

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
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Principal Emeritus:
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

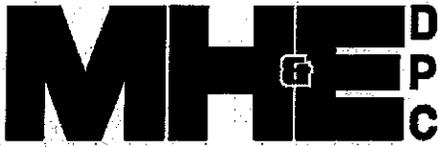
PROJECT: FLETCHER DRIVE SUBDIVISION (EAST ROCK CORP)
PROJECT NO.: 2018-11
PROJECT LOCATION: SECTION 93, BLOCK1, LOT 64.5
REVIEW DATE: 29 NOVEMBER 2018
MEETING DATE: 6 DECEMBER 2018
PROJECT REPRESENTATIVE: MASER CONSULTING

1. The project is before the Board for a Public Hearing on the 6th December meeting. No response has been received to our 25 October 2018 comments for the 1 November 2018 meeting. Plans and additional information must be submitted addressing the previous comments as well as any substantive comments received at the Public Hearing.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal



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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: FLETCHER DRIVE SUBDIVISION (EAST ROCK CORP)
PROJECT NO.: 2018-11
PROJECT LOCATION: SECTION 93, BLOCK1, LOT 64.5
REVIEW DATE: 25 OCTOBER 2018
MEETING DATE: 1 NOVEMBER 2018
PROJECT REPRESENTATIVE: MASER CONSULTING

1. The survey plan must be incorporated into the plan set and identified as such on the cover sheet and sheet numbers.
2. Sheet #2 of 8 is identified as a Demolition Plan. It is unclear if any structures are proposed to be demolished.
3. Common Driveway access and maintenance agreement for proposed lots #2 & 4 must be submitted to Mike Donnelly's office for review and approval.
4. Standard details for connection to the Town of Newburgh's water system as well as standard water system connection notes must be incorporated into the plan sheets.
5. A Stormwater Pollution Prevention Plan for residential lots less than 25% impervious, less than 5 acres disturbance has been provided consisting of an Erosion and Sediment Control Plan. Coverage under the NYSDEC stormwater permit is required.
6. The Applicant's representative are requested to evaluate the size of the proposed water services based on the distance from the main proposed.
7. Based on the input from the NYSDEC tree clearing is identified with a seasonal restriction to protect potential impacts to Bat species. Notes should be added to the plan clearly identifying the time frames for tree clearing permitted on the individual lots.
8. Highway Superintendent's comments on the driveway locations should be received.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

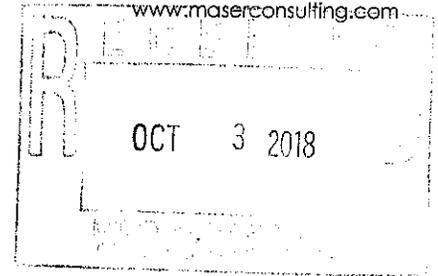


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October 1, 2018

VIA HAND DELIVERY



Chairman John Ewasutyn
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

Re: East Rock Corp. – Fletcher Drive Subdivision
SBL: 93-1-64.5
Town of Newburgh, Orange County, New York
MC Project No. 08001020B

Dear Chairman Ewasutyn:

Below please find our responses to a comment letter received from McGoey, Hauser and Edsall dated June 28, 2018. The comments have been repeated here for clarity.

- Comment 1: The project proposes a four-lot subdivision of an existing 8.14+/- acre of property. One residential structure is currently under construction on the site. Site is proposed to be served by municipal water and on site subsurface septic systems.
- Response 1: Comment noted.
- Comment 2: Proposed Lots 3 & 4 are identified as having a common driveway access and maintenance agreement will be required.
- Response 2: The layout has been revised such that lots 2 & 4 now share a common driveway. We will have an access & maintenance agreement drafted and submitted to the Town Attorney for approval at a later date.
- Comment 3: An encroachment onto proposed Lot 4 exists in the vicinity of the proposed driveway identified as a “rock patio and fish pond encroachment”. This must be addressed with the adjoining property during the subdivision process. While this would normally be a private matter between the property owners the only location for the driveway serving Lot 4 is restricted by the current encroachment.
- Response 3: The layout has been revised so the above-mentioned encroachment will no longer be affected by the proposed development.
- Comment 4: Standard town water details and notes will be required in addition to standard town subsurface sanitary sewer disposal designs and notes.



- Response 4: Water & sewer details and notes have been added to the current plans provided with this submission.
- Comment 5: The Applicants are requested to confirm water exists within the dead-end portion of Fletcher Drive. No hydrants are depicted on the survey maps submitted.
- Response 5: Based on discussions with the Town, it is our understanding that water is not present in the dead-end portion of Fletcher Drive. Therefore, the water services for the proposed lots are connected to the main that is present within Fletcher Drive North.
- Comment 6: Driveway approval from the Highway Superintendent will be required.
- Response 6: Comment noted.
- Comment 7: Two Endangered Species are identified in the EAF, Indiana Bat and Upland Sandpiper. Impacts to these species must be addressed. Initially an inquiry to the NYSDEC Natural Heritage Group should be made.
- Response 7: We requested further review by NYSDEC NHP and they provided the attached response letter. See attached copy of letter. No records of rare or state listed species or significant natural communities at the project site were found. An off-site summer location for Indiana Bat was mentioned in the NYSDEC NHP letter. Limiting times to clear the trees on site is proposed to address this.
- Comment 8: Further review will be undertaken upon submission of detailed plans and designs.
- Response 8: More detailed plans and SWPPP have been included with this submission.

We request to be placed on the next available Planning Board agenda to further discuss the project. If you have any questions, please feel free to call me at 845.564.4495, extension 3804.

Very truly yours,

MASER CONSULTING P.A.

A handwritten signature in black ink, appearing to read 'Justin E. Dates', written over a white background.

Justin E. Dates, RLA
Associate

JED/pa
Enclosures

AFFIDAVIT OF POSTING(S) OF
NOTICE OF PUBLIC HEARING
AT THE PROPERTY

STATE OF NEW YORK: COUNTY OF ORANGE:

I Justin Dates , being duly sworn, depose and say that I did on or before September 5 2018 post and will thereafter maintain at Fletcher Drive in the Town of Newburgh, New York, at or near the front property line(s) and within view of each fronting street a copy(ies) of the Notice of Public Hearing, which notice was in the form attached hereto.

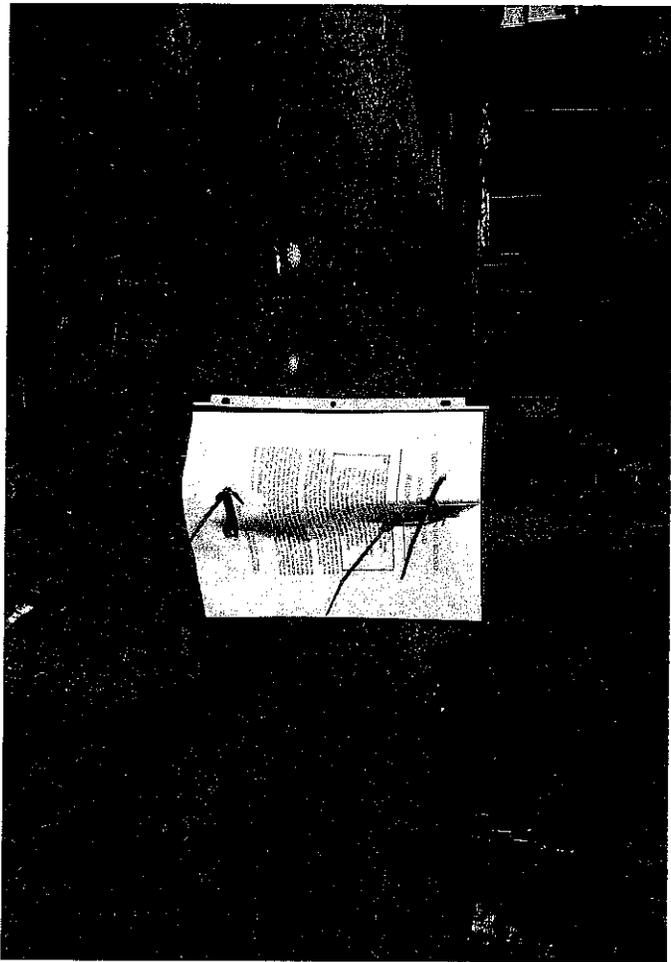
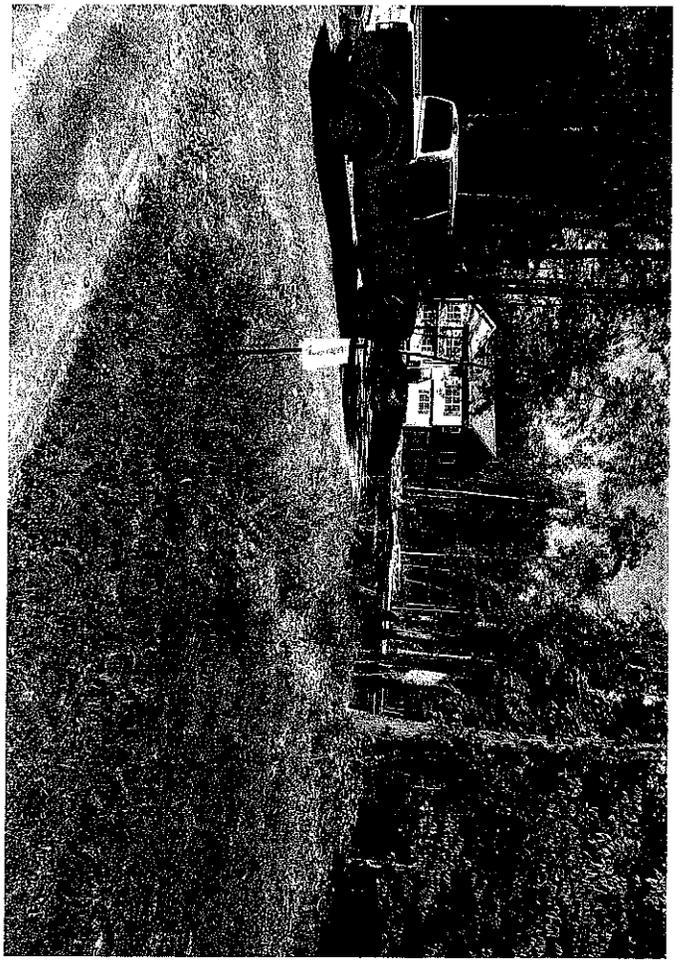
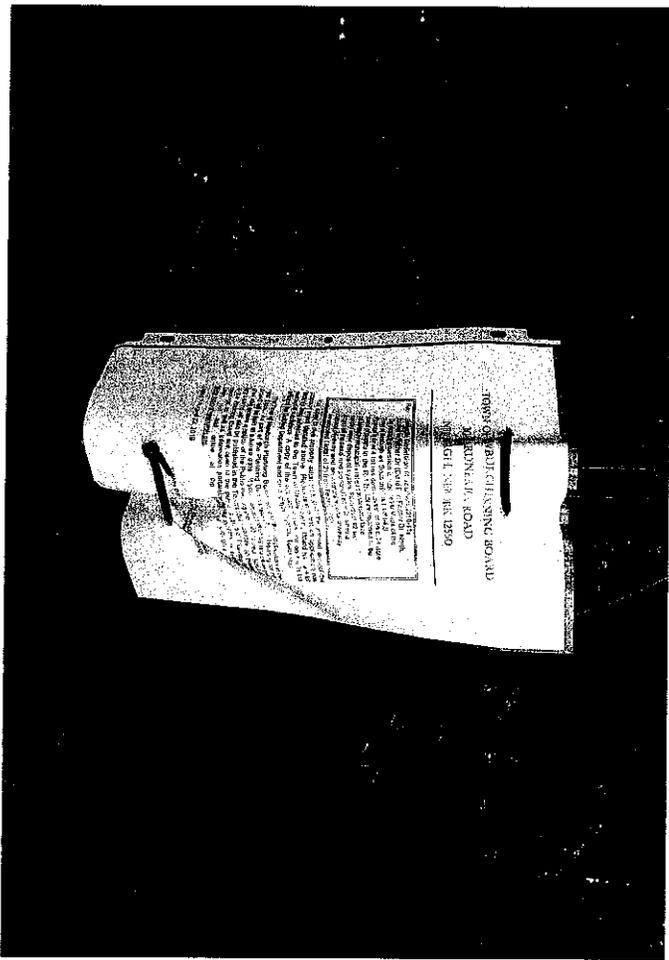
Sworn to before me this 5
day of September, 2018.

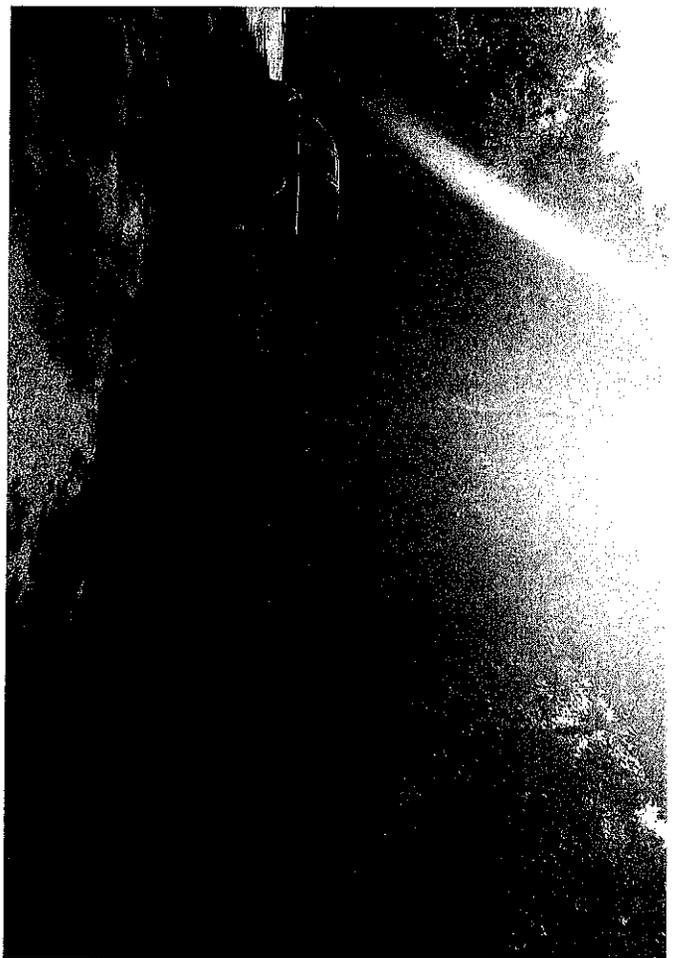
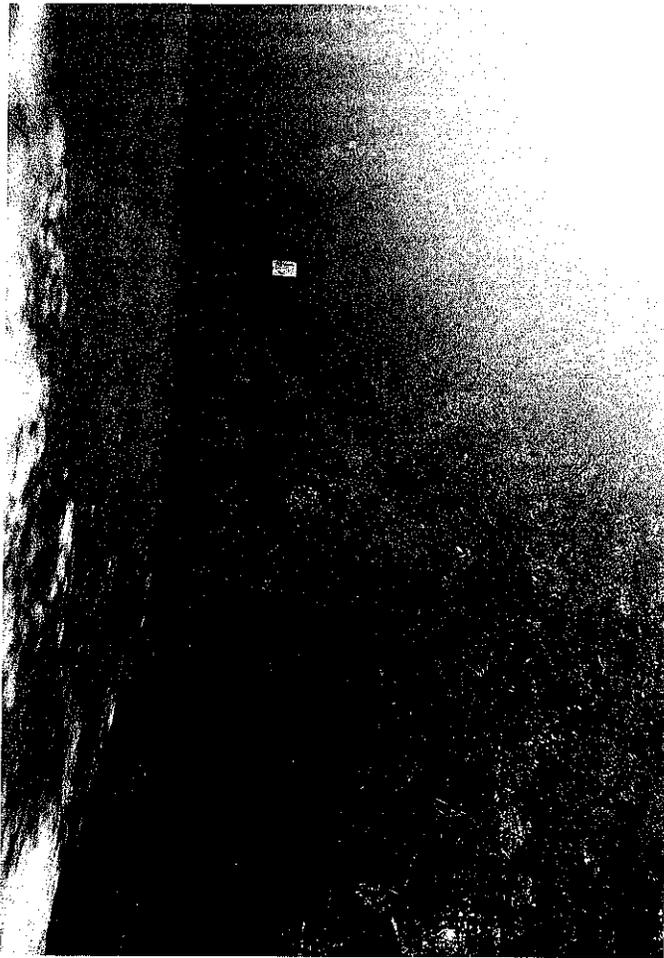


Notary Public

JOANNE MUNKELT
Notary Public, State of New York
No. 01MU6295421
Qualified in Orange County
Commission Expires Jan. 8, 2022

[Photograph(s) of the posted Public Hearing Notice(s) must be submitted by the applicant with this affidavit.]





NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Fish and Wildlife, New York Natural Heritage Program
625 Broadway, Fifth Floor, Albany, NY 12233-4757
P: (518) 402-8935 | F: (518) 402-8925
www.dec.ny.gov

September 24, 2018

Cory Robinson
Maser Consulting
555 Hudson Valley Avenue, Suite 101
New Windsor, NY 12553

Re: Fletcher Drive Subdivison (East Rock Corp.)
County: Orange Town/City: Newburgh

Dear Mr. Robinson:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

We have no records of rare or state-listed animals or plants, or significant natural communities at the project site.

Within one mile of the project site is a documented summer location of **Indiana bat** (*Myotis sodalis*, state and federally listed as Endangered). These bats may travel 2.5 miles or more from documented locations. The main impact of concern for bats is the cutting or removal of potential roost trees. For information about any permit considerations for your project, please contact the Permits staff at the NYSDEC Region 3 Office at dep.r3@dec.ny.gov, (845) 256-3054.

For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other resources may be required to fully assess impacts on biological resources.

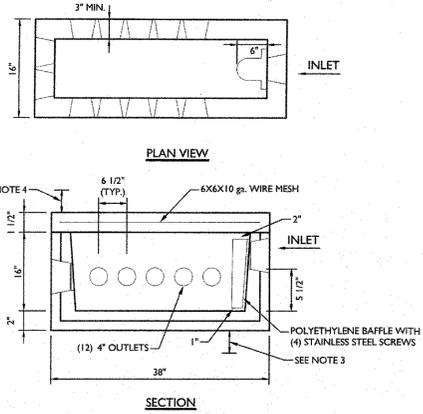
For information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 3 Office, Division of Environmental Permits, as described above.

Sincerely,



Nicholas Conrad
Information Resources Coordinator
New York Natural Heritage Program

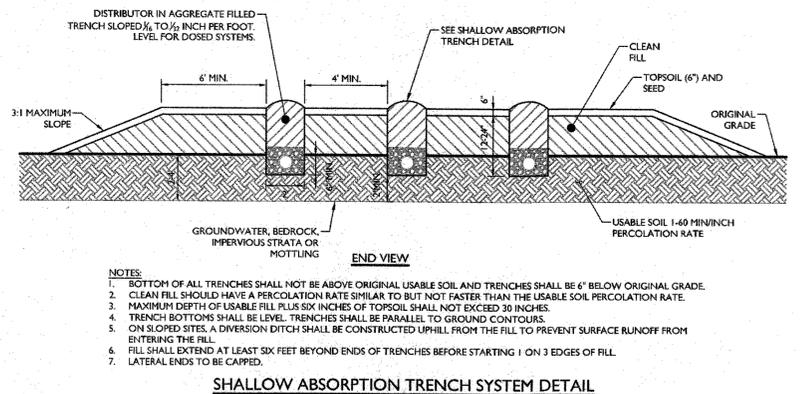
962



NOTE

1. INLET AND OUTLETS ARE KNOCKOUTS
2. WEIGHT BOX-1,400 LBS, TOP-400 LBS
3. CONCRETE TO TEST 4000 PSI AT 28 DAYS, AIR ENTRAINMENT: 5% STEEL REINFORCEMENT 6"x6"x10 GAUGE WIRE MESH, #4 REBAR BEDDING TO BE 12 INCHES MINIMUM OF CLEAN SAND, PEA GRAVEL OR AGGREGATE (1/2" TO 1/2")
4. MAXIMUM COVER OVER DISTRIBUTION BOX TO BE 12 INCHES
5. ALL USED OUTLETS TO BE AT SAME ELEVATION OR SPEED LEVELS SHALL BE USED.
6. PIPE CONNECTION: POLYLOK SEAL (PATENTED)
7. LOAD RATING: 300 PSF (H2O ON REQUEST)
8. TO BE MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.

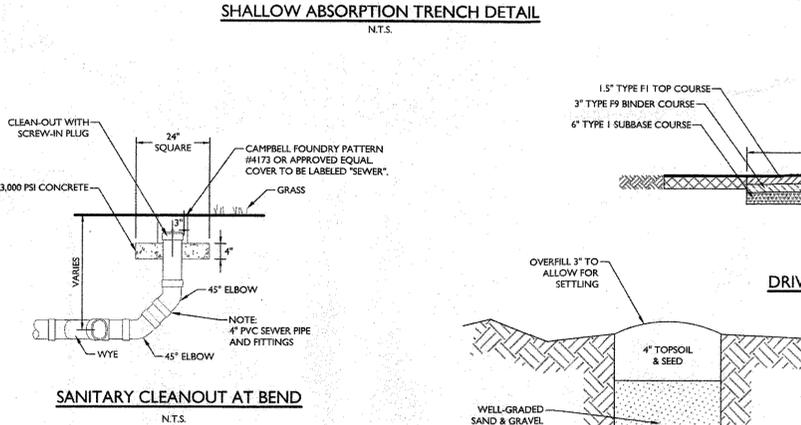
12 WAY PRECAST DISTRIBUTION MODEL DB-12/12 OUTLETS WITH BAFFLE
N.T.S.



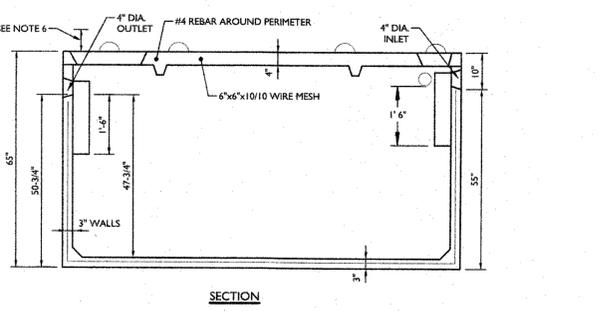
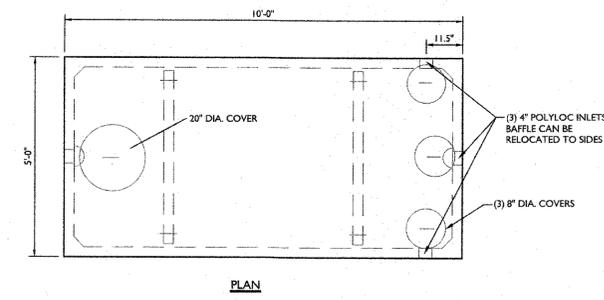
NOTES

1. BOTTOM OF ALL TRENCHES SHALL NOT BE ABOVE ORIGINAL USABLE SOIL AND TRENCHES SHALL BE 6" BELOW ORIGINAL GRADE.
2. CLEAN FILL SHOULD HAVE A PERCOLATION RATE SIMILAR TO BUT NOT FASTER THAN THE USABLE SOIL PERCOLATION RATE.
3. MAXIMUM DEPTH OF USABLE FILL PLUS SIX INCHES OF TOPSOIL SHALL NOT EXCEED 30 INCHES.
4. TRENCH BOTTOMS SHALL BE LEVEL. TRENCHES SHALL BE PARALLEL TO GROUND CONTOURS.
5. ON SLOPED SITES, A DIVERSION DITCH SHALL BE CONSTRUCTED UPHILL FROM THE FILL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.
6. FILL SHALL EXTEND AT LEAST SIX FEET BEYOND ENDS OF TRENCHES BEFORE STARTING 1 ON 3 EDGES OF FILL.
7. LATERAL ENDS TO BE CAPPED.

SHALLOW ABSORPTION TRENCH SYSTEM DETAIL
N.T.S.



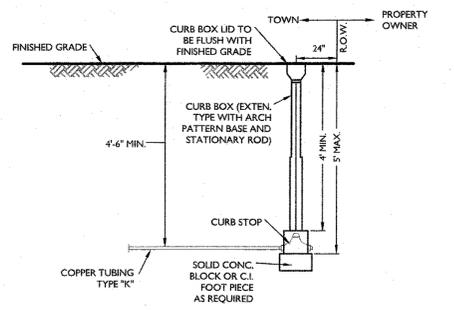
SANITARY CLEANOUT AT BEND
N.T.S.



NOTES

1. TANK IS 4000 PSI CONCRETE- STEEL REINFORCEMENT, 6"x6"x10 GA. S.W.M. AIR ENTRAINMENT: 6%
2. TANK IS TO BE MANUFACTURED BY WOODARDS CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.
3. CONSTRUCTION JOINT - BUTYL RUBBER SEALANT OR APPROVED EQUAL.
4. BEDDING TO BE A MINIMUM OF 3" OF CLEAN SAND OR PEA GRAVEL, OR 5" OF WASHED AGGREGATE 1/2" TO 1-1/2"
5. TANK TO BE SET LEVEL.
6. 12" MAXIMUM GROUND COVER OVER TANK.

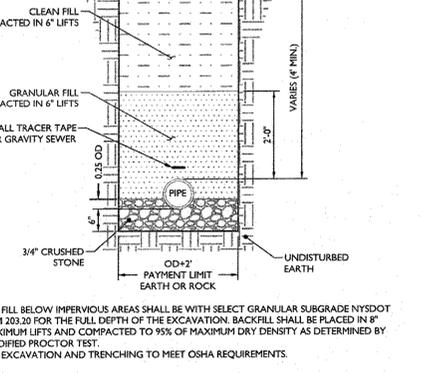
1,250 GALLON PRECAST CONC. SEPTIC TANK DETAIL
N.T.S.



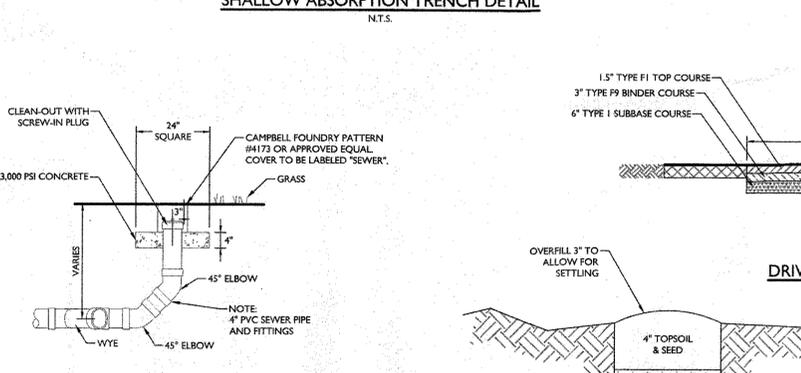
WATER SERVICE CURB BOX
N.T.S.

SEPTIC SYSTEM DESIGN TABLE

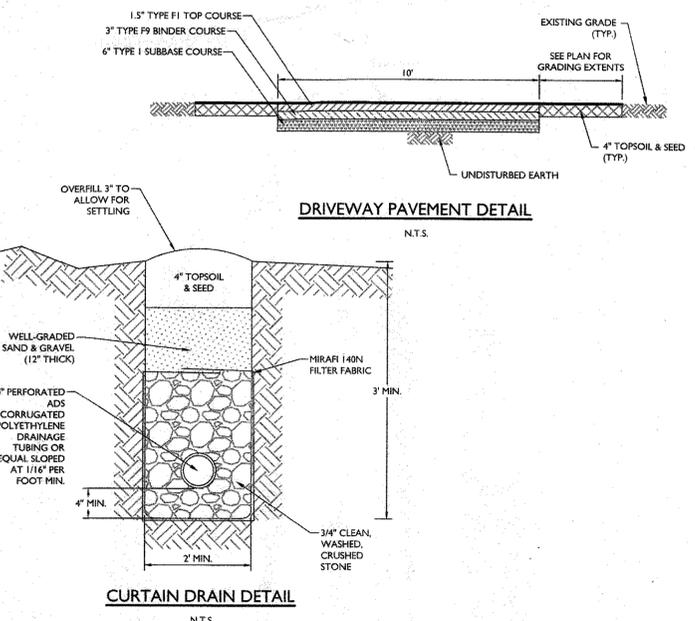
LOT #	PERCOLATION TEST #	DEPTH OF PERCOLATION TEST (IN)	STABILIZED PERCOLATION RATE (MIN/INCH)	DESIGN PERCOLATION RATE (MIN/INCH)	REQUIRED LENGTH OF ABSORPTION TRENCH (4 BEDROOMS)	TYPE OF SEPTIC SYSTEM
1	P-1	12	7:10	46-60	367 LF	SHALLOW SYSTEM
	P-2	12	35:05			
2	P-3	12	21:37	31-45	330 LF	SHALLOW SYSTEM
	P-4	12	10:59			
4	P-5	12	23:04	46-60	367 LF	SHALLOW SYSTEM
	P-6	12	10:22			
	P-7	12	38:15			



TYPICAL SANITARY SEWER PIPE TRENCH BEDDING DETAIL
N.T.S.



DRIVEWAY PAVEMENT DETAIL
N.T.S.



CURTAIN DRAIN DETAIL
N.T.S.

MINIMUM HORIZONTAL SEPARATION DISTANCE (In FEET)

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
WATER LINE (PRESSURE)	10	10	10	>10
DRILLED WELL - PRIVATE WATER SYSTEM	50	50	100	>100

REQUIRED MINIMUM HORIZONTAL SEPARATION DISTANCES PER PUBLIC HEALTH LAW

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
FOUNDATION	10	N/A	20	>10, >20
PROPERTY LINE	10	10	10	>10

RECOMMENDED MINIMUM HORIZONTAL SEPARATION DISTANCES

EXISTING FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELD OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	PROPOSED
FOUNDATION	10	N/A	20	>10, >20
PROPERTY LINE	10	10	10	>10

MASER CONSULTING PERCOLATION TESTING FIELD DATA

LOT #	PERCOLATION TEST #	DEPTH OF PERCOLATION TEST (IN)	STABILIZED PERCOLATION RATE (MIN/INCH)	DESIGN PERCOLATION RATE (MIN/INCH)	REQUIRED LENGTH OF ABSORPTION TRENCH (4 BEDROOMS)	TYPE OF SEPTIC SYSTEM
1	P-1	12	7:10	46-60	367 LF	SHALLOW SYSTEM
	P-2	12	35:05			
2	P-3	12	21:37	31-45	330 LF	SHALLOW SYSTEM
	P-4	12	10:59			
4	P-5	12	23:04	46-60	367 LF	SHALLOW SYSTEM
	P-6	12	10:22			
	P-7	12	38:15			

NOTE
AN INVESTIGATIVE TWENTY-FOUR (24) INCH PERCOLATION TEST WAS PERFORMED AT EACH PROPOSED LOT SUBSURFACE AREA BUT FAILED TO YIELD A MINIMUM 46-60 MIN/INCH PERCOLATION RATE.

MASER CONSULTING DEEP TESTING FIELD DATA

LOT #	SOIL OBSERVATIONS (AT DEPTH)	SOIL OBSERVATIONS (AT DEPTH)	TYPE OF SEPTIC SYSTEM
1	D-1 0-4" TOPSOIL 4"-13" BROWN CLAY W/ TRACE COBBLES 13"-50" BROWN SILTY LOAM W/ TRACE COBBLES 50"-74" GRAY CLAY LOAM W/ LARGE COBBLES 74" GROUNDWATER	D-2 0-6" TOPSOIL 6"-24" BROWN SILTY LOAM W/ TRACE COBBLES 24"-30" GRAY CLAY W/ COBBLES, (PERCHED WATER TABLE) MOTTLING OBSERVED @24" 30-40 BROWN CLAY W/ TRACE GRAVEL 40-96 BROWN SANDY LOAM W/ GRAVEL, TRACE CLAY	SHALLOW SYSTEM
	D-3 0"-8" TOPSOIL 8"-24" BROWN CLAY LOAM W/ TRACE GRAVEL 24"-36" BROWN SANDY - CLAY LOAM W/ TRACE GRAVEL 36"-60" BROWN SANDY CLAY LOAM W/ COBBLES 60"-80" GRAY & BROWN CLAY LOAM W/ COBBLES, SMALL BOULDERS AT 72" 50" MOTTLING OBSERVED 80" GROUNDWATER	D-4 0"-8" TOPSOIL 8"-36" BROWN & GRAY CLAY W/ TRACE GRAVEL 36"-56" BROWN SANDY CLAY LOAM W/ GRAVEL 56"-85" BROWN & GRAY CLAY LOAM W/ GRAVEL 50" MOTTLING OBSERVED 85" GROUNDWATER	
4	D-5 0"-10" TOPSOIL 10"-30" BROWN CLAY-SILT LOAM, TRACE COBBLES 30"-45" BROWN SILTY LOAM W/ TRACE GRAVEL 45"-84" BROWN SILTY LOAM W/ COBBLES (WET) 84"-88" BROWN CLAY LOAM W/ TRACE COBBLES 88" - RESTRICTIVE FEATURE 24"-36" PERCHED WATER	D-6 0"-6" TOPSOIL 6"-36" GRAY CLAY LOAM W/ TRACE GRAVEL 36"-84" BROWN & GRAY CLAY LOAM W/BOULDERS 84"- RESTRICTIVE FEATURE 24"-36" PERCHED WATER	SHALLOW SYSTEM

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- Charlotte, NC

State of N.Y. Certificate of Authorization: 0008671 / 0008921
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ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 073553-1

MINOR SUBDIVISION PLANS FOR EAST ROCK CORP.

SECTION 93 BLOCK 1 LOT 64.5

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK STATE

NEW WINDSOR OFFICE
555 Hudson Valley Avenue
Suite 101
New Windsor, NY 12553
Phone: 845.564.4995
Fax: 845.567.1025

SCALE: AS SHOWN DATE: 09/11/2018 DRAWN BY: CDR CHECKED BY: JED
PROJECT NUMBER: 08010206 DRAWING NAME: C-DT15
SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: 08 of 08

LEGEND

- (0.00') DEED DISTANCE
- OVERHEAD UTILITY LINES
- PROPERTY LINE ADJOINING
- PROPERTY LINE EXISTING
- PROPERTY LINE PROPOSED
- PROPOSED SETBACK LINE
- ROCK WALL
- UTILITY POLE

BULK TABLE

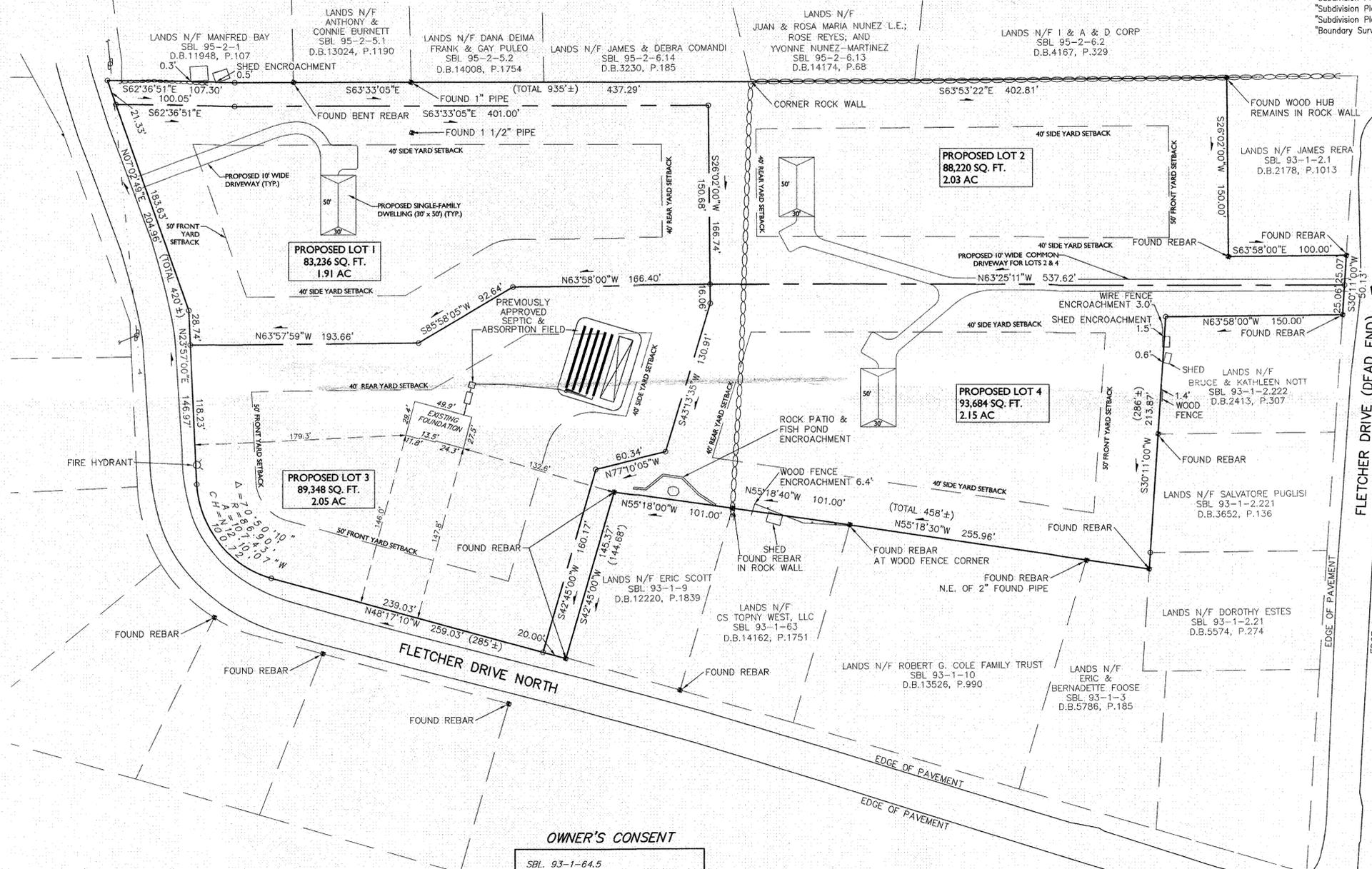
ZONE: R1 RESIDENTIAL
 PERMITTED USE: SINGLE-FAMILY DWELLING, NOT TO EXCEED 1 DWELLINGS PER LOT

MINIMUM	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3	PROPOSED LOT 4
LOT AREA	40,000 SQ. FT.	83,236 SQ. FT.	88,220 SQ. FT.	89,348 SQ. FT.	93,684 SQ. FT.
FRONT YARD SETBACK	50 FEET	> 50 FEET	> 50 FEET	> 50 FEET	> 50 FEET
REAR YARD SETBACK	40 FEET	> 40 FEET	> 40 FEET	> 40 FEET	> 40 FEET
SIDE YARD SETBACK					
ONE	30 FEET	> 30 FEET	> 30 FEET	> 30 FEET	> 30 FEET
BOTH	80 FEET	> 80 FEET	> 80 FEET	> 80 FEET	> 80 FEET
LOT WIDTH*	150 FEET	212.7 FEET	173.6 FEET	317.6 FEET	233.3 FEET
LOT DEPTH	150 FEET	471.9 FEET	440.0 FEET	261.9 FEET	401.2 FEET
HABITABLE FLOOR AREA PER DWELLING UNIT	1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.	> 1,500 SQ.FT.
MAXIMUM					
BUILDING HEIGHT	35 FEET	< 35 FEET	< 35 FEET	< 35 FEET	< 35 FEET
LOT BUILDING COVERAGE	10%	1.8% (1,500 SQ. FT.)	1.7% (1,500 SQ. FT.)	1.6% (1,409 SQ. FT.)	1.6% (1,500 SQ. FT.)
LOT SURFACE COVERAGE	20%	4.9% (4,160 SQ. FT.)	5.9% (5,243 SQ. FT.)	4.6% (4,100 SQ. FT.)	5.3% (4,933 SQ. FT.)

* = LOT WIDTH MEASURED AT FRONT SETBACK LINE

NOTES:

1. Copyright 2018 Bambi Terrell Meunier All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and/or copyright holder is obtained.
2. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
3. Only boundary survey maps with the surveyor's embossed/ink seal are genuine true and correct copies of the surveyor's original work and opinion.
4. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, which is listed on this boundary survey map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certification.
7. Easements may exist that are not shown.
8. No title report furnished. Therefore, title issues may exist that the surveyor has not been made aware of.
9. Parcel being premises as described in Deed Book 12429, Page 868 and Filed Map No. 8672.
10. Subject to any rights of ways or easements of record.
11. Subject to drainage patterns as they exist.
12. Survey based on existing monumentation, Deed Book 2178, Page 1013; Deed Book 13526, Page 990; Deed Book 5786, Page 185; Deed Book 5574, Page 274; Deed Book 3652, Page 136; Deed Book 2413, Page 307; and the following maps:
 "Portion of Property of John Lease, Meadow Hill Section", dated May 4, 1957
 "Subdivision Plan, Lands of John J. Lease" by Vincent J. Doce Associates, dated March 6, 1986, filed as Map No. 7965
 "Subdivision Plan, Lands of John J. Lease" by Vincent J. Doce Associates, dated July 31, 1987, filed as Map No. 8671.
 "Subdivision Plan, Lands of Robert Dierna" by Vincent J. Doce Associates, dated August 28, 1987, filed as Map No. 8994.
 "Subdivision Plan, Lands of John Fremgen" by Vincent J. Doce Associates, dated September 14, 1987, filed as Map No. 9243.
 "Subdivision Plan, Lands of John J. Lease" by Vincent J. Doce Associates, dated November 27, 1987, filed as Map No. 8672.
 "Subdivision Plan, Lands of Catherine Santacroce" by Vincent J. Doce Associates, dated March 30, 1988, filed as Map No. 8973.
 "Boundary Survey of Tox Map Parcel 93-1-64.5" by J. Paul Crocker, PLS, dated June 30, 2009.



OWNER'S CONSENT

SBL 93-1-64.5
 EAST ROCK CORP.
 5020 ROUTE 9W
 NEWBURGH, NY 12550

THE UNDERSIGNED OWNER OF PROPERTY SHOWN HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ALL SAID TERMS AND CONDITIONS AS STATED HEREON, AND CONSENT TO THE FILING OF THIS PLAT.

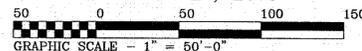
DATE _____

SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY TO: EAST ROCK CORP.
 THAT THIS BOUNDARY SURVEY WAS PERFORMED UNDER MY SUPERVISION AND WAS MADE FROM AN ACTUAL FIELD SURVEY PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ESTABLISHED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, AND THAT THE FIELD SURVEY FOR THIS PROPERTY WAS COMPLETED ON FEBRUARY 26, 2018.

Bambi Terrell Meunier
 BAMBIE TERRELL MEUNIER, L.S. LIC. NO. 050805-1

PROPOSED SUBDIVISION
 PREPARED FOR
EAST ROCK CORP.
 SITUATE IN THE
 TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK
 SBL 93-1-64.5
 SEPTEMBER 24, 2018



Only surveys bearing the makers embossed/ink seal should be relied upon since other than embossed/ink seal copies may contain unauthorized and undetectable modifications, deletions, additions, and changes. A copy of this document without a proper application of the surveyor's embossed/ink seal should be assumed to be an unauthorized copy.

BAMBIE TERRELL MEUNIER
 LAND SURVEYOR
 Phone: (845)232-0343
 399 Old Route 22
 Wassauc, NY 12592

