



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** FAC SELF STORAGE/UHAUL-MIDDLEHOPE  
**PROJECT NO.:** 2021-33  
**PROJECT LOCATION:** SECTION 6, BLOCK 1, LOT 11 & 12  
**REVIEW DATE:** 10 DECEMBER 2021  
**MEETING DATE:** 16 DECEMBER 2021  
**PROJECT REPRESENTATIVE:** MECURIO-NORTON-TAROLLI- MARSHALL

1. The proposed self-storage facility is located on a State Highway. NYSDOT Permit for access will be required for the project.
2. Orange County Planning review will be required upon complete application.
3. A Stormwater Pollution Prevention Plan will be required to be submitted. Stormwater Facilities Maintenance Agreement must be filed prior to Final Approval.
4. Valving for the water line should provide for a valve before the potable water valve such that when fire protection water is terminated potable water to the structure is similarly terminated.
5. Soil test results for the sub surface sanitary sewer disposal system should be placed on the plans.
6. The sanitary sewer disposal system identifies a note which states the design flow rate of 150 gallons per day while the Design Chart identifies 100 gallons per day.
7. Adjoiner notices must be mailed to all properties within 500 feet.
8. A Landscape Plan should be included in future submissions.
9. Number of UHaul rental vehicles to be stored on site should be identified. Appropriate parking areas should be identified for the rental vehicles on the site.
10. The EAF identifies the site as containing potential Archeological resources. Consultation with the NYS Office of Parks, Recreation and Historic Preservation should be undertaken.
11. The EAF identifies potential habitat for Indiana Bats. A note restricting clearing of any vegetation on the site should be added to the plans in compliance with NYSDEC Clearing Restrictions.

**NEW YORK OFFICE**

33 Airport Center Drive, Suite 202, New Windsor, NY 12553  
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

**PENNSYLVANIA OFFICE**

111 Wheatfield Drive, Suite 1, Milford, PA 18337  
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

12. The Planning Board may wish to declare its intent for Lead Agency and circulate to other interested and involved agencies.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in cursive script, appearing to read "Patrick J. Hines".

Patrick J. Hines  
Principal

PJH/kbw

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** 21-33  
(Application fee returnable with this application)

1. **Title of Subdivision/Site Plan (Project name):**  
U-Haul Self-Storage Site Plan - middle hope
  
2. **Owner of Lands to be reviewed:**  
**Name** Five SAC Self-Storage Corp.  
**Address** 207 E. Clarendon Avenue  
Phoenix, AZ 85012  
**Phone** \_\_\_\_\_
  
3. **Applicant Information (If different than owner):**  
**Name** Jamie Mapes  
**Address** 300 Windsor Highway  
New Windsor, NY 12553  
  
**Representative** Philip Apap - Hudson River Contracting Corp.  
**Phone** (845)562-1350  
**Fax** \_\_\_\_\_  
**Email** philapap@hrccny.com
  
4. **Subdivision/Site Plan prepared by:**  
**Name** Lawrence Marshall  
**Address** Mercurio-Norton-Tarolli-Marshall, Eng & Land Surveying, PC  
PO Box 166, 45 Main Street  
Pine Bush, NY 12566  
**Phone/Fax** (845)744-3620
  
5. **Location of lands to be reviewed:**  
5325 US Route 9W, Across from Highland Terrace
  
6. **Zone** B/SC **Fire District** Middlehope Fire District  
**Acreage** 5.24 **School District** Marlboro Central School
  
7. **Tax Map: Section** 20 **Block** 2 **Lot** 2

**8. Project Description and Purpose of Review:**

Number of existing lots 1      Number of proposed lots 1  
Lot line change \_\_\_\_\_  
Site plan review Commercial Self Storage Building  
Clearing and grading \_\_\_\_\_  
Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) Central Hudson Gas & Electric Easement for Overhead Utility Lines

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature X [Handwritten Signature]      Title Marketing Company President

Date: X 11-23-21

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

TOWN OF NEWBURGH PLANNING BOARD

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PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1.  Environmental Assessment Form As Required
2.  Proxy Statement
3.  Application Fees
4.  Completed Checklist (Automatic rejection of application without checklist)

II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.

1.  Name and address of applicant
2.  Name and address of owner (if different from applicant)
3.  Subdivision or Site Plan and Location
4.  Tax Map Data (Section-Block-Lot)
5.  Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6.  Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7.  Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8.  Date of plan preparation and/or plan revisions
9.  Scale the plan is drawn to (Max 1" = 100')
10.  North Arrow pointing generally up

11.  Surveyor,s Certification
12.  Surveyor's seal and signature
13.  Name of adjoining owners
14.  Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15.  Flood plain boundaries
16.  Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17.  Metes and bounds of all lots
18.  Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19.  Show existing or proposed easements (note restrictions)
20.  Right-of-way width and Rights of Access and Utility Placement
21.  Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22.  Lot area (in sq. ft. for each lot less than 2 acres)
23.  Number of lots including residual lot
24.  Show any existing waterways
25.  A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26.  Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.  Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28.  Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.  Show topographical data with 2 or 5 ft. contours on initial submission

- 30.  Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
- 31.  If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
- 32.  Number of acres to be cleared or timber harvested
- 33.  Estimated or known cubic yards of material to be excavated and removed from the site
- 34.  Estimated or known cubic yards of fill required
- 35.  The amount of grading expected or known to be required to bring the site to readiness
- 36.  Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.  


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- 37.  Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.  


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- 38.  List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By:   
 \_\_\_\_\_  
 Licensed Professional

Date: 2021 November 22

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Prepared (insert date):

TOWN OF NEWBURGH  
APPLICATION FOR CLEARING AND GRADING

Name of applicant: Jamie Mapes  
Name of owner on premises: Five SAC Self-Storage Corp.  
Address of owner: 207 E. Clarendon Ave., Phoenix AZ 85012  
Telephone number of owner: \_\_\_\_\_  
Telephone number of applicant: \_\_\_\_\_  
State whether applicant is owner, lessee, agent, architect, engineer or contractor: \_\_\_\_\_

Location of land on which proposed work will be done: \_\_\_\_\_  
5325 US Route 9W, Across from Highland Terrace

Section: 20 Block: 2 Lot: 2 Sub. Div.: \_\_\_\_\_

Zoning District of Property: B/SC Size of Lot: 5.24 Acres

Area of lot to be cleared or graded: 2.6 acres

Proposed completion of date: June 2022

Name of contractor/agent, if different than owner: Phillip Apap, <sup>Hudson River</sup> Contracting Corp

Address: 210 Rocquet Rd #3 Newburgh, NY

Telephone number: (845) 562-1350

Date of Planning Board Approval: \_\_\_\_\_ (if required)

I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.

Signature of owner: [Signature] Date: 10/29/21

Signature of applicant (if different than owner):  [Signature]

TOWN ACTION:

Examined: \_\_\_\_\_ 20 \_\_\_\_\_  
Approved: \_\_\_\_\_ 20 \_\_\_\_\_  
Disapproved: \_\_\_\_\_ 20 \_\_\_\_\_

**FEE ACKNOWLEDGEMENT**

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

**Jamie Mapes**

\_\_\_\_\_  
**APPLICANT'S NAME (printed)**

  
\_\_\_\_\_  
**APPLICANTS SIGNATURE**

11-23-21  
\_\_\_\_\_  
**DATE**

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PROXY

(OWNER) Stuart Shoen, DEPOSES AND SAYS THAT HE/SHE  
RESIDES AT 2727 N. Central Ave  
IN THE COUNTY OF MARICOPA  
AND STATE OF ARIZONA  
AND THAT HE/SHE IS THE OWNER IN FEE OF FIVE SAC Self Storage Corp

WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND MNTM Engineering & Land Surveying, PC IS AUTHORIZED  
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 10/29/2021

[Signature]  
OWNERS SIGNATURE

Stuart Shoen  
OWNERS NAME (printed)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NAMES OF ADDITIONAL  
REPRESENTATIVES

[Signature]  
WITNESS' SIGNATURE

Joan Krawcheck  
WITNESS' NAME (printed)

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

x \_\_\_\_\_ NONE

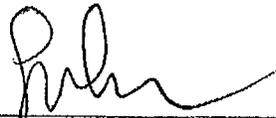
\_\_\_\_\_ NAME, ADDRESS, RELATIONSHIP OR INTEREST  
(financial or otherwise)

\_\_\_\_\_  
\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

\_\_\_\_\_ TOWN BOARD  
\_\_\_\_\_ PLANNING BOARD  
\_\_\_\_\_ ZONING BOARD OF APPEALS  
\_\_\_\_\_ ZONING ENFORCEMENT OFFICER  
\_\_\_\_\_ BUILDING INSPECTOR  
\_\_\_\_\_ OTHER

10/29/21  
DATED

  
INDIVIDUAL APPLICANT

\_\_\_\_\_  
CORPORATE OR PARTNERSHIP APPLICANT

BY: \_\_\_\_\_  
(Pres.) (Partner) (Vice-Pres.)  
(Sec.) (Treas.)

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

11/23/21

DATED

Jamie Mapes

APPLICANT'S NAME (printed)



APPLICANT'S SIGNATURE

ARCHITECTURAL REVIEW FORM  
TOWN OF NEWBURGH PLANNING BOARD

DATE: 11-22-2021

NAME OF PROJECT: U-HAUL SELF STORAGE

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

Steel metal panel, cultured stone

COLOR OF THE EXTERIOR OF BUILDING:

Main portion of the building is Regal White along with various colors as per the rendering

ACCENT TRIM:

Location: S/E & E elevation

Color: Sandstone with cultured stone

Type (material): Steel w/ cultured stone

PARAPET (all roof top mechanicals are to be screened on all four sides):

No roof parapets

ROOF:

Type (gabled, flat, etc.): Gable

Material (shingles, metal, tar & sand, etc.): Metal

Color: Galvalume

**WINDOWS/SHUTTERS:**

Color (also trim if different): Dark Bronze  
Type: Aluminum Storefront

**DOORS:**

Color: Black  
Type (if different than standard door entrée): Man Doors & Overhead  
Door @ West Elev

**SIGN:**

Color: \_\_\_\_\_  
Material: \_\_\_\_\_  
Square footage of signage of site: \_\_\_\_\_

Builder

Please print name and title (owner, agent, builder, superintendent of job, etc.)

  
Signature

Lawrence J. Marshall, P.E.

John Tarolli, L.S.

Zachary A. Peters, P.E.

## Project Narrative

For

### **UHaul - Middlehope Commercial Site Plan**

5325 U.S. Route 9W  
Town of Newburgh  
Orange County, New York

*Prepared for:*

Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, NY 12550  
[planningboard@townofnewburgh.org](mailto:planningboard@townofnewburgh.org)

*Prepared by:*

Mercurio-Norton-Tarolli-Marshall  
Engineering & Land Surveying P.C.  
45 Main Street – PO Box 166  
Pine Bush, NY 12566



Lawrence Marshall, P.E.  
087107

*Prepared:*  
**November 23, 2021**



## I. Site Characteristics

### A. Site Location

The project site is located in the Town of Newburgh, Orange County, New York. The project site is located on the westerly side of U.S. Route 9W approximately northwest of the intersection of Highland Terrace. The parcel currently has a street address of 5325 U.S. Route 9W. The project site consists of Town of Newburgh Tax Parcel: Section 20, Block 2, Lot 2. The subject parcel contains 5.236-acres of land located in the Business (B) zoning district with a Self-Storage Center (SC) Overlay. The lot is not located in or adjacent to any lots within the Orange County Agricultural Districts. A copy of the site location map is included as Figure 1 in Attachment A.

### B. Existing Development & Conditions

The project site is currently primarily wooded and vacant. The site previously contained multiple structures and a driveway accessing U.S. Route 9W. These improvements were removed from the site around 2005. The driveway is still present but has become overgrown due to lack of use. The entirety of the site elevates from U.S. Route 9W with all of the drainage flowing into existing culverts on the north and south of the site. Drainage from the houses and Carter Avenue located to the west of the parcel drains through an existing drainage course located on the site. The drainage swale flows along the northerly portion of the site into an existing culvert draining across U.S. Route 9W. The swale is a wet weather drainage course with no flowing water except after rainfall or snow melt events. The swale is primarily unvegetated stones lining the base. Portions of the swale flow through areas of exposed rock that appear to be bedrock. No wetlands currently exist on the project site or on any adjoining parcels. The westerly portion of the site is encumbered with an overhead utility line and associated easement in favor of Central Hudson Gas & Electric.

## II. Proposed Development

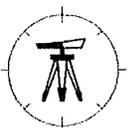
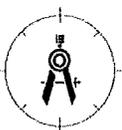
### A. Site Improvements

The proposed development involves the construction of one (1) 23,063 square-foot self-storage building. The proposed building will measure 127'-0" x 179'-2" with a 20'-5" x 15'-2" attached office area on the westerly side. The building will have a maximum height of 35-feet. The proposed development will result in lot building coverage of approximately 10.1% and a lot coverage of approximately 24.8%. The maximum permitted lot building and lot coverage in the SC overlay zone is 30% and 80%, respectively.

The proposed self-storage development is intended to be occupied by U-Haul to supplement their existing facility located on the easterly side of U.S. Route 9W, across from Lattintown Road. The proposed facility will allow U-Haul to better serve the storage needs of the community. The proposed building will be utilized for the storage of U-Box self-storage containers. Additionally, rental vehicles will be available for clients at this site. The rental vehicles will be stored along the southerly side of the building.

### B. Site Use

The U-Box self-storage containers are able to be picked up by customers or have the container delivered to their desired location. The containers are then filled with household items at the client's leisure. The storage of chemicals, flammables, and paints within the U-



Box containers is not permitted. Once filled, customers have the opportunity to return the U-Box to a U-Haul self-storage location, including the building proposed on this site, or have it picked up and delivered to any self-storage locations throughout the United States and Canada. U-Boxes are temporarily stored within the building proposed on the subject parcel until the customer is ready to pick up their items or have the box delivered to its desired location. Access by the customers to the U-Boxes stored on the site is permitted.

The proposed facility will have hours of operation of 9:00am to 5:00pm, 7 days per week with Saturday typically being the busiest day. Smoking at the proposed building will not be permitted. Security of the facility will be via 24-hour video surveillance. U-Haul staff will provide additional services and assistance to customers with disabilities.

U-Haul trucks and trailers will be available for rental at the project site through their truck and trailer sharing program.

### C. Community Need

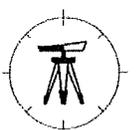
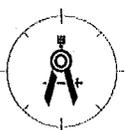
U-Haul facilities are local commercial uses that serve local residential communities, typically within a 3 to 5-mile radius. The facility will be quiet, create very little traffic, generate little demand for municipal water and other utilities, creates no additional demand on local schools, adds to the commercial tax base with little demand on services, and provides a needed service of self-storage for local residents.

U-Haul Moving and Storage is a convenience business with a philosophy to place U-Haul stores in high growth residential areas. These stores fill a need for self-storage and moving products and services. Customers are made aware of the U-Haul store, primarily via drive-by awareness, similar to a convenience store, restaurant or hardware store. Attractive imaging and brand name recognition bring in area residents, typically within a 4-mile radius of the facility.

The proposed self-storage use will not adversely impact the character of surrounding neighborhood. The proposed development shall not have hours of operation beginning early in the morning or extending late into the evening, excessive lighting, produce odors, generate noise significantly above current levels, create any vibrations, fumes, pollution, or other site activity that would be detrimental to area properties. No exterior loudspeakers for paging are proposed for this facility. Landscape will be mechanically irrigated and maintained.

### D. Access, Parking, & Loading:

The development will be served by a proposed minor commercial entrance from U.S. Route 9W in the area of the current driveway to the site. The proposed access will be designed in accordance with current New York State Department of Transportation (NYSDOT) design standards and is subject to NYSDOT review and approval. The posted speed limit in the vicinity of the project site is 40 miles per hour (mph). Sight distances for the proposed access drive exceed the minimum American Association of State Highway and Transportation Officials (AASHTO) and NYSDOT recommended sight distances for both passenger vehicles and combination trucks at the posted speed limit.



With the limited access to the site by customers and limited staff on the site, the proposed development has little need for onsite parking. To accommodate the usage proposed, a total of three (3) parking spaces (1 accessible) are proposed along the westerly side of the building.

To accommodate the anticipated loading and unloading of the U-Box containers, three (3) loading spaces are proposed along the westerly side of the building. The parking/loading area extends into the site beyond the parking spaces to allow the larger delivery vehicles to properly maneuver and access the loading areas.

U-Haul rental trailers and vehicles are proposed to be shunted between the access drive and the proposed building along the southerly side of the building.

### E. Water Supply:

The proposed development will connect to the existing water main located within U.S. Route 9W and operated by the Town of Newburgh. A single service lateral is proposed to supply the potable water and fire suppression water to the proposed building.

A sprinkler system will be designed and installed within the proposed building in accordance with current New York State Fire Code from 2020.

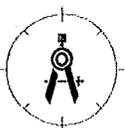
### F. Sewage Disposal Systems:

The proposed building will be served by an individual subsurface sewage disposal system. Utilizing the typical hydraulic loading rates in Table B-3 of the *New York State Design Standards for Intermediate Sized Wastewater Treatment Systems*, March 5, 2014 edition, and incorporating a 20% reduction for water saving fixture credit, the proposed facility has a design flow rate of 12 gallons per day (gpd) per employee. The proposed sewage disposal system will be designed to accommodate a total of approximately four (4) employees. The anticipated design flow rate for each sewage disposal system is less than 1,000 gallons per day (gpd).

Multiple deep test pits were completed on the site by MNTM in November 2021. The results of the testing are generally consistent with the county soils mapping, indicating the onsite soils to be silt loam and gravelly silt loam. The proposed sewage disposal systems will be designed based upon the results of field testing in the vicinity of the proposed systems. A minimum of two (2) percolation tests and two (2) deep test pits will be utilized for the design of each proposed sewage disposal system.

### G. Stormwater Management:

The proposed project is a commercial development involving greater than one (1) acre of disturbance and will require the construction of long-term stormwater treatment and detention facilities. The project involves the construction of approximately 1.3-acres of impervious cover at the site. A Stormwater Pollution Prevention Plan (SWPPP) will be prepared for the proposed development in accordance with the New York State Department of Environmental Conservation (*NYSDEC*) *SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001)*. The areas around the proposed development will be landscaped or have manicured lawn. The portions of the site not being developed will remain in their existing condition.



The project involves approximately 2.6-acres of total disturbance. Construction will be completed in a single phase.

Stormwater runoff will be collected from the roof, parking lot, and other impervious surfaces and conveyed to a stormwater basin located along the easterly portion of the site. The runoff will be treated and detained in accordance with all current regulations.

#### H. Archaeological Sensitive Areas:

Based upon a report generated by the NYSDEC EAF Mapper program, the project site is not located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.

#### I. Threatened / Endangered Species:

Based upon a report generated by the NYSDEC EAF Mapper program, the project site has the potential to contain a species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered. The following species have been identified for potential impacts from the proposed development:

<i>Common Name</i>	<i>Scientific Name</i>	<i>NY State Listing</i>	<i>Federal Listing</i>
Indiana Bat	Myotis sodalis	Endangered	Endangered

Based upon NYSDEC recommendations the clearing of all trees four (4) inches d.b.h. or greater has been restricted to occur between October 1 and March 31 to avoid adverse impacts to the Indiana Bat.

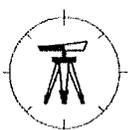
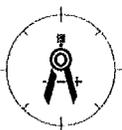
#### J. Wetlands:

Based upon a site inspection completed by Mercurio-Norton-Tarolli-Marshall, Engineering & Land Surveying, P.C. the site does not contain any regulated United States Army Corps of Engineers (ACOE) or New York State Department of Environmental Conservation (NYSDEC) wetlands. The onsite drainage course is a wet weather swale that remains dry and free of any wetland vegetation for a majority of the year.

#### K. Traffic:

Based upon traffic generation rates provided by U-Haul, the proposed development will generate a total of approximately 9 trips during a typical weekday and 16 trips during a typical weekend day.

U-Haul self-storage facilities generate significantly less vehicular traffic than other commercial uses. Based upon similar facilities, U-Haul estimates the proposed development will generate delivery vehicle trips of approximately 1 per day to begin with a total of approximately 5-10 truck trips per week.



**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: U-Haul Middlehope		
Project Location (describe, and attach a general location map): 5325 U.S. Route 9W, Town of Newburgh, Orange County		
Brief Description of Proposed Action (include purpose or need): Construction of a proposed 23,063 square foot UBox (portable self-storage containers) storage building with parking and loading facilities. Building will be served by municipal water and public utilities. A private septic system will be designed to treat and dispose of the domestic wastewater generated by the office and bathroom within the facility. Access to the site will be from a minor commercial entrance off of US Route 9W located on the southerly side of the parcel.		
Name of Applicant/Sponsor: Jamie Mapes	Telephone: (845)565-8585	E-Mail: jamie_mapes@uhaul.com
Address: 300 Windsor Highway		
City/PO: New Windsor	State: NY	Zip Code: 12553
Project Contact (if not same as sponsor; give name and title/role): Philip Apap - Hudson River Contracting Corp	Telephone: (845)562-1350	E-Mail: philapap@hrcny.com
Address: 26 Racquet Road		
City/PO: Newburgh	State: NY	Zip Code: 12550
Property Owner (if not same as sponsor): Five SAC Self-Storage Corp	Telephone:	E-Mail:
Address: 207 E. Clarendon Avenue		
City/PO: Phoenix	State: AZ	Zip Code: 85012

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Newburgh Planning Board - Site Plan	11/2021
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOT - Minor Commercial Entrance	12/2021
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
SC

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Marlboro Central School District

b. What police or other public protection forces serve the project site?  
Town of Newburgh Police Department, Orange County Sheriff, New York State Police Department

c. Which fire protection and emergency medical services serve the project site?  
Middlehope Fire Department

d. What parks serve the project site?  
Cronomer Hill Park, Algonquin Park, Chadwick Lake Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Commercial Development: Self-storage building

b. a. Total acreage of the site of the proposed action? 5.24 acres  
b. Total acreage to be physically disturbed? 2.6 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 5.24 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 8 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 35 height; 127 width; and 180 length

iii. Approximate extent of building space to be heated or cooled: 23,063 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: Stormwater infiltration and detention

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify:

Stormwater runoff

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: 0.24 million gallons; surface area: 0.24 acres

v. Dimensions of the proposed dam or impounding structure: 4 height; 184 length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

Earth Fill

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No

If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 50 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: Town of Newburgh Water District 1
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ >30 gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 50 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
\_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

Private, onsite septic system

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

Utilization of low flow fixtures within bathroom

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

\_\_\_\_\_ Square feet or 1.32 acres (impervious surface)  
\_\_\_\_\_ Square feet or 5.24 acres (parcel size)

ii. Describe types of new point sources. Outlet of stormwater basins

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

Existing catch basins and storm sewer pipes along U.S. Route 9W

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_

- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

Rental vehicles

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

Portable generators

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

HVAC Units for heating and cooling of building

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
31,0000 kW hours

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
Grid/local utility - Central Hudson Gas & Electric

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:30am-4:00pm</li> <li>• Saturday: _____ 7:30am-4:00pm</li> <li>• Sunday: _____ 7:30am-4:00pm</li> <li>• Holidays: _____ Closed</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 9:00am-5:00pm</li> <li>• Saturday: _____ 9:00am-5:00pm</li> <li>• Sunday: _____ 9:00am-5:00pm</li> <li>• Holidays: _____ 9:00am-5:00pm</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
 Construction equipment including heavy equipment (bulldozer, excavator, dump truck, etc.) during construction

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Building mounted and pole mounted lighting fixtures. All fixtures will be downward facing with limited to no spillover onto adjoining properties

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ 6 tons per \_\_\_\_\_ Month (unit of time)
- Operation : \_\_\_\_\_ 1 tons per \_\_\_\_\_ Year (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Efficient use of building materials
- Operation: Recycling of bottles/cans

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: None
- Operation: None

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

Suburban (single-family residential) uses are located to the west of the site. Commercial uses to the south and east of the site. Residential and firehouse to the north of the site.

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b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.3	1.3	+1.0
• Forested	3.2	2.5	-0.7
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.7	0.0	-1.7
• Agricultural (includes active orchards, field, greenhouse etc.)	0.0	0.0	0.0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.0	0.0	0.0
• Wetlands (freshwater or tidal)	0.0	0.0	0.0
• Non-vegetated (bare rock, earth or fill)	0.1	0.1	0.0
• Other Describe: <u>Lawn</u>	0.0	1.4	+1.4

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
Patty Cake Playhouse, Inc. (Day care center)

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 336059  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
McCall Place Plume @ Intersection of Route 9W North and McCall Place - Currently classified as "N" (No Further Action at this Time)

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 0->6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ 2 %

c. Predominant soil type(s) present on project site:

Mardin Gravelly Silt Loam	_____	65 %
Bath-Nassau Channery Silt Loams	_____	35 %
_____	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >6 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 37 % of site  
 10-15%: \_\_\_\_\_ 20 % of site  
 15% or greater: \_\_\_\_\_ 43 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
<p>Whitetail Deer _____</p> <p>Eastern Chipmunk _____</p> <p>Striped Skunk _____</p>	<p>Cottontail Rabbit _____</p> <p>Opposum _____</p> <p>Woodchuck _____</p>	<p>Eastern Gray Squirrel _____</p> <p>Raccoon _____</p> <p>Various Migratory Birds _____</p>
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Species and listing (endangered or threatened): _____</p> <p>Indiana Bat _____</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Species and listing: _____</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>		
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

---

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: Hudson River - Hudson Highlands Unit

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Scenic Area of Statewide Significance

iii. Distance between project and resource: \_\_\_\_\_ 4.9 miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

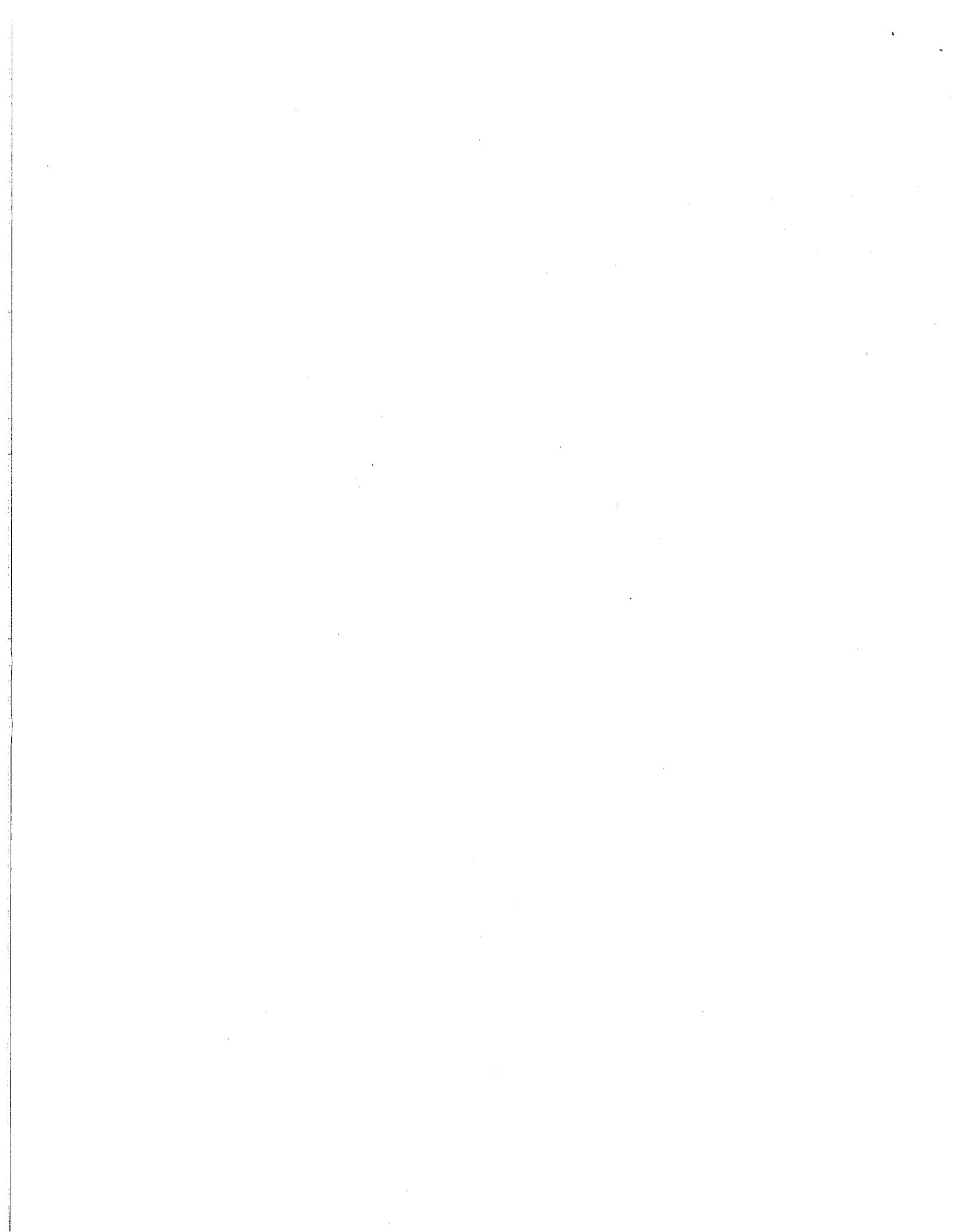
I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jamie Mapes Date 2021.11.23

Signature  Lawrence Marshall Title Project Engineer



E.2.0. [Endangered or Threatened Species - Name]	Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No





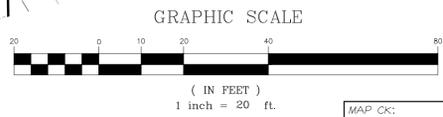
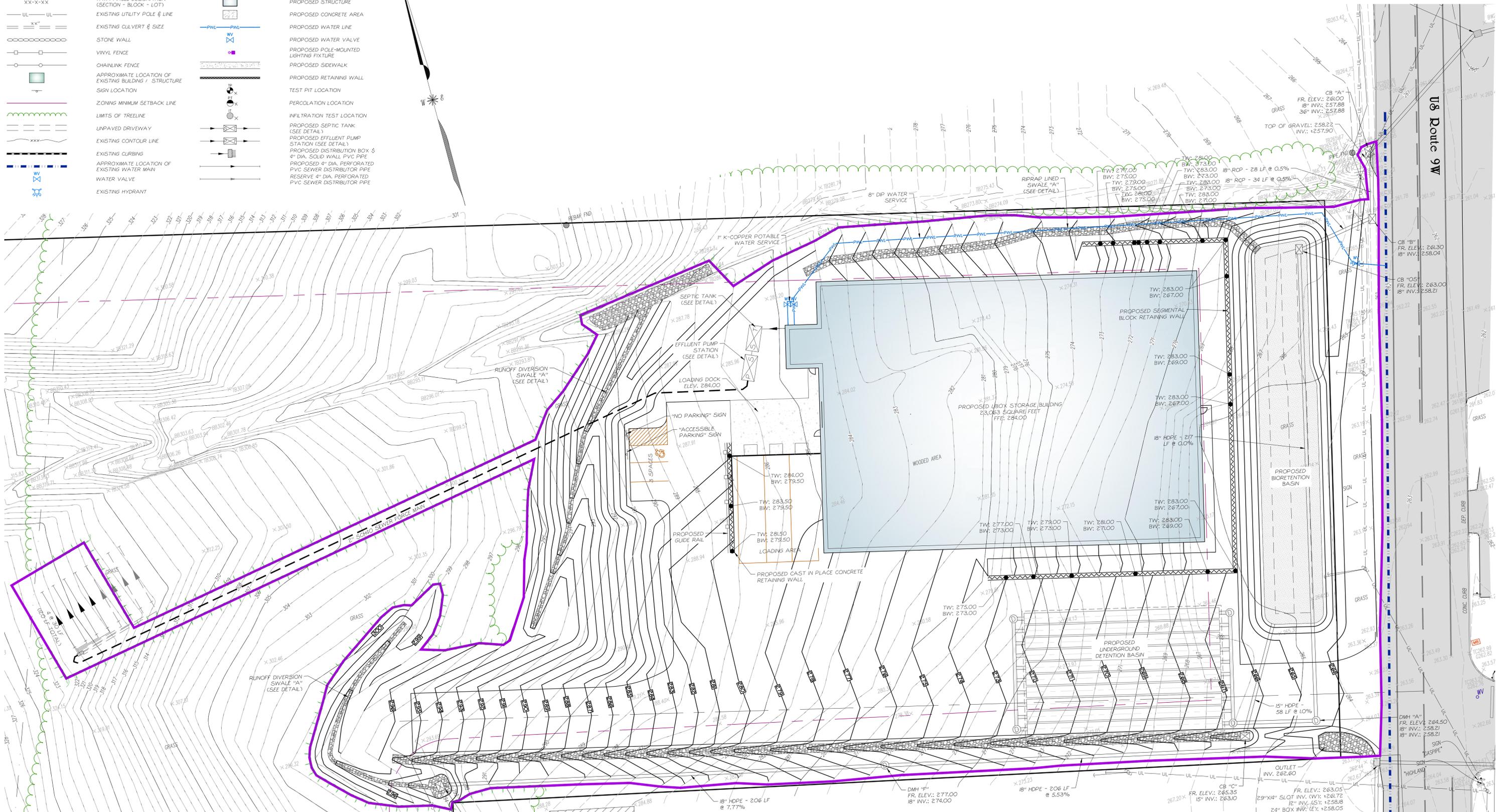


**Legend**

- PROPERTY LINE & CORNER
- SET 5/8" IRON ROAD AT PROPERTY CORNER
- ADJOINER PROPERTY LINE
- L. XXXX, P. XXX DEED LIBER, PAGE
- XX-X-XX TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
- UL-UL EXISTING UTILITY POLE & LINE
- X"X" EXISTING CULVERT & SIZE
- STONE WALL
- VINYL FENCE
- CHAINLINK FENCE
- APPROXIMATE LOCATION OF EXISTING BUILDING / STRUCTURE
- SIGN LOCATION
- ZONING MINIMUM SETBACK LINE
- LIMITS OF TREELINE
- UNPAVED DRIVEWAY
- EXISTING CONTOUR LINE
- EXISTING CURBING
- APPROXIMATE LOCATION OF EXISTING WATER MAIN
- WATER VALVE
- EXISTING HYDRANT
- EXISTING LIGHTPOLE
- EXISTING CATCH BASIN
- EXISTING GUIDE RAIL
- PROPOSED CONTOUR LINE
- PROPOSED STRUCTURE
- PROPOSED CONCRETE AREA
- PROPOSED WATER LINE
- PROPOSED WATER VALVE
- PROPOSED POLE-MOUNTED LIGHTING FIXTURE
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- TEST PIT LOCATION
- PERCOLATION LOCATION
- INFILTRATION TEST LOCATION
- PROPOSED SEPTIC TANK (SEE DETAIL)
- PROPOSED EFFLUENT PUMP STATION (SEE DETAIL)
- PROPOSED DISTRIBUTION BOX 4" DIA. SOLID WALL PVC PIPE
- PROPOSED 4" DIA. PERFORATED PVC SEWER DISTRIBUTOR PIPE
- RESERVE 4" DIA. PERFORATED PVC SEWER DISTRIBUTOR PIPE

**Notes:**

1) THE GRADING AS SHOWN RESULTS IN APPROXIMATELY 9,680 CUBIC YARDS OF CUT AND 7,980 CUBIC YARDS OF FILL FOR A NET CUT OF 1,700 CUBIC YARDS.



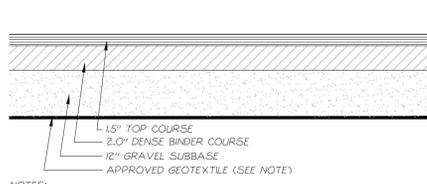
"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."  
 "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."  
 "CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY

**Detailed Site Plan  
for  
U-Haul Self-Storage**

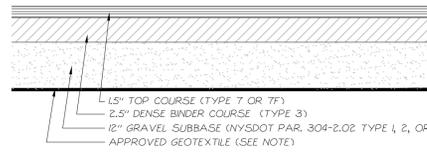
**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
PROFESSIONAL LAND SURVEYING  
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566  
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.  
 TAX MAP PARCEL: 200-2-2  
 TOWN OF NEWBURGH  
 COUNTY OF ORANIE  
 STATE OF NEW YORK  
 DRAFTED BY: LIM  
 DATE: 2021 SEPT 8  
 PROJECT: 4762  
 SHEET: 3 / 8



NOTES:  
1.) GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

**Standard Asphalt Pavement Section**

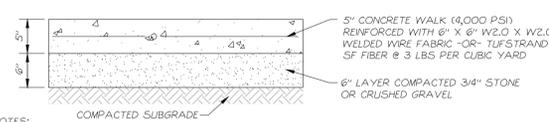


NOTES:  
1.) GEOTEXTILE IS ONLY REQUIRED IN AREAS WHERE SUBBASE IS NOT ACCEPTABLY STABLE. GEOTEXTILE SHALL BE APPROVED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER.

2.) AREAS RECEIVING PAVEMENT SHALL BE STRIPPED OF ALL TOPSOIL AND DEBRIS AND PROOF ROLLED PRIOR TO THE INSTALLATION OF THE GRAVEL SUBBASE.

3.) GRAVEL SUBBASE SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS PRESCRIBED IN ASTM D 1557.

**Heavy Duty Asphalt Pavement Section**



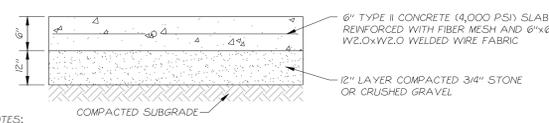
NOTES:  
1.) CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD. CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS.

2.) DOWELS SHALL BE PLACED ACROSS SLAB EXPANSION JOINTS TO LIMIT DIFFERENTIAL SETTLEMENTS.

3.) THE OUTER 2 FEET OF CONCRETE SHALL HAVE A THICKNESS OF 12 INCHES WHERE THE CONCRETE ADJUNCTIONS THE ASPHALT PAVEMENT. THE THICKNESS SHALL TAPER BACK TO THE THICKNESS SHOWN AT A 45 DEGREE ANGLE.

4.) SEE HEAVY-DUTY CONCRETE DETAIL FOR CONCRETE IN DUMPSTER ENCLOSURE DETAIL.

**Standard Concrete Pavement Detail**

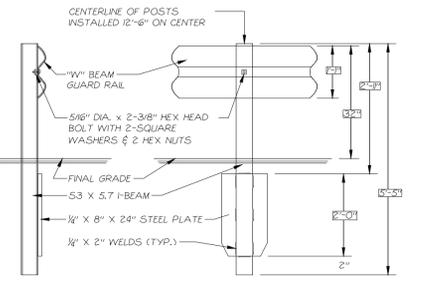


NOTES:  
1.) CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.

2.) CONSTRUCTION JOINTS SHALL BE CUT OR FORMED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS AND JOINT SEALANT RECOMMENDATIONS.

3.) SEE DUMPSTER ENCLOSURE DETAIL. FOR ALL OTHER AREAS, SEE TYPICAL CONCRETE DETAIL.

**Heavy Duty Concrete Pavement Detail**



NOTES:  
1.) GUIDE RAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARDS FOR W-BEAM GUIDE RAILING, STANDARD SHEET 606-07, CONSISTING OF THREE (3) SHEETS.

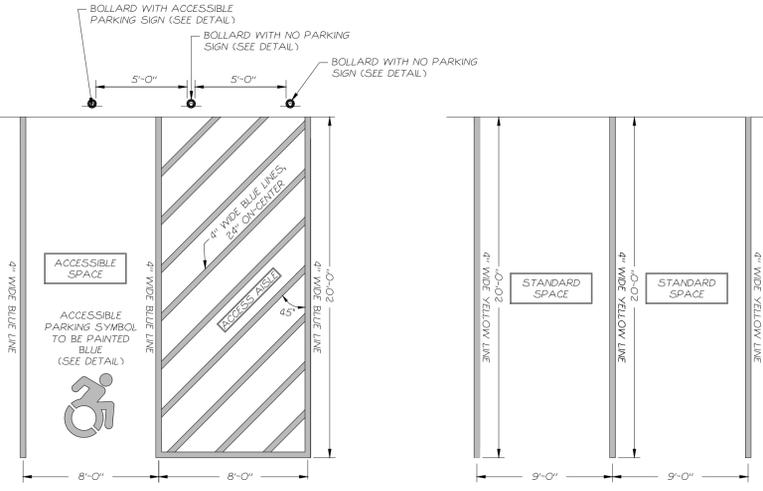
2.) ALL STEEL COMPONENTS EXPOSED TO WEATHER SHALL BE GALVANIZED OR PAINTED FLAT BROWN IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION T19-01.

3.) DRIVING OF THE POSTS SHALL BE ACCOMPLISHED WITH APPROVED EQUIPMENT AND METHODS THAT WILL LEAVE THE POSTS IN THEIR FINAL POSITION, FREE OF ANY DISTORTION, BURRING OR OTHER DAMAGE.

4.) ALL POSTS SHALL BE ALIGNED TO A TOLERANCE OF 1/4\"/>

5.) ENDS OF GUIDE RAILS SHALL FEATURE CURLED END SECTIONS.

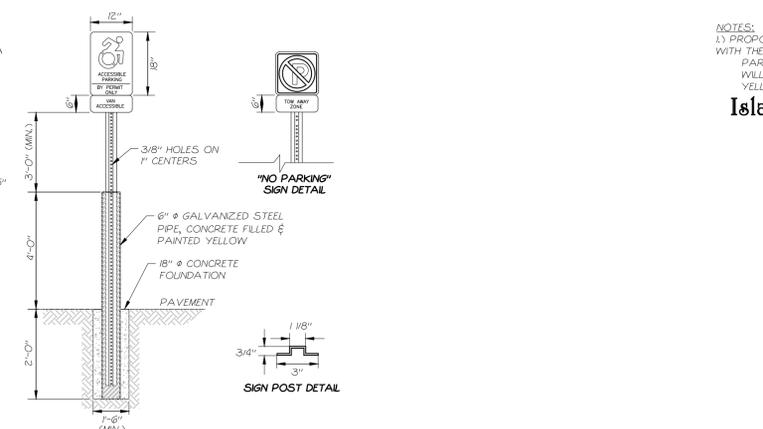
**Guide Rail Detail**



**Typical Parking Space Details**

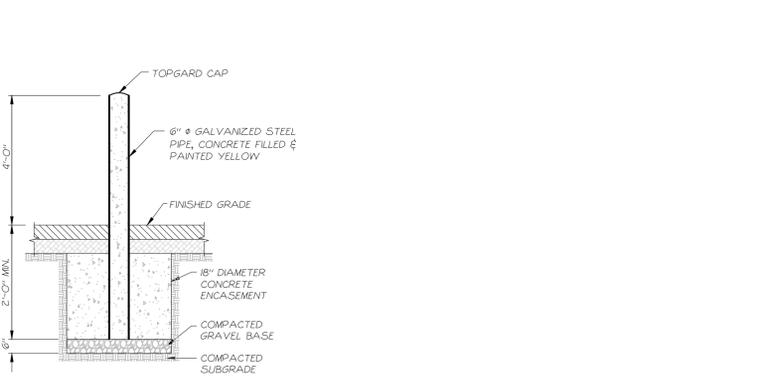
- NOTES:  
1.) ALL ACCESSIBLE RAMP AND ACCESS AISLES SHALL MEET ALL CURRENT CODES AND ADAAG REGULATIONS.  
2.) PROPOSED ACCESS RAMP SHALL CONSIST OF COLORED TOOLED/SERRATE SLIP RESISTANT SURFACING AND/OR TACTILE WARNING DEVICE AS REQUIRED BY AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES AND CODE REGULATIONS.  
3.) PROPOSED STRIPING TO BE PAINTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
CURBING & BOLLARDS: TWO (2) COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL, SAFETY YELLOW B55Y300  
REINFORCED WITH 6\"/>

**Typical Parking Space Details**

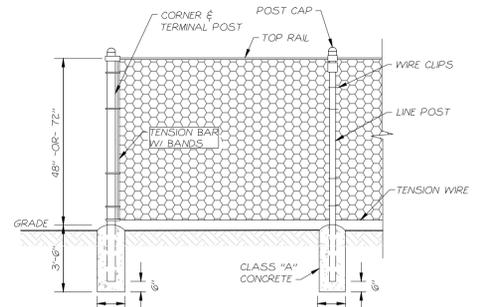


NOTES:  
1.) SIGNS TO BE MOUNTED ON POST AS SHOWN

**Accessible Signage Details**



**Bollard Detail**

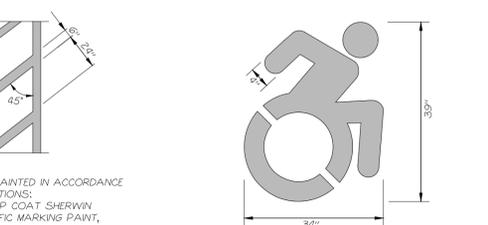


NOTES:  
1.) CHAIN LINK FENCE SPECIFICATIONS:  
FABRIC: 72\"/>

- 2.) TOP RAIL: 1-5/8\"/>

**Typical Chain Link Fence Detail**

NOT TO SCALE



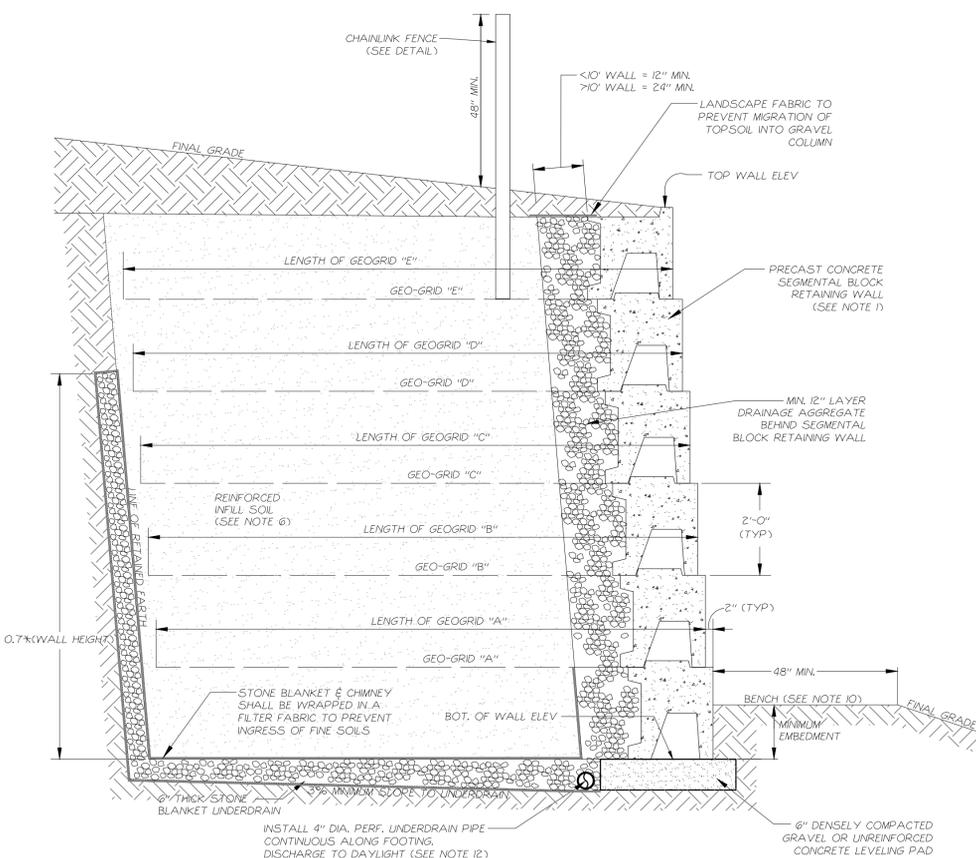
**Island Striping Detail**

NOT TO SCALE



**Accessible Parking Symbol**

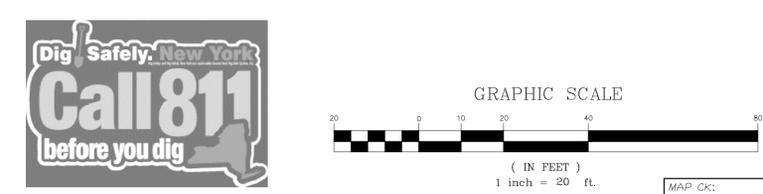
NOT TO SCALE



INSTALL 4\"/>

- RETAINING WALL NOTES AND SPECIFICATIONS  
1.) RETAINING WALL DETAIL HAS BEEN SHOWN FOR INFORMATIONAL PURPOSES ONLY. PRIOR TO CONSTRUCTION OF THE RETAINING WALL, A RETAINING WALL DESIGN SIGNED AND SEALED BY A NEW YORK STATE LICENSED ENGINEER SHALL BE OBTAINED FOR THE RETAINING WALLS ON THE PROJECT SITE.  
2.) RETAINING WALL BLOCKS SHALL BE NOMINAL 2 FT X 2 FT X 4\"/>

**Segmental Retaining Wall Section**



1 inch = 20 ft. MAP CK:

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."  
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"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
-	-	-	-

LAWRENCE MARSHALL PE #087107

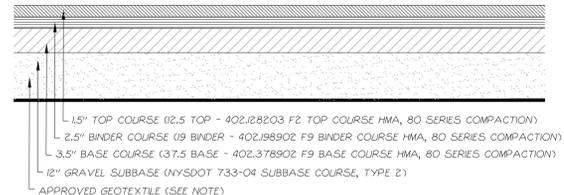
**Details for Site Plan for U-Haul Self-Storage**

**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566  
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

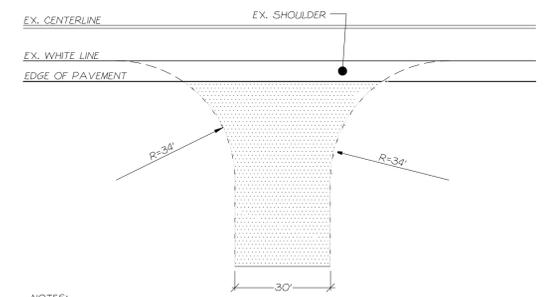
THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.  
TAX MAP PARCEL: 00-2-2  
TOWN OF NEWBURGH  
COUNTY OF ORANGE  
STATE OF NEW YORK  
DRAFTED BY: LJM  
DATE: 2021 SEPT 8  
PROJECT: 4762  
SHEET: 4 / 8

**NYSDOT Notes:**

- 1.) ALL WORK UNDER NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) JURISDICTION SHALL BE COMPLETED IN CONFORMANCE WITH NYSDOT 608-03 STANDARD SHEETS AND THE APPROVED DETAILS SHOWN ON THIS PLAN.
- 2.) SIGNS AND WORK ZONE TRAFFIC CONTROL SHALL ADHERE TO FEDERAL MUTCD WITH STATE SUPPLEMENT.
- 3.) PERFORM UTILITY INSTALLATION WITHIN THE NYSDOT RIGHT-OF-WAY (R.O.W.) IN ACCORDANCE WITH NYSDOT BLUE BOOK.
- 4.) ALL ADVERTISING SIGNS SHALL BE OFF THE NYSDOT RIGHT-OF-WAY.
- 5.) THE PUBLIC ROADWAY SHALL BE KEPT CLEAN AT ALL TIMES AND FREE OF ALL CONSTRUCTION DEBRIS.
- 6.) ALL WORK ZONE SIGNS AND FLAGGERS SHALL BE OFF THE ROADWAY WHEN NOT IN USE.
- 7.) NYSDOT NON-SEASONAL CONSTRUCTION IS NOT PERMITTED WITHIN THESE PLANS. ANOTHER REVIEW FROM NYSDOT IS REQUIRED WHEN ASKING FOR NON-SEASON WORK.
- 8.) ANY PROPOSED CHANGES WITHIN THE NYSDOT R.O.W. REQUIRES TWO (2) WEEK NOTICE TO THE REGION 9 NYSDOT PERMITS OFFICE AT 607-72-8082.
- 9.) NOTIFY DIG SAFELY (8B) A MINIMUM OF TWO (2) DAYS PRIOR TO THE COMMENCEMENT OF WORK.
- 10.) ADHERE TO NYSDOT PERMIT CLOSURE PROCESS FOR INSPECTION, BOND RELEASE, AND CLOSURE OF PERMIT.
- 11.) ANY SIDEWALKS AND SIDEWALK RAMPS PROPOSED REQUIRED ADA (AMERICANS WITH DISABILITIES ACT) COMPLIANT INSPECTIONS. A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER SHALL PERFORM THE REQUIRED PRE-POUR CONCRETE FORM INSPECTION AND SUBMIT A SIGNED & DATED INSPECTION REPORT VERIFYING THE FORMS MEET ADA REGULATIONS PRIOR TO THE SIDEWALKS BEING POURED.
- 12.) AFTER COMPLETION OF SIDEWALK CONSTRUCTION, IF ANY, A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER SHALL COMPLETE AND SUBMIT A SIGNED AND SEALED NYSDOT "CRITICAL ELEMENTS FOR THE DESIGN AND LAYOUT AND ACCEPTANCE OF PEDESTRIAN FACILITIES" FORM CONFIRMING COMPLIANCE WITH ALL OTHER APPLICABLE CODES, STANDARDS, AND SPECIFICATIONS. IN INSTANCES WHERE NONSTANDARD FEATURES CANNOT BE PROVIDED, A JUSTIFICATION FORM WILL NEED TO BE COMPLETED UNDER THE PROCESS PROMULGATED UNDER THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 2 (REFER TO EXHIBIT 2-15A).
- 13.) NYSDOT CONSTRUCTION HOLIDAY LANE CLOSURES RESTRICTIONS AS STATED IN NYSDOT ENGINEERING DIRECTIVE ED 15-002 SHALL BE ADHERED TO.
- 14.) ALL UTILITIES WITHIN THE NYSDOT RIGHT OF WAY SHALL BE INSTALLED IN ACCORDANCE WITH THE NYSDOT BLUE BOOK (NYSDOT REQUIREMENTS FOR THE DESIGN AND CONSTRUCTION OF UNDERGROUND UTILITY INSTALLATIONS WITHIN THE STATE HIGHWAY RIGHT-OF-WAY).
- 15.) NYSDOT NON-SEASONAL CONSTRUCTION IS NOT PERMITTED WITHIN THESE PLANS. IF NON-SEASONAL WORK IS REQUESTED, A SEPARATE REVIEW IS REQUIRED TO BE COMPLETED BY NYSDOT.
- 16.) NYSDOT HIGHWAY WORK PERMIT AND NYSDOT STAMPED, APPROVED PLANS SHALL BE ISSUED AND PRESENT AT JOB LOCATION AT ALL TIMES THROUGHOUT CONSTRUCTION.
- 17.) ALL SIGNS AND WORK ZONE TRAFFIC CONTROL SHALL ADHERE TO FEDERAL MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) REGULATIONS WITH NEW YORK STATE SUPPLEMENT.
- 18.) THE SCHWABER NYSDOT RESIDENT ENGINEER SHALL BE CONTACTED AT LEAST SEVEN (7) DAYS PRIOR TO THE START OF ANY WORK.
- 19.) ALL MATERIALS USED WITHIN THE NYSDOT RIGHT-OF-WAY MUST COMPLY WITH THE CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.
- 20.) ROADWAY SHALL BE KEPT CLEAN AT ALL TIMES AND FREE OF ALL CONSTRUCTION DEBRIS.
- 21.) ALL WORK ZONE SIGNS AND FLAGGERS SHALL BE OFF THE ROADWAY WHEN NOT IN USE.
- 22.) ANY PROPOSED CHANGES WITHIN THE NYSDOT RIGHT OF WAY REQUIRES A MINIMUM TWO (2) WEEK NOTICE TO THE NYSDOT REGION 9 PERMITS OFFICE.



**NYSDOT Asphalt Pavement Section**

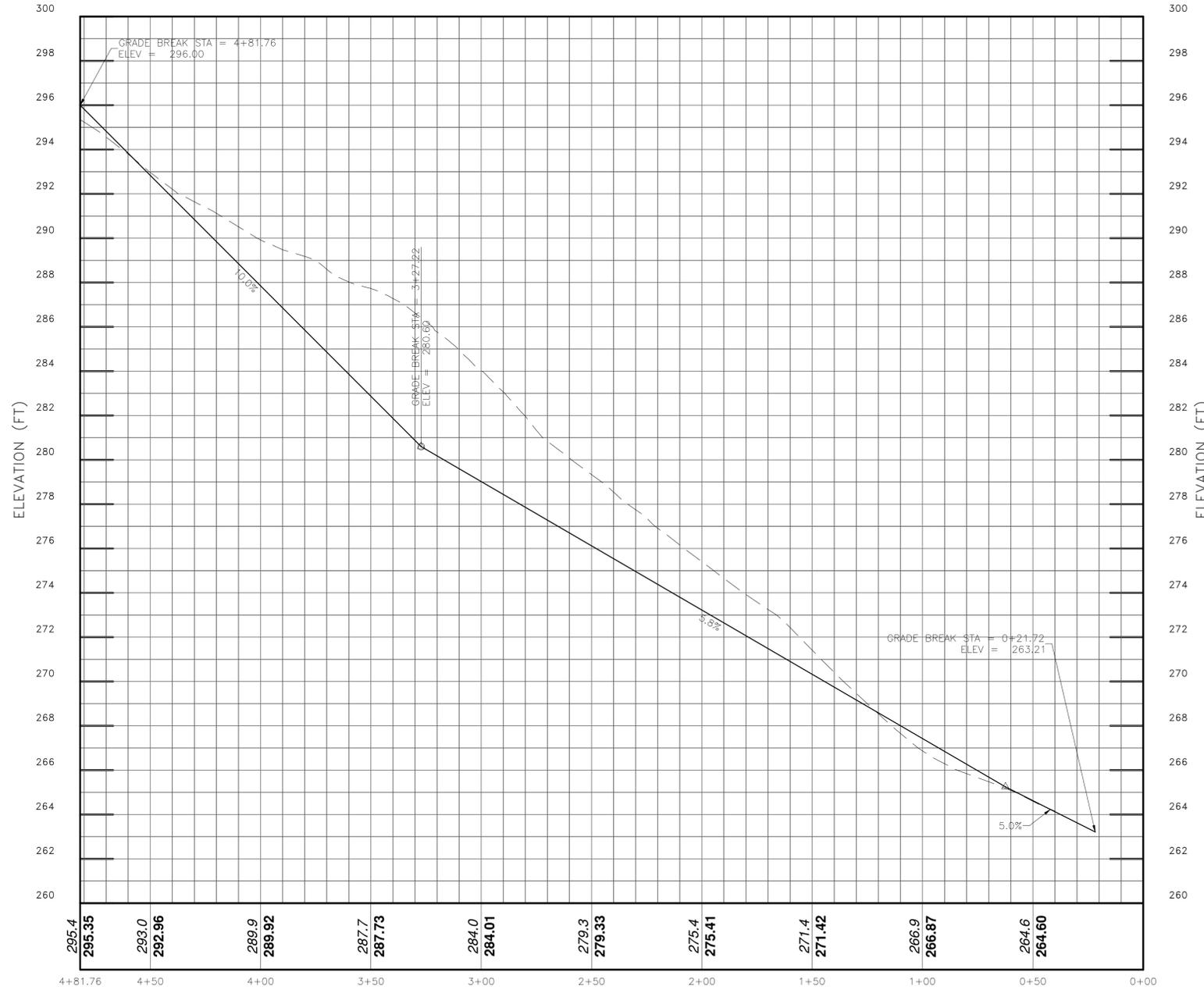
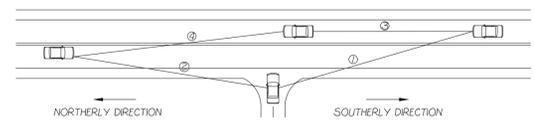


- NOTES:**
- 1.) ALL MATERIALS SHALL MEET N.Y.S.D.O.T. SPECIFICATIONS.
  - 2.) TACK COAT SHALL BE APPLIED BETWEEN ALL HOT MIX ASPHALT LIFTS IN ACCORDANCE WITH SECTION 407 OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION INSPECTION MANUAL.
  - 3.) ENTRANCE WORK SHALL BE COMPLETED IN ACCORDANCE WITH SHEET 9 OF NYSDOT STANDARD SHEET 608-03.

**NYSDOT Entrance & Pavement Detail**

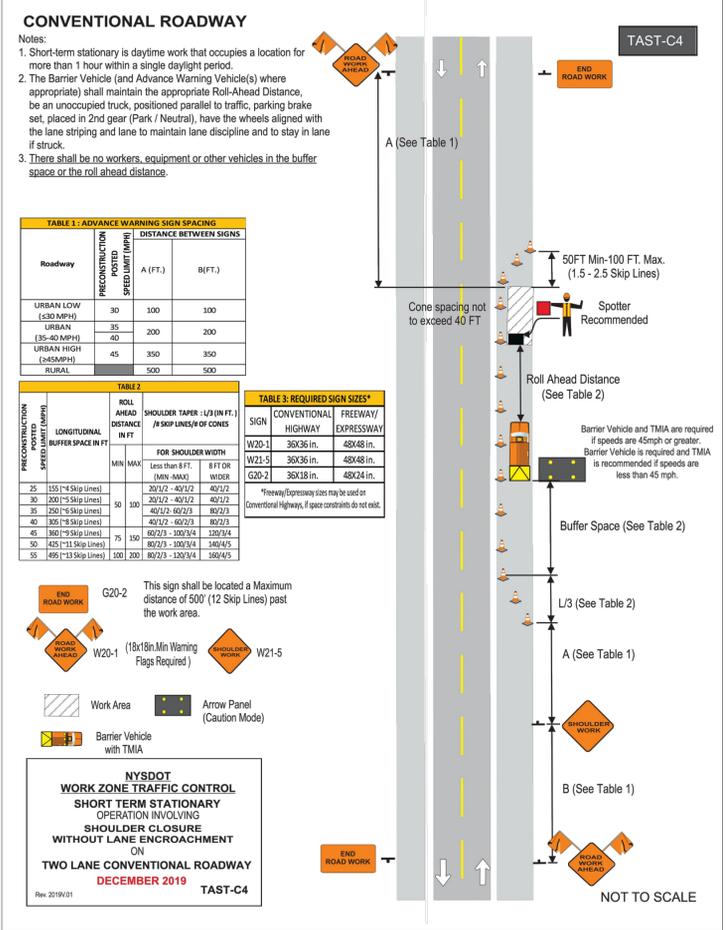
**Sight Distance Table**

MEASUREMENTS RECORDED BY:	DATE:		
SPEED LIMIT ALONG NYS ROUTE 9W = 40 MPH			
LOCATION	SIGHT LINE	DISTANCE	NOTES
PROPOSED ACCESS DRIVE	1	1850'	-
	2	1475'	-
	3	> 900'	-
	4	> 900'	-

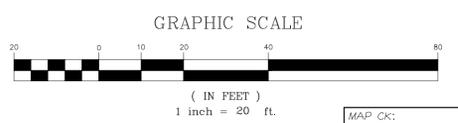


**NYSDOT Entrance Profile**

HORIZONTAL SCALE: 1"=30'  
VERTICAL SCALE: 1"=3'



**Work Zone Traffic Control Plan**



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."  
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."  
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
-	-	-	-
-	-	-	-

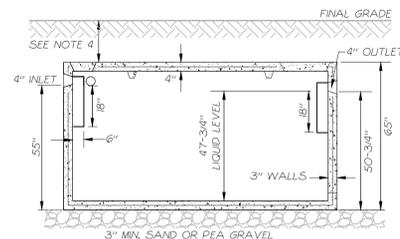
LAWRENCE MARSHALL PE #087107

**NYSDOT Entrance Details for U-Haul Self-Storage**

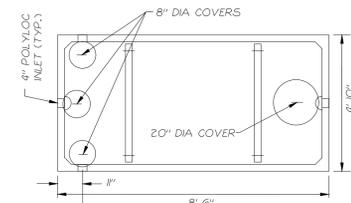
**MNTM**  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING - LAND SURVEYING  
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566  
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.  
TAX MAP PARCEL: 20-2-2  
TOWN OF NEWBURGH  
COUNTY OF ORAGNE  
STATE OF NEW YORK  
DRAFTED BY: LJM  
DATE: 2021 SEPT 8  
PROJECT: 4762  
SHEET: 5 / 8





CROSS SECTION VIEW



PLAN VIEW

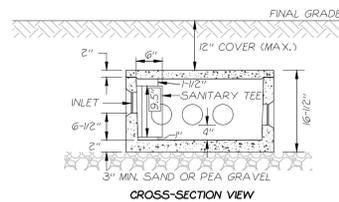
NOTES:  
1) SEPTIC TANK SHALL BE MODEL ST-1000, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915 (845) 361-3471

- 2) ALL PIPE JOINTS (INLET & OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- 3) INLET Baffle CAN BE RELOCATED TO THE SIDE.
- 4) IF COVER EXCEEDS 12" A RISER MUST BE USED TO ALLOW ACCESS.

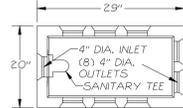
CONCRETE MINIMUM STRENGTH: 4,000 P.S.I. AT 28 DAYS  
STEEL REINFORCEMENT: 6" x 6" X10 GA. STEEL WIRE MESH #4 REBAR AROUND PERIMETER  
CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER CEMENT WEIGHT: 6,700 LBS  
LOAD RATING: 300 PSF

### Typical Precast 1,000-Gallon Concrete Septic Tank

NOT TO SCALE



CROSS-SECTION VIEW



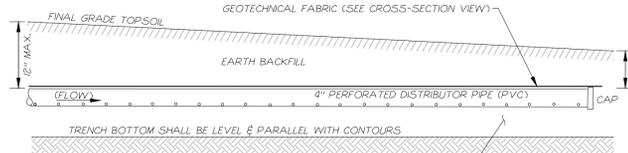
PLAN VIEW

NOTES:  
1) DISTRIBUTION BOX SHALL BE MODEL DB-9, OR APPROVED EQUAL, AS MANUFACTURED BY: WOODARDS CONCRETE PRODUCTS, INC. 629 LYBOLT ROAD BULLVILLE, NY 10915 (845) 361-3471

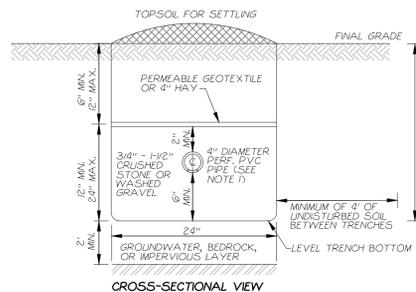
- 2) FLOW EQUALIZERS SHALL BE USED TO ENSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.
- 3) ALL PIPE JOINTS (INLET & OUTLET) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- 4) A SANITARY TEE, 90° ELBOW, OR OTHER APPROVED Baffle SHALL BE INSTALLED AT THE INLET.
- 5) OUTLET INVERTS SHALL BE SET AT THE SAME ELEVATION.
- 6) OUTLETS MUST BE USED IN A MANNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE EXPANSION AREA WITHOUT DISTURBING THE INITIAL SYSTEM.

### Typical Precast Concrete Distribution Box

NOT TO SCALE



TRENCH PROFILE



CROSS-SECTIONAL VIEW

NOTES:  
1) DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN.

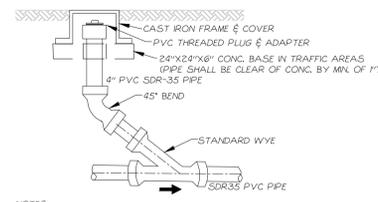
- 2) DO NOT INSTALL TRENCHES IN WET SOIL. TRENCH SIDES AND BOTTOMS SHALL BE RAKED PRIOR TO INSTALLATION OF GRAVEL.
- 3) THE END OF EACH LATERAL SHALL BE CAPPED.
- 4) LATERALS SHALL BE SLOPED 1/8" - 1/32" PER FOOT FOR GRAVITY SYSTEMS. LATERALS SHALL BE INSTALLED LEVEL FOR PUMPED OR DOSED SYSTEMS.
- 5) LATERALS SHALL BE INSTALLED 6 FEET ON CENTER, MINIMUM.

### Absorption Trench Detail



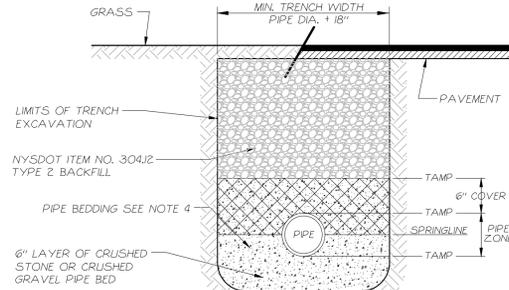
NOTE: THE DIVERSION SWALE SHALL BE SEEDED & MULCHED IMMEDIATELY FOLLOWING CONSTRUCTION

### Diversion Swale Detail



NOTES:  
1) CLEANOUTS SHALL BE PROVIDED IN LOCATIONS SHOWN ON SITE PLAN.

### In Line Cleanout



- 1) ALL BACKFILL SHALL BE NYS DOT ITEM NO. 304J2 TYPE 2.
- 2) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE NYS DOT ITEM 4 BACKFILL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.
- 3) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 4" NYS DOT ITEM 4 LEVELING COURSE, 5" ASPHALT BINDER COURSE (PLACED IN 2' LEFTS), AND 2" ASPHALT TOP COURSE. EXISTING PAVEMENT SHALL BE MILLED TO A 2" DEPTH AT LEAST 2 FEET BEYOND TRENCH WIDTH IN ALL DIRECTIONS, PRIOR TO PLACEMENT OF FINAL TOP COURSE. TOP COURSE SHALL EXTEND THE ENTIRE WIDTH OF THE TRENCH AND MILLED SECTION OF PAVEMENT.
- 4) PIPE BEDDING MATERIAL SHALL BE COMPOSED OF CRUSHED STONE OR GRAVEL FREE OF SOFT NON-DURABLE PARTICLES, ORGANIC MATERIALS AND THIN OR ELONGATED PARTICLES WITH THE FOLLOWING GRADATION REQUIREMENTS

SIEVE DESIGNATION	% PASSING
2"	100
1"	95 - 100
3/4"	0 - 15
NO. 40	0 - 5

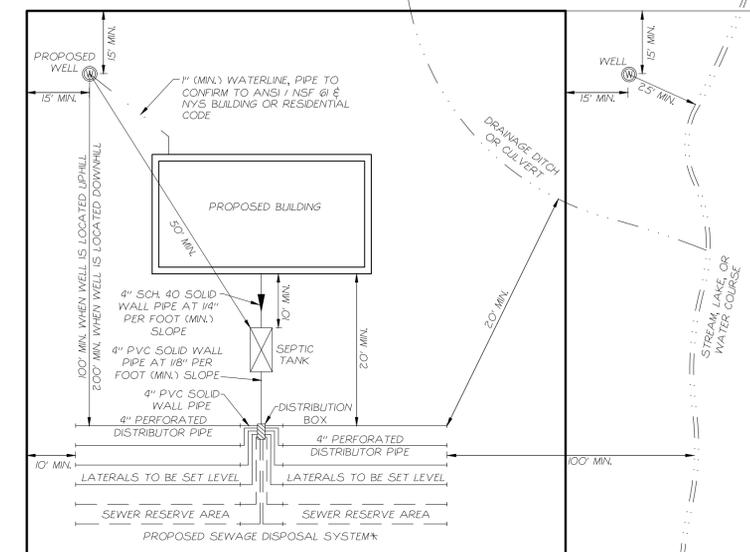
### Typical Trench Detail

FEATURES	WATERTIGHT SEPTIC TANK	SEWER LINE	ABSORPTION FIELDS OR UNLINED SAND FILTER (INCLUDING REPLACEMENT AREA)	ABSORPTION FIELDS LOCATED IN GRAVEL SOILS (INCLUDING REPLACEMENT AREA)	SEEPAGE PITS (INCLUDING REPLACEMENT AREA)
DRILLED WELL (PUBLIC WATER SUPPLY) (A)	100'	50'	200'	200'	200'
DRILLED WELL (PRIVATE WATER SUPPLY) (B)	50'	50'	100'	200'	150'
WATERLINE (PRESSURE) (C)	10'	10'	10'	10'	10'
WATERLINE (SUCTION)	50'	50'	100'	100'	150'
DUG WELL / SPRING (D)	75'	50'	150'	200'	150'
SURFACE WATER (E)	50'	25'	100'	100'	100'
RESERVOIR (PRIVATE WATER SUPPLY) (F)	50'	50'	100'	100'	100'
RESERVOIR (PUBLIC WATER SUPPLY) (F)	100'	100'	200'	200'	200'
INTERCEPTOR DRAIN - OPEN DRAINAGE DIVERSION TO GROUNDWATER	2.5'	2.5'	50' (G)	50' (G)	50' (G)
STORMWATER MANAGEMENT - INFILTRATION	2.5'	2.5'	50' (G)	50' (G)	50' (G)
STORMWATER MANAGEMENT - SURFACE WATER DISCHARGE (G)	50'	2.5'	100'	100'	100'
CULVERT (TIGHT PIPE)	2.5'	10'	35'	35'	35'
CULVERT OPENING	2.5'	2.5'	50'	50'	50'
CATCH BASIN	2.5'	NA	50'	50'	50'
SWIMMING POOL (IN-GROUND)	20'	10'	35'	35'	50'
FOUNDATION	10'	NA	20'	20'	20'
PROPERTY LINE	10'	10'	10'	10'	10'
TOP OF EMBANKMENT	2.5'	2.5'	50'	50'	50'
WETLAND (NYSDEC) (H)	100'	100'	100'	100'	100'

- (A) REFER TO PUBLIC HEALTH LAW PART 5-4, APPENDICES 5-B & 5-D
- (B) REFER TO PUBLIC HEALTH LAW PAR 5-4, APPENDIX 5-B
- (C) REFER TO PUBLIC HEALTH LAW PART 5-4, APPENDIX 5-A
- (D) WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UP-GRADIENT AND IN THE DIRECT PATH OF SURFACE RUNOFF TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHOULD BE AT LEAST 200 FEET AWAY FROM THE WELL.
- (E) IF THERE IS A DIRECT DISCHARGE TO SURFACE WATER, USE THE SURFACE WATER SEPARATION DISTANCES; IF A WATER SUPPLY USE THE RESERVOIR (WATER SUPPLY) DISTANCES.
- (F) REFER TO LOCAL WATERSHED RULES AND REGULATIONS FOR POSSIBLE SUPERSEEDING SPECIFICATIONS.
- (G) SEPARATION DISTANCE MAY BE REDUCED TO 35' IF THE BOTTOM OF THE DRAIN IS ABOVE THE FINISHED GRADE OF THE SUBSURFACE SOIL TREATMENT SYSTEM, KEEPING THE DRAIN WATER AND WASTEWATER SEPARATE.
- (H) A REDUCED SEPARATION DISTANCE, IF ANY, IS DETERMINED THROUGH THE PERMIT REVIEW PROCESS WITH THE NYSDEC.

### Minimum Separation Distances From Existing Or Proposed Features

AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION "DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS"; PUBLISHED MARCH 5, 2014



### Generic Plot Plan

\* THE "GENERIC PLOT PLAN" IS INTENDED FOR ILLUSTRATION PURPOSES ONLY. FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

### General Notes:

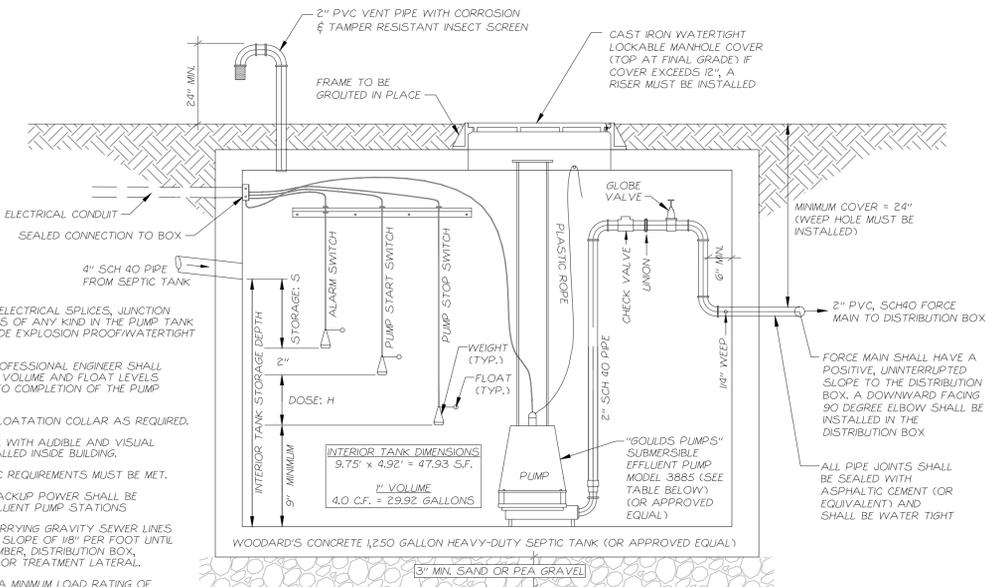
- 1) PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
- 2) ALL 4" OUTLET PIPES (SOLID WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT UP TO A DISTRIBUTOR LATERAL.
- 3) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED 200' OR MORE AWAY.
- 4) NO DRIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEWER SYSTEM. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE ABSORPTION FIELD AREA.
- 5) ALL DISTRIBUTOR LINES (PERFORATED) SHALL BE OF EQUAL LENGTH.
- 6) ALL TREES TO BE CUT & REMOVED FROM SEWAGE DISPOSAL AREA IN A MANNER THAT WILL NOT DISTURB THE VIRGIN SOIL LAYER.
- 7) MAXIMUM GROUND SLOPE OF TILE FIELD AREA SHALL NOT EXCEED 15%.
- 8) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL.
- 9) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY SPRING, RESERVOIR, BROOK, MARSH OR ANY OTHER BODY OF WATER.
- 10) NO ROOF, CELLAR OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWAGE DISPOSAL SYSTEM.
- 11) FLOW EQUALIZERS SHALL BE USED FOR SYSTEMS WHOSE SIDE SLOPES ARE BETWEEN 10-15% AND ARE RECOMMENDED FOR ALL SYSTEMS.
- 12) SLOPE BETWEEN SEPTIC TANK OR PUMPING CHAMBER AND THE BUILDING SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC GASSES TO DISCHARGE THROUGH THE STACK VENT.
- 13) THE SEWER PIPE RUNNING FROM THE BUILDING TO THE SEPTIC TANK MUST BE LAID ON SUITABLY COMPACTED EARTH OR VIRGIN SOIL WITH THE FIRST WATERTIGHT JOINT LOCATED AT LEAST 3' FROM THE BUILDING. THE PIPE SHALL BE SCH 40 PVC OR SCH 80 PVC.
- 14) THE DESIGN AND LOCATION OF SANITARY FACILITIES (WELL, SEPTIC TANK, AND LEACH FIELD) SHALL NOT BE CHANGED. ANY RELOCATION OF THE SEPTIC SYSTEMS OR WELLS SHOWN, TO AREAS OTHER THAN AS SHOWN ON THE APPROVED PLANS, MUST BE APPROVED BY THE DESIGN ENGINEER.
- 15) ALL WELLS AND SEPTIC SYSTEMS WITHIN 200 FEET THAT IMPACT SEPARATION DISTANCES FOR THE PROPOSED WELLS AND SEPTIC SYSTEMS ARE SHOWN ON THE PLANS.
- 16) THERE SHALL BE NO REGRADING, EXCEPT AS SHOWN ON THE APPROVED PLANS, IN THE AREA OF THE ABSORPTION FIELDS.
- 17) HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING THE ACTUAL CONSTRUCTION SO AS TO AVOID ANY LIQUID COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN LOAD WAS BASED.
- 18) THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
- 19) SEPTIC TANKS SHOULD BE INSPECTED PERIODICALLY AND PUMPED EVERY 2-3 YEARS.
- 20) DISTRIBUTION BOXES SHOULD BE INSPECTED PERIODICALLY TO ASSURE THAT THEY ARE LEVEL AND OPERATING PROPERLY.

### Sewage Disposal System Requirements

DESIGN FLOW RATE (GPD)	SEPTIC TANK SIZE (GALLONS)	DISTRIBUTION BOX MODEL NUMBER	TYPE OF SYSTEM	DESIGN STABILIZED PERCOLATION RATE (MIN)	MIN. LENGTH OF ABSORPTION TRENCH (L.F.)	PROPOSED LENGTH OF ABSORPTION TRENCH (L.F.)	SEWAGE DISPOSAL SYSTEM DESIGN
100	1,000	DB-12	A.T.	21-30	84	120	4 ROWS @ 30 L.F.

NOTES:  
1) A.T. = ABSORPTION TRENCH TYPE SYSTEM

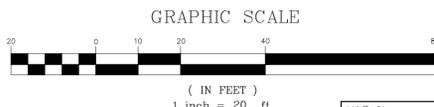
- 2) THE ANTICIPATED SEWAGE GENERATION RATE IS 15 GALLONS PER DAY (GPD) BASED UPON A SINGLE EMPLOYEE AT 15 GPD PER EMPLOYEE. A DESIGN FLOW RATE OF 150 GPD HAS BEEN USED AS A CONSERVATIVE FLOW RATE.
- 3) -
- 4) SEE SHEET ZZ FOR DEEP SOILS TESTING & PERCOLATION TESTING RESULTS.



DOSE VOLUME (GAL.)	H (MIN.)	S (MIN.)	1" TANK VOLUME (GAL.)	LIQUID LEVEL	PUMP TYPE
120	4.0"	2.5.0"	29.92	40"	WE07H

### Effluent Sewage Pump Chamber Cross-section Detail

NOT TO SCALE



MAP CK:

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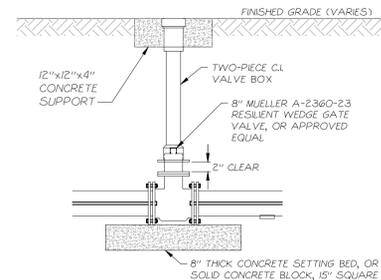
NO.	DATE	REVISION	BY
-	-	-	-
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LAWRENCE MARSHALL PE #087107

### Sewage Disposal System Details for Site Plan for U-Haul Self-Storage

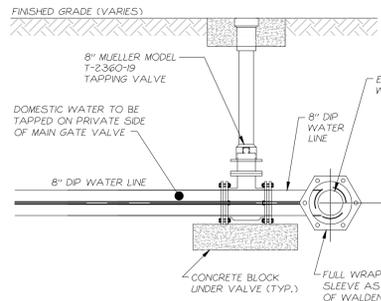
MNTM  
Mercurio-Norton-Tarolli-Marshall  
ENGINEERING & LAND SURVEYING  
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566  
P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.  
TAX MAP PARCEL: 20-2-2  
TOWN OF NEWBURGH  
COUNTY OF ORANGE  
STATE OF NEW YORK  
DRAFTED BY: LIM  
DATE: 2021 SEPT 8  
PROJECT: 4762  
SHEET: 7 / 8



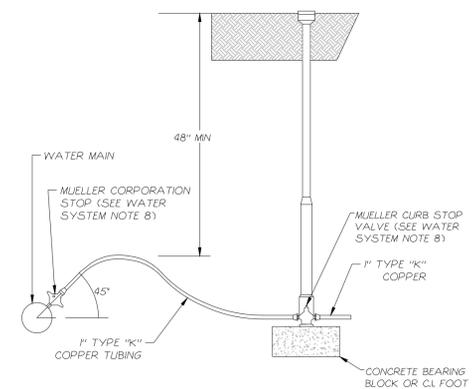
**NOTES:**  
 1.) ALL VALVES TO INCLUDE MEGA-LUG RESTRAINER GLANDS.  
 2.) WATER MAIN VALVES FOR FOUR-INCH THROUGH FORTY-EIGHT-INCH SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509, LATEST REVISION, SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).

**Typical Water Valve Detail**  
 NOT TO SCALE



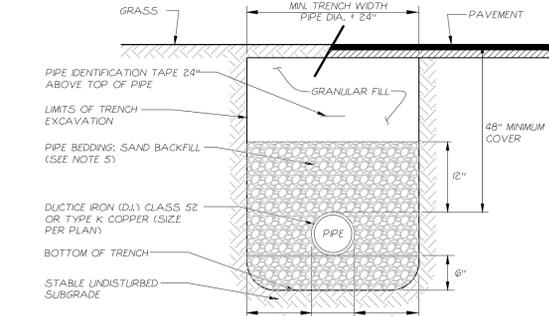
**NOTES:**  
 1.) WET TAP TO BE PERFORMED BY CONTRACTOR WITH VILLAGE OF WALDEN WATER SUPERINTENDENT AND VILLAGE ENGINEER ON SITE.  
 2.) CONTRACTOR TO CONTACT VILLAGE OF WALDEN WATER DEPARTMENT FOR ALL INSTALLATION REQUIREMENTS.  
 3.) TAPPING SLEEVE SHALL BE SELECTED TO FIT EXISTING PIPE MATERIAL (CAST IRON, DUCTILE IRON, A.C.) AND OUTSIDE DIAMETERS.  
 4.) MEGA LUGS TO BE USED ON ALL MECHANICAL JOINT FITTINGS.

**Water Wet Tap Detail**



**NOTES:**  
 1.) ALL CORPORATION STOP, CURB STOP, CURB BOX, AND SERVICE LINES SHALL MEET MUNICIPAL WATER DEPARTMENT REGULATIONS. SEE WATER SYSTEM NOTES.  
 2.) THIS DETAIL APPLIES ONLY TO THE WATER SERVICE FOR OFFICE, MODEL, AND STORAGE BUILDINGS.

**Water Service Detail**

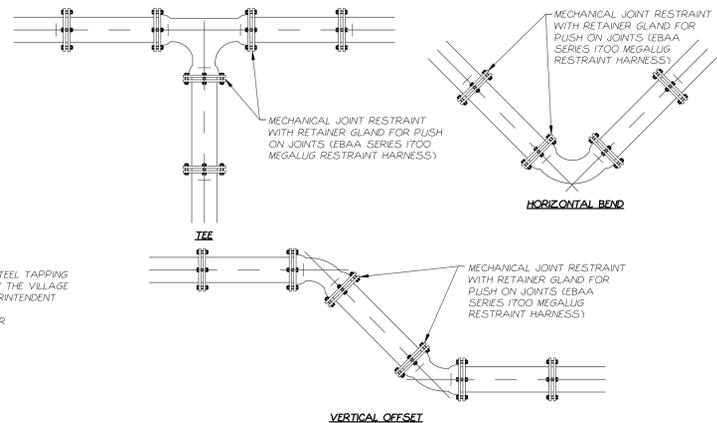


**NOTES:**  
 1.) PIPE INSTALLATION MUST ADHERE TO APPLICABLE AWWA C600 STANDARDS, LATEST REVISION.  
 2.) GRANULAR FILL SHALL CONSIST OF SELECT GRANULAR FILL OR SUITABLE ON-SITE EXCAVATED SOIL. GRANULAR FILL SHALL BE INSTALLED IN 6" LIFTS & COMPACTED TO 95% PROCTOR DENSITY.  
 3.) IN LAWN AREAS, A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON TOP OF THE RUN-OF-BANK GRAVEL AND SHALL BE SEEDED AND MULCHED WITH SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.  
 4.) IN PAVED AREAS, THE EXISTING PAVEMENT SHALL BE SAW CUT PRIOR TO REMOVAL. REPLACEMENT OF THE PAVEMENT SHALL BE COMPLETED WITH A MINIMUM OF 6" ITEM 4 LEVELING COURSE, 3" ASPHALT BINDER COURSE, AND 2" ASPHALT TOP COURSE.  
 5.) PIPE BEDDING SHALL CONSIST OF SAND MEETING NYSDOT T03-06 CUSHION SAND SPECIFICATIONS AND COMPACTED TO 95% PROCTOR DENSITY IN 6" MAXIMUM LIFTS.

**Typical Water Pipe Bedding Detail**

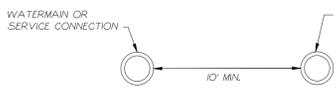
**Water System Notes:**

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH, ORANGE COUNTY DEPARTMENT OF HEALTH, AND TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINE CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSIAWWA C514/21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE, EXCEPT AS SHOWN FOR THE HYDRANT INSTALLATIONS. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. JOINT RESTRAINTS SHALL BE EBAA IRON MEGALUG SERIES 1700 FOR FLANGED FITTINGS AND EBAA IRON MEGALUG SERIES 1700 RESTRAINT HARNESSES FOR PIPES WITH PUSH ON JOINTS. MAKE AND MODEL MAY BE SUBSTITUTED WITH AN APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE MUNICIPAL WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSIAWWA C101A/210 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSIAWWA C153A/21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509, LATEST REVISION, SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-815 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C509, LATEST REVISION, SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE MUNICIPAL WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- HYDRANTS SHALL BE DRY-BARREL HYDRANTS, TYPE MUELLER SUPER CENTURION, IN ACCORDANCE WITH ANSIAWWA C502. HYDRANTS SHALL HAVE A MAIN VALVE SIZE OPENING OF FIVE INCHES NOMINAL, ONE (1) FIVE-INCH STORZ DISCHARGE, TWO (2) TWO-AND-A-HALF-INCH NST HOSE NOZZLES, A ONE-AND-ONE-HALF-INCH PENTAGON OPERATING NUT AND A SIX-INCH MECHANICAL JOINT INLET SHOW CONNECTION WITH ACCESSORIES. THE HYDRANT DIRECTION OF OPENING MUST BE LEFT (COUNTERCLOCKWISE).
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 3/4 AND 1 INCH AND MUELLER B-2500N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1031N FOR 3/4 AND 1 INCH AND MUELLER H-1031N FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE MUNICIPAL WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE LOCAL MUNICIPALITIES AND THE MUNICIPAL WATER DEPARTMENT. ALL DUCTILE IRON PIPES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA STANDARD C600-17 OR LATEST REVISION.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH TOWN OF NEWBURGH, ORANGE COUNTY DEPARTMENT OF HEALTH, NEW YORK STATE DEPARTMENT OF HEALTH REQUIREMENTS AND AWWA STANDARD C654M OR LATEST REVISION REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY.
- A BACKFLOW PREVENTION DEVICE (BPD) IS REQUIRED TO BE DESIGNED AND INSTALLED ON THE DOMESTIC WATER SUPPLY LINE AS PART OF THE BUILDING PLUMBING PLANS. A DOUBLE CHECK VALVE SHALL BE DESIGNED AND INSTALLED ON THE FIRE SUPPRESSION LINE AS PART OF THE BUILDING PLUMBING PLANS. THE BACKFLOW PREVENTION DEVICE AND DOUBLE CHECK VALVE SHALL BE REVIEWED AND APPROVED BY THE ORANGE COUNTY DEPARTMENT OF HEALTH PRIOR TO INSTALLATION.
- THE FINAL LAYOUT OF THE PROPOSED WATER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF THE SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.



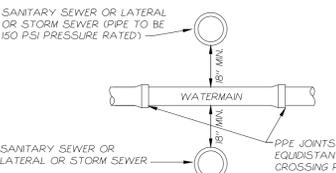
**NOTE:**  
 1.) ALL RESTRAINING GLANDS TO BE IN ACCORDANCE WITH LOCAL MUNICIPALITY AND MUNICIPAL WATER DEPARTMENT STANDARDS.  
 2.) ALL PIPES SHALL BE STANDARD PUSH ON BELL JOINTS.

**Water Main Pipe Thrust Restraint Detail**



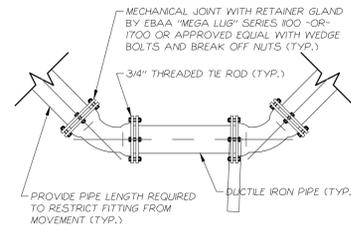
**NOTES:**  
 1.) A MINIMUM HORIZONTAL LATERAL SEPARATION OF TEN (10) FEET IS REQUIRED.  
 2.) NO EXCEPTION WITHOUT WRITTEN PERMISSION OF COUNTY DEPARTMENT OF HEALTH.

**Parallel Sanitary Sewer / Storm Sewer Water Main Installation**  
 NOT TO SCALE



**NOTES:**  
 1.) A MINIMUM VERTICAL LATERAL SEPARATION OF EIGHTEEN (18) INCHES IS REQUIRED.  
 2.) NO EXCEPTION WITHOUT WRITTEN PERMISSION OF COUNTY DEPARTMENT OF HEALTH.

**Storm / Sanitary Sewer - Water Main Crossing**  
 NOT TO SCALE



**NOTES:**  
 1.) THRUST BLOCKING IS NOT PERMITTED.  
 2.) PIPE RESTRAINING TO BE USED FOR VERTICAL DEFLECTIONS ALSO.  
 3.) SEE TABLES A AND B FOR REQUIRED RESTRAINED LENGTH FOR DUCTILE IRON PIPE. ALL MINIMUM RESTRAINT LENGTHS BASED UPON A TESTING PRESSURE OF 100 PSI. MINIMUM LENGTHS ARE NOT VALID AT HIGHER TESTING PRESSURES.  
 4.) PIPE BEDDING SHALL BE IN ACCORDANCE WITH WATER PIPE TRENCH DETAIL.  
 5.) THE CONTRACTOR SHALL PERFORM SOIL TEST TO DETERMINE SOIL TYPE(S) INDICATED IN TABLES A AND B.

**TABLE A - REQUIRED RESTRAINED LENGTH FOR 8" DUCTILE IRON PIPE (ALL VALUES IN FEET UNLESS OTHERWISE NOTED)**

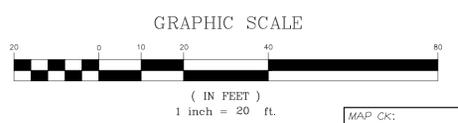
PIPE SIZE	8"									TEE (6X4)	TEE (6X6)	DEAD END
	45 DEGREE			22.5 DEGREE			12.5 DEGREE					
BEND ANGLE	H BEND	V BEND (LP)	V BEND (DN)	H BEND	V BEND (LP)	V BEND (DN)	H BEND	V BEND (LP)	V BEND (DN)			
CL	5	5	11	3	3	6	2	1	3	1	3	19
ML	6	6	12	3	3	6	2	2	3	1	8	27
GC, SC	5	5	10	2	2	5	1	1	3	1	2	19
GM, SM	5	5	10	3	2	5	2	1	3	1	5	24
SIV, GW	4	4	8	2	2	4	1	1	2	1	1	19
SP	5	5	10	3	2	5	2	1	3	1	4	23

**TABLE B - REQUIRED RESTRAINED LENGTH FOR 6" DUCTILE IRON PIPE (ALL VALUES IN FEET UNLESS OTHERWISE NOTED)**

PIPE SIZE	6"									TEE (6X4)	DEAD END
	45 DEGREE			22.5 DEGREE			12.5 DEGREE				
BEND ANGLE	H BEND	V BEND (LP)	V BEND (DN)	H BEND	V BEND (LP)	V BEND (DN)	H BEND	V BEND (LP)	V BEND (DN)		
CL	4	4	8	2	2	4	1	1	2	1	14
ML	4	4	9	2	2	5	1	1	3	1	21
GC, SC	3	3	8	2	2	4	1	1	2	1	15
GM, SM	4	4	8	2	2	4	1	1	2	1	18
SIV, GW	3	3	6	2	2	3	1	1	2	1	15
SP	4	4	8	2	2	4	1	1	2	1	18

**Water Main Pipe Restraint Tables**



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."  
 "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."  
 "CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
-	-	-	-
-	-	-	-

LAWRENCE MARSHALL PE #087107

**Soils Testing & Water Service Details for Site Plan for U-Haul Self-Storage**

**MNTM**  
 Mercurio-Norton-Tarolli-Marshall  
 PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566  
 P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.  
 TAX MAP PARCEL: 200-2-2  
 TOWN OF NEWBURGH  
 COUNTY OF ORANGE  
 STATE OF NEW YORK  
 DRAFTED BY: LJM  
 DATE: 2021 SEPT 8  
 PROJECT: 4762  
 SHEET: 8 / 8