



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** GAS LAND PETROLEUM INC. – 42 South Plank Rd.  
**PROJECT NO.:** 2021-23  
**PROJECT LOCATION:** SECTION 71, BLOCK 2, LOT 11  
**REVIEW DATE:** 14 FEBRUARY 2022  
**MEETING DATE:** 17 FEBRUARY 2022  
**PROJECT REPRESENTATIVE:** CHAZEN COMPANIES/CHRIS LAPINE

1. The site was before the Zoning Board and received variances for front yard setback, setback to intersection, setback to canopy-5<sup>th</sup> Avenue, setback to canopy- NYS Route 52, setback to storage tanks, setback to parked car.
2. A Demolition Plan has been provided. Demolition Plans should contain notes requiring a Demolition Permit be issued by the Town of Newburgh Building Department prior to any demolition on the site.
3. The project may be a Type II Action based on the size of the proposed convenience store being 2,300 square feet. NYSDOT should be included in the circulation as site fronts on NYS Route 52 at the intersection of 5<sup>th</sup> Avenue. Entrances to the state highway exist. NYSDOT should review these.
4. Ken Wersted’s comments on the size of the truck utilized for the turning template should be received. The gasoline tanker delivery trucks will be the largest accessing the site. The template appears to use a small truck.
5. The Planning Board may wish to discuss an overlay of all pavement on the site rather than the piece meal patch currently proposed on the plans.
6. The applicants are requested to determine the inverts to the connection to the Town sewer. Currently a note on the plans deferred to the contractor. Manholes within 5<sup>th</sup> Avenue should be pulled to determine the invert elevation for the connection.
7. Size of the existing curb stop should be determined. Water Department records should be evaluated to determine size of the lateral. Newburgh water and sewer notes should be added to the plans. (Copy attached)
8. The applicants have proposed pedestrian scale lighting on the site in compliance with the design guidelines.

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845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
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9. Sanitary manhole #1 identifies a west invert of 272.39. This pipe is not depicted on the plans. It appears a separate sanitary line may be proposed after the grease trap.
10. Show location of existing curb stop for proposed water line.
11. General Utility Plan note #3 regarding sewer mains identifies “where possible 10’ separation be provided”. Ten foot separation is required and any conflict to the vertical separation will also require Health Department approval.
12. County Planning referral is required as project is located along a state highway.
13. The Planning Board will need to determine if it wishes to hold a Site Plan Public Hearing for the project.

Respectfully submitted,

**MHE Engineering, D.P.C.**



Patrick J. Hines  
Principal  
PJH/kbw

**TOWN OF NEWBURGH**  
**WATER SYSTEM NOTES FOR SITE PLANS**

1. “Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh.”
2. All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI\AWWA C151\A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
3. Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
4. All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI\AWWA C110\A21.10 for Ductile and Gray Iron Fittings or ANSI\AWWA C153\A21.53 for Ductile Iron Compact Fittings, latest revision.
5. All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
6. Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

Original 12-06-96  
Revised 04-24-02  
Revised 01-2015

**TOWN OF NEWBURGH**  
**WATER SYSTEM NOTES FOR SITE PLANS**

7. All hydrants shall be Clow-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5 ¼ inch main valve opening, two 2 ½ inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 ½ inch pentagon operating nut. All hydrants shall open left (counter-clockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.
8. All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for ¾ and 1 inch, Mueller H-15000N or B-25000N for 1 ½ and 2 inch sizes. Curb valves shall be Mueller H-1502-2N for ¾ and 1 inch and Mueller B-25204N for 1 ½ and 2 inch sizes. Curb boxes shall be Mueller H-10314N for ¾ and 1 inch and Mueller H-10310N for 1 ½ and 2 inch sizes.
9. All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
10. The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
11. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

Original 12-06-96  
Revised 04-24-02  
Revised 01-2015

Feb. 3, 2022

Mr. John P. Ewasutyn, Chairman  
and Members of the Planning Board  
Town of Newburgh  
21 Hudson Valley Professional Plaza  
Newburgh, New York 12550

Via In-Person Delivery

**Re: Town of Newburgh Planning Board Project # PB21-23**  
*Proposed Convenience Store with Fuel Pumps*  
*Gas Land Petroleum, Inc.*  
*42 South Plank Road (Tax Parcel Section 71Block 2Lot 11)*  
*Town of Newburgh, Orange County, NY*  
*Chazen Project #82019.00*

Dear Chairman Ewasutyn:

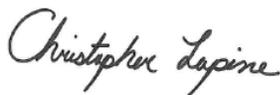
Gas Land Petroleum, Inc. last appeared before the Planning Board on Oct. 07, 2021 for review of the proposed site improvements for the above referenced parcel. The project has received zoning board approvals and we are now requesting to be placed on the next available Planning Board's agenda for further discussion of project.

The following items are enclosed:

- 14 copies of site plan, last dated Feb. 3, 2022.

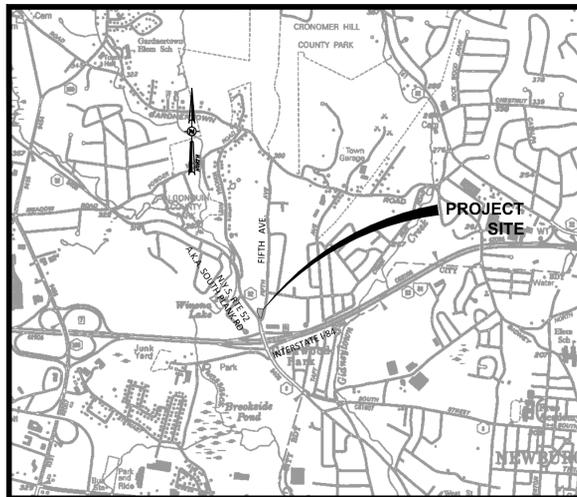
We look forward to discussing the project at the February 17, 2022 Planning Board meeting. Please call or email me at [clapine@LaBellaPC.com](mailto:clapine@LaBellaPC.com) if you have any questions or need anything further. Thank you for your assistance.

Sincerely,

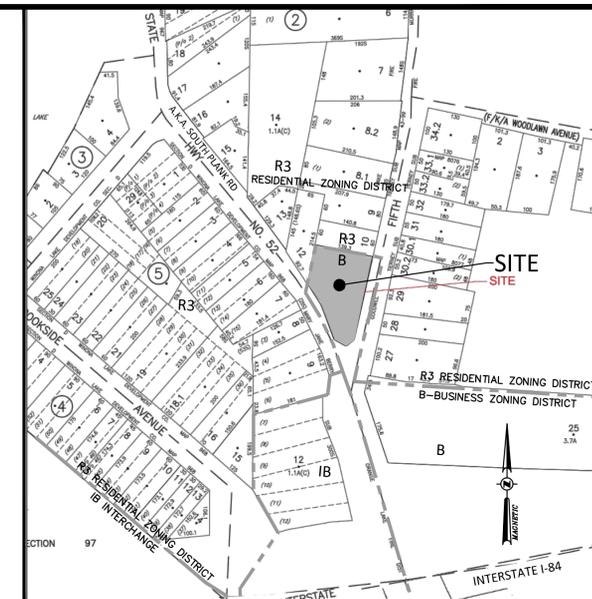


Christopher P. Lapine, P.E., LEED AP  
LaBella Associates / Senior Civil Engineer  
Regional Marketing Leader  
845-486-1478 direct, 914-474-0472 cell

cc: Patrick J. Hines, McGoey, Hauser and Edsall, via overnight delivery.  
Kenneth W. Wersted, Creighton Manning, via email  
Dominic Cordisco, Esq., via email



LOCATION MAP  
SOURCE: USGS MAPPING  
SCALE: 1"=200'



VICINITY MAP  
ORANGE COUNTY TAX MAP No. 334600-71  
SCALE: 1"=200'

# SITE PLAN

PREPARED FOR

## GAS LAND PETROLEUM, INC.

FOR A

# GAS STATION & CONVENIENCE STORE

LOCATED AT

## 42 S. PLANK ROAD (NYS ROUTE 52)

## TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK

ARPIL 26, 2021

LAST REVISED: FEBRUARY 3, 2022

BULK & DIMENSIONAL REQUIREMENTS TABLE			
ZONING DISTRICT "B" BUSINESS			
	REQUIRED	EXISTING	PROPOSED
CONVENIENCE STORE WITH GASOLINE FILLING STATION			
MINIMUM LOT AREA (S.F.)	20,000 S.F. (0.459 ACRES)	23,123± S.F. (0.531 ACRES)	23,123± S.F. (0.531 ACRES)
MINIMUM LOT WIDTH (FT.)	100 FT.	130± FT.	130± FT.
MINIMUM LOT DEPTH (FT.)	125 FT.	221± FT.	221± FT.
FRONT YARD (MIN) - NYS ROUTE 52 (FT.)	50 FT. <sup>6</sup>	37.1 FT. <sup>3</sup>	41.3 FT. <sup>4</sup>
FRONT YARD (MIN) - FIFTH AVENUE	40 FT.	29.6 FT. <sup>3</sup>	41.5 FT.
REAR YARD (MIN) <sup>5</sup>	30 FT. <sup>5</sup>	55.3 FT.	31.5 FT.
SIDE YARD - 1 SIDE (MIN) <sup>5</sup>	25 FT. <sup>5</sup>	46.7 FT.	25.6 FT.
SETBACK TO INTERSECTION <sup>1</sup>	50 FT.	22± FT. <sup>3</sup>	22± FT. <sup>4</sup>
SETBACK TO CANOPY - FIFTH AVE (MIN)	40 FT.	27.8 FT. <sup>3</sup>	27.8 FT. <sup>4</sup>
SETBACK TO CANOPY - NYS ROUTE 52 (MIN)	40 FT.	7.0 FT. <sup>3</sup>	7.0 FT. <sup>4</sup>
SETBACK TO STORAGE TANKS	15 FT.	12 FT. <sup>3</sup>	12 FT. <sup>4</sup>
MAXIMUM LOT BUILDING COVERAGE	50% <sup>2</sup>	6.9%	9.9%
MAXIMUM LOT SURFACE COVERAGE	80%	60.8%	67.3%
MAXIMUM HEIGHT (BLDG)	35 FT.	< 35 FT.	< 35 FT.
PARKING REQUIREMENTS			
APPLICATION FOR CONVENIENCE STORE	CODE: PER SECTION 185-13.C(1)(b): REQUIRED PARKING FOR A RETAIL STORE, SHOPPING CENTER, AND PERSONAL SERVICE STORE IS: 1 PER 150 SQUARE FEET OF GROSS LEASABLE FLOOR SPACE.  2,300 S.F. X 1 SPACE PER 150 SQUARE FEET = 16 SPACES		
TOTAL PARKING SPACES	16 SPACES REQUIRED	13 SPACES APPROX. (W/ 8 SPACES THE PUMPS)	17 SPACES PROVIDED (W/ 8 SPACES THE PUMPS)
ACCESSIBLE SPACE	1-25 PKG SPACES = 1 ACCESSIBLE SPACE REQUIRED	0 SPACES EXIST	1 SPACE PROVIDED
OFF-STREET LOADING SPACE	< 25,000 S.F. = 1 SPACE REQUIRED	0 SPACES EXIST	1 SPACE PROVIDED
PARKING IN REQUIRED YARDS	CODE: PER SECTION 185-13 B(2): NO PARKING IN REQUIRED FRONT OR SIDE YARD ADJACENT TO A RESIDENTIAL DISTRICT		
	NOT ALLOWED	PARKING SPACES IN BOTH FRONT & SIDE YARDS <sup>3</sup>	PARKING IN FRONT YARD & LOADING AREA IN SIDE YARD <sup>4</sup>
MIN. REQUIRED SETBACK TO <sup>7</sup> PARKED CAR	10 FT.	7.0 FT. (AT PUMP) <sup>3</sup>	4.5 FT. <sup>4</sup>
LANDSCAPE BUFFER BETWEEN RESIDENTIAL & NON-RESIDENTIAL	15 FT., REAR YARD	55.3 FT. (REAR) 9.5 FT. (SIDE) <sup>3</sup>	31.5 FT. (REAR- AT BLDG) 10 FT. (SIDE)
<sup>1</sup> TOWN CODE §185-13-B(4): NO ACCESS WITHIN 50 FT. OF ANY STREET INTERSECTION <sup>2</sup> MAXIMUM LOT BUILDING COVERAGE IS 40% IF NO PUBLIC WATER OR SEWER AND 50% IF PUBLIC WATER AND SEWER. <sup>3</sup> PRE-EXISTING NONCONFORMING. <sup>4</sup> AREA VARIANCE REQUIRED; AND GRANTED BY THE TOWN OF NEWBURGH ZONING BOARD ON DECEMBER 23, 2021. <sup>5</sup> TOWN CODE §185-18(C)(5)(A) MINIMUM ADJACENT SIDE AND REAR YARD REQUIREMENTS FOR LOTS IN B DISTRICT ABUTTING RESIDENTIAL ZONES: IF TOTAL BUILDING FLOOR AREA IS LESS THAN 30,000 SF, THEN THE GREATER OF THE MINIMUM REQUIRED YARD SET FORTH IN THE B DISTRICT TABLE OF BULK AND USE REQUIREMENTS - SCHEDULE 7, OR 25 FEET. SCHEDULE 7 REGULATES A 30 FT REAR YARD, WHICH IS THE GREATER OF THE TWO. SCHEDULE 7 REGULATES A 15 FT SIDE YARD, WHICH IS LESS THAN 25 FT; THEREFORE, 25 FT IS REQUIRED. <sup>6</sup> TOWN CODE §185-18(C)(4)(b) FRONT YARDS ABUTTING ALL COUNTY AND STATE HIGHWAYS SHALL BE AT LEAST 60 FEET IN DEPTH, EXCEPT WHERE THE MAJORITY OF EXISTING BUILDINGS ON EITHER SIDE OF THE ROAD WITHIN 300 FEET FROM THE INTERSECTION OF THE NEAREST PROPERTY LINE AND STREET LINE ARE OF A LESSER AVERAGE DEPTH. IN SUCH CASE, THE FRONT YARD DEPTH SHALL BE 50 FEET OR THE AVERAGE OF ALL LOT DEPTHS WITHIN SAID 300 FEET, WHICHEVER IS GREATER. <sup>7</sup> TOWN CODE §185-21(C)(2) AND §185-21(B)(4) MINIMUM REQUIRED SETBACK TO PARKED CAR.			

INDEX OF DRAWINGS				
PAGE NO.	REV	SHEET NO.	DATE	DESCRIPTION
1	1	G001	02/03/22	TITLE SHEET
2	1	G002	02/03/22	NOTES AND LEGENDS
3	1	SV1	12/20/20	MAP OF SURVEY PREPARED FOR GAS LAND PETROLEUM, BY OTHERS
4	1	C120	02/03/22	DEMOLITION PLAN
5	2	C130	02/03/22	SITE PLAN
6	1	C131	02/03/22	VEHICLE MANEUVERING PLAN
7	1	C140	02/03/22	GRADING & EROSION AND SEDIMENT CONTROL PLAN
8	1	C160	02/03/22	UTILITY PLAN
9	2	C180	02/03/22	LANDSCAPE PLAN
10	1	C190	02/03/22	PHOTOMETRIC LIGHTING PLAN
11	1	C530	02/03/22	SITE DETAILS
12	1	C531	02/03/22	SITE DETAILS
13	1	C550	02/03/22	EROSION & SEDIMENT CONTROL DETAILS AND NOTES
14	1	C560	02/03/22	WATER AND SANITARY SEWER DETAILS
15	1	C580	02/03/22	LANDSCAPE DETAILS AND NOTES

CONVENIENCE STORE WITH GASOLINE FILLING STATION	REQUIRED	EXISTING	PROPOSED
MIN. REQUIRED SETBACK FOR UNDERGROUND GASOLINE TANKS	15 FT.	±15 FT.	±15 FT.
MIN. REQUIRED SETBACK TO PUMP ISLAND	15 FT.	16.9 FT.	16.9 FT.
MIN. REQUIRED SETBACK TO DRIVEWAY	10 FT.	0 FT.	0 FT.
MIN. REQUIRED SETBACK TO PARKED CAR	10 FT.	4.5 FT.	4.5 FT.
MIN. DISTANCE TO MOTOR VEHICLE SERVICE STATION	1000 FT.	>1000 FT.	> 1000 FT.

**GENERAL NOTES:**

1. THIS SITE HAS BEEN REZONED TO ZONING DISTRICT "B", BUSINESS. APPROVED BY THE TOWN BOARD OF THE TOWN OF NEWBURGH ON OCTOBER 26, 2020. SEE LOCAL LAW # LL, NO. 3-2020.
2. ALL VARIANCE REQUESTS HAVE BEEN GRANTED BY THE TOWN OF NEWBURGH ZONING BOARD OF APPEALS ON DECEMBER 23, 2021. SEE BULK AND DIMENSIONAL REQUIREMENTS TABLE FOR LIST.

**OWNER / APPLICANT:**

GAS LAND PETROLEUM, INC.  
3 OHIOVILLE ROAD  
NEW PALTZ, NY 12561

**SURVEYOR:**

MICHAEL F. VETERE JR., PLS  
943 ULSTER LANDING RD  
SAUGERTIES, NY 12477  
PHONE: 845-336-0043

**SITE ADDRESS:**

42 S. PLANK ROAD (NYS ROUTE 52)  
NEWBURGH, NY

**SITE CIVIL ENGINEER AND LANDSCAPE ARCHITECT:**

CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C.  
21 FOX STREET,  
POUGHKEEPSIE, NY 12601  
PHONE: (845) 454-3980

**TAX MAP INFORMATION:**

MUNICIPALITY OF NEWBURGH  
SECTION 71, BLOCK 2, LOT 11

**SITE AREA:**

TOTAL PROJECT ACREAGE : 0.531 ACRES

**ZONING:**

ZONING DISTRICT: B-BUSINESS  
SEE GENERAL NOTE 1.

ISSUED FOR PLANNING BOARD REVIEW

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Walk The Required Time  
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Respect The Marks  
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CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE, CO., D.P.C.



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- Capital District Office: 547 River Street, Troy, New York 12180 Phone: (518) 273-0055
- Westchester NY Office: 1 North Broadway, Suite 603, White Plains, New York 10601 Phone: (914) 997-8510
- Nashville Tennessee Office: 2416 21st Ave S. (Suite 103), Nashville, Tennessee 37212 Phone: (615) 380-1359
- Chattanooga Tennessee Office: 1426 Williams Street (Suite 12), Chattanooga, Tennessee 37408 Phone: (423) 241-6575

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

TITLE SHEET

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed SMD	checked CPL
date 04/26/21	AS SHOWN
project no. 82018.00	
sheet no.	
<b>G001</b>	

rev.	date	description
1	02/03/22	REVISED FOR PLANNING BOARD SUBMISSION

**LEGEND:**

**LAYOUT:**

- LOT LINE
- SETBACK LINE
- EASEMENT LINE
- BUILDING
- PAVED ROAD / DRIVEWAY / PARKING AREA
- ROAD CENTER LINE
- SIDEWALK
- CURB/WING GUTTER
- GRAVEL DRIVEWAY
- WORKLIMITS
- GUIDERAIL
- CHAIN LINK FENCE
- STOCKADE FENCE

**DEMO:**

- EXISTING FEATURE TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING SITE FEATURE TO BE REMOVED
- EXISTING PAVEMENT & SIDEWALK TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- N.I.C.
- EXISTING STRUCTURE TO BE REMOVED, N.I.C.

**SYMBOLS:**

- SIGN
- SIGN
- BOLLARD
- LIGHTED BOLLARD
- CATCH BASIN
- YARD DRAIN
- CLEAN OUT / DOWN SPOUT
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- CLEANOUT
- WELL
- WATER SHUT OFF VALVE
- WATER VALVE
- HYDRANT
- REDUCER
- CONTROL BOX
- ELECTRIC MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- LIGHT POLE
- LIGHT WALL PACK
- POST AND LUMINAIRE
- MAILBOX
- MONUMENT
- PARKING COUNT
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- ELECTRIC TRANSFORMER
- TRAFFIC SIGNAL CONTROL BOX
- TRAFFIC SIGNAL HEAD
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- UTILITY POLE W/ GUY WIRE

**UTILITIES:**

- OHW OVERHEAD WRES
- ROAD CENTER LINE
- S SANITARY SEWER LINE
- W WATER LINE
- ST STORM DRAIN LINE
- E DRAINAGE SWALE
- ELECTRIC LINE
- G GAS LINE

**GRADING & EROSION CONTROL:**

- 500 10 FT CONTOUR
- 448 2 FT CONTOUR
- 501.25 SPOT ELEVATIONS
- TREE LINE
- SHRUB LINE
- DRAINAGE SWALE
- ORANGE CONSTRUCTION FENCE
- SILT FENCE / FIBER LOG
- CHECK DAM WITH DITCH FLOW DIRECTION
- TEMPORARY DIVERSION SWALE
- FILTER FABRIC DROP INLET PROTECTION
- STONE & BLOCK DROP INLET PROTECTION
- CATCH BASIN GRATE DROP INLET PROTECTION
- CATCH BASIN SILT SAC DROP INLET PROTECTION
- SPOILS STORAGE AREA
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASH OUT AREA
- TREE PROTECTION

**DEMOLITION NOTES:**

- REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
- BUILDING/STRUCTURE TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
- CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSSES.
- MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE W/ AUTHORITY HAVING JURISDICTION.
- CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
- ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

**SITE PLAN NOTES:**

**GENERAL CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
- ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
- ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
- NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
- NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
- ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE, SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

**GRADING NOTES:**

- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
- IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR 39 AND INDUSTRIAL CODE RULE 753.
- STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
- BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
- REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.

**UTILITY PLAN NOTES:**

**GENERAL CONSTRUCTION NOTES:**

- ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ANY CONDITION ENCOUNTERED IN THE FIELD DIFFERING FROM THOSE SHOWN HEREON, SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION IS TO PROCEED.
- SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SEWER PIPE SHALL BE PRESSURE RATED AND TESTED @ 150psi, 10 (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
- ALL PROPOSED UTILITIES SHALL TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR TO COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
- ALL STORM SEWER SHALL BE SMOOTH INTERIOR HDPE UNLESS OTHERWISE SPECIFIED.
- ALL GRAVITY SANITARY SEWER SHALL BE SDR 35 PVC UNLESS OTHERWISE SPECIFIED.
- ALL WATER PIPE SHALL BE CL52 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO VERIFY STATUS OF ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
- EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED TO VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
- BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN SERVICE FOR THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING UTILITY TRENCHES AND EXCAVATIONS AND FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.

**LAYOUT NOTES:**

- BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

**PAVING NOTES:**

- NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
- SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITIONS". CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
- PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
- PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAY'S WORK.
- TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
  - TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITION", SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
  - REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
  - APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
  - TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
- AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

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rev.	date	description
1	02/03/22	THIS SHEET ADDED TO PLAN SET.

**GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)**

**NOTES & LEGENDS**

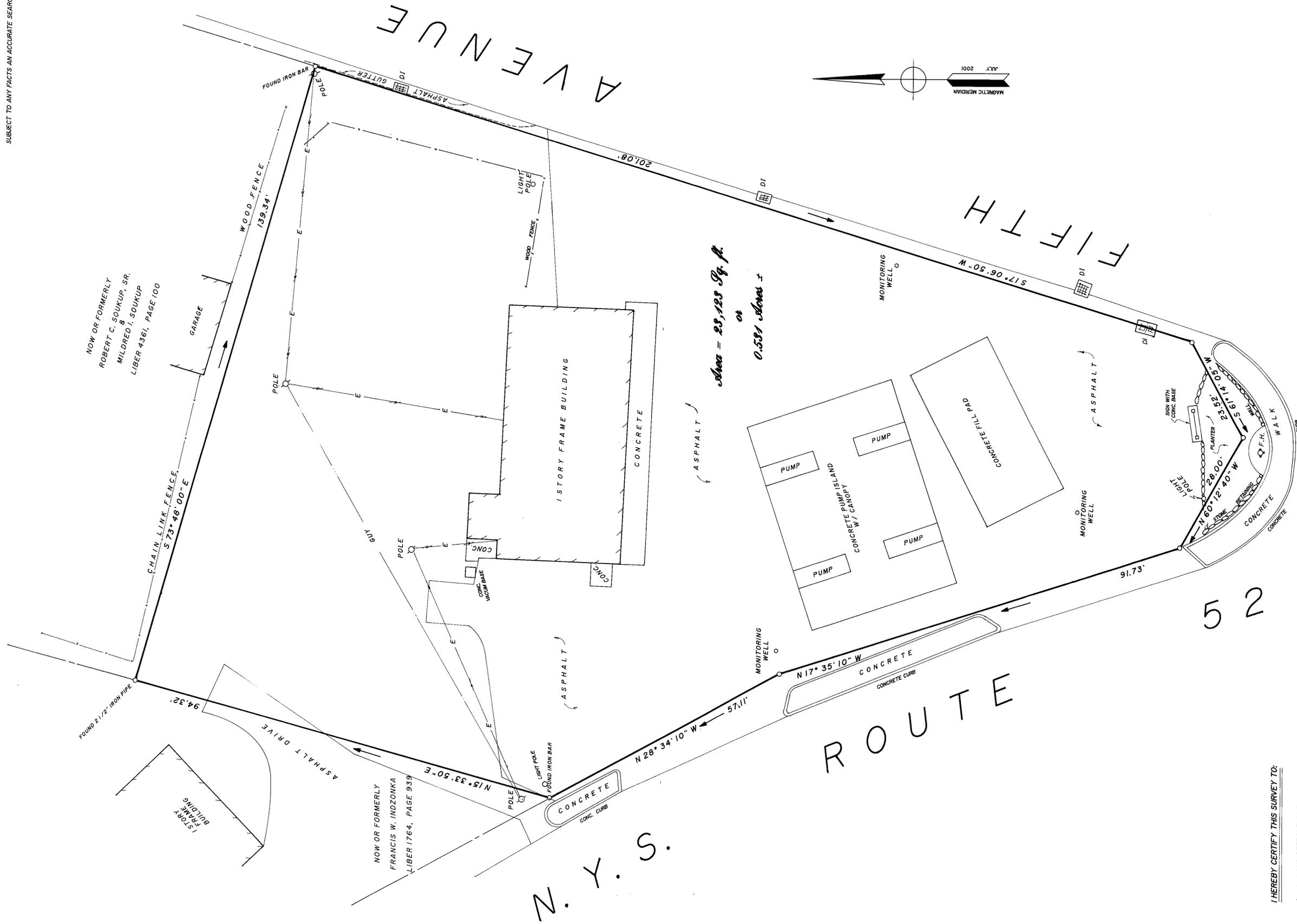
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed SMD	checked CPL
date 04/26/21	AS SHOWN
project no. 82018.00	
sheet no. <b>G002</b>	

DEED REFERENCE:  
Liber 4037, Page 242

NOTE:

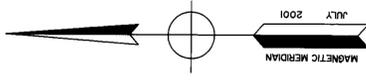
SUBJECT TO ANY RIGHT OF WAYS, EASEMENTS OR OTHERWISE WHICH  
MAY AFFECT THE PREMISES SHOWN HEREON.  
SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTIONS LYING  
WITHIN THE BOUNDS OF N.Y.S. ROUTE 52 & FIFTH AVENUE.  
SUBJECT TO ANY FACTS AN ACCURATE SEARCH OF TITLE MAY REVEAL.



NOW OR FORMERLY  
ROBERT C. SOUKUP, SR.  
&  
MILDRED I. SOUKUP  
LIBER 4361, PAGE 100

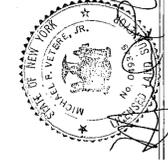
NOW OR FORMERLY  
FRANCIS W. INDZONKA  
LIBER 1764, PAGE 939

Area = 28,128 Sq. ft.  
or  
0.531 Acres ±



I HEREBY CERTIFY THIS SURVEY TO:

- 1) GAS LAND PETROLEUM, INC.
- 2) FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK
- 3) KEY BANK, NATIONAL ASSOCIATION, it's successors and/or assigns



MICHAEL F. VETERE JR., P.L.S.  
LICENSE NO. 49345

MAP OF SURVEY  
PREPARED FOR

**Gas Land Petroleum, Inc.**

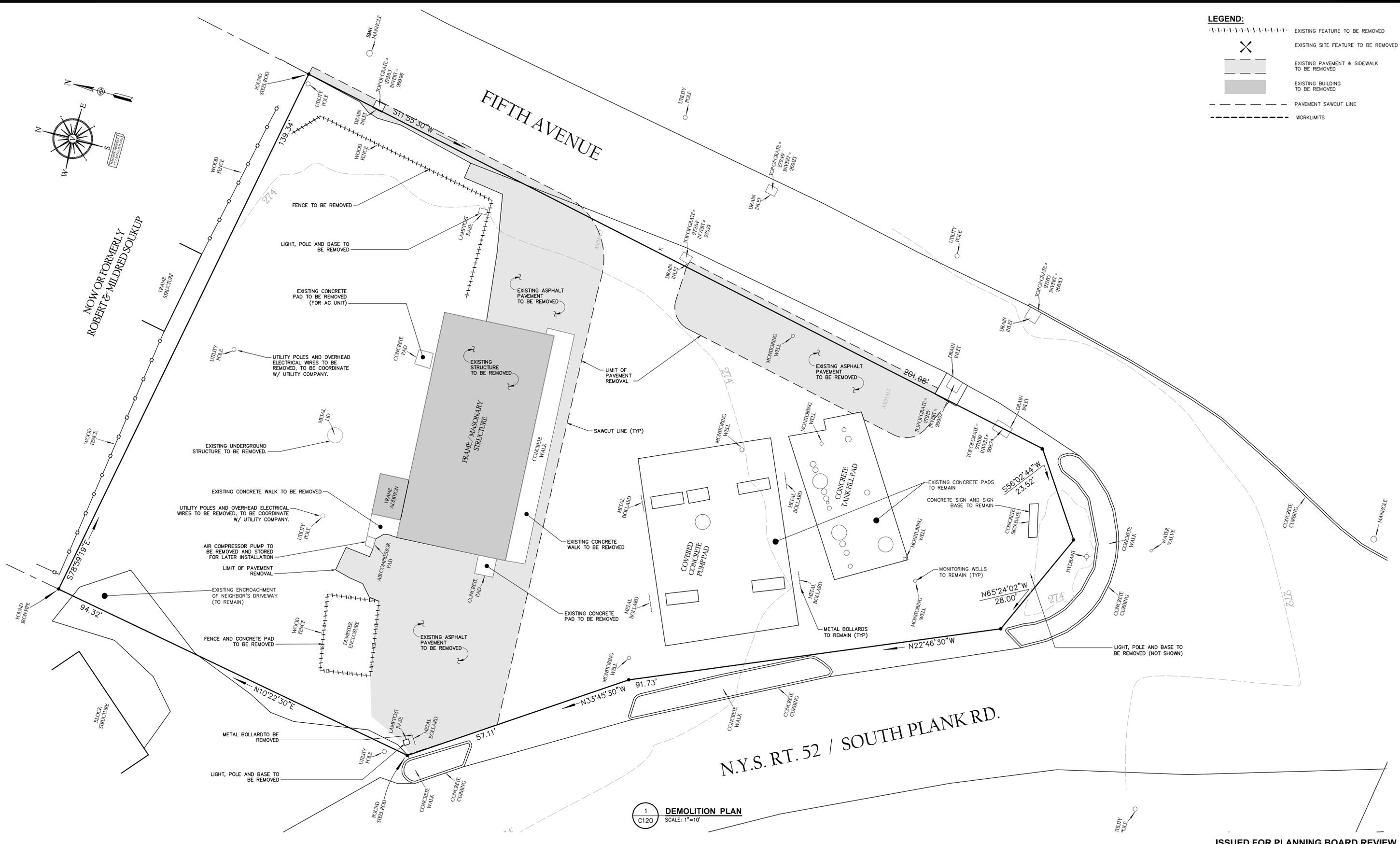
TOWN OF NEWBURGH ORANGE COUNTY, N. Y.

SCALE 1" = 10' SEPTEMBER 2, 2010

MAP NO. 1995

**LEGEND:**

- EXISTING FEATURE TO BE REMOVED
- ✕ EXISTING SITE FEATURE TO BE REMOVED
- EXISTING PAVEMENT & SIDEWALK TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- - - PAVEMENT SAWCUT LINE
- - - WORKLIMITS



1 DEMOLITION PLAN  
C120 SCALE: 1"=10'

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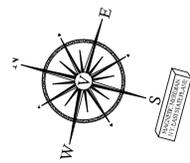
rev.	date	description
1	02/03/22	GENERAL REVISIONS.

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

**DEMOLITION PLAN**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

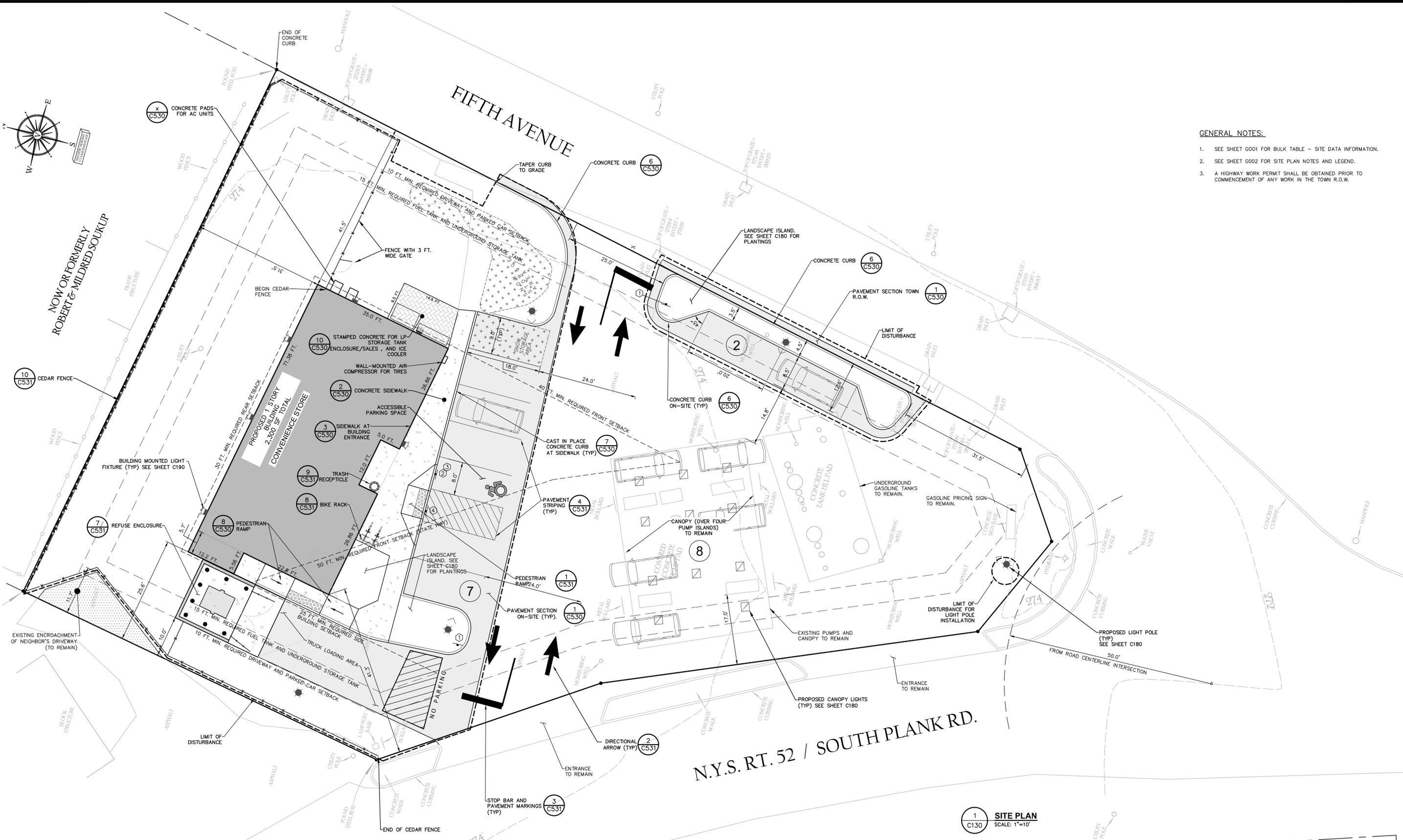
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project no.	
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sheet no.	
	<b>C120</b>



FIFTH AVENUE

N.Y.S. RT. 52 / SOUTH PLANK RD.

- GENERAL NOTES:**
- SEE SHEET G001 FOR BULK TABLE - SITE DATA INFORMATION.
  - SEE SHEET G002 FOR SITE PLAN NOTES AND LEGEND.
  - A HIGHWAY WORK PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK IN THE TOWN R.O.W.



1 SITE PLAN  
SCALE: 1"=10'

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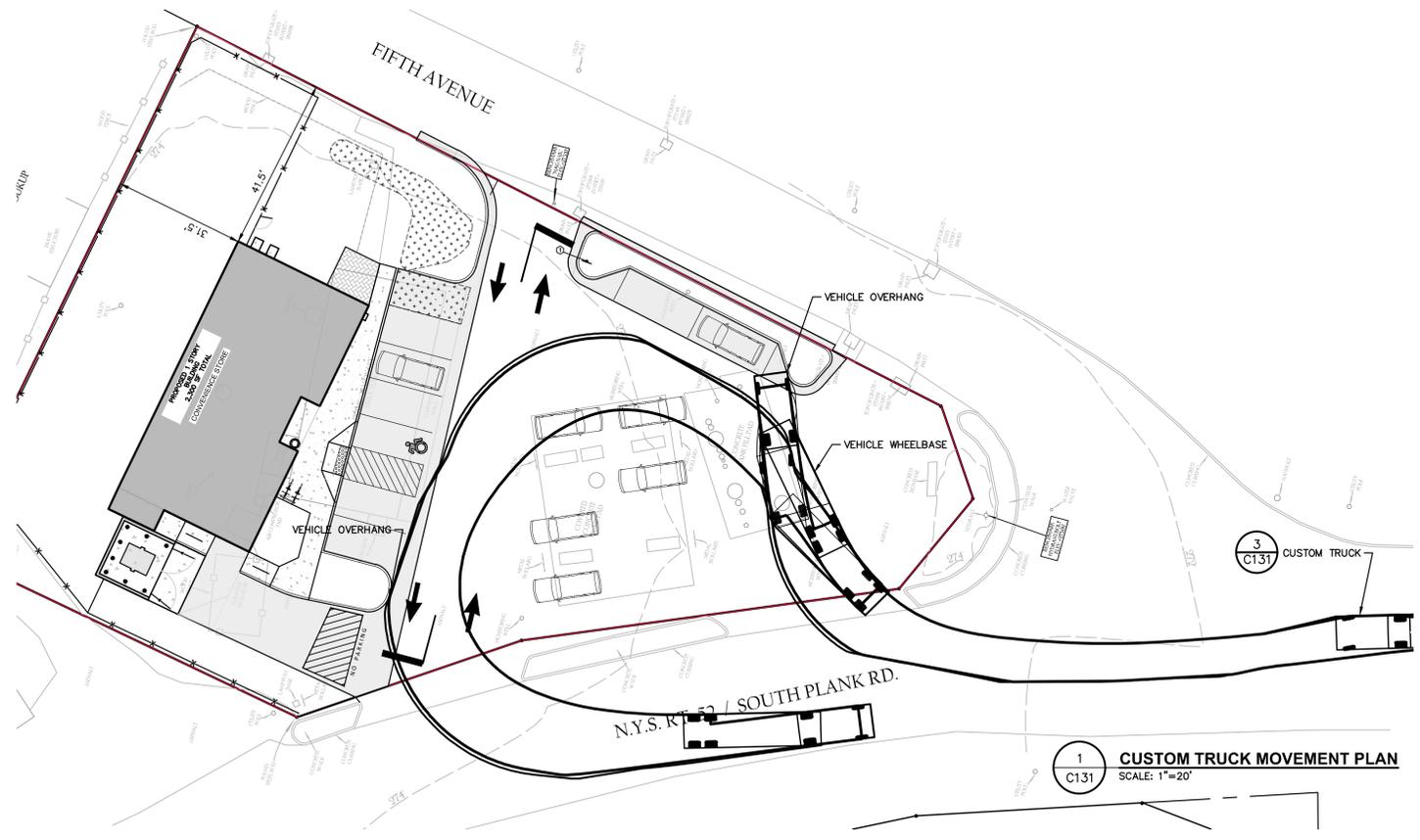
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1	11/30/21	REVISED PER TOWN COMMENTS

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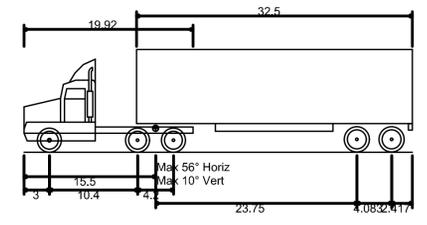
**SITE PLAN**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

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SMD	CPL
date	scale
04/26/21	1"=10'
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82018.00	
sheet no.	
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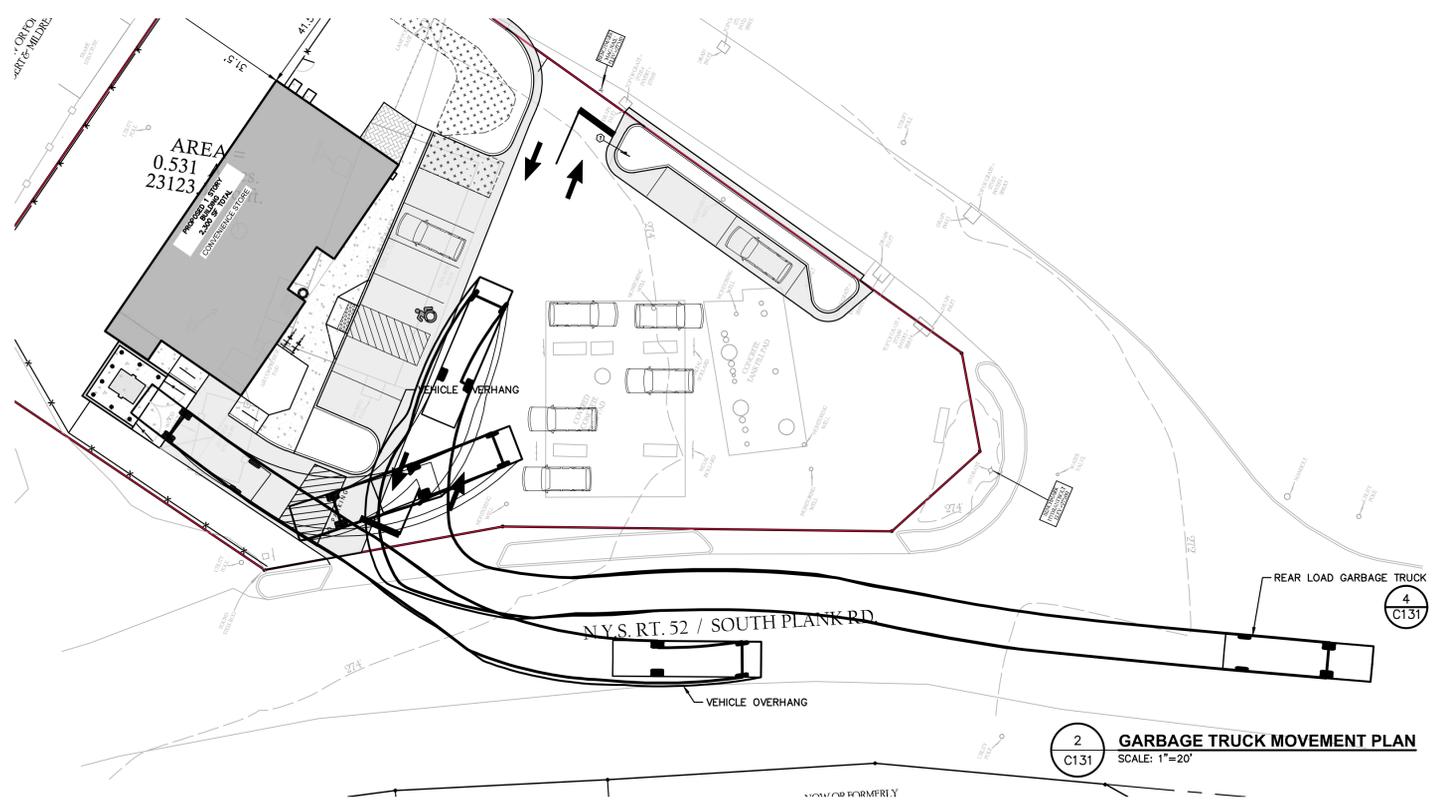


**1 CUSTOM TRUCK MOVEMENT PLAN**  
SCALE: 1"=20'

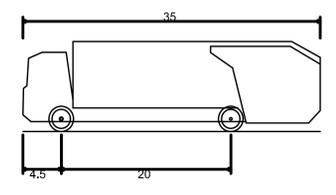


Copy of Custom Truck  
 Overall Length 45.750ft  
 Overall Width 8.500ft  
 Overall Body Height 12.052ft  
 Min Body Ground Clearance 1.334ft  
 Max Track Width 8.500ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 17.90°

**3 CUSTOM TRUCK PROFILE**  
SCALE: 1"=10'



**2 GARBAGE TRUCK MOVEMENT PLAN**  
SCALE: 1"=20'



Rear-Load Garbage Truck  
 Overall Length 35.000ft  
 Overall Width 8.375ft  
 Overall Body Height 10.546ft  
 Min Body Ground Clearance 1.000ft  
 Track Width 8.375ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 29.300ft

**4 GARBAGE TRUCK PROFILE**  
SCALE: 1"=10'

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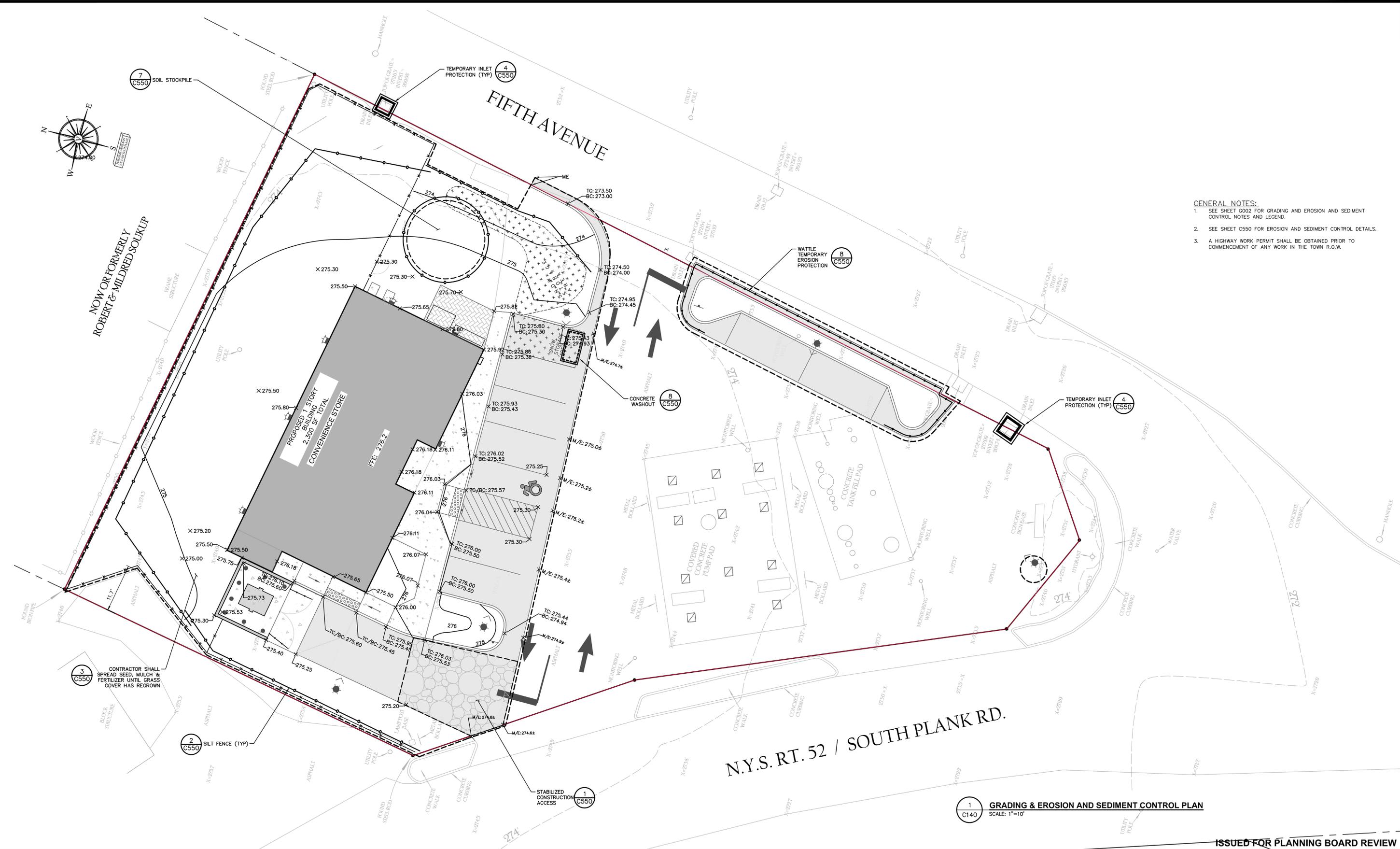
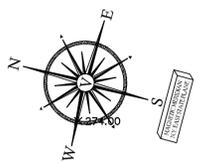
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1	02/03/22	THIS SHEET ADDED TO PLAN SET.

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)  
**VEHICLE MANEUVERING PLAN**  
 TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed	checked
MET	CPL
date	scale
04/26/21	1"=10'
project no.	
82018.00	
sheet no.	
<b>C131</b>	



- GENERAL NOTES:**
- SEE SHEET G002 FOR GRADING AND EROSION AND SEDIMENT CONTROL NOTES AND LEGEND.
  - SEE SHEET C550 FOR EROSION AND SEDIMENT CONTROL DETAILS.
  - A HIGHWAY WORK PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK IN THE TOWN R.O.W.

3 C550 CONTRACTOR SHALL SPREAD SEED, MULCH & FERTILIZER UNTIL GRASS COVER HAS REGROWN

2 C550 SILT FENCE (TYP)

1 C550 STABILIZED CONSTRUCTION ACCESS

8 C550 CONCRETE WASHOUT

8 C550 WATTLE TEMPORARY EROSION PROTECTION

4 C550 TEMPORARY INLET PROTECTION (TYP)

1 C140 GRADING & EROSION AND SEDIMENT CONTROL PLAN  
SCALE: 1"=10'

ISSUED FOR PLANNING BOARD REVIEW

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 Planners  
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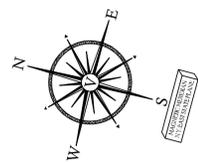
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GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

**GRADING & EROSION AND SEDIMENT CONTROL PLAN**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed	checked
MET/SD	CPL
04/26/21	1"=10'
project no.	82018.00
sheet no.	C140



NOW OR FORMERLY  
ROBERT & MILDRED SOUKUP

FIFTH AVENUE

N.Y.S. RT. 52 / SOUTH PLANK RD.

PROPOSED 1 STORY  
BUILDING  
2,300 SF TOTAL  
CONVENIENCE STORE

GREASE TRAP  
RIM=275.5  
INV IN=272.80  
INV OUT=272.55

SMH  
RIM=275.5  
INV IN (N)=272.49  
INV IN (W)=272.39

3 LF 4-INCH DIA. SDR35 @ 2%  
10 LF 4-INCH DIA. SDR35 @ 2%

PROPOSED WATER SERVICE TO BE EXTENDED  
FROM EXISTING CURB STOP.

PRIOR TO CONSTRUCTION CONTRACTOR TO CONFIRM  
INVERT OF EXISTING SANITARY LATERAL SERVING THE  
PARCEL AND SHALL CONFIRM PROPOSED ELEVATIONS  
DO NOT CONFLICT WITH EXISTING INVERT ELEVATION.

GENERAL NOTES:

- SEE SHEET G002 FOR UTILITY PLAN NOTES AND LEGEND.
- SEE SHEET C560 FOR UTILITY DETAILS.
- A HIGHWAY WORK PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK IN THE TOWN R.O.W.
- INTERNAL BACKFLOW PREVENTOR TO BE LOCATED WITHIN THE BUILDING.

1 UTILITY PLAN  
C160 SCALE: 1"=10'

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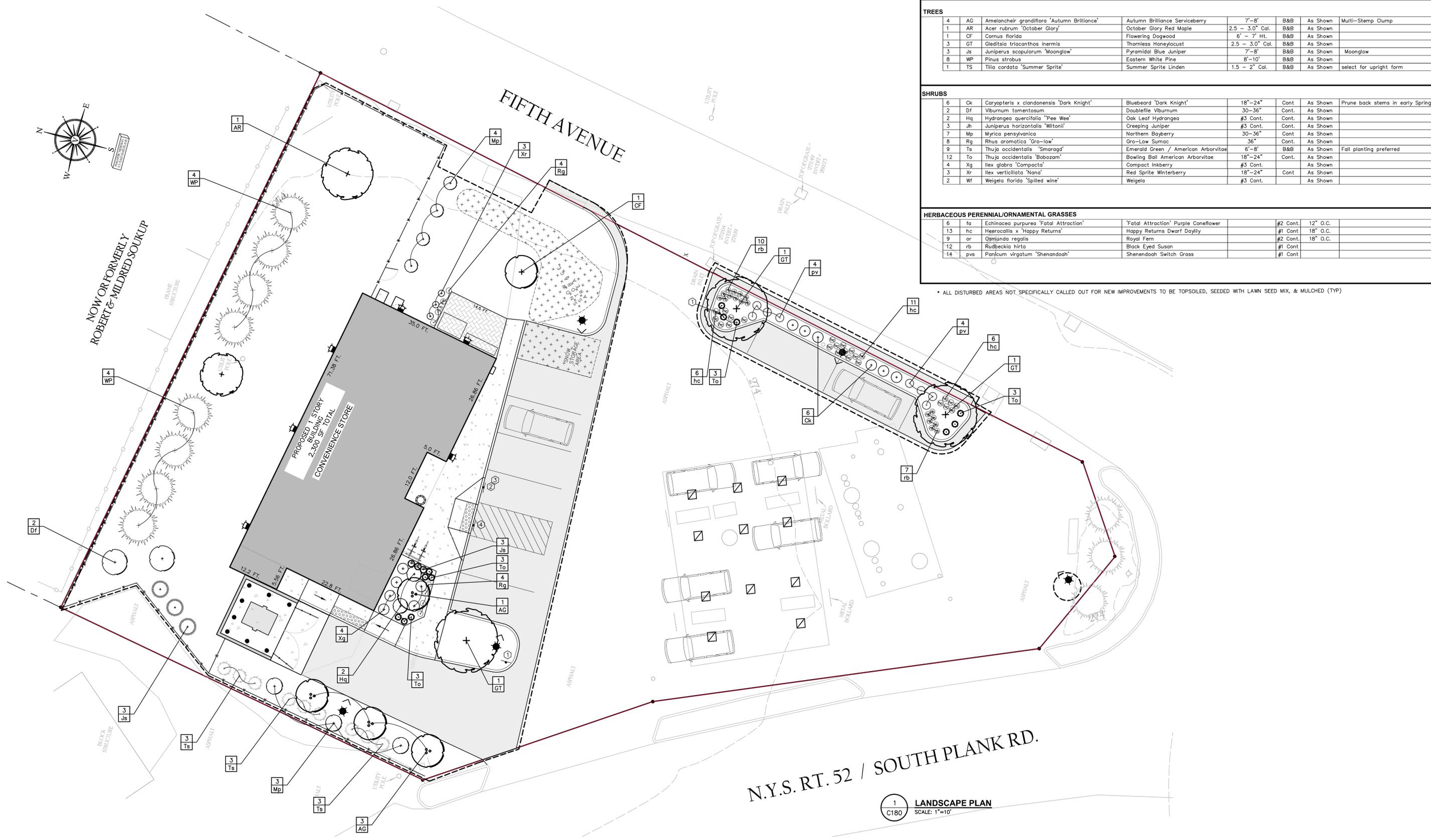
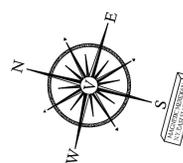
rev.	date	description
1	02/03/22	THIS SHEET ADDED TO PLAN SET.

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

**UTILITY PLAN**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed	checked
SMD	CPL
date	scale
04/26/21	1"=10'
project no.	
82018.00	
sheet no.	
<b>C160</b>	



PLANT LIST									
QTY	ABRV	BOTANICAL NAME							
<b>TREES</b>									
4	AC	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7'-8'	B&B	As Shown	Multi-Stem Clump		
1	AR	Acer rubrum 'October Glory'	October Glory Red Maple	2.5 - 3.0' Cal.	B&B	As Shown			
1	CF	Cornus florida	Flowering Dogwood	6' - 7' Ht.	B&B	As Shown			
3	GT	Gleditsia triacanthos inermis	Thornless Honeylocust	2.5 - 3.0' Cal.	B&B	As Shown			
3	Js	Juniperus scopulorum 'Moonglow'	Pyramidal Blue Juniper	7'-8'	B&B	As Shown	Moonglow		
8	WP	Pinus strobus	Eastern White Pine	8'-10'	B&B	As Shown			
1	TS	Tilia cordata 'Summer Sprite'	Summer Sprite Linden	1.5 - 2' Cal.	B&B	As Shown	select for upright form		
<b>SHRUBS</b>									
6	Ck	Caryopteris x clandonensis 'Dark Knight'	Bluebeard 'Dark Knight'	18"-24"	Cont.	As Shown	Prune back stems in early Spring		
2	Df	Viburnum tomentosum	Doublefile Viburnum	30-36"	Cont.	As Shown			
2	Hq	Hydrangea quercifolia 'Pee Wee'	Oak Leaf Hydrangea	#3 Cont.	Cont.	As Shown			
3	Jh	Juniperus horizontalis 'Wiltonii'	Creeping Juniper	#3 Cont.	Cont.	As Shown			
7	Mp	Myrica pensylvanica	Northern Bayberry	30-36"	Cont.	As Shown			
8	Rg	Rhus aromatica 'Gra-low'	Gra-Low Sumac	36"	Cont.	As Shown			
9	Ts	Thuja occidentalis 'Smaragd'	Emerald Green / American Arborvitae	6'-8'	B&B	As Shown	Fall planting preferred		
12	To	Thuja occidentalis 'Boboza'	Bowling Ball American Arborvitae	18"-24"	Cont.	As Shown			
4	Xg	Ilex glabra 'Compacta'	Compact Inkberry	#3 Cont.	Cont.	As Shown			
3	Xr	Ilex verticillata 'Nana'	Red Sprite Winterberry	18"-24"	Cont.	As Shown			
2	Wf	Weigela florida 'Spilled Wine'	Weigela	#3 Cont.	Cont.	As Shown			
<b>HERBACEOUS PERENNIAL/ORNAMENTAL GRASSES</b>									
6	fa	Echinacea purpurea 'Fatal Attraction'	'Fatal Attraction' Purple Coneflower	#2 Cont.	12" O.C.				
13	hc	Heerocalis x 'Happy Returns'	Happy Returns Dwarf Daylily	#1 Cont.	18" O.C.				
9	or	Osmunda regalis	Royal Fern	#2 Cont.	18" O.C.				
12	rb	Rudbeckia hirta	Black Eyed Susan	#1 Cont.					
14	pvs	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#1 Cont.					

\* ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT FOR NEW IMPROVEMENTS TO BE TOPSOILED, SEEDED WITH LAWN SEED MIX, & MULCHED (TYP)

N.Y.S. RT. 52 / SOUTH PLANK RD.

1 LANDSCAPE PLAN  
SCALE: 1"=10'

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rev.	date	description
2	02/03/22	NO CHANGE THIS SHEET
1	11/30/21	REVISED PER TOWN COMMENTS, GENERAL REVISIONS

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

**LANDSCAPE PLAN**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed	checked
SMD	CPL
date	scale
04/26/21	AS SHOWN
project no.	
82018.00	
sheet no.	
	<b>C180</b>

**LIGHTING STATISTICS**

AVERAGE	LOCATION	MAXIMUM	MINIMUM	AVE./MIN
2.1 fc	ENTIRE SITE to PL	21.2 fc	0.0 fc	N/A
1.5 fc	PAVED AREAS --(CANOPY AREA NOT INCLUDED)	6.4 fc	0.1 fc	15.0 :1
11.1 fc	PAVED AREA UNDER CANOPY PLUS 6 FT.	21.2 fc	2.1 fc	5.3 :1

**LIGHTING SCHEDULE**

SYMBOL	QTY	DESIGNATION	HSS*	MANUFACTURER	MODEL / NUMBER	MOUNTING HEIGHT	WATTAGE	LUMENS	CCT
★	2	LP-2	---	ARCHITECTURAL AREA LIGHTING	PROVIDENCE MEDIUM 2.0 / PROV2-36L-32S-3K7-3-HS	15.0 FT.	38W	2158	3000 K
★	3	LP-1	---	ARCHITECTURAL AREA LIGHTING	PROVIDENCE MEDIUM 2.0 / PROV2-36L-32S-3K7-3-DL	15.0 FT.	38W	2456	3000 K
★	1	W-1	---	ARCHITECTURAL AREA LIGHTING	PROVIDENCE MEDIUM 2.0 / PROV2-36L-32S-3K7-3-DL	15.0 FT.	38W	2456	3000 K
★	5	W-2	---	SISTEMALUX	MINI-LOOK SINGLE (DOWNLIGHT) / S7201W.14 (ACCENT LIGHT)	9.0 FT.	13W	475	3000 K
★	11*	C-1	---	CREE INC. (*SEE NOTE 5)	CPY250 B, FLAT LENS, / S7201W.14 (ACCENT LIGHT)	15.5 FT.	32W	4045	3000 K

\* HSS "HOUSE-SIDE SHIELD"; AS INSTALLED IN LUMINAIRE BY MANUFACTURER

**MINI LOOK WALL**



Wall mounted accent light luminaire with direct light distribution that provides ambient light on vertical surfaces. Suitable for exterior applications.

Luminaire characteristics:  
Power Input: 13.0W  
Lumens: 475 (delivered for 3000K)  
Luminaire efficacy: 35 lm/W (for 3000K)

**WALL MOUNTED LIGHTING FIXTURE DETAIL**  
SCALE: NTS

NOTE: SIDE VIEW

1. WALL MOUNTED FIXTURE SHALL BE INSTALLED WITH THE LIGHT IN THE DOWNWARD POSITION.
2. MANUFACTURER: SISTEMALUX  
MODEL: MINI-LOOK WALL  
COLOR: TO BE COORDINATED WITH ARCHITECT  
FULL CUT-OFF LUMINAIRE

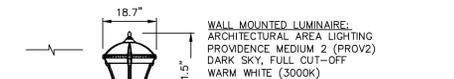
**PHOTOMETRIC LEGEND:**

- PROPERTY LINE
- BUILDING
- FOOT CANDLE TICK MARKS
- PHOTOMETRIC CONTOUR
- LIGHT POLE
- LIGHT WALL PACK
- LIGHT CANOPY

ABBREVIATIONS:  
LTG LIGHTING  
LP LIGHT POLE

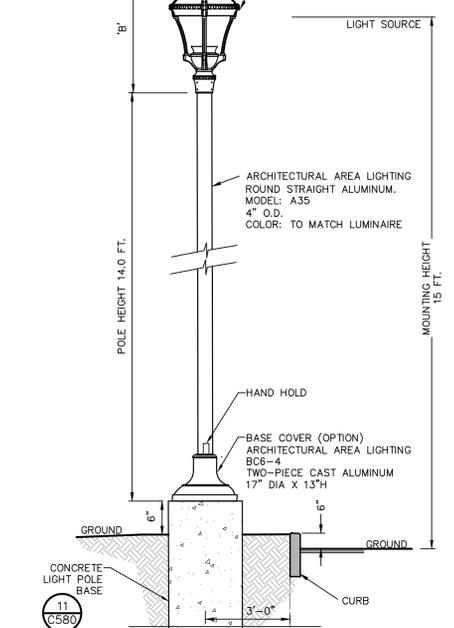
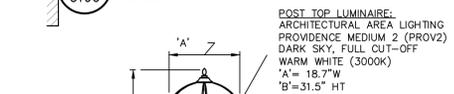
**LIGHTING NOTES:**

1. GRID NUMBERS SHOWN REPRESENT FOOTCANDLE VALUES AT GROUND PLANE.
2. THE LIGHTING FIXTURES, SURFACE LOCATIONS AND ASSOCIATED PHOTOMETRIC VALUES ARE IDENTIFIED BY TCC. DETAILED DESIGN OF THE LIGHTING SPECIFICATIONS, FOUNDATION DESIGN, LIGHTING CONDUIT, WIRING, AND CONTROL CIRCUITRY SHALL BE BY OTHERS.
3. IF DISCREPANCIES EXIST BETWEEN THE LIGHTING SCHEDULE AND LIGHTING PLAN, THE PLAN SHALL DICTATE.
4. FOR ADDITIONAL LIGHTING NOTES AND LIGHTING DETAILS, SEE SHEET XXX.
5. EXISTING CANOPY AND LIGHTING FIXTURES SHALL REMAIN. IN THE EVENT THEY ARE TO BE REPLACED IN THE FUTURE, THIS IS AN EXAMPLE OF WHAT SHALL BE INSTALLED.



**WALL MOUNTED LIGHTING FIXTURE DETAIL**

SCALE: NTS



**NOTES:**

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
2. ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO 95% OF MAXIMUM MATERIAL DENSITY.
3. ELECTRICAL POWER SUPPLY, WIRE, AND CONDUIT BY OTHERS.

**2 PEDESTRIAN SCALE LIGHTING FIXTURE DETAIL**  
SCALE: N.T.S.

**1 PHOTOMETRIC LIGHTING PLAN**  
SCALE: 1"=10'

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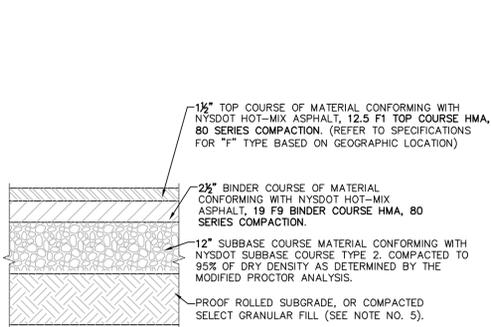
rev.	date	description
1	02/03/22	NO CHANGE THIS SHEET

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

**PHOTOMETRIC LIGHTING PLAN**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

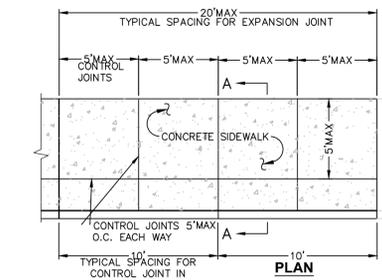
designed	checked
SMD	CPL
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04/26/21	AS SHOWN
project no.	82018.00
sheet no.	C190



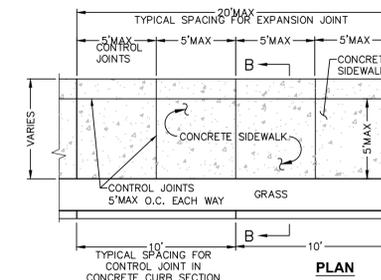
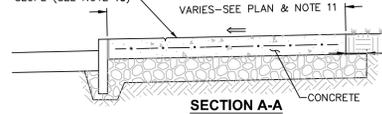
**NOTES:**

1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "CURRENT VERSION", AND ALL ADDENDA THERE TO.
2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
3. HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 400-HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 400 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 402-HOT MIX ASPHALT (HMA) PAVEMENTS.
4. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
5. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

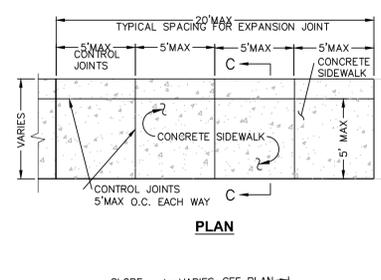
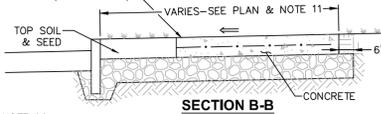
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SCALE: NOT TO SCALE



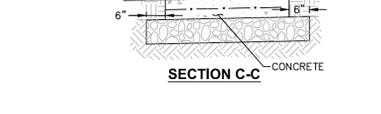
**SECTION A-A**



**SECTION B-B**



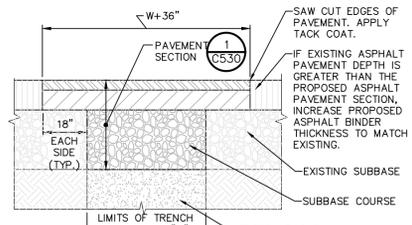
**SECTION C-C**



**NOTES:**

1. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "CURRENT VERSION", AND ALL ADDENDA THERE TO.
2. ALL CONCRETE SHALL BE 4,500 CONCRETE, CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
3. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
4. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH & TOOLED EDGES. TOOL SHALL PROVIDE MAX 1-1/2" WIDE SMOOTH TROGEL FINISH AT JOINT.
5. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
6. JOINTS SHALL NOT BE SAW CUT.
7. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND" 1100 RESIN-BASED, WATER EMULSION CONCRETE CURING COMPOUND, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
8. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
9. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN ACCORDANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
10. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
11. ALL WORK SHALL CONFORM WITH AASHTO GEOMETRIC DESIGN OF HIGHWAYS AND STREET 2011, ICC A117.1 2009, OR LATEST EDITION.
12. SIDEWALK WIDTH SHOWN ON THE PLANS IS TO BE MEASURED FROM THE BACK OF THE CURB.
13. SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1.5% MAX. UNLESS OTHERWISE NOTED ON PLAN.

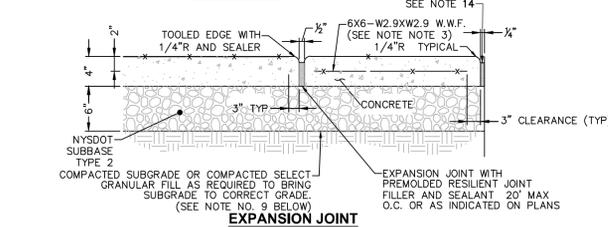
**2 CONCRETE SIDEWALK DETAIL**  
SCALE: NOT TO SCALE



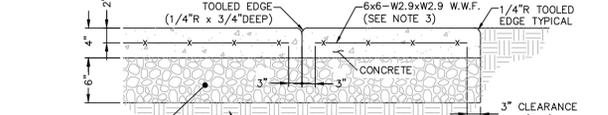
**NOTES:**

1. SAW CUT AS INDICATED, 18" BEYOND EXCAVATION.
2. FURNISH, PLACE, AND COMPACT SUBBASE.
3. TACK COAT IN ACCORDANCE WITH NYSDOT STANDARD SPEC.
4. FURNISH AND PLACE ASPHALT CONCRETE PAVEMENT AS SPECIFIED.

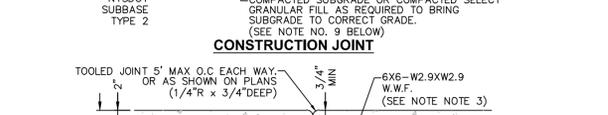
**4 TRENCH SURFACE RESTORATION IN ASPHALT PAVEMENT**  
SCALE: NOT TO SCALE



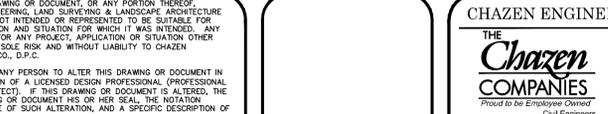
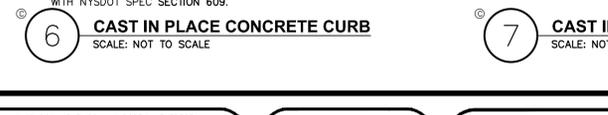
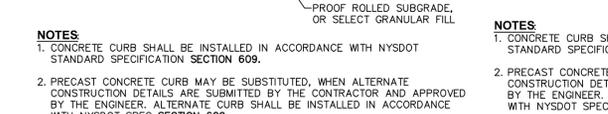
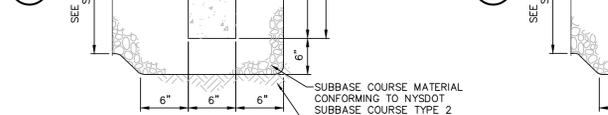
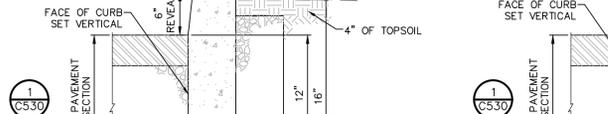
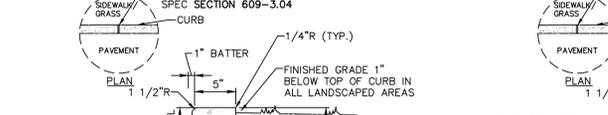
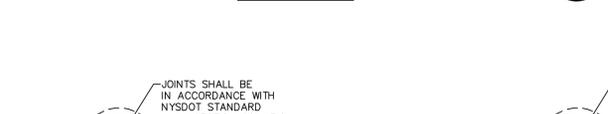
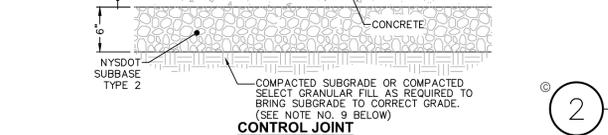
**EXPANSION JOINT**



**CONSTRUCTION JOINT**



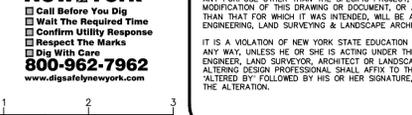
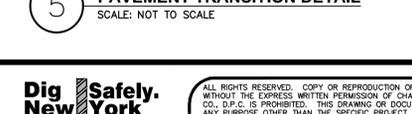
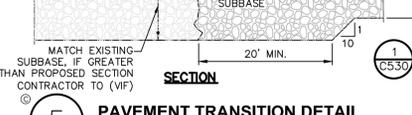
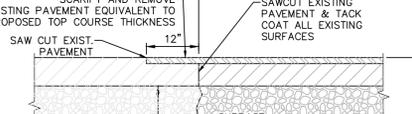
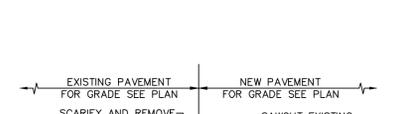
**CONTROL JOINT**



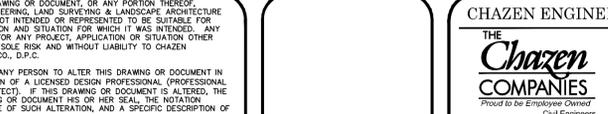
**2 CONCRETE SIDEWALK DETAIL**  
SCALE: NOT TO SCALE

**4 TRENCH SURFACE RESTORATION IN ASPHALT PAVEMENT**  
SCALE: NOT TO SCALE

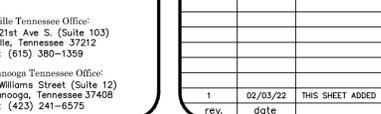
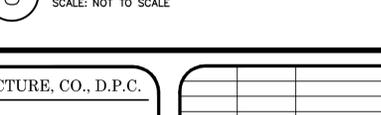
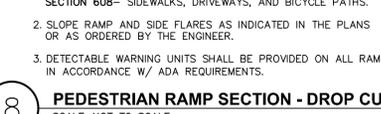
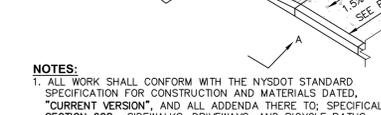
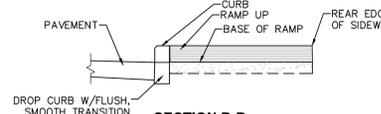
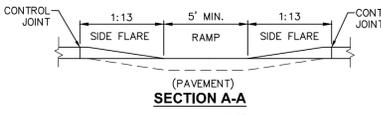
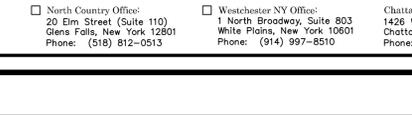
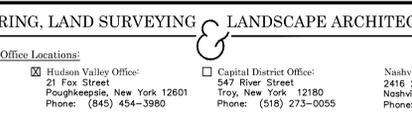
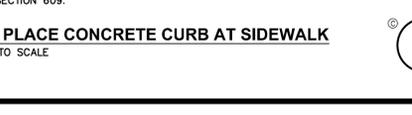
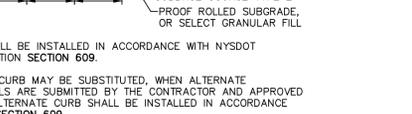
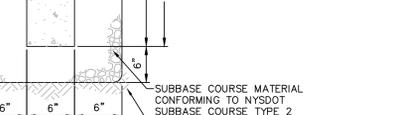
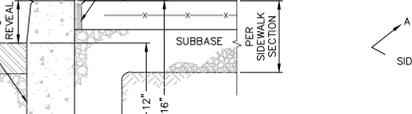
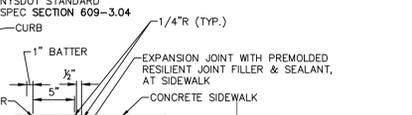
**5 PAVEMENT TRANSITION DETAIL**  
SCALE: NOT TO SCALE



**6 CAST IN PLACE CONCRETE CURB**  
SCALE: NOT TO SCALE

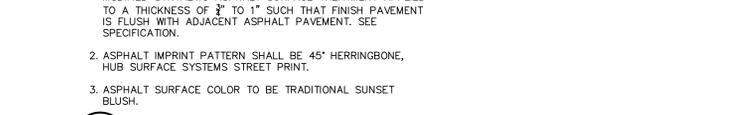
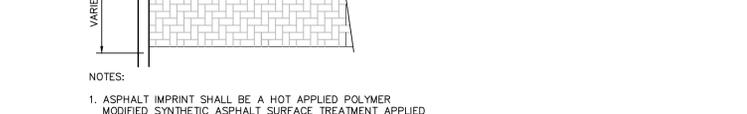
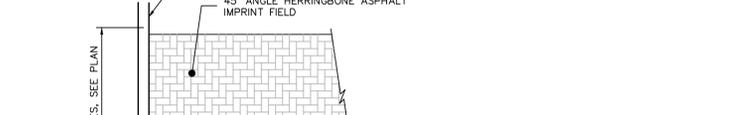
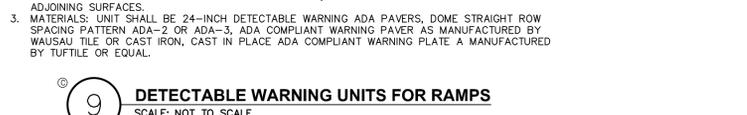
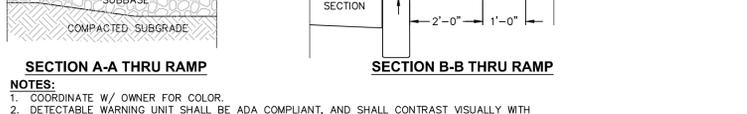
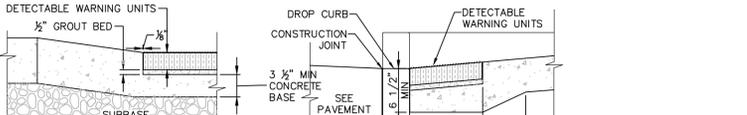
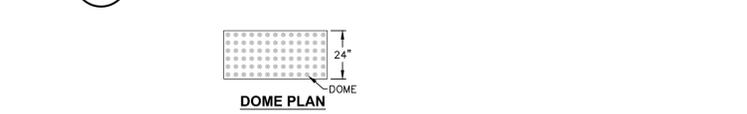
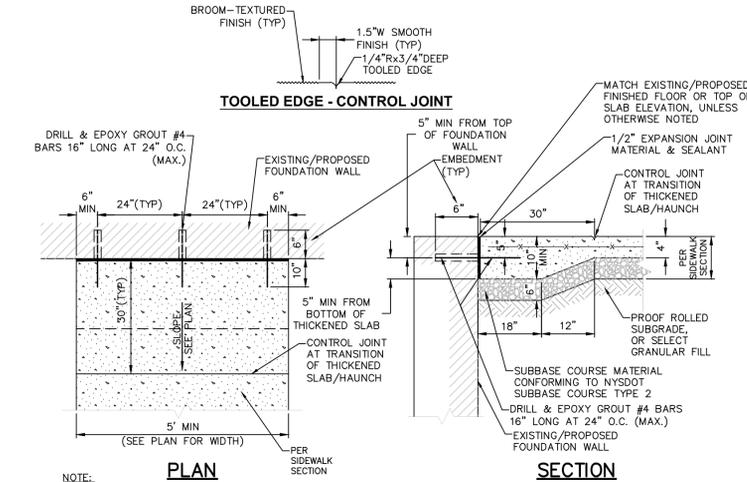
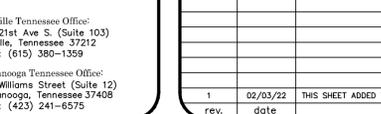
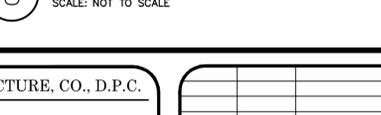
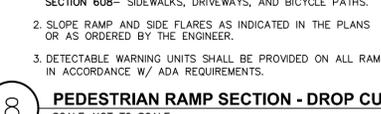
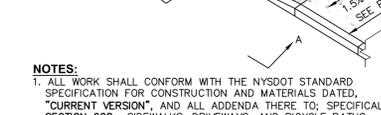


**7 CAST IN PLACE CONCRETE CURB AT SIDEWALK**  
SCALE: NOT TO SCALE



**8 PEDESTRIAN RAMP SECTION - DROP CURB**  
SCALE: NOT TO SCALE

**9 DETECTABLE WARNING UNITS FOR RAMPS**  
SCALE: NOT TO SCALE



**3 CONCRETE SIDEWALK AT BUILDING ENTRANCES**  
SCALE: NOT TO SCALE

**9 DETECTABLE WARNING UNITS FOR RAMPS**  
SCALE: NOT TO SCALE

**10 STAMPED ASPHALT PAVEMENT**  
SCALE: NOT TO SCALE

ISSUED FOR PLANNING BOARD REVIEW

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Walk The Required Time  
Confirm Utility Response  
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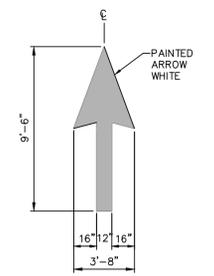
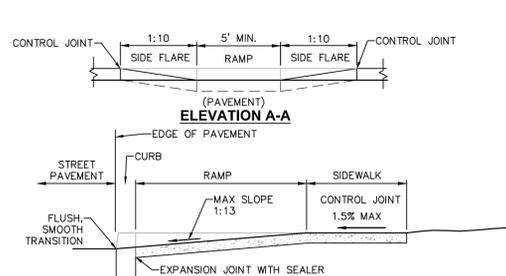
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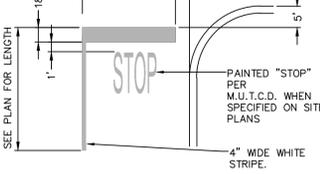
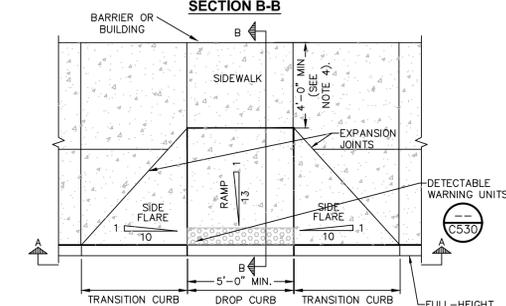
rev.	date	description
1	02/03/22	THIS SHEET ADDED TO PLAN SET.

**GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)**  
**SITE DETAILS**  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed SMD  
checked CPL  
date 04/26/21 AS SHOWN  
project no. 82018.00  
sheet no. **C530**



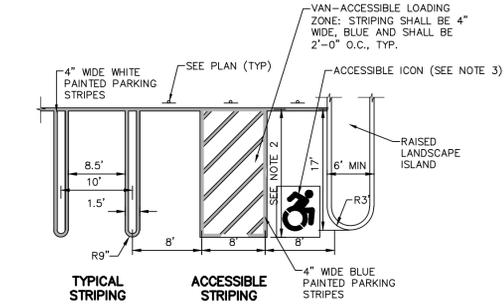
2 PAVEMENT MARKING DETAIL DIRECTIONAL ARROW  
SCALE: NOT TO SCALE



3 PAVEMENT MARKING DETAIL STOP BAR  
SCALE: NOT TO SCALE

**NOTES:**  
1. ALL WORK SHALL CONFORM WITH THE NYS DOT STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS DATED, "CURRENT VERSION", AND ALL ADDENDA THERE TO, SPECIFICALLY SECTION 608- SIDEWALKS, DRIVEWAYS, AND BICYCLE PATHS.  
2. SLOPE RAMP AND SIDE FLARES AS INDICATED IN THE PLANS OR AS ORDERED BY THE ENGINEER.  
3. DETECTABLE WARNING UNITS SHALL BE PROVIDED ON ALL RAMPS IN ACCORDANCE W/ ADA REQUIREMENTS.  
4. WHERE THIS DIMENSION IS LESS THAN 4'-0", THE SIDE FLARES SHALL HAVE A SLOPE OF 1:13 OR FLATTER.

1 PEDESTRIAN RAMP WITH FLARED SLOPES  
SCALE: NOT TO SCALE



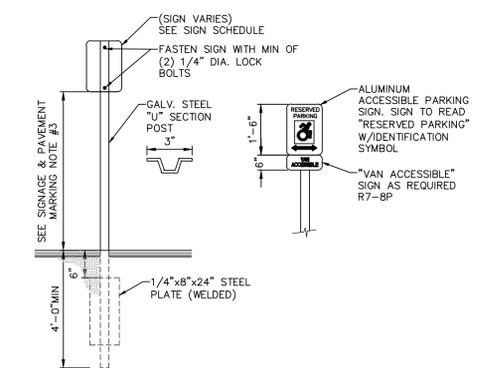
**NOTES:**  
1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS, REFER TO TOWN OF WAPPINGER ZONING CODE 240 ATTACHMENT 5.  
2. PARKING SPACE LENGTH SHALL BE 20'. WHERE ACCESS AISLE IS 26' WIDE PARKING SPACE LENGTH MAY BE REDUCED TO 18'.  
3. PAINTED ACCESSIBLE LOGO TO BE IN ACCORDANCE W/ NEW YORK STATE LAW.  
4. SLOPE OF PAVEMENT SURFACE IN ACCESSIBLE PARKING AREA SHALL NOT EXCEED 1.5% IN ANY DIRECTION.  
5. SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE

4 PAVEMENT MARKING DETAIL PARKING STRIPING  
SCALE: NOT TO SCALE

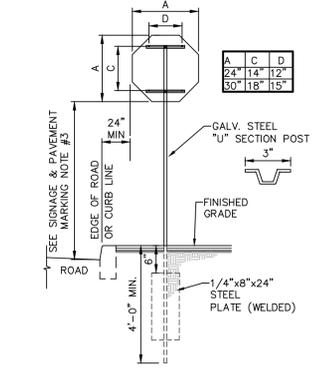
**STRIPING NOTES:**  
1. ALL STRIPING SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 640 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."  
2. STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.  
3. STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.  
4. COLOR: DRIVE LANE DIVIDERS - WHITE OR AOBE NO PARKING ZONE WARNINGS - WHITE OR AOBE PARKING DIVIDERS - WHITE OR AOBE WALKING LINES - WHITE OR AOBE ACCESSIBLE PARKING LINES & SYMBOL - BLUE

**SIGNAGE NOTES:**  
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."  
2. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."  
3. SIGN POST SHALL BE IN ACCORDANCE W/ NYS DOT STANDARD SPECS SECTION 730.

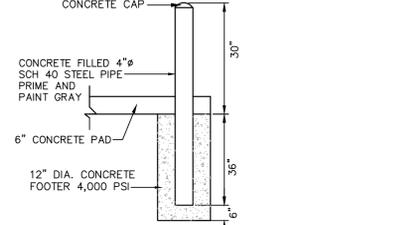
SIGN NO.	SIGN FACE	MUTCD NUMBER	MIN SIZE	COLORS		MOUNTING
				BCK GRND	LEGEND	
1	STOP	R1-1	30"x30"	RED	WHITE	6 (C5.31)
2	RESERVED PARKING	NY R7-8D	12"x18"	WHITE/BLUE	GREEN/WHITE	5 (C5.31)
3	VAN ACCESSIBLE	R7-8P	12"x6"	WHITE	BLUE	5 (C5.31)
4	NO PARKING ANY TIME	R7-1	12"x18"	WHITE	RED	5 (C5.31)



5 SINGLE POST SIGN MOUNTING DETAIL  
SCALE: NOT TO SCALE

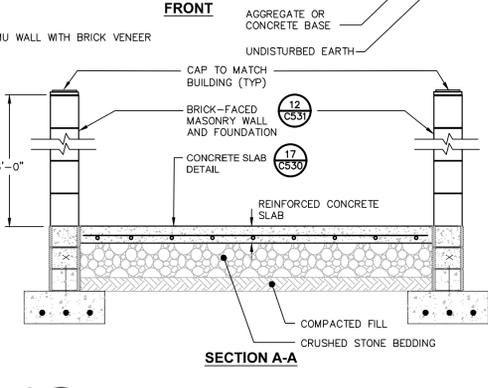
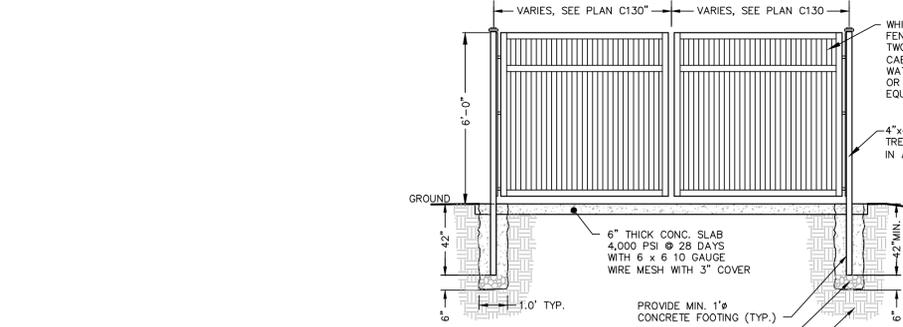


6 SINGLE POST STOP SIGN MOUNTING DETAIL  
SCALE: NOT TO SCALE

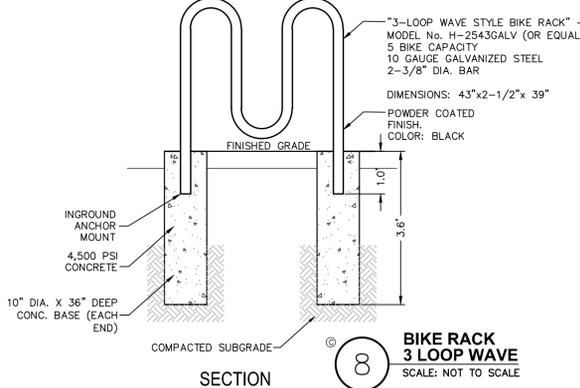
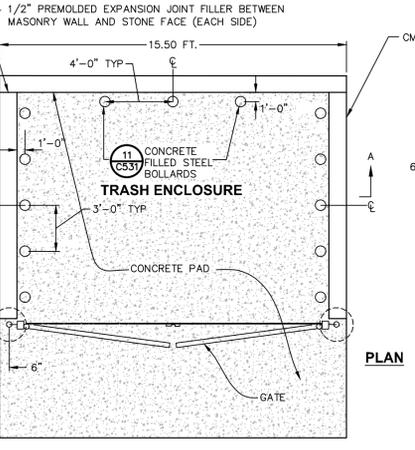


**NOTES:**  
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.  
2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 3"-5" TO WITHIN A TOLERANCE OF 0"-1".  
3. ALL EXPOSED CONCRETE SHALL BE 5% AIR-ENTRAINED (WITHIN 1% TOLERANCES) CONFORMING TO ASTM C260.  
4. ALL FORMWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH GOVERNING CODES, AND REGULATIONS.

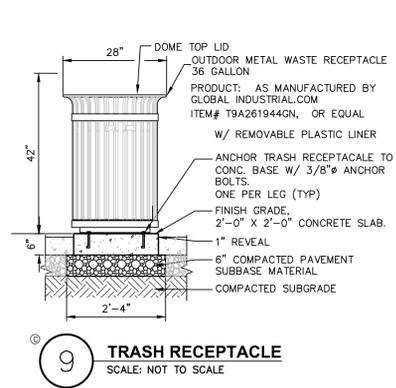
11 BOLLARD DETAIL FOR REFUSE ENCLOSURE  
SCALE: NOT TO SCALE



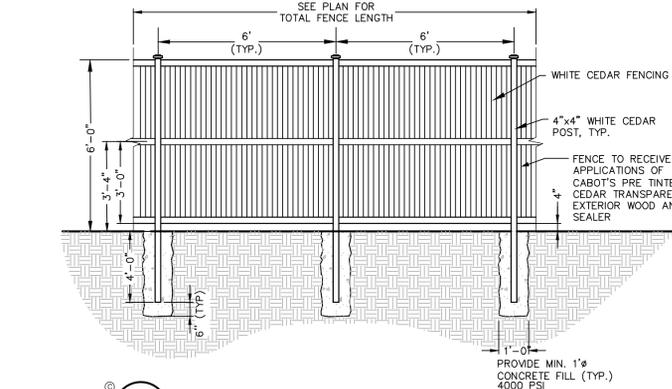
7 REFUSE ENCLOSURE  
SCALE: NOT TO SCALE



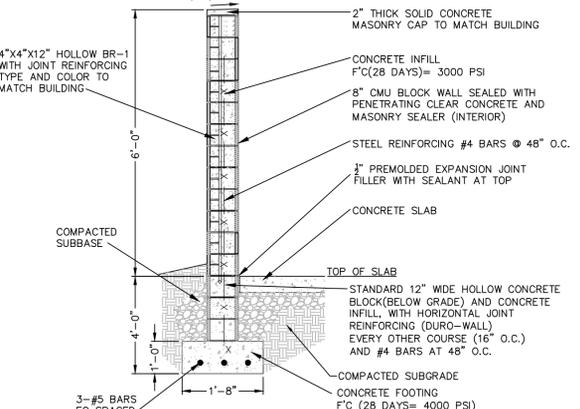
8 BIKE RACK 3 LOOP WAVE  
SCALE: NOT TO SCALE



9 TRASH RECEPTACLE  
SCALE: NOT TO SCALE



10 CEDAR FENCE DETAIL  
SCALE: NOT TO SCALE



12 MASONRY WALL DETAIL - FOR REFUSE ENCLOSURE  
SCALE: NOT TO SCALE

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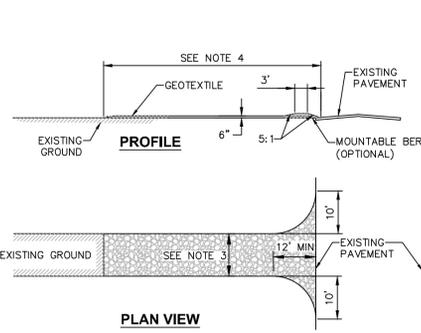
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Chattanooga Tennessee Office: 1426 Willoms Street (Suite 12), Chattanooga, Tennessee 37408, Phone: (423) 241-6575

rev.	date	description
1	02/03/22	THIS SHEET ADDED TO PLAN SET.

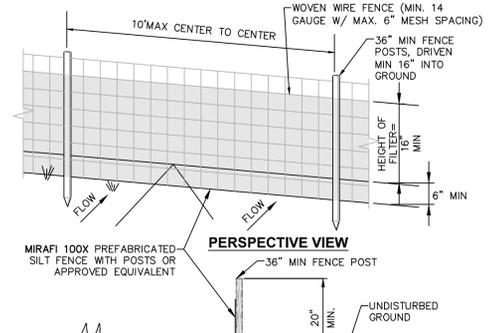
**GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)**  
**SITE DETAILS**  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed	checked
SMD	CPL
date	scale
04/26/21	AS SHOWN
project no.	82018.00
sheet no.	C531



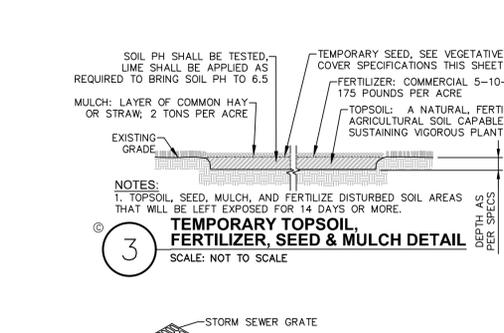
**1 STABILIZED CONSTRUCTION ACCESS DETAIL**  
SCALE: NOT TO SCALE

- CONSTRUCTION ENTRANCE SPECIFICATIONS:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
  - LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
  - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

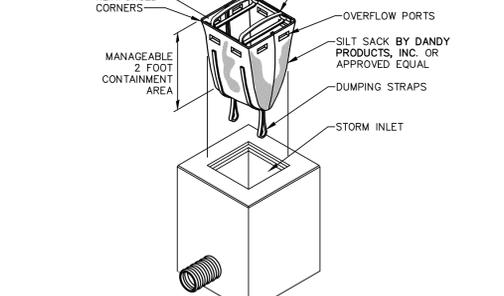


**2 SILT FENCE INSTALLATION DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "1\"/>

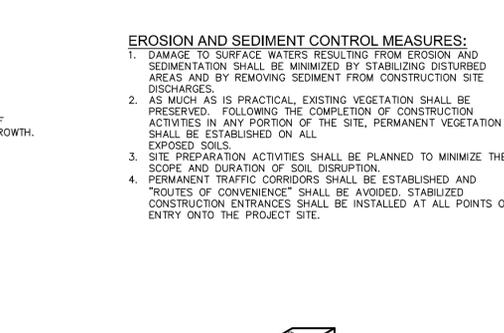


**3 TEMPORARY TOPSOIL, FERTILIZER, SEED & MULCH DETAIL**  
SCALE: NOT TO SCALE



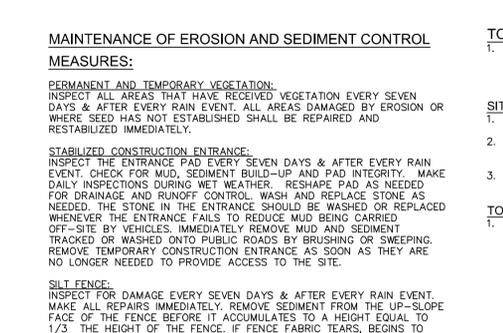
**4 HAY OR STRAW BALE DIKE DETAIL**  
SCALE: NTS

- NOTES:**
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES AND PLACED SO THE BINDINGS ARE HORIZONTAL.
  - BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
  - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  - HAY OR STRAW BALE DIKES SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
  - HAY OR STRAW BALE DIKES SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
  - MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING TO A HAY OR STRAW BALE DIKE ARE:
- | SLOPE STEEPNESS | MAXIMUM SLOPE LENGTH(FT) |
|-----------------|--------------------------|
| 2:1             | 25                       |
| 3:1             | 50                       |
| 4:1             | 75                       |
| <4:1            | 100                      |
- MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A HAY OR STRAW BALE DIKE SHALL NOT EXCEED 0.25 ACRES PER 100 FEET OF DIKE FOR SLOPES < 25%.



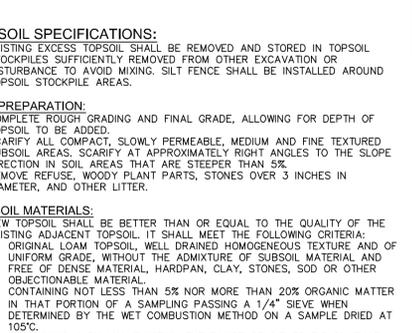
**5 HAY OR STRAW BALE DIKE DETAIL**  
SCALE: NTS

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
  - EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
  - APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
  - SEEDING AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
  - WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.



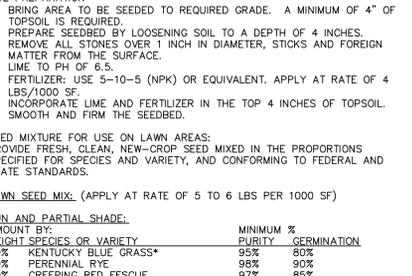
**6 CONCRETE WASHOUT AREA DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
  - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
  - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL. THIS INCLUDES REPLACEMENT OF THE 10 MIL POLYETHYLENE SHEETING.
  - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
  - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
  - AT LEAST WEEKLY, REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.



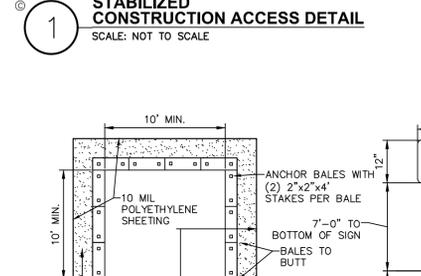
**7 TEMPORARY SOIL STOCKPILE DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
  - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.



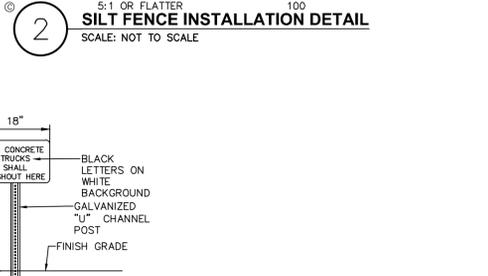
**8 STRAW WATTLE DETAIL**  
SCALE: NOT TO SCALE

- STRAW WATTLE NOTES:**
- PLACE STRAW WATTLES AS INDICATED ON PLANS.
  - DIG SMALL TRENCHES ACROSS THE SLOPE ON CONTOUR TO PLACE ROLLS IN. START BUILDING TRENCHES AND INSTALL ROLLS FROM THE BOTTOM OF THE SLOPE AND WORK UP. IT IS CRITICAL THAT ROLLS ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR. LAY THE ROLL ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE.



**9 STABILIZED CONSTRUCTION ACCESS DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
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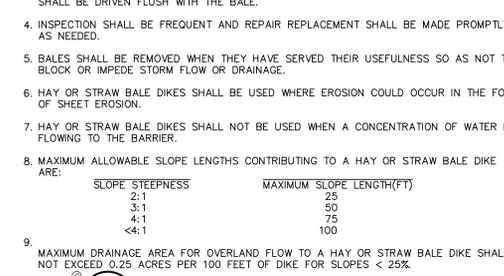
**10 TEMPORARY TOPSOIL, FERTILIZER, SEED & MULCH DETAIL**  
SCALE: NOT TO SCALE

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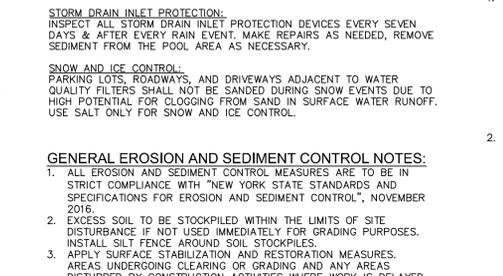
**11 HAY OR STRAW BALE DIKE DETAIL**  
SCALE: NTS

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
  - EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
  - APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
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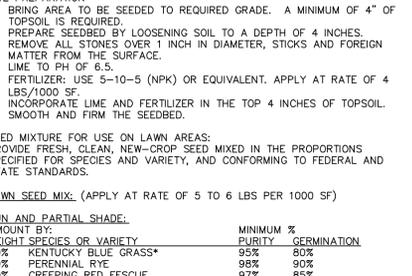
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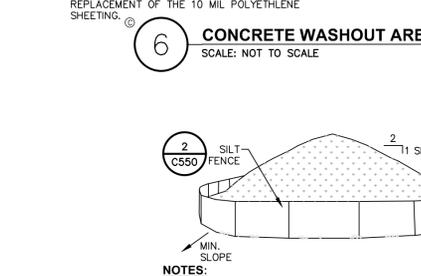
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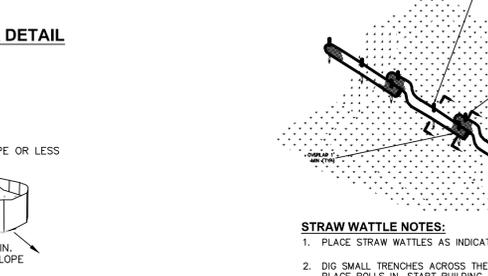
**14 TEMPORARY TOPSOIL, FERTILIZER, SEED & MULCH DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "1\"/>



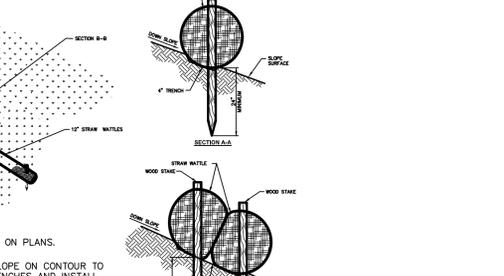
**15 STABILIZED CONSTRUCTION ACCESS DETAIL**  
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**16 TEMPORARY TOPSOIL, FERTILIZER, SEED & MULCH DETAIL**  
SCALE: NOT TO SCALE

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**17 HAY OR STRAW BALE DIKE DETAIL**  
SCALE: NTS

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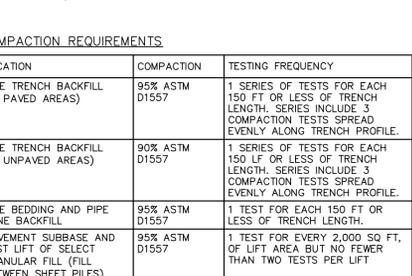
**18 HAY OR STRAW BALE DIKE DETAIL**  
SCALE: NTS

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- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
  - EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
  - APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
  - SEEDING AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
  - WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.



**19 CONCRETE WASHOUT AREA DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
  - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
  - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL. THIS INCLUDES REPLACEMENT OF THE 10 MIL POLYETHYLENE SHEETING.
  - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
  - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
  - AT LEAST WEEKLY, REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.



**20 TEMPORARY TOPSOIL, FERTILIZER, SEED & MULCH DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "1\"/>

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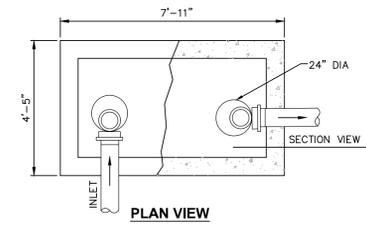
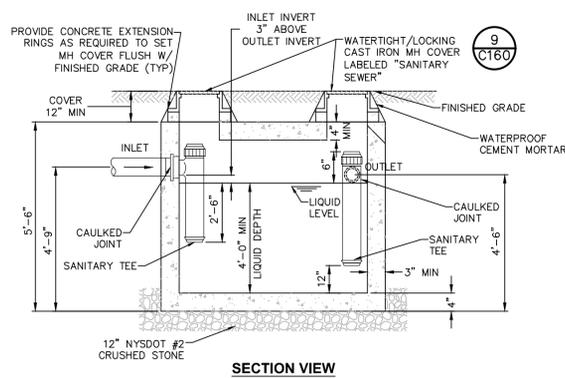
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rev.	date	description
1	02/03/22	THIS SHEET ADDED TO PLAN SET.

**GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)**  
**EROSION & SEDIMENT CONTROL DETAILS AND NOTES**  
TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed MET 04/26/21  
checked CPL 1"=10'  
project no. 82018.00  
sheet no. C550



- NOTES:**
- GREASE TRAP SHALL BE AS MANUFACTURED BY THE FORT MILLER CO. OR APPROVED EQUIVALENT.
  - DIMENSIONS SHOWN ARE PER STRUCTURES MANUFACTURED BY FORT MILLER CO.
  - GREASE TRAP SHALL RECEIVE 2 LAYERS OF BITUMINOUS COATINGS.

**1 750 GAL SEAMLESS CONCRETE GREASE TRAP**  
SCALE: NOT TO SCALE

**GREASE TRAP SIZING CALCULATIONS:**

PER THE 2014 NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS, GREASE TRAPS SHALL BE SIZED BASED ON THE 30-MINUTE DETENTION TIME OF PEAK FLOW.

PER TABLE E 103.3(2), LOAD VALUES ASSIGNED TO FIXTURES, IN THE NYS PLUMBING CODE THE LOAD VALUES, IN WATER SUPPLY FIXTURES UNITS (WSFU) OF A KITCHEN SINK ASSOCIATED WITH A HOTEL/RESTAURANT WOULD BE 4 FIXTURE UNITS.

PER TABLE E 103.3(3), TABLE FOR ESTIMATING DEMAND, IN THE NYS PLUMBING CODE THE DEMAND ASSOCIATED WITH 4 FIXTURE UNITS IS 8GPM.

TO ACHIEVE A 30 MINUTE DETENTION TIME THE TANK WOULD NEED TO BE : 8 GPM X 30 MIN = 240 GALLON TANK  
A 750 GALLON GREASE TRAP IS PROPOSED.

**GREASE TRAP HYDROSTATIC TESTING:**

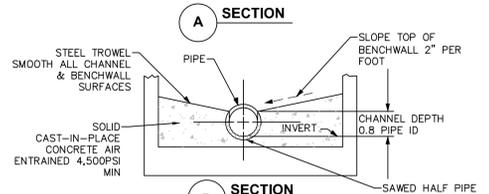
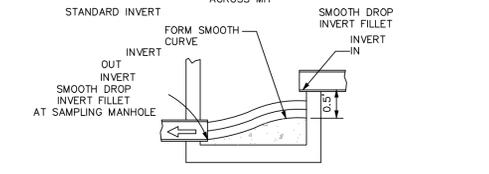
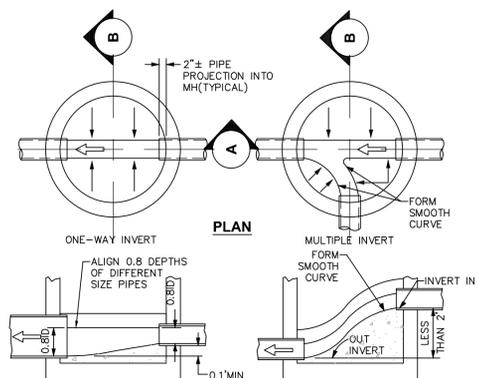
- IF THE GREASE TRAP IS DELIVERED IN TWO PIECES (NON-MONOLITHIC), THE GREASE TRAP SHALL BE TESTED FOR LEAKAGE AND ALL LEAKS SHALL BE REPAIRED IN A MANNER SUBJECT TO THE ENGINEER'S APPROVAL. A HYDROSTATIC TEST SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.
  - NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF TESTING.
  - THE STRUCTURE SHALL BE COMPLETELY PLUGGED AND FILLED WITH WATER AND ALLOWED TO STAND FOR TWO (2) HOURS PRIOR TO ANY READING IN ORDER TO PERMIT ABSORPTION BY THE WET WELL STRUCTURE.
  - AFTER TWO (2) HOURS, A READING SHALL BE TAKEN AND THE STRUCTURE ALLOWED TO STAND FOR 24 HOURS.
  - THE DROP IN WATER LEVEL AFTER 24 HOURS SHALL BE NOTED.
  - LEAKAGE IN THE GREASE TRAP SHALL NOT EXCEED 0.6 GALLONS/FT MANHOLE DIAMETER/FT OF MANHOLE DEPTH.
  - GREASE TRAP FAILING THE TEST SHALL BE REPAIRED AND RETESTED TO THE SATISFACTION OF THE ENGINEER.
  - THE CONTRACTOR SHALL COORDINATE AND BEAR ALL COSTS FOR PROVISION AND DISPOSAL OF WATER NECESSARY FOR THE LEAK TESTING OF THE WET WELL.
- HYDROSTATIC TESTING
  - UNLESS OTHERWISE APPROVED, CONDUCT ALL TESTING IN THE PRESENCE OF THE ENGINEER.
  - THE STRUCTURE SHALL BE COMPLETELY PLUGGED AND FILLED WITH WATER AND ALLOWED TO STAND FOR TWO (2) HOURS PRIOR TO ANY READING IN ORDER TO PERMIT ABSORPTION BY THE WET WELL STRUCTURE.
  - AFTER TWO (2) HOURS, A READING SHALL BE TAKEN AND THE STRUCTURE ALLOWED TO STAND FOR 24 HOURS.
  - THE DROP IN WATER LEVEL AFTER 24 HOURS SHALL BE NOTED.
  - LEAKAGE IN THE GREASE TRAP SHALL NOT EXCEED 0.6 GALLONS/FT MANHOLE DIAMETER/FT OF MANHOLE DEPTH.
  - GREASE TRAP FAILING THE TEST SHALL BE REPAIRED AND RETESTED TO THE SATISFACTION OF THE ENGINEER.
  - THE CONTRACTOR SHALL COORDINATE AND BEAR ALL COSTS FOR PROVISION AND DISPOSAL OF WATER NECESSARY FOR THE LEAK TESTING OF THE WET WELL.

**TESTING GRAVITY SEWER MANHOLES:**

- MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244. A VACUUM OF 10 INCHES OF Hg SHOULD BE DRAWN ON THE MANHOLE AFTER ALL HOLES ARE PLUGGED, AND INLETS/OUTLETS ARE TEMPORARILY PLUGGED AND SECURED. THE TIME MEASURED FOR THE VACUUM TO DROP TO 9 INCHES Hg. THE MANHOLE IS ACCEPTED IF THE MEASURED TIME MEETS OR EXCEEDS THE VALUES PRESENTED IN TABLE 1 OF ASTM C1244. IF THE MANHOLE FAILS THE INITIAL TEST, IT SHALL BE REPAIRED BY AN APPROVED METHOD UNTIL A SATISFACTORY TEST IS OBTAINED. MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED AND LEAKAGE-TESTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED AND LEAKAGE-TESTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

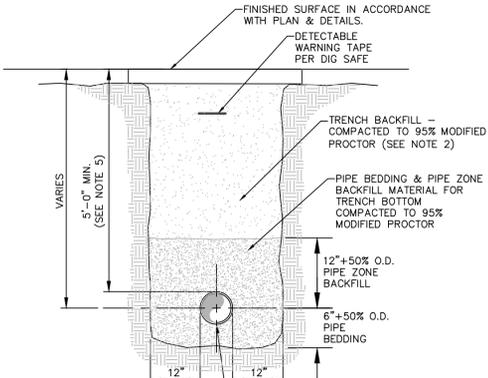
**MANHOLES AND OTHER BELOW GRADE STRUCTURES:**

- STRUCTURAL DESIGN FOR MANHOLES AND OTHER BELOW-GRADE PRECAST CONCRETE STRUCTURES:
  - NON-TRAFFIC LOADS:
    - BELOW GRADE PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO WITHSTAND LOADS IMPOSED BY STRUCTURE WEIGHT, EARTH COVER, LATERAL PRESSURE FROM EARTH AND GROUND WATER, AND LIVE LOADS SUCH AS PEDESTRIAN TRAFFIC OR MACHINERY ON OR ABOVE THE STRUCTURE; AND
  - TRAFFIC LOADS:
    - BELOW GRADE PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ALSO WITHSTAND TRAFFIC LOADS CREATED BY AN HS20-44 TRUCK PLUS 25% IMPACT AS DEFINED IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (ASHTO) DESIGN STANDARDS.
- MATERIAL WHICH SHALL BE UTILIZED IN THE CONSTRUCTION OF PRECAST CONCRETE STRUCTURES:
  - CEMENT: ASTM C-150 TYPE 1 (III) TYPE I
  - SAND: NYS DOT STD. SPEC. SECTION NO. 703-02 CONCRETE SAND
  - STONE: NYS DOT STD. SPEC. SECTION NO. 703-02 COARSE AGGREGATE
  - STEEL BAR REINFORCEMENT: ASTM A615, GRADE 60
  - WIRE MESH REINFORCEMENT: ASTM A185 PLAIN
  - CONCRETE STRENGTH (28 DAY): 4,500 PSI (F'C)
  - ENRAINED AIR: 5% MIN.
- ALL CASTINGS (FRAMES AND COVERS, FRAMES AND GRATES, ETC.) FOR USE IN CONJUNCTION WITH MANHOLES AND OTHER BELOW GRADE STRUCTURES SHALL BE MANUFACTURED FROM GRAY IRON OR DUCTILE IRON. GRAY IRON SHALL CONFORM WITH ASTM A 48, CLASS 30B AND DUCTILE IRON SHALL CONFORM WITH ASTM A 536 AND BE OF A GRADE APPROPRIATE TO ITS INTENDED USE.
- ALL CASTINGS (FRAMES AND COVERS, FRAMES AND GRATES, ETC.) FOR USE IN CONJUNCTION WITH MANHOLES AND OTHER BELOW GRADE STRUCTURES SHALL BE DESIGNED TO WITHSTAND ASHTO HS 20-44 HIGHWAY LOADING PLUS 25% IMPACT.
- ALL ASTM REFERENCES SHALL BE FOR THE LATEST ACTIVE STANDARD.



- NOTE:**
- INLET AND OUTLET OF PIPES SHOWN ON PLAN VIEW OF BASE ARE NOT NECESSARILY TYPICAL OF ALL MANHOLES. REFER TO UTILITY PLAN FOR INLET AND OUTLET DIRECTIONS.

**2 INVERT, CHANNEL AND BENCHWALLS**  
SCALE: NOT TO SCALE



- NOTES:**
- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE AN IMPORTED NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

- TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

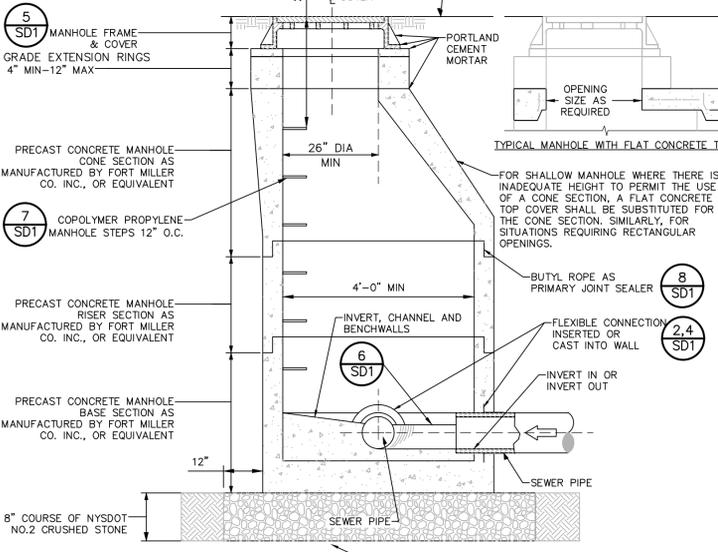
IN NON-TRAFFIC UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER AND COMPACTED TO 90% MODIFIED PROCTOR.

- INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.

- TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.

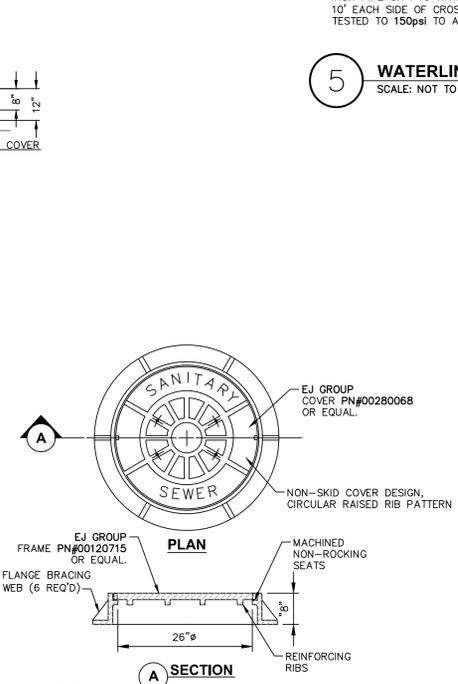
- 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.

**3 PIPE TRENCH DETAIL (TYPICAL)**  
SCALE: NOT TO SCALE



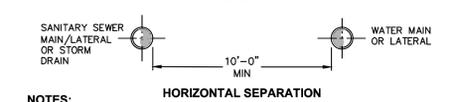
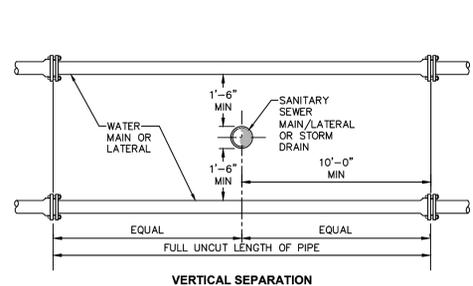
- NOTES:**
- USE ONLY WET-CAST UNITS. DRY-CAST NOT ACCEPTABLE.
  - INVERT SHALL BE FILLETED.
  - REINFORCEMENT FOR MANHOLE COMPONENTS SHALL BE DESIGNED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. STRUCTURE SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING PLUS 25% IMPACT.
  - CONCRETE TO TEST 4,500 PSI AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478.
  - BENCH SHALL BE BUILT FOR FLOW BETWEEN INLET AND OUTLET.
  - EACH MANHOLE EXTERIOR SHALL RECEIVE TWO BITUMINOUS COATS.

**7 PRECAST CONCRETE MANHOLE**  
SCALE: NOT TO SCALE



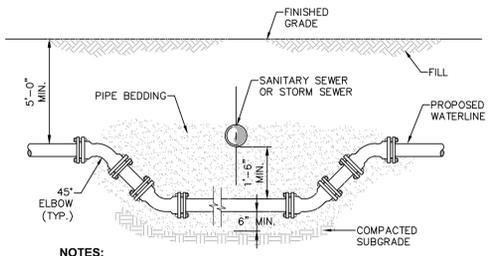
- NOTE:**
- FRAME AND COVER SHALL BE DESIGNED FOR HS20-44 VEHICLE LOADING AND 25% IMPACT.

**8 HEAVY DUTY STANDARD CAST IRON MH COVER**  
SCALE: NOT TO SCALE



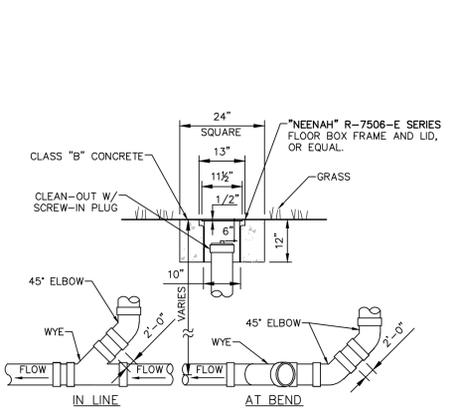
- NOTES:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE NYS HEALTH DEPARTMENT. OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.
  - WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS INDICATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE FOR 10' EACH SIDE OF CROSSING AND SHALL BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS.

**4 SANITARY/STORM SEWER AND WATERMAIN SEPARATION DETAIL**  
SCALE: NOT TO SCALE



- NOTES:**
- WHEN THE ELEVATION OF THE SEWER CAN NOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS REQUIRED SEPARATION.
  - WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS INDICATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE FOR 10' EACH SIDE OF CROSSING AND SHALL BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS.

**5 WATERLINE OFFSET DETAIL**  
SCALE: NOT TO SCALE



- NOTES:**
- SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.
  - TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

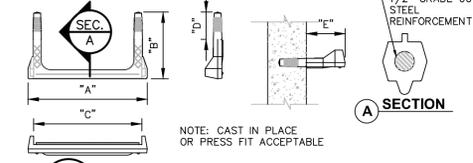
**6 CLEAN OUT - NON TRAFFIC AREAS**  
SCALE: NOT TO SCALE

**ACCEPTABLE MANHOLE STEPS**

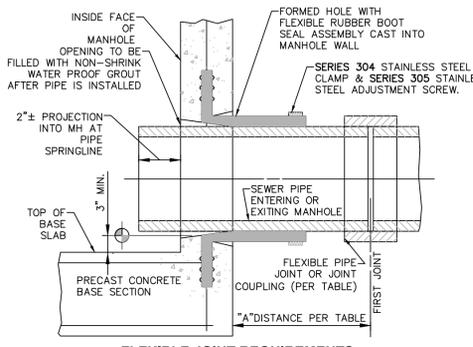
MANUFACTURER	PATTERN NUMBER	7\"/>				
M.A. INDUSTRIES INC*	PS2-PF	14 3/4	9 1/4	13 3/4	3 3/8	5 7/8
M.A. INDUSTRIES INC*	PS2-PFS	14 3/4	8 1/4	13 3/4	3 3/8	4 7/8

\* OR EQUIVALENT

MH STEP DESIGN AND INSTALLATION SHALL COMPLY WITH ALL OSHA REGULATIONS



**10 COPOLYMER POLYPROPYLENE MH STEP**  
SCALE: NOT TO SCALE



**FLEXIBLE JOINT REQUIREMENTS**

SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	A DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX

**NOTE:** REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

**11 PIPE CONNECTION TO MANHOLE-FLEXIBLE RUBBER BOOT CAST INTO MANHOLE WALL**  
SCALE: NOT TO SCALE

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**GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)**

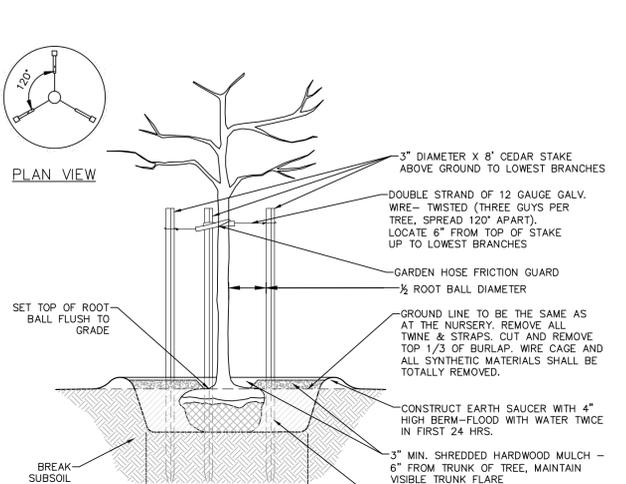
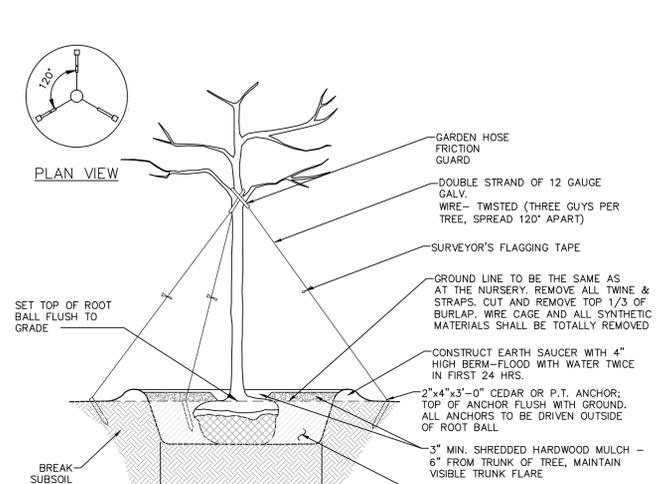
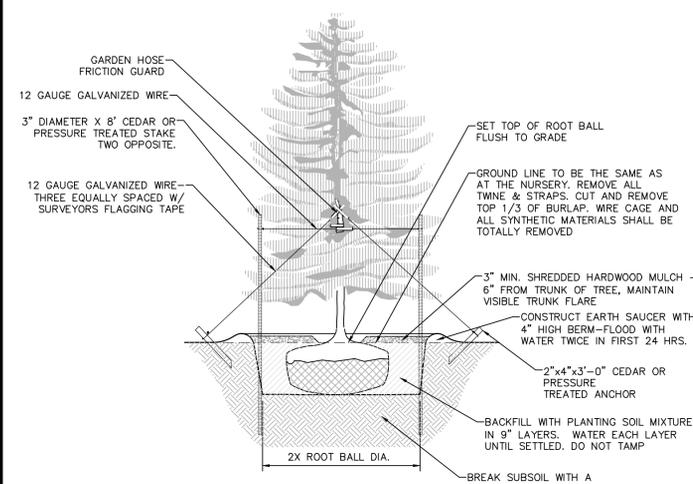
**WATER AND SANITARY SEWER DETAILS**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

rev.	date	description
1	02/03/22	THIS SHEET ADDED.

designed checked  
date scale  
04/26/21 AS NOTED  
project no. 82018.00  
sheet no. C560

designed checked  
date scale  
04/26/21 AS NOTED  
project no. 82018.00  
sheet no. C560



**NOTES:**  
 1. SPRAY WITH ANTIDESSICANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS.  
 2. TREES LESS THAN 3\"/>

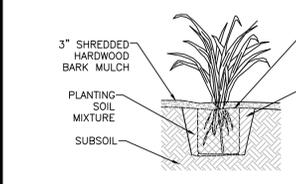
**NOTE:**  
 STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING

**NOTE:**  
 STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING

**1 EVERGREEN PLANTING DETAIL**  
 SCALE: NOT TO SCALE

**2 PLANTING AND GUYING DETAILS-FOR TREES 3\"/>
 SCALE: NOT TO SCALE**

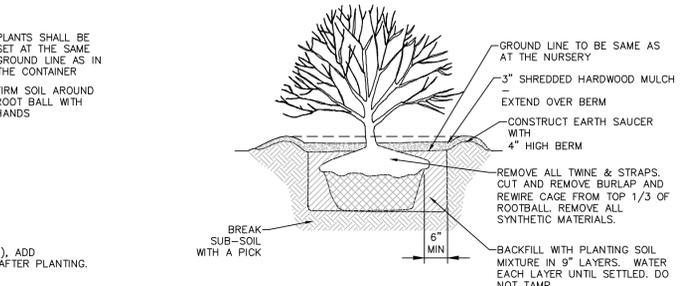
**3 PLANTING AND GUYING DETAILS-FOR TREES SMALLER THAN 3\"/>
 SCALE: NOT TO SCALE**



**SECTIONAL ELEVATION**

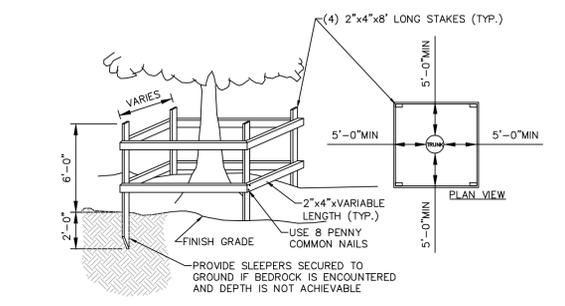
**NOTES:**  
 1. SPADED PLANTING SOIL MIX (4\"/>

**4 CONTAINERIZED PERENNIAL PLANTING**  
 SCALE: NOT TO SCALE



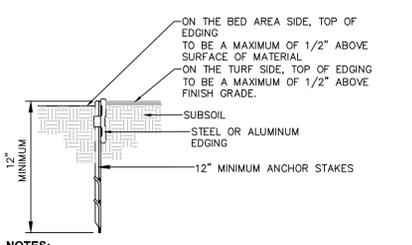
**NOTE:**  
 SPRAY WITH ANTIDESSICANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

**5 SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED AND BURLAPPED**  
 SCALE: NOT TO SCALE



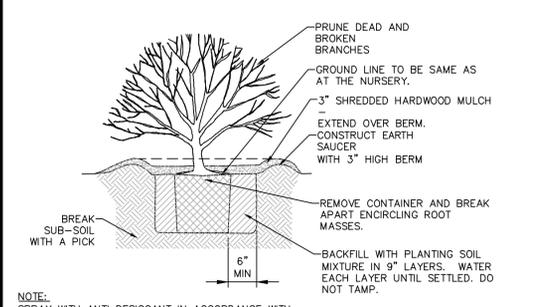
**NOTE:**  
 SEE LANDSCAPING PLAN FOR ADDITIONAL TREE PROTECTION NOTES.

**7 TEMPORARY TREE PROTECTION DETAIL**  
 SCALE: NOT TO SCALE



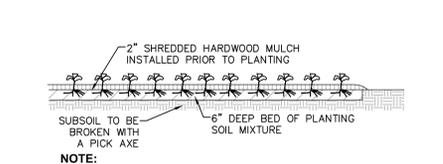
**NOTES:**  
 1. 16\"/>

**9 LANDSCAPE BED EDGING**  
 SCALE: NOT TO SCALE



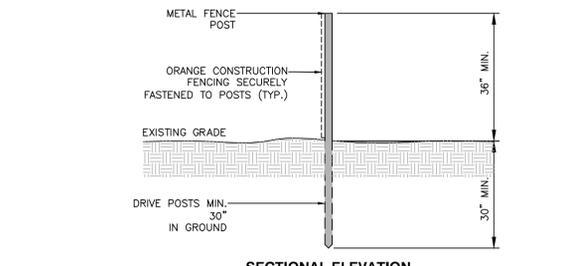
**NOTE:**  
 SPRAY WITH ANTI DESICCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

**6 SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS**  
 SCALE: NOT TO SCALE



**NOTE:**  
 GROUND COVERS SHOULD BE POT OR CONTAINER GROWN.

**8 GROUND COVER/ANNUAL PLUG PLANTING**  
 SCALE: NOT TO SCALE



**SECTIONAL ELEVATION**



**NOTE:**  
 SEE LANDSCAPING PLAN FOR ADDITIONAL TREE PROTECTION NOTES.

**10 TREE PROTECTION FENCING DETAIL**  
 SCALE: NOT TO SCALE

**LANDSCAPING NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
- THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
- THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
- QUALITY ASSURANCE:
  - NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
  - SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC (AAN), UNLESS OTHERWISE SPECIFIED.
  - NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
  - SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
- SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
  - UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWSNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.
  - PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.
  - FERTILIZING:
    - THE SOIL SHALL BE TESTED FOR PH AND LIME ADDED AS NECESSARY. ALL AMENDMENTS SHALL BE CHECKED AND APPROVED BY LANDSCAPE ARCHITECT BEFORE AMENDMENTS ARE MADE.
    - APPLY FERTILIZER AT RATE OF 4 LBS/1000 SF FOR LAWN AREAS.
  - LAWN:
    - LAWN SEED MIX: SEED AT THE RATE OF 5 TO 6 LBS PER 1,000 SF.
    - TEMPORARY COVER SEED MIX: SEED AT THE RATE OF 3 TO 4 LBS PER 1,000 SF.
    - TEMPORARY COVER SEED MIX TO BE APPLIED ONLY FOR LATE FALL OR SUMMER SOIL STABILIZATION OUTSIDE ALLOWED SEEDING PERIODS.
  - ALL SEEDING AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
    - A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS/ACRE MIN. TO BE APPLIED ONCE SEEDING IS COMPLETE.
    - WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY A HYDROSEEDER AT A RATE OF 2,000 LBS/ACRE.
  - ALL SEEDING SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
  - ALL NEWLY PLANTED AREAS SHALL BE KEPT MOIST BY WATERING UNTIL GRASSES AND GROUND COVERS ARE WELL ESTABLISHED. THE LANDSCAPE CONTRACTOR MUST WATER PLANT MATERIAL WHEN NECESSARY FOR 60 DAYS AFTER INSTALLATION.
  - LAWSNS ARE TO BE WARRANTED UNTIL THEY BECOME ESTABLISHED, UNTIL FINAL ACCEPTANCE, AND NOT LESS THAN 60 DAYS AFTER COMPLETION OF ALL WORK. TREES, SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING POOR GROWTH AND DEATH, EXCEPT WHEN RESULTING FROM OWNER NEGLECT, INCIDENTS THAT ARE BEYOND THE CONTROL OF THE LANDSCAPE INSTALLER AND DAMAGE OR ABUSE BY OTHERS, FOR AT LEAST ONE FULL YEAR AFTER PROJECT COMPLETION.
- LIME: NATURAL LIMESTONE CONTAINING AT LEAST 85% OF TOTAL CARBONATES, GROUND TO SUCH FINENESS THAT AT LEAST 100% PASSES A 10-MESH SIEVE AND AT LEAST 50% PASSES A 100-MESH SIEVE.
- FERTILIZER:
  - FOR STARTER FERTILIZING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHOROUS, AND 5% WATER SOLUBLE POTASH (5-10-5).
  - FOR FINAL FERTILIZING: IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH 3-1-2 NPK. IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (8.D.I) ABOVE.
- TREES, SHRUBS, GROUND COVERS, PERENNIALS, ANNUALS:
  - PLANTING SOIL MIXTURE: SHALL BE PREMIXED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:
    - 30 PARTS TOPSOIL
    - 10 PARTS PEAT
    - 1 PART BONE MEAL
  - PEAT: BROWN TO BLACK IN COLOR, WEED AND SEED FREE. DRIED SPHAGNUM PEAT, CONTAINING NOT MORE THAN 5% MINERAL ON A DRY BASIS AND CONFORMING TO NYSDOT 713-15.
  - BONE MEAL: FINELY GROUND, RAW, MINIMUM 4% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- STAKES: 8 FEET LONG, 3 INCH DIA. CEDAR OR P.T. WOOD STAKES.
- HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.
- WEED CONTROL FABRIC: SOIL CHECK AS MANUFACTURED BY BRIGHTON BYPRODUCTS CO. INC, NEW BRITAIN, PA; MIRACROSE OR MIRAFI GEOSYNTHETIC PRODUCTS, NORCROSS, PA, OR APPROVED EQUIVALENT.
- MULCH:
  - LAWN AREAS: OAT OR WHEAT STRAW, FREE OF WEEDS. AN ALTERNATIVE IS WOOD FIBER CELLULOSE IF HYDROSEEDING IS USED.
  - PLANT BED AREAS: GROUND OR SHREDDED HARDWOOD BARK, UNCOLORED. NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SAWDUST.
- EXECUTION:
  - LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS SITE AREAS ARE AVAILABLE.
  - TOPSOIL SHALL BE SPREAD NO LESS THAN 4\"/>

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rev.	date	description
1	02/03/22	THIS SHEET ADDED TO PLAN SET.

GAS LAND - 42 S. PLANK ROAD (NYS ROUTE 52)

**LANDSCAPE DETAILS AND NOTES**

TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK

designed	checked
SMD	CPL
date	scale
04/26/21	AS SHOWN
project no.	82018.00
sheet no.	C580