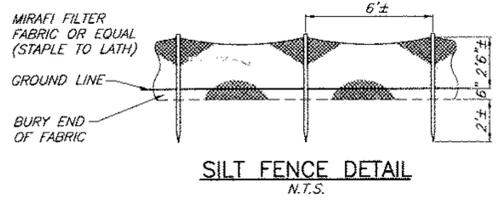


- SEPTIC SYSTEM GENERAL NOTES:**
- ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.
 - SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.
 - CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF ABSORPTION FIELD.
 - NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.
 - NO TRENCHES TO BE INSTALLED IN WET SOIL.
 - RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.
 - GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.
 - DISTRIBUTION LINE ARE TO BE CAPPED.
 - THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.
 - ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.
 - NO SEWAGE SYSTEM SHALL BE PLACED WITH IN 100' OF ANY WATER COURSE OR 50' OF DRAINAGE DITCH. THIS DISTANCE IS TO BE MEASURED FROM THE TOE OF ANY FILL PLACED.
 - ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.
 - BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.
 - THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION TO THE TOWN OF NEWBURGH FOR REVIEW AND APPROVAL.
 - HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
 - THE SEWAGE DISPOSAL SYSTEMS WERE NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS OR JACUZZI TYPE SPA TUBS OVER 100 GALLONS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOMMODATE THEM.
 - THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
 - THE PURCHASER OF EACH LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. THE PURCHASER SHALL ALSO BE ADVISED OF ANY ROUTINE OR SPECIAL MAINTENANCE PROCEDURES THAT MAY BE NECESSARY (REFER TO PAGES 58-61 OF THE NYSDOH DESIGN HANDBOOK FOR RECOMMENDED ROUTINE OPERATION AND MAINTENANCE ITEMS).
 - A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPT.) SHALL INSPECT THE SANITARY FACILITIES (WATER, ANY TREATMENT AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE DWELLING, THE ENGINEER SHALL CERTIFY TO THE TOWN OF NEWBURGH THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ANY SEPTIC TANK JOINTS HAVE BEEN SEALED AND TESTED FOR WATER TIGHTNESS.

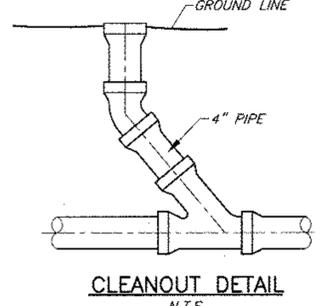
- EROSION CONTROL STANDARD NOTES:**
- EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ONLY IN SUCH LOCATIONS AND IN SUCH A MANNER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
 - SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
 - THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
 - THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
 - THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
 - MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
 - WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
 - SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCRoACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
 - ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL.
 - FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF ONE HUNDRED PERCENT (100%) OF STANDARD PROCTOR TEST METHOD OR 95% MODIFIED PROCTOR TEST METHOD WITH PROPER MOISURE CONTROL.
 - ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEEDED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
 - PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
 - THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
 - ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
 - SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
 - TERRACES SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
 - DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.



TYPICAL EROSION CONTROL DETAIL
N.T.S.
NOTE: STRAW BALES OR SILT FENCING ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. EROSION CONTROL TO BE LOCATED ON THE DOWNHILL SIDE OF DISTURBED LAND. EROSION CONTROL LOCATIONS WILL VARY DEPENDING ON THE DIRECTION OF SLOPE FOR THE INDIVIDUAL LOTS. SEE DETAILS FOR INSTALLATION INSTRUCTIONS.



HAY BALES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. HAY BALES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT TO BE REMOVED IN FRONT OF BALES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE BALES.
HAY BALE PLAN
N.T.S.
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. STRAW BALES ARE TO BE USED FOR SILTATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. STRAW BALES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.

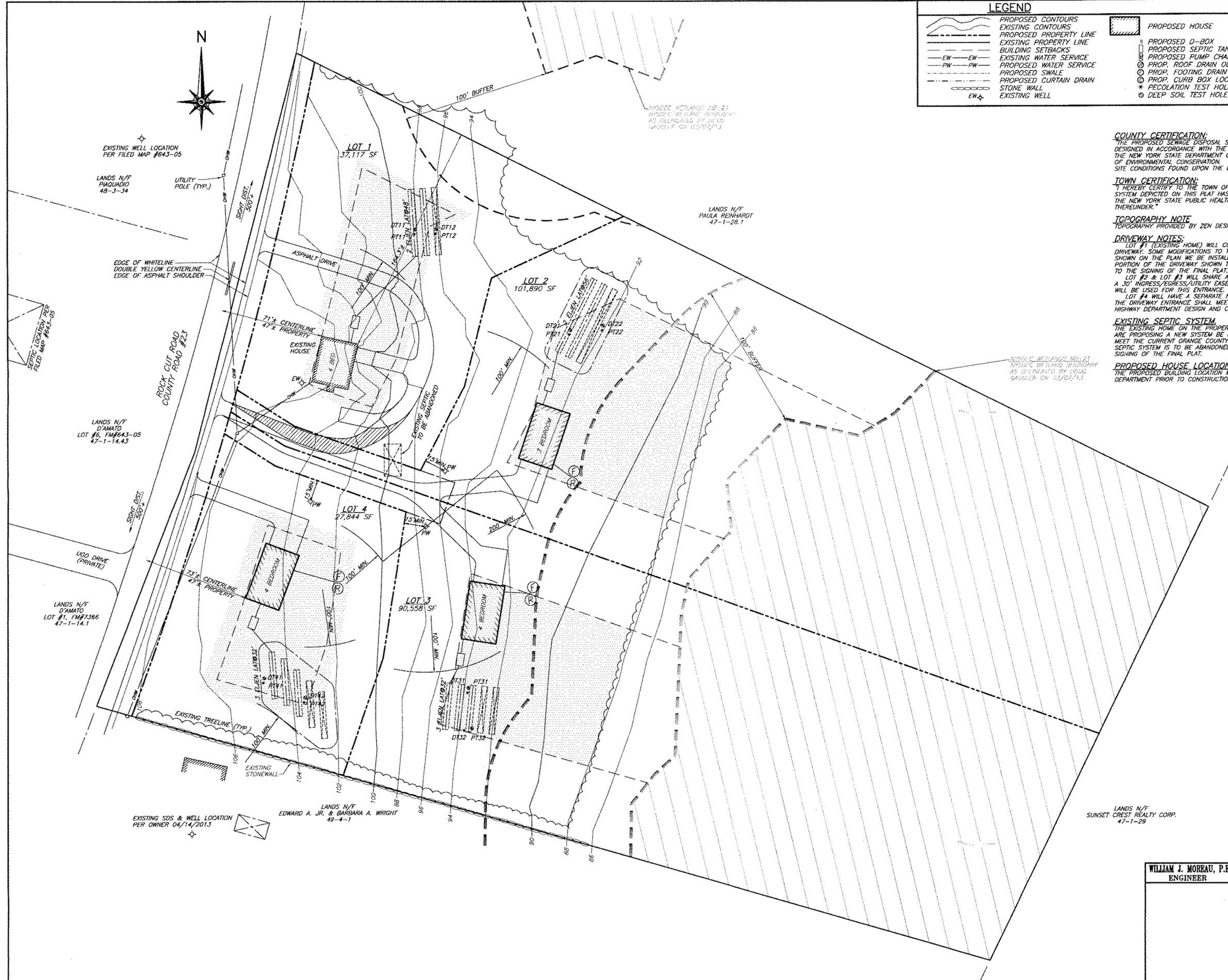


CLEANOUT DETAIL
N.T.S.
1. TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS.
2. TO BE INSTALLED WHERE PIPE DEFLECTION EXCEEDS 15' AT INTERSECTION WITH CONCRETE TANKS

STANDARD NOTES:
THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
"WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."
"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."
"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES."
ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE.
ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.
TRENCH BOTTOMS TO BE SET LEVEL AND PARALLEL TO EXISTING CONTOURS.

WILLIAM J. MORRAU, P.E.
ENGINEER
GIBSON ESTATES
4 LOT SUBDIVISION
SEPTIC DETAILS
ROCK CUT ROAD, SBL: 47-1-28.2
TOWN OF NEWBURGH, ORANGE COUNTY, NY

LEGEND	
	PROPOSED CONTOURS
	EXISTING CONTOURS
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	BUILDING SETBACKS
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	PROPOSED SWALE
	PROPOSED CURTAIN DRAIN
	STONE WALL
	EXISTING WELL
	PROPOSED HOUSE
	PROPOSED D-BOX
	PROPOSED SEPTIC TANK
	PROPOSED PUMP CHAMBER
	PROP. ROOF DRAIN OUTLET
	PROP. FOOTING DRAIN OUTLET
	PROP. CURB BOX LOCATION
	* PERCOLATION TEST HOLE
	o DEEP SOIL TEST HOLE



COUNTY CERTIFICATION:
 THE PROPOSED SEWAGE DISPOSAL SYSTEM AND WATER SUPPLY SYSTEM SHOWN ARE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION. THE DESIGN IS BASED UPON THE ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOT AT THE DESIGN LOCATION AT THE TIME OF DESIGN.

TOWN CERTIFICATION:
 I HEREBY CERTIFY TO THE TOWN OF NEWBURGH THAT THE SEWAGE DISPOSAL SYSTEM DEPICTED ON THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER.

TOPOGRAPHY NOTE
 TOPOGRAPHY PROVIDED BY ZEN DESIGN CONSULTANTS, INC.

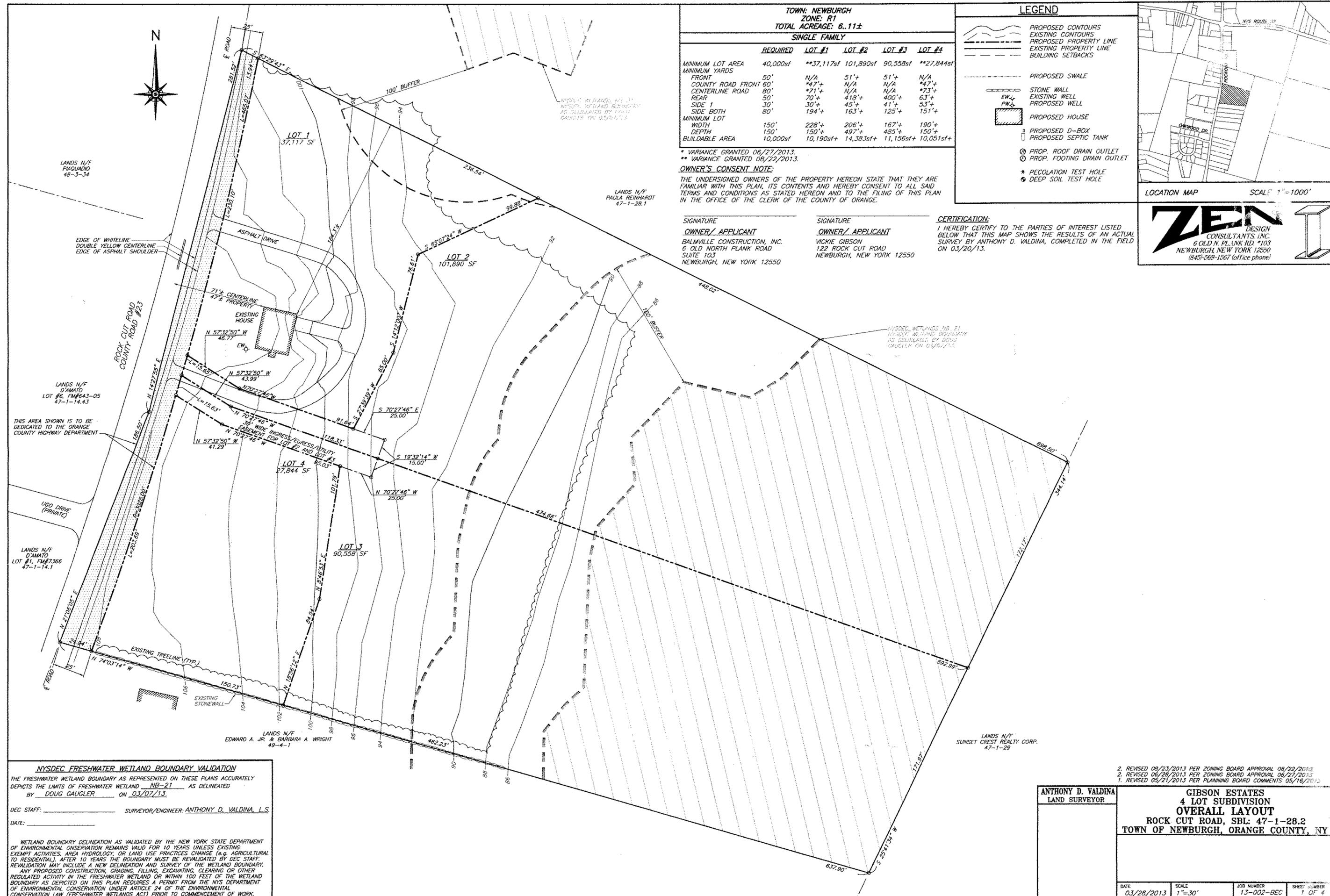
DRIVEWAY NOTES:
 LOT #1 (EXISTING HOME) WILL CONTINUE TO USE THE NORTHERLY MOST EXISTING DRIVEWAY. SOME MODIFICATIONS TO THE END OF THE DRIVEWAY (INSIDE THE LOT) AS SHOWN ON THE PLAN WILL BE INSTALLED AT THE TIME OF CONSTRUCTION. THE PORTION OF THE DRIVEWAY SHOWN TO BE ABANDONED SHALL BE COMPLETED PRIOR TO THE SIGNING OF THE FINAL PLAN.
 LOT #2 & LOT #3 WILL SHARE A COMMON DRIVEWAY WHICH IS PROPOSED TO HAVE A 30' ADDRESS/ADDRESS/UTILITY EASEMENT AROUND IT. THE EXISTING SOUTHERLY DRIVEWAY WILL BE USED FOR THIS ENTRANCE.
 LOT #4 WILL HAVE A SEPARATE NEW DRIVEWAY INSTALLED AS SHOWN ON THE PLAN. THE DRIVEWAY ENTRANCE SHALL MEET THE REQUIREMENTS OF THE ORANGE COUNTY HIGHWAY DEPARTMENT DESIGN AND CONSTRUCTION STANDARDS.

EXISTING SEPTIC SYSTEM
 THE EXISTING HOME ON THE PROPERTY HAS AN EXISTING SDS SYSTEM IN PLACE WE ARE PROPOSING A NEW SYSTEM BE INSTALLED ALONG WITH A PROPER SEPTIC TANK TO MEET THE CURRENT ORANGE COUNTY HEALTH DEPARTMENT GUIDELINES. THE EXISTING SEPTIC SYSTEM IS TO BE ABANDONED AND THE NEW SYSTEM INSTALLED PRIOR TO THE SIGNING OF THE FINAL PLAN.

PROPOSED HOUSE LOCATIONS
 THE PROPOSED BUILDING LOCATION MAP SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION OF THE FOUNDATIONS.

- 3. REVISED 08/23/2013 PER ZONING BOARD APPROVAL 08/22/2013.
- 2. REVISED 06/28/2013 PER ZONING BOARD APPROVAL 06/27/2013.
- 1. REVISED 05/21/2013 PER PLANNING BOARD COMMENTS 05/16/2013.

WILLIAM J. MOREAU, P.E. ENGINEER	GIBSON ESTATES		
	4 LOT SUBDIVISION		
SITE PLAN			
ROCK CUT ROAD, SBL: 47-1-28.2			
TOWN OF NEWBURGH, ORANGE COUNTY, NY			
DATE	SCALE	JOB NUMBER	SHEET NUMBER
03/28/2013	1"=30'	13-002-BEC	2 OF 4

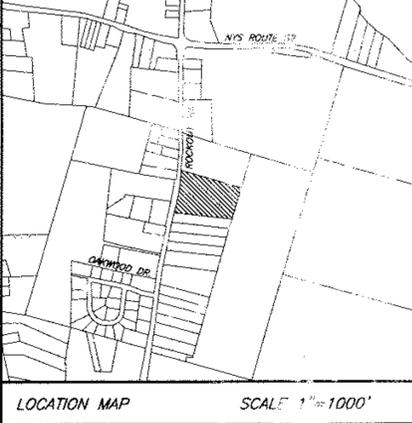


TOWN: NEWBURGH
 ZONE: R1
 TOTAL ACREAGE: 6.11±
 SINGLE FAMILY

	REQUIRED	LOT #1	LOT #2	LOT #3	LOT #4
MINIMUM LOT AREA	40,000sf	**37,117sf	101,890sf	90,558sf	**27,844sf
MINIMUM YARDS					
FRONT	50'	N/A	51'	51'	N/A
COUNTY ROAD FRONT	60'	*47'+	N/A	N/A	*47'+
CENTERLINE ROAD	80'	*71'+	N/A	N/A	*73'+
REAR	50'	70'+	418'+	400'+	63'+
SIDE 1	30'	30'+	45'+	41'+	53'+
SIDE BOTH	80'	194'+	163'+	125'+	151'+
MINIMUM LOT WIDTH	150'	228'+	206'+	167'+	190'+
MINIMUM LOT DEPTH	150'	150'+	497'+	485'+	150'+
BUILDABLE AREA	10,000sf	10,190sf+	14,383sf+	11,156sf+	10,051sf+

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACKS
- PROPOSED SWALE
- STONE WALL
- EXISTING WELL
- PROPOSED WELL
- PROPOSED HOUSE
- PROPOSED D-BOX
- PROPOSED SEPTIC TANK
- PROP. ROOF DRAIN OUTLET
- PROP. FOOTING DRAIN OUTLET
- PECOLATION TEST HOLE
- DEEP SOIL TEST HOLE



* VARIANCE GRANTED 06/27/2013.
 ** VARIANCE GRANTED 08/22/2013.
OWNER'S CONSENT NOTE:
 THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE.

SIGNATURE
OWNER/APPLICANT
 BALMVILLE CONSTRUCTION, INC.
 6 OLD NORTH PLANK ROAD
 SUITE 103
 NEWBURGH, NEW YORK 12550

SIGNATURE
OWNER/APPLICANT
 VICKIE GIBSON
 122 ROCK CUT ROAD
 NEWBURGH, NEW YORK 12550

CERTIFICATION:
 I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY BY ANTHONY D. VALDINA, COMPLETED IN THE FIELD ON 03/20/13.

ZEN DESIGN CONSULTANTS, INC.
 6 OLD N. PLANK RD. #103
 NEWBURGH, NEW YORK 12550
 (845) 569-1567 (office phone)

LANDS N/F D'AMATO LOT #6, FM#643-05 47-1-14.43
 THIS AREA SHOWN IS TO BE DEDICATED TO THE ORANGE COUNTY HIGHWAY DEPARTMENT

LANDS N/F D'AMATO LOT #1, FM#7366 47-1-14.1
 UGO DRIVE (PRIVATE)

LANDS N/F EDWARD A. JR. & BARBARA A. WRIGHT 49-4-1

LANDS N/F SUNSET CREST REALTY CORP. 47-1-29

NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION
 THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY DEPICTS THE LIMITS OF FRESHWATER WETLAND NB-21 AS DELINEATED BY DOUG GAUGLER ON 03/07/13.

DEC STAFF: _____ SURVEYOR/ENGINEER: ANTHONY D. VALDINA, L.S.
 DATE: _____

WETLAND BOUNDARY DELINEATION AS VALIDATED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REMAINS VALID FOR 10 YEARS UNLESS EXISTING EXEMPT ACTIVITIES, AREA HYDROLOGY, OR LAND USE PRACTICES CHANGE (e.g. AGRICULTURAL TO RESIDENTIAL). AFTER 10 YEARS THE BOUNDARY MUST BE REVALIDATED BY DEC STAFF. REVALIDATION MAY INCLUDE A NEW DELINEATION AND SURVEY OF THE WETLAND BOUNDARY. ANY PROPOSED CONSTRUCTION, GRADING, FILLING, EXCAVATING, CLEARING OR OTHER REGULATED ACTIVITY IN THE FRESHWATER WETLAND OR WITHIN 100 FEET OF THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN REQUIRES A PERMIT FROM THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNDER ARTICLE 24 OF THE ENVIRONMENTAL CONSERVATION LAW (FRESHWATER WETLANDS ACT) PRIOR TO COMMENCEMENT OF WORK.

2. REVISED 09/23/2013 PER ZONING BOARD APPROVAL 09/22/2013
 2. REVISED 06/28/2013 PER ZONING BOARD APPROVAL 06/27/2013
 1. REVISED 05/21/2013 PER PLANNING BOARD COMMENTS 05/16/2013

ANTHONY D. VALDINA
 LAND SURVEYOR

GIBSON ESTATES
4 LOT SUBDIVISION
OVERALL LAYOUT
 ROCK CUT ROAD, SBL: 47-1-28.2
 TOWN OF NEWBURGH, ORANGE COUNTY, NY

DATE: 03/28/2013 SCALE: 1"=30' JOB NUMBER: 13-002-BEC SHEET NUMBER: 1 OF 4