TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS

PROJECT NAME:	**FABULOUS EVENTS, INC.**
PROJECT NO.:	**22-23**
PROJECT LOCATION:	**SECTION 34, BLOCK 2, LOT 25.2, 54, 76, 77**
REVIEW DATE:	**12 MAY 2023**
MEETING DATE:	**18 MAY 2023**
PROJECT REPRESENTATIVE:	**LANC & TULLY – JOHN QUEENAN, P.E.**

1. A Lot Consolidation Plan which can be filed with the County should be included as part of the set.

2. The driveway access location has been moved further north on Route 32. It is now located on the opposite side of the proposed structure.

3. The applicants are proposing "land banking" 16 of the required parking space. This office is aware of a court decision in the RAM Hotel matter which required the required parking must be provided on a site.

4. The subsurface sanitary sewer disposal system has been designed based on 18 employees and 10 customers per day at 15 gallons per day, per employee/customer. Use of the facilities should be restricted based on the subsurface sanitary sewer disposal system design to the 18 employees and max 10 customers. Any changes in the intensity of use may impact the subsurface sanitary sewer disposal system.

5. Results of deep test pits should be identified on the plans. Location of deep test and percolation testing should be depicted on the plan.

6. Pre-cast pump chamber detail should identify 1 ½ inch force main to distribution box to maintain positive slope.

7. This office is awaiting submission of an SWPPP for the project.

8. County Planning 239 referral is required, however SWPPP must be included in the referral submission.

9. Town of Newburgh Water and Sewer Notes are required on the plans. (Copies Attached)

10. A bio-retention detail exists on the plans however it appears that underground stormwater treatment is proposed.

11. Code Department's comments regarding the refuse area abutting the rear structures should be received.

Respectfully submitted,

MHE Engineering, D.P.C.

Patrick J. Hines
Principal

PJH/kbw

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

1. "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh."

2. All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI\AWWA C151\A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.

3. Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.

4. All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI\AWWA C110\A21.10 for Ductile and Gray Iron Fittings or ANSI\AWWA C153\A21.53 for Ductile Iron Compact Fittings, latest revision.

5. All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).

6. Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

7. All hydrants shall be Clow-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5 ¼ inch main valve opening, two 2 ½ inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 ½ inch pentagon operating nut. All hydrants shall open left (counter-clockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.

8. All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for ¾ and 1 inch, Mueller H-15000N or B-25000N for 1 ½ and 2 inch sizes. Curb valves shall be Mueller H-1502-2N for ¾ and 1 inch and Mueller B-25204N for 1 ½ and 2 inch sizes. Curb boxes shall be Mueller H-10314N for ¾ and 1 inch and Mueller H-10310N for 1 ½ and 2 inch sizes.

9. All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.

10. The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.

11. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

TOWN SEWER SYSTEM NOTES

1. Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.

2. All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.

3. All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D-3034-89. Joints shall be push-on with elastomeric ring gasket conforming ASTM D-3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and spigot configuration compatible with the pipe.

4. The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.

5. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

LANC & TULLY
Engineering and Surveying, P.C.

May 4, 2023

Town of Newburgh Planning Board
Mr. John Ewasutyn - Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Re: Fabulous Events, Inc.
SBL: 34-2-25.2, 54, 76, 77
Site Plan – NYS Route 32

Dear Chairman Ewasutyn and Planning Board Members:

Enclosed are the following materials for the Board's continued review of the application at the upcoming May 18, 2023 Planning Board Meeting:

- Revised Site Plan entitled "Site Plan Prepared for Fabulous Events, Inc." last revised on April 28, 2023
- Threatened and Endangered Species Habitat Suitability and Assessment Report dated March 31, 2023 as prepared by Ecological Solutions, LLC
- USFWS project report dated March 31, 2023

The site plan has been revised to relocate the proposed entrance along NYS Route 32 to the opposite side of the property. The proposed building has been mirrored to accommodate this revision. The proposed areas for landbank parking have also been labeled on the site plan. The applicant would like to review these changes with the Board and further discuss the landbank parking areas. The following are responses to comments received from the Town's consultants with regards to the application since our last appearance before the Planning Board:

MHE Engineering dated March 10, 2023

1. The location and size of the water service has been provided along with the standard Town notes and detail.
2. The design for the sewage disposal system has been depicted within the plan set.
3. The landscaping plan is being prepared and will be submitted within a future submission.
4. It is noted that the emergency access drive shall be gated.
5. A SWPPP will be submitted under separate cover.
6. The applicant will formally submit to the NYSDOT, now that the driveway location has been agreed upon. A copy of the submission will be provided to the Planning Board.

If you should require any additional information or have any questions, please do not hesitate to contact our office.

Very truly yours,

Lanc & Tully, P.C.

John Queenan/bm

John Queenan, P.E.

Threatened and Endangered Species
Habitat Suitability Assessment Report

Fabulous Events Site
Crab Apple Court
Town of Newburgh
Orange County, NY

March 31, 2023

Prepared by:

Michael Nowicki
Ecological Solutions, LLC
121 Leon Stocker Drive
Stratton, VT 05360
(203) 910-4716

1.0 INTRODUCTION

The proposed project is the development of 4 existing tax parcels totaling approximately 5.24 acres of land within the B zoning district in the Town of Newburgh. The project proposes to develop the properties into a 56,000 sf for Fabulous Events, Inc, a party rental company. The building would be comprised of office space, shipping and receiving office space, mechanical space, repair office and area and storage of the event materials. The proposed building would have 4 loading areas at the rear of the building. Access to the property would be proposed via a new curb cut along NYS Route 32. The property would be serviced by municipal water and a private sewage disposal system.

A Habitat Suitability Assessment was completed for Federal and State listed species including the small whorled pogonia (*Isotria medeoloides*), Indiana bat (*Myotis sodalis*), Northern long-eared bat (*Myotis septentrionalis*), and bog turtle (*Glyptemys muhlenbergii*) as part of the environmental review for the project and US Fish and Wildlife Service (USFWS) and New York State Department of Environmental Conservation (NYSDEC) species list for the site (*Attachment 1*). A field assessment was completed on March 30, 2023 to determine whether suitable habitat for these species is present on the site. Habitat cover types were also observed and are described below.

TABLE 1
COVER TYPES IDENTIFIED ON THE SITE

HABITAT COVER TYPES		
DESCRIPTION	**COVERAGE (ACRES)**	**DISTURBANCE (ACRES)**
Wetlands/Waters	0.1	0.00
Mixed Upland Forest	3.5	3.2
Upland Meadow	1.4	1.4

Wetlands/waters - There is a forested wetland drainage area at the western area of the site. This drainage is wooded and a red maple wetland with trees in the 3-5 inch dbh range.

Mixed Upland Forest - The trees in the forested areas on the site range in size but are mainly from 3-6 inches dbh with a few larger 6+ inch dbh located throughout the canopy. Trees identified in this forest type included red maple, red cedar, sugar maple, oaks (black, red, white, pin - oaks were the largest dbh trees found on the site mostly in the 6 inch dbh range), and black cherry. None of trees throughout the site were observed to posses exfoliating or flaking bark crevices, holes, and some splitting/cracking of branches.

Upland meadow - a large cleared maintained area with grasses and forbs exists on the site.

2.0 HABITAT SUITABILITY ASSESSMENT/CONCLUSION

2.1 Small whorled pogonia

The small whorled pogonia is a member of the orchid family. It usually has a single grayish-green stem that grows about 10 inches tall when in flower and about 14 inches when bearing fruit. The plant is named for the whorl of five or six leaves near the top of the stem and beneath the flower. The leaves are grayish-green, somewhat oblong and 1 to 3.5 inches long. The single or paired greenish-yellow flowers are about 0.5 to 1 inch long and appear in May or June. The fruit, an upright ellipsoid capsule, appears later in the year. This orchid grows in older hardwood stands of beech, birch, maple, oak, and hickory that have an open understory. Sometimes it grows in stands of softwoods such as hemlock. It prefers acidic soils with a thick layer of dead leaves, often on slopes near small streams.

Conclusion - Two transects were walked through the site on to assess habitat on the site. This species was not observed on the site where ground layer vegetation was more open field and the forested areas are not potential habitat.

2.2 Indiana bats

The Indiana bat typically hibernates in caves/mines in the winter and roosts under bark or in tree crevices in the spring, summer, and fall. Suitable potential summer roosting habitat is characterized by trees (dead, dying, or alive) or snags with exfoliating or defoliating bark, or containing cracks or crevices that could potentially be used by Indiana bats as a roost. The minimum diameter of roost trees observed to date is 2.5 inches for males and 4.3 inches for females. However, maternity colonies generally use trees greater than or equal to 9 inches dbh. Overall, roost tree structure appears to be more important to Indiana bats than a particular tree species or habitat type. Females appear to be more habitat specific than males presumably because of the warmer temperature requirements associated with gestation and rearing of young. As a result, they are generally found at lower elevations than males may be found. Roosts are warmed by direct exposure to solar radiation, thus trees exposed to extended periods of direct sunlight are preferred over those in shaded areas. However, shaded roosts may be preferred in very hot conditions. As larger trees afford a greater thermal mass for heat retention, they appear to be preferred over smaller trees.

Streams associated with floodplain forests, and impounded water bodies (ponds, wetlands, reservoirs, etc.) where abundant supplies of flying insects are likely found provide preferred foraging habitat for Indiana bats, some of which may fly up to 2-5 miles from upland roosts on a regular basis. Indiana bats also forage within the canopy of upland forests, over clearings with early successional vegetation (*e.g.,* old fields), along the borders of croplands, along wooded fencerows, and over farm ponds in pastures. While Indiana bats appear to forage in a wide variety of habitats, they seem to tend to stay fairly close to tree cover.

Conclusion - Approximately 3.2 acres of mixed upland forest will be impacted as a result of the proposed project. The trees in the forested areas on the site range in size but are mainly from 3-6 inches dbh with a few larger 6+ inch dbh located throughout the canopy. Trees identified in this forest type included red maple, red cedar, sugar maple, oaks (black, red, white, pin - oaks were the largest dbh trees found on the site mostly in the 6 inch dbh range), and black cherry. None of trees throughout the site were observed to posses exfoliating or flaking bark crevices, holes, and some splitting/cracking of branches.

The project sponsor proposes to avoid, minimize, and mitigate for these effects by:

- Seasonally restricting construction including tree clearing and grubbing to avoid direct mortality of roosting Indiana bats from October 1 to March 31 and utilizing orange snowfencing to demarcate wooded area to remain so these areas are not inadvertently cleared or completing an emergence survey prior to the removal of trees with consent from the NYSDEC;
- Implementing soil conservation and dust control best management practices, such as watering dry disturbed soil areas to keep dust down, and using staked, recessed silt fence and anti tracking pads to prevent erosion and sedimentation in surface waters on the site;
- Minimizing site lighting by having light fixtures only on the buildings that have tops to direct light downward, and;
- Not using chemicals on the site for stormwater management basins.

These measures will result in avoiding and minimizing impacts that may affect Indiana bats.

2.3 Northern long-eared bat

Winter Habitat: Same as the Indiana bat northern long-eared bats spend winter hibernating in caves and mines, called hibernacula. They typically use large caves or mines with large passages and entrances; constant temperatures; and high humidity with no air currents. Specific areas where they hibernate have very high humidity, so much so that droplets of water are often seen on their fur. Within hibernacula, surveyors find them in small crevices or cracks, often with only the nose and ears visible.

Summer Habitat: During summer, northern long-eared bats roost singly or in colonies underneath bark, in cavities, or in crevices of both live and dead trees. Males and non-reproductive females may also roost in cooler places, like caves and mines. This bat seems opportunistic in selecting roosts, using tree species based on suitability to retain bark or provide cavities or crevices. It has also been found, rarely, roosting in structures like barns and sheds.

Feeding Habits: Northern long-eared bats emerge at dusk to fly through the understory of forested hillsides and ridges feeding on moths, flies, leafhoppers, caddisflies, and beetles, which they catch while in flight using echolocation. This bat also feeds by gleaning motionless insects from vegetation and water surfaces.

Conclusion - The northern long eared bat requires/occupies practically the same habitat niche as the Indiana bat. Impacts to habitat and mitigation would be consistent with the recommendations for the Indiana bat.

2.4 Bog turtle

The bog turtle is a semi-aquatic freshwater turtle that prefers open, shallow wetlands with soft soils that are saturated by perennial groundwater discharge. Habitat and associated flora vary throughout the bog turtle's range; however, in the northern part of its range (Connecticut, Massachusetts, New York, New Jersey, Pennsylvania) the bog turtle exhibits a strong preference for fens fed by calcium-rich groundwater from limestone, marble or other calcareous material. These palm-sized, secretive turtles spend much of their lives hidden in soft soils or under plant material, which serves as a refuge and aids in thermoregulation. The bog turtle is one of the few turtles that remain within its core wetland habitat to nest, typically selecting hummock-forming plants on which to deposit its eggs. Bog turtles living in groundwater-fed, calcareous wetland habitats with low open vegetation may use areas of apparently less suitable habitat seasonally. Bog turtles are omnivorous and can live more than 50 years (Ernst et al. 1994). The U.S. Fish and Wildlife Service listed the bog turtle as *Threatened* in 1997 because of loss of habitat (USFWS 2001). It is listed as *Endangered* by the New York State Department of Environmental Conservation (NYSDEC).

A Phase 1 habitat evaluation was completed during March 2023 at the wetland area. Suitable bog turtle habitat is defined by the presence of the following habitat criteria consistent with the federal bog turtle survey guidelines contained in the Bog Turtle Recovery Plan (USFWS 2001):

- Substrate of saturated organic and/or mineral soil
- Groundwater derived hydrologic regime
- Herbaceous and scrub/shrub vegetation including sedges and hummock forming vegetation

One wetland area was surveyed at the western section of the site and included a small forested wetland (red maple swamp) formed by road drainage. The Web Soil Survey identifies the wetlands as Alden and Erie soils (*Figure 2*). Vegetation in the wetlands is red maple (*Acer rubrum*), pin oak (*Quercus palustris*), highbush blueberry (*Vaccinium corymbosum*), winter berry (*Ilex verticillata*), and red osier dogwood (*Cornus stolonifera*). This wetland was not suitable for bog turtles.

Conclusion - The forested wetland was surveyed to determine the presence of bog turtle habitat. The small forested wetland does not contain the habitat components (stable continuous groundwater hydrology, mucky soils, open fen area) associated with potential bog turtle habitat. Soils in the wetland are Alden extremely stony silt loam and Erie gravelly loam which does not contain a suitable mucky surface. In addition to the lack of suitable soil for bog turtles, a thick canopy renders this wetland as not potential habitat. This wetland provides no habitat for bog turtles. The proposed project will have no adverse impact to bog turtles or habitat.

3.0 PHOTOGRAPHS

Upland area in near wetland boundary area

Woods at center of the site

Meadow area

Figure 1 Location Map

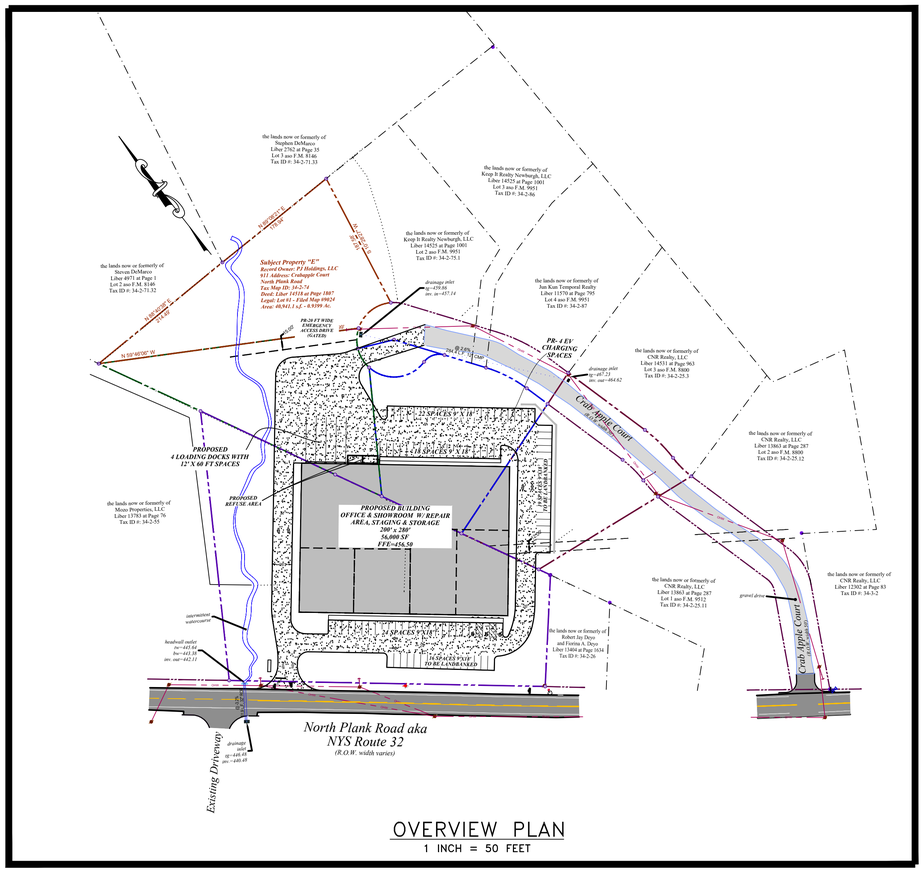
Figure 2 Soil Map

Map Unit Symbol	Map Unit Name
AC	Alden extremely stony soils
BnB	Bath-Nassau channery silt loams, 3 to 8 percent slopes
ErB	Erie gravelly silt loam, 3 to 8 percent slopes
MdB	Mardin gravelly silt loam, 3 to 8 percent slopes

Attachment 1 - USFWS List

SITE PLAN FOR FABULOUS EVENTS, INC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



OVERVIEW PLAN
1 INCH = 50 FEET

CONSTRUCTION NOTES:

1. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
2. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
3. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
4. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
5. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
   NEW YORK STATE DEPARTMENT OF TRANSPORTATION " STANDARD SPECIFICATIONS", 2008; AS SUPPLEMENTED.
   CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
   CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
   CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
6. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
7. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
8. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
9. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
10. WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
11. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
12. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
13. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
15. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C.WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
16. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
17. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
18. IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
19. NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
20. THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
21. NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
22. SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
23. DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
24. DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
25. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
26. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
27. THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

NYSDOT NOTES:

1. ALL WORK AND IMPROVEMENTS WITHIN THE NYSDOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
   A. NYSDOT STANDARD SHEETS 603 FOR DRIVEWAYS
   B. NYSDOT STANDARD SHEETS 609
   C. NYSDOT STANDARD SHEETS 608-03
   D. NYSDOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

LOCATION PLAN
1 INCH = 1,000 FEET

GENERAL NOTES:

1. TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 25.2, 54, 76, 77
2. TOTAL AREA: 5.24± ACRES
3. DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
4. ZONING DISTRICT: B – BUSINESS
5. FIRE DISTRICT: CRONOMER VALLEY FD
6. SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
7. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
8. ALL PROPERTY CORNERS SHALL BE MARKED WITH ½" IRON RODS.
9. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
10. THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
11. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
12. ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
13. A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
14. A WAREHOUSE USE IS PROHIBITED BASED UPON THE CURRENT ZONING REGULATIONS.

SURVEY NOTES:

1. REFERENCES:
   MAP ENTITLED "BOUNDARY SURVEY OF THE LANDS OF PJ HOLDINGS LLC AND MOZO PROPERTIES, LLC" DATED JUNE 16, 2022 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING.
   MAP ENTITLED "TOPOGRAPHIC SURVEY OF THE LANDS OF PJ HOLDINGS LLC AND MOZO PROPERTIES, LLC" DATED JUNE 16, 2022 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING.
2. LANC & TULLY, P.C. DOES NOT TAKE ANY RESPONSIBILITY FOR THE REFERENCED SURVEY AND TOPOGRAPHIC MAPPING AS PROVIDED BY THE APPLICANT.

SITE PLAN SHEET INDEX:

EACH SHEET SHALL BE CONSIDERED INVALID IF NOT ACCOMPANIED BY ALL OTHER SHEETS IN THE SET.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

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PARKING REQUIREMENTS

REQUIRED

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
8,000 SF OFFICE / 200 SF = 40 SPACES REQUIRED FOR OFFICE AREA
RETAIL: 1 PARKING SPACE PER 150 SF UP TO 25,000 GLFA
7,000 SF OFFICE / 150 SF = 47 SPACES REQUIRED FOR RETAIL AREA
ACCESSORY USES
STORAGE, REPAIR AND STAGING: 2 PARKING SPACES PER 3 EMPLOYEES
41,000 SF – 18 EMPLOYEES = 12 SPACES REQUIRED

TOTAL = 99 PARKING SPACES REQUIRED
TOTAL = 99 PARKING SPACES PROVIDED
INCLUDING 3 HANDICAP SPACES

THE PROJECT PROPOSES TO LANDBANK 35 PARKING SPACES BASED UPON OPERATIONAL NEEDS.
A TOTAL OF 64 SPACES SHALL BE CONSTRUCTED.

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH – B ZONE
BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE

MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	5.24 ACRES
LOT WIDTH	100 FT.	114.25 FT.
LOT DEPTH	125 FT.	173.77 FT.
FRONT YARD	60 FT.*/40 FT.	94 FT.
ONE SIDE YARD/BOTH	15/30 FT.	59/157 FT.
REAR YARD	30 FT.	168 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%

*–60 FT FRONT SETBACK REQURIED ALONG STATE HIGHWAY

RECORD OWNER:

PJ HOLDINGS, LLC
142 ROUTE 17K
NEWBURGH, NY 12550

34 - 2 - 25.2, 54, 76 & 77
L. 14518 P. 1807

APPLICANT:

FABULOUS EVENTS, INC
149 BURD STREET
NYACK, NY 10960

AREAS:

TAX LOT 34 - 2 - 25.2	0.91± AC.
TAX LOT 34 - 2 - 54	2.57± AC.
TAX LOT 34 - 2 - 76	0.84± AC.
TAX LOT 34 - 2 - 77	0.92± AC.

TOTAL AREA:

5.24± AC.

OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER

TOWN OF NEWBURGH
SITE PLAN APPROVAL:

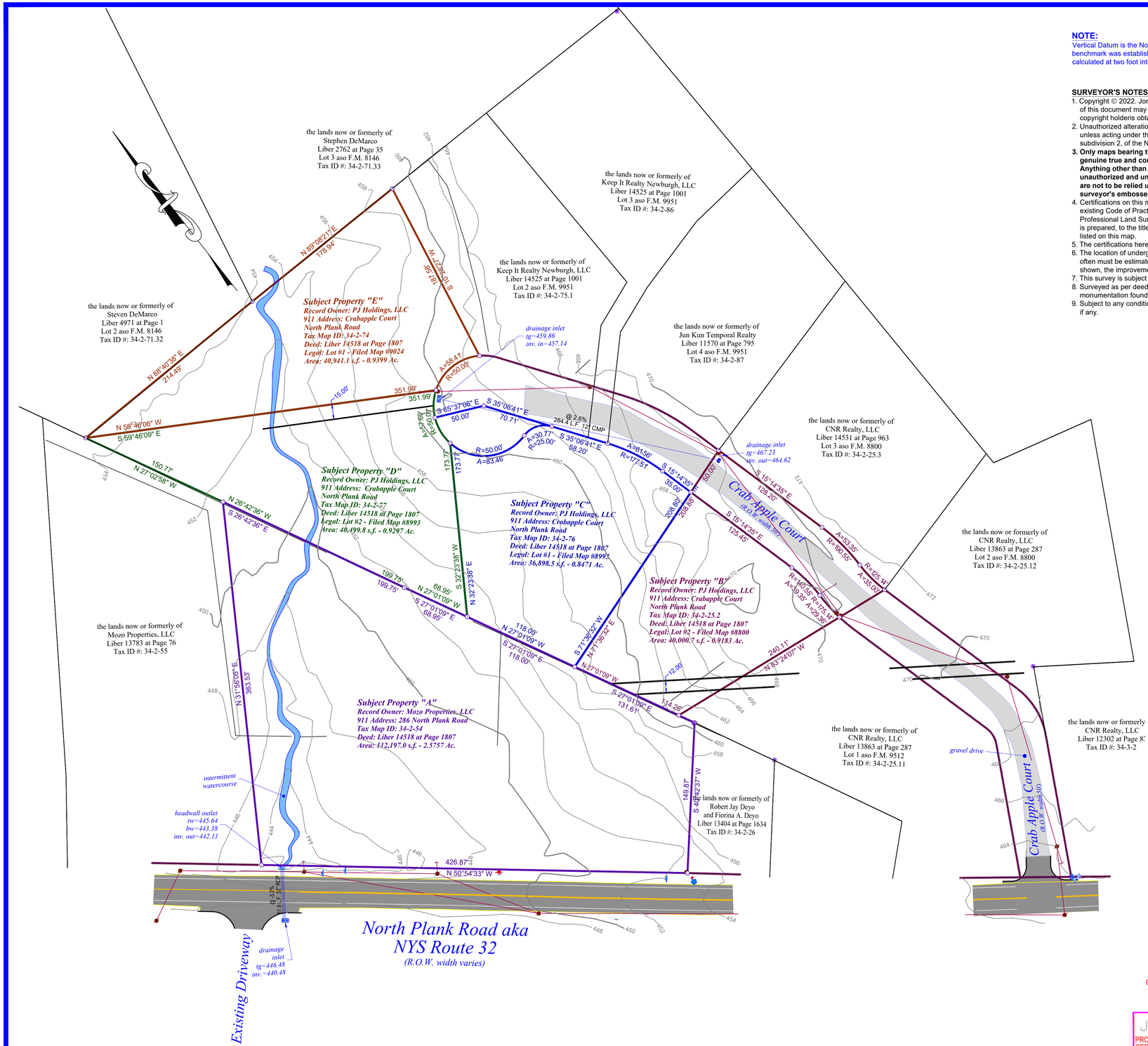
LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

COVER SHEET PREPARED FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date:	SEPTEMBER 1, 2022
Revisions:	NOVEMBER 18, 2022 FEBRUARY 28, 2023 APRIL 28, 2023
CAD File:	220138 SKETCH SITE.DWG
Layout:	COVER
Sheet No.:	1 OF 14
Drawn By:	JQ
Checked By:	
Scale:	AS NOTED
Tax Map No.:	34-2-25.2, 54, 76, 77
Drawing No.:	C3D B – 22 – 0138 – 01



NOTE:
Vertical Datum is the North American Vertical Datum of 1988 (NAVD88). The project benchmark was established by GPS observation performed on June 3, 2016. Contours were calculated at two foot intervals as depicted hereon.

SURVEYOR'S NOTES:

1. Copyright © 2022. Jonathan N. Millen, L.L.S. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and/or copyright holderis obtained.
2. Unauthorized alteration of an item in any way, or addition to a survey map for any person, unless acting under the direction of a licensed land surveyor, is a violation of section 7209, subdivision 2, of the New York State Education Law.
3. **Only maps bearing the surveyor's *signature overlaid with embossed seal* are genuine true and correct copies of the surveyor's original work and opinion. Anything other than copies with an embossed-seal and signature may contain unauthorized and undetectable modifications, deletions, additions, and changes, and are not to be relied upon. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an *unauthorized copy*.**
4. Certifications on this map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this map.
5. The certifications herein are not transferable.
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
7. This survey is subject to the findings of a Title Report and or Title Search.
8. Surveyed as per deeds, prior survey maps, filed maps, physical evidence and existing monumentation found at the site.
9. Subject to any conditions, restrictions, covenants and/or right-of ways/easements of record, if any.

REFERENCES:

1. The Official Tax Assessor's Maps for the Town of Newburgh, Orange County, New York .
2. Various Deeds of Record - Liber and Page or Document ID as shown:
3. Subject parcels being Lot 2 as shown on a map entitled, "Subdivision Lands of Land Investment Group of Newburgh", filed in the Orange County Clerk's Office on 03-31-1988 as Filed Map No. 8800, Lot 1 as shown on a map entitled, "Subdivision Plan of Yaffe Management Corp.", filed in the Orange County Clerk's Office on 07-29-1988 as Filed Map No. 9024, and Lots 1 and 2 as shown on a map entitled, "Subdivision Plan - Lands of Morbak Enterprises Inc.", filed in the Orange County Clerk's Office on 07-21-1988 as Filed Map No. 8993.
4. A map entitled, "Huggins II", dated 10-22-2014, prepared by Talcott Engineering Design PLLC.

CERTIFIED TO:
I hereby certify to:
Isaac Deutsch
PJ Holdings LLC
Mozo Properties LLC
Town of Newburgh

CERTIFICATION NOTES:
This certification is made only to named parties for purchase and/or mortgage of herein delineated property by named purchaser. No responsibility or liability is assumed by surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey affidavit, resale of property, or to any other person *not* listed in certification, either directly or indirectly, the setting of fences and/or any other structures in or near the property lines. Unless indicated otherwise, property corners were not set.

SURVEYORS' CERTIFICATION:
I hereby certify to the hereon listed parties that this survey was performed in accordance with the NYS Minimum Technical Standards Section 6 Suburban class and represents the results of an actual *on the ground field survey*, per record description, of the land shown hereon, located at 286 North Plank Road and Crabapple Court North Plank Road in the Town of Newburgh, County of Orange, State of New York. Completed on June 16th, 2022, performed in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc., and is to the best of my knowledge, belief and information, accurate and correct. Except as shown hereon: "there are no encroachments either way across property lines; title lines and lines of actual possession are the same".

Signature _____ Date _____

Jonathan N. Millen, LLS
1229 Route 300 - Suite 3
Newburgh, NY 12550

RECORD OWNER:

PJ HOLDINGS, LLC
142 ROUTE 17K
NEWBURGH, NY 12550

34 - 2 - 25.2, 54, 76 & 77
L. 14518 P. 1807

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LEGEND:

EXISTING PROPERTY LINE
EXISTING CONTOUR MAJOR 610
EXISTING CONTOUR MINOR 608

0' 50' 100' 150' 200'
GRAPHIC SCALE: 1" = 50'

Jonathan N. Millen, LLS
PROFESSIONAL LAND SURVEYOR N.Y. LIC. No. 050746
CERTIFIED TO BE CORRECT AND ACCURATE

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

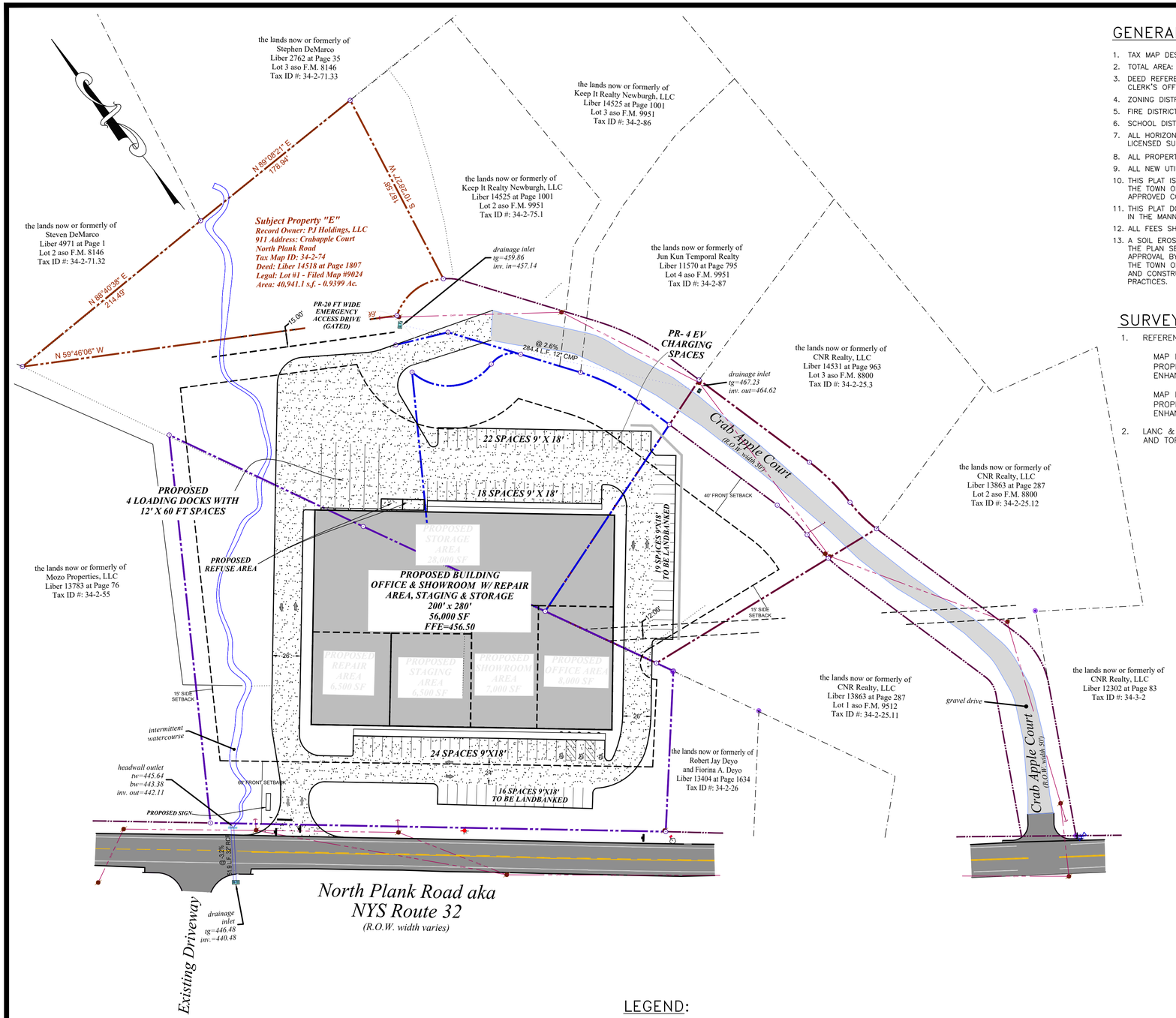
EXISTING CONDITIONS PREPARED FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: SEPTEMBER 1, 2022
Revisions: NOVEMBER 18, 2022
FEBRUARY 28, 2023
APRIL 28, 2023
CAD File: 220138 SKETCH SITE.DWG
Layout: EXISTING
Sheet No.: 2 OF 14
Drawing No.: C3D B - 22 - 0138 - 01

Drawn By:	Checked By:	Scale:	Tax Map No.:
JQ		1" = 50'	34-2-25.2, 54, 76, 77



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LOCATION PLAN

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LEGEND:

EXISTING PROPERTY LINE
EXISTING CONTOUR MAJOR 610
EXISTING CONTOUR MINOR 608
PROPOSED CONTOUR MAJOR 610
PROPOSED CONTOUR MINOR 608
PROPOSED RETAINING WALL
PROPOSED FENCE
PROPOSED SWALE
PROPOSED DRAINAGE CULVERT
PROPOSED SEWER
PROPOSED WATER MAIN
PROPOSED CONCRETE CURBING
PROPOSED CONCRETE SIDEWALK WITH RAMP

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft.

RECORD OWNER:

PJ HOLDINGS, LLC
142 ROUTE 17K
NEWBURGH, NY 12550

34 - 2 - 25.2, 54, 76 & 77
L. 14518 P. 1807

APPLICANT:

FABULOUS EVENTS, INC
149 BURD STREET
NYACK, NY 10960

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TOTAL AREA:

5.24± AC.

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294–3700

SITE PLAN PREPARED FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: SEPTEMBER 1, 2022
Revisions: NOVEMBER 18, 2022
FEBRUARY 28, 2023
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CAD File: 220138 SKETCH SITE DWG
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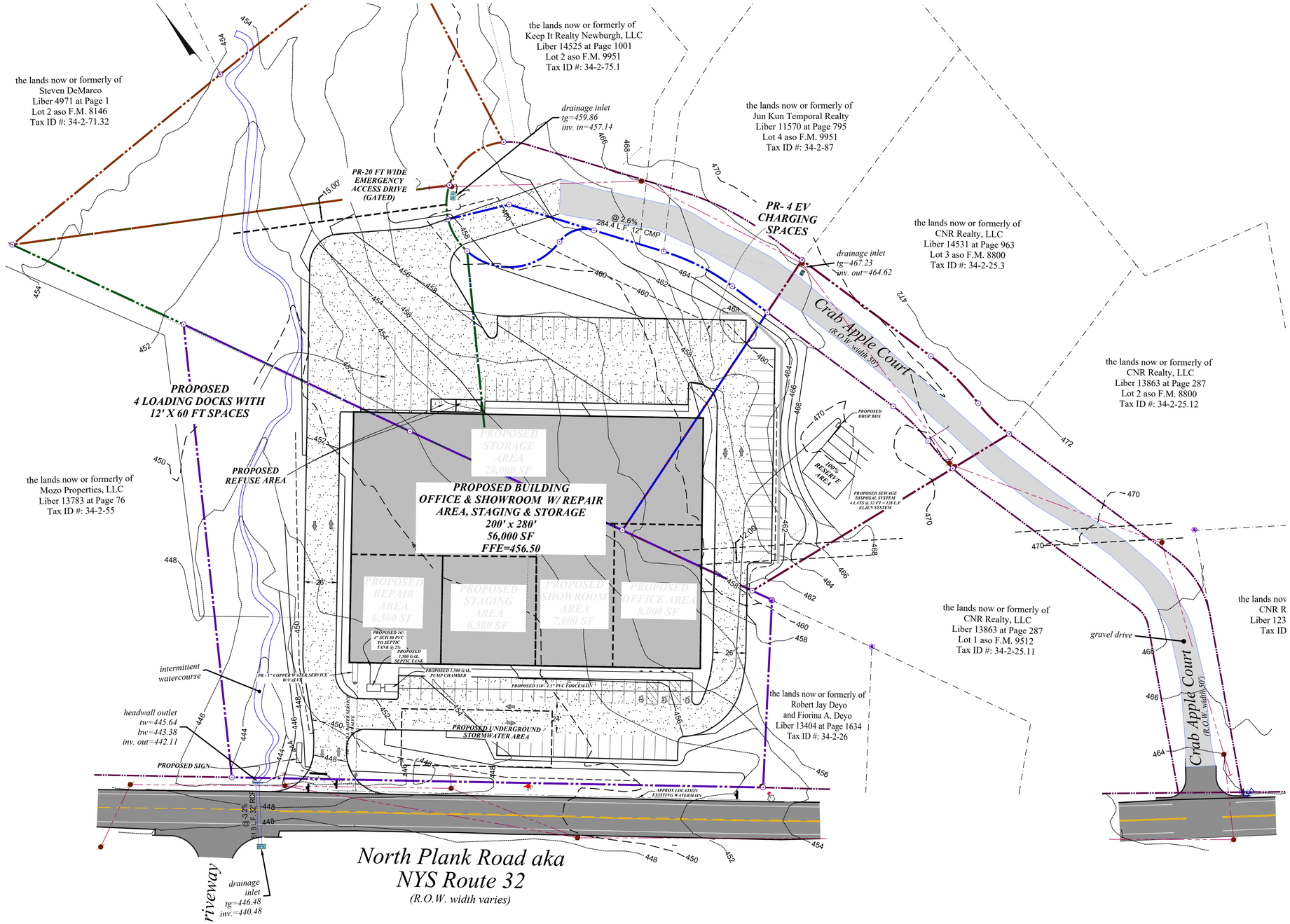

TOWN OF NEWBURGH WATER SYSTEM NOTES

1. CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
2. ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
3. THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
4. ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
5. ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
6. TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
7. ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 $\frac{1}{4}$" MAIN VALVE OPENING, TWO 2 $\frac{1}{2}$" DIAMETERNPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 $\frac{1}{2}$" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
8. ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15009N OR B-25009N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-25204N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
9. ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
10. THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
11. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

TOWN OF NEWBURGH SEWER SYSTEM NOTES

1. CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
2. ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
3. ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
4. THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
5. THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING CONTOUR MAJOR (610)
- EXISTING CONTOUR MINOR (608)
- PROPOSED CONTOUR MAJOR (610)
- PROPOSED CONTOUR MINOR (608)
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- PROPOSED FENCE
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- PROPOSED CONCRETE SIDEWALK WITH RAMP

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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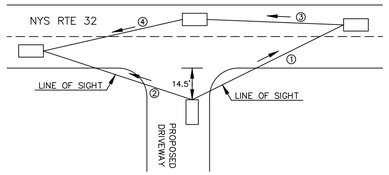
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

GRADING AND UTILITY PLAN FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date:	SEPTEMBER 1, 2022
Revisions:	FEBRUARY 28, 2023 APRIL 28, 2023
CAD File:	220138 SKETCH SITE.DWG
Layout:	G & U
Sheet No.:	4 OF 14
Drawn By:	JQ
Checked By:	
Scale:	1" = 40'
Tax Map No.:	34-2-25.2, 54, 76, 77
Drawing No.:	C3D B - 22 - 0138 - 01



NOTES:
POSTED SPEED LIMIT IS 45 MPH
DESIGN SPEED FOR CALCULATIONS BELOW IS 45 MPH.
THE GPS COORDINATES FOR THE DRIVEWAY ENTRANCE IS 41°32'51" – 74°03'21.8"

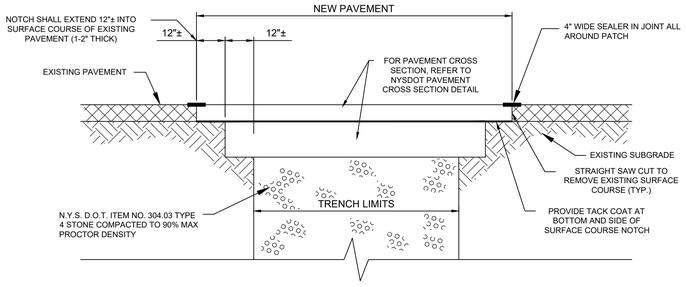
DESCRIPTION	RECOMMENDED STOPPING SIGHT DISTANCE	RECOMMENDED INTERSECTION SIGHT DISTANCE	PROPOSED ENTRANCE
1 EXITING SIGHT DISTANCE LOOKING RIGHT TO APPROACHING VEHICLE	360'	500'	1000'+
2 EXITING SIGHT DISTANCE LOOKING LEFT TO APPROACHING VEHICLE FOR LEFT TURN	360'	500'	750'
3 REAR END SIGHT LINE FROM THE LEFT TURN ENTERING VEHICLE TO A VEHICLE APPROACHING FROM THE SAME DIRECTION	360'	---	550'+
4 SIGHT LINE FROM THE LEFT TURN ENTERING VEHICLE TO A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION	360'	---	550'+

NOTES:

1) CALCULATED AND RECOMMENDED SIGHT DISTANCE MEASURMENTS SHOWN PER AASHTO GEOMETRIC DESIGN OF HIGHWAYS AND STREETS.

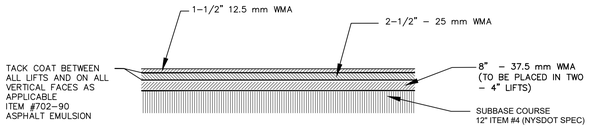
SIGHT DISTANCE MEASUREMENTS

NOT TO SCALE



PAVEMENT RESTORATION DETAIL

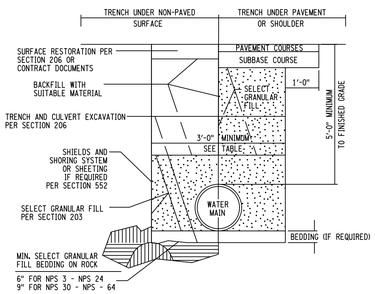
NOT TO SCALE



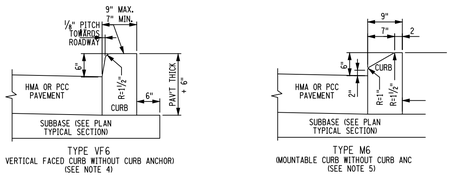
NOTES:
1. NYSDOT PAVEMENT SPECIFICATION SHALL BE UTILIZED TO RIGHT-OF-WAY LINE.
2. REFER TO SECTION 404 FOR ALL REQUIRED WARM MIX ASPHALT (WMA) SPECIFICATIONS AND REQUIREMENTS

NYSDOT PAVEMENT CROSS SECTION

NOT TO SCALE



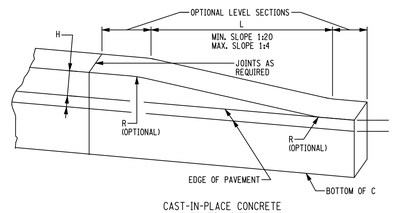
UTILITY TRENCH DETAIL



CAST-IN-PLACE CONCRETE CURB

NOTES:

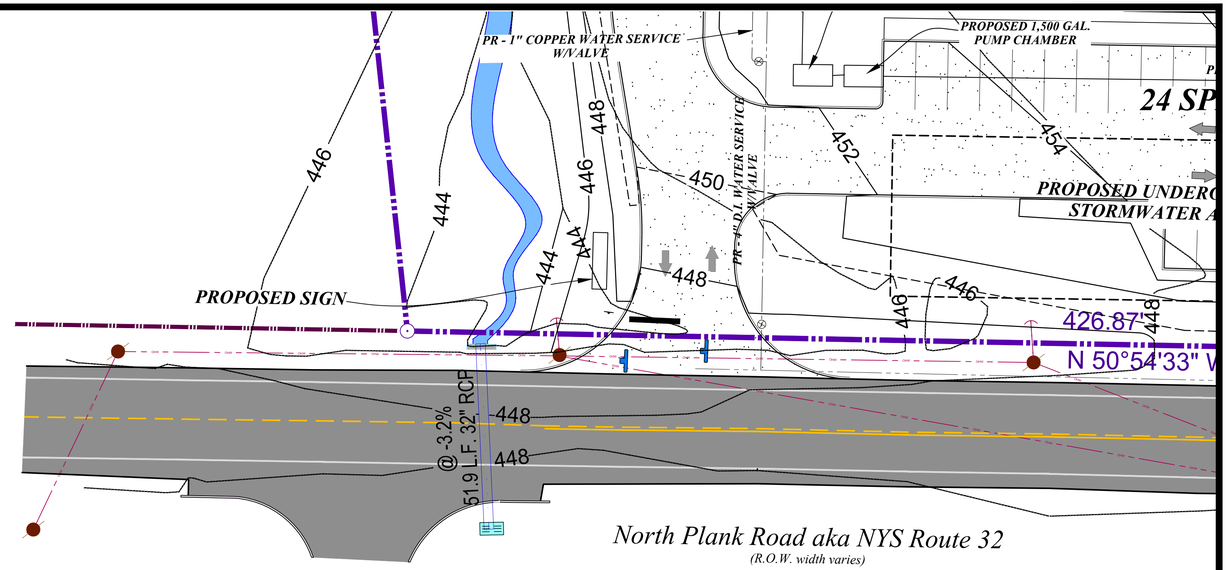
1. USE CURB AND CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
2. CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
3. CURB TYPES M6A, VF6A AND M4A REQUIRE CURB ANCHOR. CURB AND GUTTER TYPES VF6G AND M4G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
4. WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES CU1, CU2, AND CU CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB, SEE STANDARD SHEET MISCELLANEOU CURB DETAILS FOR CURB BOX JOINTS.
5. USE WITH CURB BOXES, CM1, CM2, AND CM3.



CAST-IN-PLACE CONCRETE CURB TRANSITIONS
(SEE NOTE 2)

CURB TRANSITION LENGTHS (L)			
H \ SLOPE	1:4	1:12	1:20
4"	16"	48"	80"
6"	24"	72"	120"

NOTES:
1.) USE 1" REVEAL AND CONTINUE CURB ACROSS DRIVEWAY ENTRANCES ONLY IF SHOWN IN THE CONTRACT DOCUMENTS, OR DIRECTED BY THE ENGINEER AS A FIELD CONDITION.
2.) TERMINATE CURB, CURB AND GUTTER BY TRANSITIONING ON A MAXIMUM SLOPE OF 1:12 TO PAVEMENT SURFACE.
3.) EXTEND JOINT FILLER 6" MINIMUM BEHIND CURB ON BOTH SIDES OF CURB BOX. 705-07 NOT NEEDED WHEN VERTICAL FACED CURB WIDTH EQUAL TO WIDTH OF CURB BOX.



North Plank Road aka NYS Route 32
(R.O.W. width varies)

LEGEND:

EXISTING PROPERTY LINE	
EXISTING CONTOUR MAJOR	610
EXISTING CONTOUR MINOR	608
PROPOSED CONTOUR MAJOR	610
PROPOSED CONTOUR MINOR	608
PROPOSED RETAINING WALL	
PROPOSED FENCE	
PROPOSED SWALE	
PROPOSED DRAINAGE CULVERT	
PROPOSED SEWER	
PROPOSED WATER MAIN	
PROPOSED CONCRETE CURBING	
PROPOSED CONCRETE SIDEWALK WITH RAMP	

1. ALL WORK AND IMPROVEMENTS WITHIN THE NYSDOT RIGHT OF WAY FOR ROUTE 306 SHALL CONFORM TO THE FOLLOWING NYSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
   A. NYSDOT STANDARD SHEETS 603 FOR DRIVEWAYS
   B. NYSDOT STANDARD SHEETS 609-01
   C. NYSDOT STANDARD SHEETS 608-03
   D. NYSDOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

LANC & TULLY
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NYSDOT ENTRANCE PLAN & DETAILS FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

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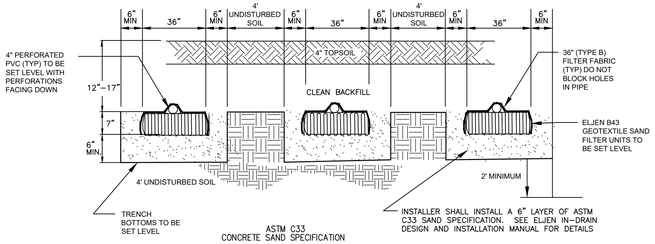


ASTM C33
CONCRETE SAND SPECIFICATION

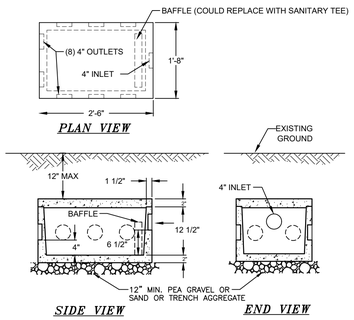
SIEVE SIZE	PERCENT PASSING BY WEIGHT	
	MINIMUM	MAXIMUM
3/8 INCH	100	
NO. 4	95	100
NO. 8	80	100
NO. 16	50	85
NO. 30	25	60
NO. 50	5	30
NO. 100	0	10
NO. 200 (WET)	0	5

TYPICAL "ELJEN" TRENCH CROSS SECTION DETAIL

NOT TO SCALE

DEEP TEST RESULTS

1 & 2 – SITE INSPECTION PERFORMED ON xxxxxxxxxxxx BY LANC AND TULLY ENGINEERING, P. C.



NOTES:
1. PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUAL.
2. 4" OUTLET PIPES LEAVE BOX AT SAME ELEVATION ON A SLOPE OF 1/8" PER FOOT MIN. TO LEACHING CHAMBER
3. PRECAST DISTRIBUTION BOX BY WOODARD'S CONCRETE PRODUCTS, INC. NO. DB-9 OR EQUAL.
4. 4" Ø OUTLET PIPES TO BE PVC SDR 35
5. CONCRETE TO BE A MINIMUM STRENGTH OF 4,000 PSI AT 28 DAYS.
6. SPEED LEVELERS TO BE USED ON ALL OUTLETS TO ENSURE EQUAL DISTRIBUTION.

PRE-CAST DISTRIBUTION BOX

NOT TO SCALE

PERCOLATION TEST RESULTS:

PERCOLATION TESTS '1' & '2' WERE PERFORMED ON MARCH 20, 2023, BY LANC & TULLY ENGINEERING AND SURVEYING, P.C..

PERC. TEST RATE (MIN.) DEPTH = 24"				DESIGN RATE (MIN.)	GPD (FLOW)	LENGTH OF FIELD (FEET)		TYPE OF SYSTEM
032023-1	032023-2					REQUIRED	PROPOSED	
18	23			31-45	336 GPD	112	128	ELJEN

SYSTEM DESIGN

SYSTEM FLOWS AND DESIGN FOR NEW SDS:

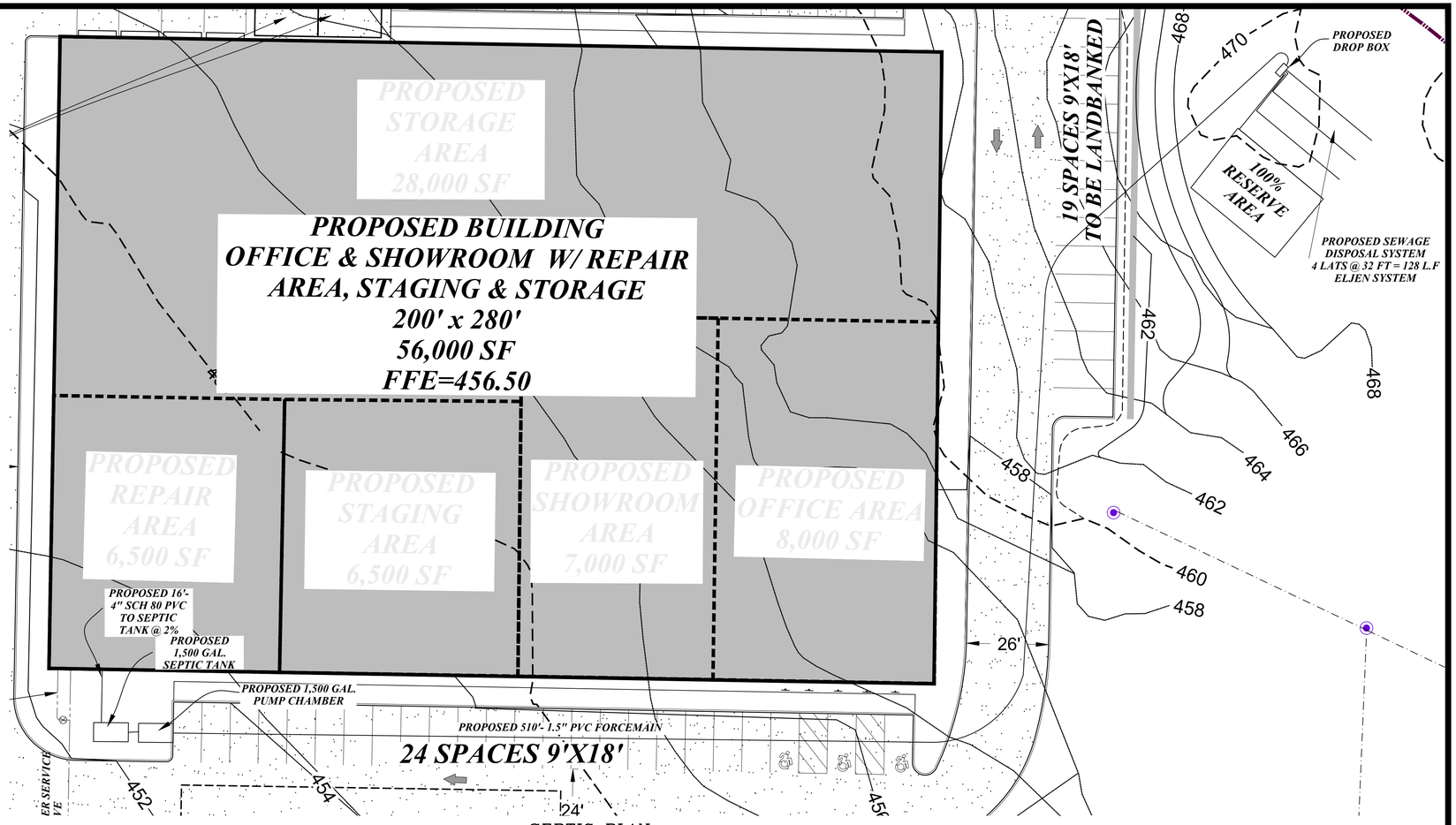
FLOW RATE FOR OFFICE/STORAGE = 270 GPD (18 EMPLOYEES * 15 GPD/EMPLOYEE)
FLOW RATE FOR SHOWROOM AREA = 150 GPD (10 CUSTOMERS * 15 GPD/CUSTOMER)
20% WATER SAVINGS = 84 GPD
420 GPD – 84 GPD = 336 GPD (DESIGN FLOW)
DESIGN PERCOLATION RATE: 31–45 MINUTES/INCH
DESIGN APPLICATION RATE: 0.5 GAL/DAY/SQUARE FOOT
APPLICATION RATE (ELJEN): 6 SQ FT/LIN. FT. OF TRENCH
SQUARE FOOTAGE REQ'D: 336 GPD / 0.5 GPD/SQ FT = 672 SQ FT
ABSORPTION FIELD TRENCH LENGTH REQUIRED: 672 SQ FT/6 SQ FT PER LIN. FT. = 112 LIN. FT. OF TRENCH
ABSORPTION FIELD TRENCH PROVIDED: 4 LATERALS @ 32 FEET = 128 LINEAR FEET
SEPTIC TANK SIZING: 336 GPD X 1.5 = 504 GPD – USE 1,500 GAL TANK

DOSING CALCULATIONS:

TOTAL PIPE VOLUME (FORCE MAIN): 510 LINEAR FEET X 0.121 GALLONS/FOOT = 61 GALLONS
DOSE VOLUME: 61 GALLONS X 1.00 = 61 GALLONS
TOTAL PIPE VOLUME (DISTRIBUTION): 44 LINEAR FEET X 0.653 GALLONS/FOOT = 29 GALLONS
DOSE VOLUME: 29 GALLONS X 1.00 = 29 GALLONS
TOTAL PIPE VOLUME (ABSORPTION FIELD): 128 LINEAR FEET X 0.653 GALLONS/FOOT = 84 GALLONS
DOSE VOLUME: 84 GALLONS X 0.75 = 63 GALLONS
TOTAL DOSING VOLUME: 61 GALLONS + 29 GALLONS + 63 GALLONS = 153 GALLONS

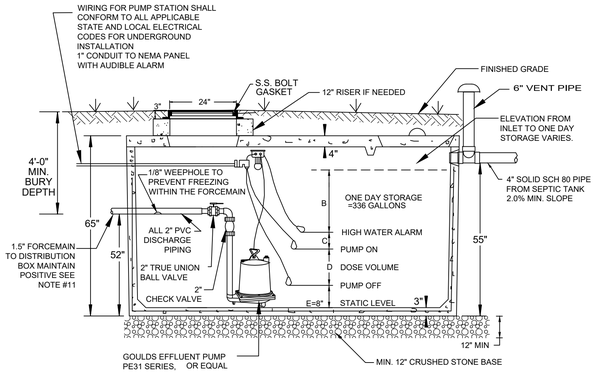
LEGEND:

- EXISTING PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- PROPOSED SWALE
- PROPOSED DRAINAGE CULVERT
- PROPOSED SEWER
- PROPOSED WATER MAIN
- PROPOSED CONCRETE CURBING
- PROPOSED CONCRETE SIDEWALK WITH RAMP



SEPTIC PLAN

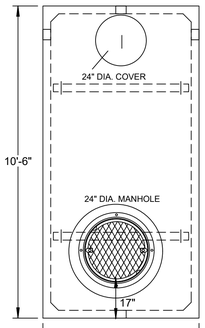
SCALE: 1"=20'



NOTES:
1. CONCRETE PRECAST PUMP CHAMBER BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
2. PRECAST CHAMBER TO MEET H-20 LOADING SPECIFICATIONS.
3. CONTROL PANEL TO BE AUTOMATED CONTROL SYSTEMS SF11 NEMA 1 ENCLOSURE OR EQUAL.
4. ELECTRICAL EQUIPMENT IN WELLS OR IN ENCLOSED SPACES WHERE EXPLOSIVE GASES MAY ACCUMULATE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE FOR CLASS 1, DIVISION 1, GROUPS C AND D LOCATIONS. THERE SHALL BE NO ELECTRICAL SPLICES, JUNCTION BOXES OR CONNECTIONS OF ANY KIND IN SEWAGE WET WELLS OF ANY NEC RATING.
5. ALL JOINTS SHALL BE CAULKED.
6. AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF BASE AND RISER SECTIONS, WHERE APPLICABLE.
7. THE REQUIRED DOSE VOLUME = SEE PUMP CHAMBER DESIGN CHART.
8. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
9. ALL COVERS SHALL BE LOCKABLE AND WATERTIGHT.
10. ALL NEC REQUIREMENTS SHALL BE MET FOR THE PUMP STATION CONSTRUCTION.
11. THE FORCE MAIN MUST MAINTAIN A POSITIVE SLOPE BACK TO THE PUMP STATION TO ALLOW THE EFFLUENT TO DRAIN BACK INTO THE PUMP CHAMBER AFTER EACH PUMPING CYCLE.

PRECAST PUMP CHAMBER TANK (1,500 GAL.)

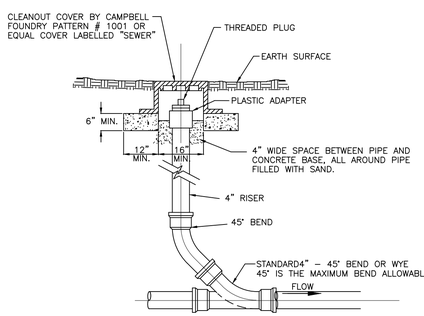
NOT TO SCALE



SPECIFICATIONS

CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS
REINFORCEMENT: #3 REBAR, 6X6X10/10 WWM
AIR ENTRAINMENT: 5%
CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
PIPE CONNECTION: POLYLOK SEAL (PATENTED)
WEIGHT = VARIES LOAD RATING: 300 PSF

PUMP DETAIL ITEM	DEPTH OF PUMP FLOAT (IN INCHES)
ONE DAY STORAGE	B=30" MIN.
HIGH WATER ALARM	C=3"
PUMP ON	D=5"
PUMP OFF	E=8"
DOSE VOLUME	153 GAL



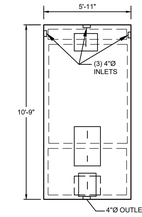
CLEANOUT DETAIL

NOT TO SCALE

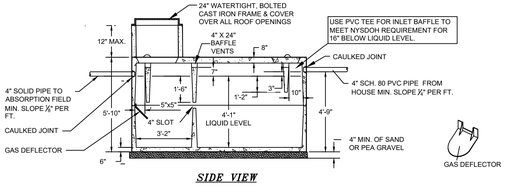
GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.



TOP VIEW



SIDE VIEW

SPECIFICATIONS	PRECAST TRAFFIC DUTY SEPTIC TANK 1500 GALLONS
CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS REINFORCEMENT: #4 & #5 REBAR / ASTM A615 AIR ENTRAINMENT: 6% CONSTRUCTION JOINT: BUTYL RUBBER SEALANT PIPE CONNECTION: POLYLOK SEAL (PATENTED) LOAD RATING: HS20-44 + 30% / ASTM C857	Woodard's Concrete Products, Inc. 820 Lybolt Road, Bullville, NY 10915 (914) 361-3471 / Fax 361-1050 Page 4A

NOTES:
1. CONCRETE SEPTIC TANK BY TO BE TRAFFIC DUTY 1500 GALLON CONCRETE SEPTIC TANK BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE, N.Y. OR EQUAL.
2. AN ASPHALTIC SEAL SHALL BE APPLIED BETWEEN CONTACT SURFACES OF MANHOLE COVERS, INSPECTION COVERS, AND CLEANOUT COVERS.
3. CONCRETE MIN. STRENGTH: 4,000 PSI @ 28 DAYS.
4. STEEL REINFORCEMENT: #4 & #5 REBAR
5. ALL JOINTS TO BE CAULKED.

TRAFFIC DUTY 1,500 GAL. CONCRETE SEPTIC TANK

NOT TO SCALE

L&T LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
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SEWAGE DISPOSAL SYSTEM DESIGN & DETAILS FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

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Checked By:
Scale: AS SHOWN
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Drawing No.: C3D B – 22 – 0138 – 01

the lands now or formerly of
Steven DeMarco
Liber 4971 at Page 1
Lot 2 aso F.M. 8146
Tax ID #: 34-2-71.32

the lands now or formerly of
Keep It Realty Newburgh, LLC
Liber 14525 at Page 1001
Lot 2 aso F.M. 9951
Tax ID #: 34-2-75.1

the lands now or formerly of
Jun Kun Temporal Realty
Liber 11570 at Page 795
Lot 4 aso F.M. 9951
Tax ID #: 34-2-87

the lands now or formerly of
CNR Realty, LLC
Liber 14531 at Page 963
Lot 3 aso F.M. 8800
Tax ID #: 34-2-25.3

the lands now or formerly of
CNR Realty, LLC
Liber 13863 at Page 287
Lot 2 aso F.M. 8800
Tax ID #: 34-2-25.12

the lands now or formerly of
Mozo Properties, LLC
Liber 13783 at Page 76
Tax ID #: 34-2-55

the lands now or formerly of
CNR Realty, LLC
Liber 13863 at Page 287
Lot 1 aso F.M. 9512
Tax ID #: 34-2-25.11

the lands now or formerly of
Robert Jay Deyo
and Fiorina A. Deyo
Liber 13404 at Page 1634
Tax ID #: 34-2-26

drainage inlet
tg=459.86
inv. in=457.14

drainage inlet
tg=467.23
inv. out=464.62

PR-20 FT WIDE EMERGENCY ACCESS DRIVE (GATED)

PR- 4 EV CHARGING SPACES

@ 2.6%
284 L.F. 12" CMP

Crab Apple Court
(R.O.W. width 50')

PROPOSED 4 LOADING DOCKS WITH 12' X 60 FT SPACES

PROPOSED REFUSE AREA

PROPOSED BUILDING
OFFICE & SHOWROOM W/ REPAIR AREA, STAGING & STORAGE
200' x 280'
56,000 SF
FFE=456.50

PROPOSED STORAGE AREA 28,000 SF
PROPOSED REPAIR AREA 6,500 SF
PROPOSED STAGING AREA 6,500 SF
PROPOSED SHOWROOM AREA 7,000 SF
PROPOSED OFFICE AREA 8,000 SF

100% RESERVE AREA

PROPOSED UNDERGROUND STORMWATER AREA

intermittent watercourse

headwall outlet
tw=445.64
bw=443.38
inv. out=442.11

PROPOSED SIGN

1" COPPER WATER SERVICE W/ CURB STOP

APPROX LOCATION EXISTING WATERMAIN

@ 3.2%
51.9 L.F. 12" RCP

drainage inlet
tg=446.48
inv.=440.48

gravel drive

North Plank Road aka NYS Route 32
(R.O.W. width varies)

Driveway

LEGEND:

EXISTING PROPERTY LINE	
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EXISTING CONTOUR MINOR	608
PROPOSED CONTOUR MAJOR	610
PROPOSED CONTOUR MINOR	608
PROPOSED RETAINING WALL	
PROPOSED FENCE	
PROPOSED SWALE	
PROPOSED DRAINAGE CULVERT	
PROPOSED SEWER	
PROPOSED WATER MAIN	
PROPOSED CONCRETE CURBING	
PROPOSED CONCRETE SIDEWALK WITH RAMP	
PROPOSED SILT FENCE	
PROPOSED DIVERSION SWALE	

GRAPHIC SCALE
40 0 20 40 80 160
(IN FEET)
1 inch = 40 ft.

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EROSION AND SEDIMENT CONTROL PLAN FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

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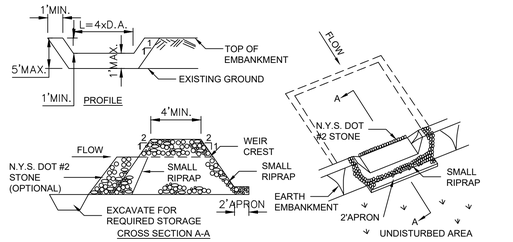


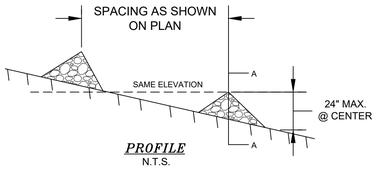
OPTION: A ONE FOOT LAYER OF N.Y.S. DOT #2 STONE MAY BE PLACED ON THE UPSTREAM SIDE OF THE RIPRAP INPLACE OF THE EMBEDDED FILTER CLOTH.

CONSTRUCTION SPECIFICATIONS

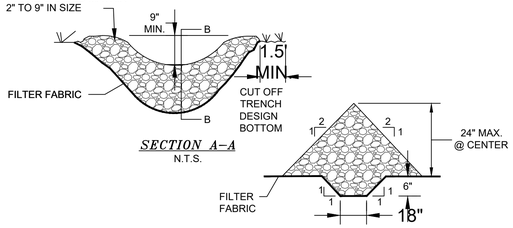
1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1' THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
8. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
9. MAXIMUM DRAINAGE AREA 5 ACRES.

STONE OUTLET SEDIMENT TRAP

NOT TO SCALE



PROFILE
N.T.S.



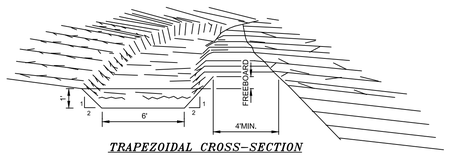
CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT THE CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

CHECK DAM DETAIL

NOT TO SCALE

FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"



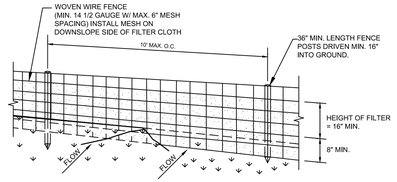
TRAPEZOIDAL CROSS-SECTION

CONSTRUCTION SPECIFICATIONS

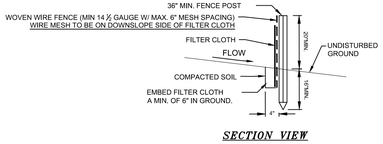
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
   A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER. SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELSIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

TEMPORARY DIVERSION SWALE

NOT TO SCALE



PERSPECTIVE VIEW



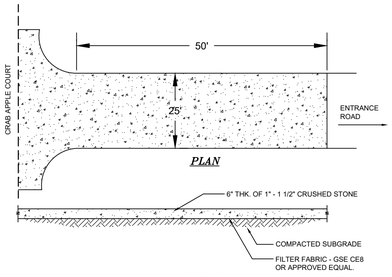
SECTION VIEW

CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER- LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE

NOT TO SCALE



PLAN

SECTION

NOTE:
ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.

A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1"-1 1/2" CRUSHED STONE, WILL BE AT LEAST 24' X 50' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.

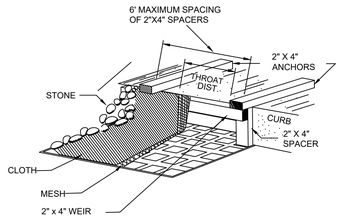
ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1 ½" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.



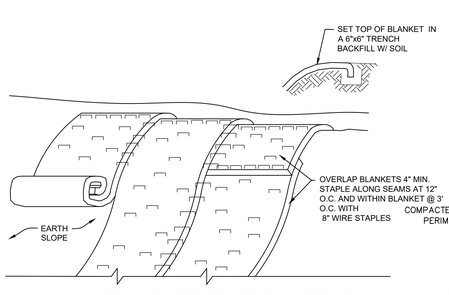
CONSTRUCTION SPECIFICATIONS:

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
4. THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
6. THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

MAXIMUM DRAINAGE AREA 1 ACRE

STORM DRAIN INLET FILTER DETAIL

NOT TO SCALE

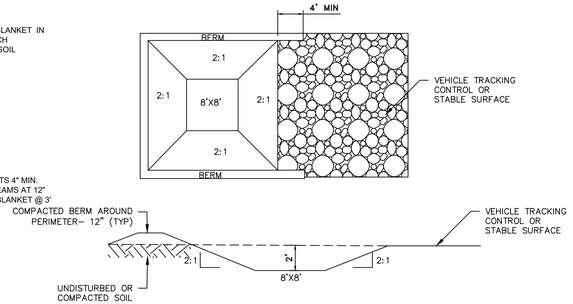


SLOPE STABILIZATION DETAIL

NOT TO SCALE

NOTES:

1. SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 25%.
2. STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:
   -S150BN - NORTH AMERICAN GREEN 1-800-772-2040
   -ECS-2B - EAST COAST EROSION BLANKET 1-800-582-4005
   -APPROVED EQUAL
3. ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
4. PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
5. AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLITS CUT IN FABRIC.



NOTES:

1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
2. THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
3. BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE MINIMUM OF 1'.
4. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
5. USE EXCAVATED MATERIAL FOR PERIMETER CONSTRUCTION.

CONCRETE WASHOUT AREA DETAIL

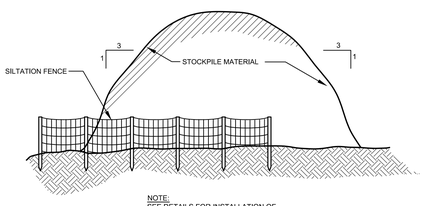
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
3. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
4. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
6. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
7. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
8. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
9. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
10. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
11. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
12. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
13. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
14. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
15. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
16. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
    A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
    B. SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
       FALL/WINTER - AROOSTOOK WINTER RYE AT 100 LBS PER ACRE
    C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
    D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
17. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:
    A. LIME TOPSOIL TO pH 6.0.
    B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
    C. SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
    D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
18. DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
19. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
20. MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
21. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
22. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION".
23. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

SOIL RESTORATION REQUIREMENTS

1. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
2. ALL DISTURBED ARES WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION."



NOTE:
SEE DETAILS FOR INSTALLATION OF SILTATION FENCE

TYPICAL STOCKPILE DETAIL

NOT TO SCALE

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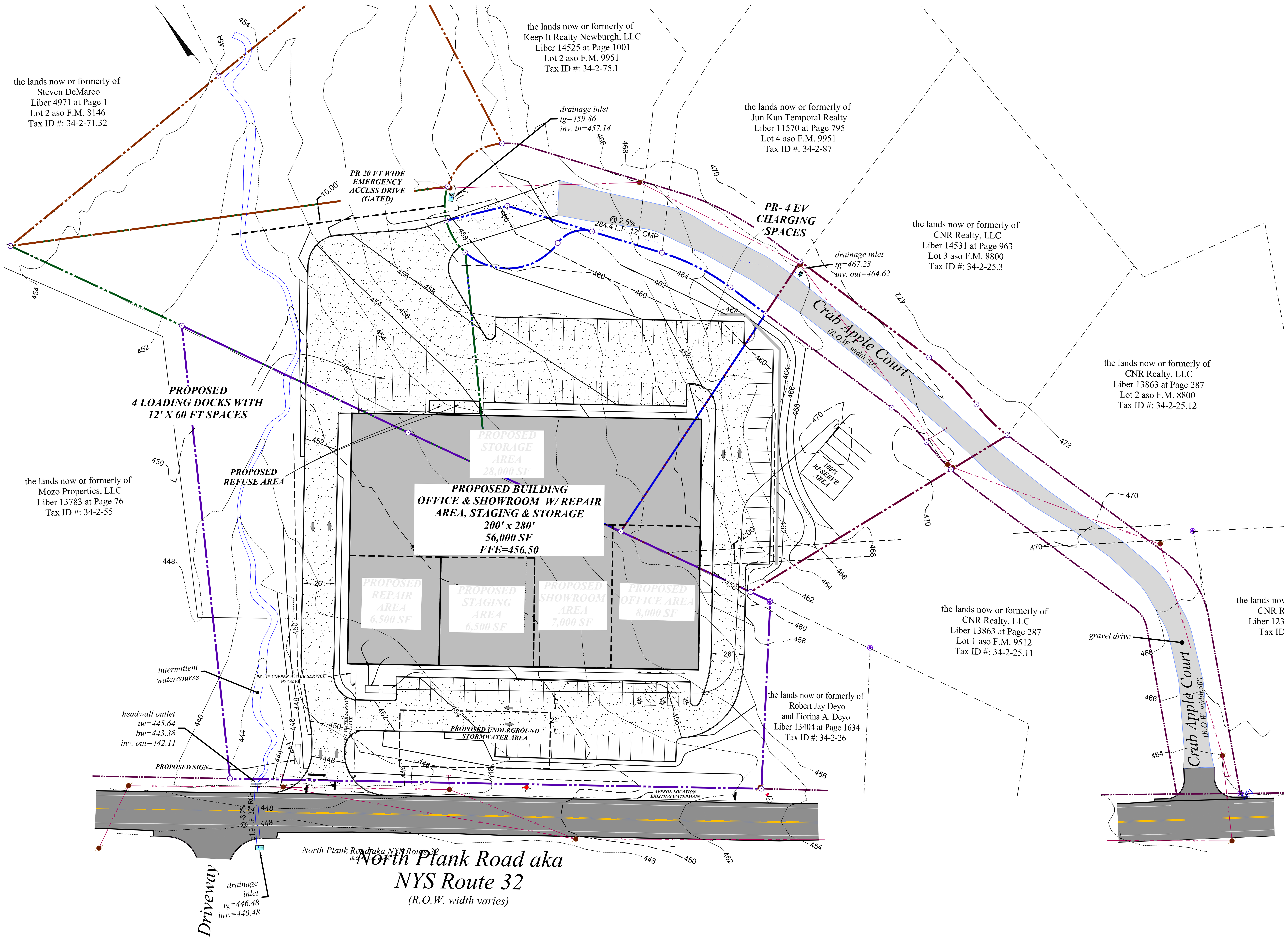
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

EROSION AND SEDIMENT CONTROL DETAILS FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date:	SEPTEMBER 1, 2022
Revisions:	FEBRUARY 28, 2023 APRIL 28, 2023
CAD File:	BASE 6-21-22B.DWG
Layout:	EROSION DETAILS
Sheet No.:	8 OF 14
Drawn By:	JQ
Checked By:	
Scale:	N.T.S.
Tax Map No.:	34-2-25.2, 54, 76, 77
Drawing No.:	C3D B - 22 - 0138 - 01



the lands now or formerly of
Keep It Realty Newburgh, LLC
Liber 14525 at Page 1001
Lot 2 aso F.M. 9951
Tax ID #: 34-2-75.1
the lands now or formerly of
Steven DeMarco
Liber 4971 at Page 1
Lot 2 aso F.M. 8146
Tax ID #: 34-2-71.32
drainage inlet
tg=459.86
inv. in=457.14
the lands now or formerly of
Jun Kun Temporal Realty
Liber 11570 at Page 795
Lot 4 aso F.M. 9951
Tax ID #: 34-2-87
PR-20 FT WIDE
EMERGENCY
ACCESS DRIVE
(GATED)
PR- 4 EV
CHARGING
SPACES
@ 2.6%
284.4 L.F. 12" CMP
drainage inlet
tg=467.23
inv. out=464.62
the lands now or formerly of
CNR Realty, LLC
Liber 14531 at Page 963
Lot 3 aso F.M. 8800
Tax ID #: 34-2-25.3
Crab Apple Court
(R.O.W. width 50')
the lands now or formerly of
CNR Realty, LLC
Liber 13863 at Page 287
Lot 2 aso F.M. 8800
Tax ID #: 34-2-25.12
PROPOSED
4 LOADING DOCKS WITH
12' X 60 FT SPACES
PROPOSED
STORAGE
AREA
28,000 SF
PROPOSED
REFUSE AREA
100% RESERVE AREA
the lands now or formerly of
Mozo Properties, LLC
Liber 13783 at Page 76
Tax ID #: 34-2-55
PROPOSED BUILDING
OFFICE & SHOWROOM W/ REPAIR
AREA, STAGING & STORAGE
200' x 280'
56,000 SF
FFE=456.50
PROPOSED
REPAIR
AREA
6,500 SF
PROPOSED
STAGING
AREA
6,500 SF
PROPOSED
SHOWROOM
AREA
7,000 SF
PROPOSED
OFFICE AREA
8,000 SF
the lands now or formerly of
CNR Realty, LLC
Liber 13863 at Page 287
Lot 1 aso F.M. 9512
Tax ID #: 34-2-25.11
gravel drive
intermittent
watercourse
headwall outlet
tw=445.64
bw=443.38
inv. out=442.11
the lands now or formerly of
Robert Jay Deyo
and Fiorina A. Deyo
Liber 13404 at Page 1634
Tax ID #: 34-2-26
PROPOSED UNDERGROUND
STORMWATER AREA
PROPOSED SIGN
APPROX LOCATION
EXISTING WATERMAIN
North Plank Road aka
NYS Route 32
(R.O.W. width varies)
Driveway
drainage
inlet
tg=446.48
inv.=440.48
Crab Apple Court
(R.O.W. width 50')

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Goshen, N.Y. 10924
(845) 294-3700

LANDSCAPING PLAN FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date:	SEPTEMBER 1, 2022
Revisions:	FEBRUARY 28, 2023 APRIL 28, 2023
CAD File:	BASE 6-21-22B.DWG
Layout:	LANDSCAPING
Sheet No.:	9 OF 14
Drawn By:	JQ
Checked By:	
Scale:	1" = 40'
Tax Map No.:	34-2-25.2, 54, 76, 77
Drawing No.: C3D	B - 22 - 0138 - 01

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Liber 13863 at Page 287
Lot 1 aso F.M. 9512
Tax ID #: 34-2-25.11

the lands now or formerly of
Robert Jay Deyo
and Fiorina A. Deyo
Liber 13404 at Page 1634
Tax ID #: 34-2-26

the lands nov
CNR R
Liber 123
Tax ID

drainage inlet
tg=459.86
inv. in=457.14

PR-20 FT WIDE EMERGENCY ACCESS DRIVE (GATED)

PR- 4 EV CHARGING SPACES

@ 2.6%
284.4 L.F. 12" CMP

drainage inlet
tg=467.23
inv. out=464.62

Crab Apple Court
(R.O.W. width 50')

PROPOSED 4 LOADING DOCKS WITH 12' X 60 FT SPACES

PROPOSED REFUSE AREA

PROPOSED STORAGE AREA 28,000 SF

PROPOSED BUILDING
OFFICE & SHOWROOM W/ REPAIR AREA, STAGING & STORAGE
200' x 280'
56,000 SF
FFE=456.50

PROPOSED REPAIR AREA 6,500 SF

PROPOSED STAGING AREA 6,500 SF

PROPOSED SHOWROOM AREA 7,000 SF

PROPOSED OFFICE AREA 8,000 SF

100% RESERVE AREA

26'

24'

intermittent watercourse

PR - 1" COPPER WATER SERVICE W/6 GATE VALVE

headwall outlet
tw=445.64
bw=443.38
inv. out=442.11

PROPOSED SIGN

@ 3.2%
51.9 L.F. 12" RCP

drainage inlet
tg=446.48
inv.=440.48

Driveway

APPROX LOCATION EXISTING WATERMAIN

North Plank Road aka NYS Route 32
(R.O.W. width varies)

gravel drive

Crab Apple Court
(R.O.W. width 50')

Dig Safely. New York
Call 811
before you dig

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

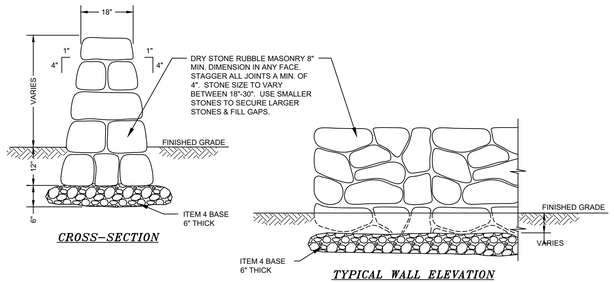
LIGHTING PLAN FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

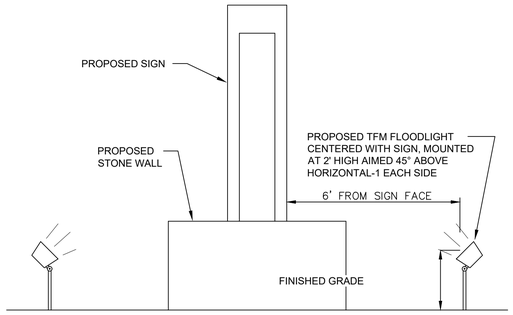
Date: SEPTEMBER 1, 2022
Revisions: FEBRUARY 28, 2023
APRIL 28, 2023
CAD File: BASE 6-21-22B.DWG
Layout: LIGHTING
Sheet No.: 10 OF 14

Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:
JQ		1" = 40'	34-2-25.2, 54, 76, 77	C3D B - 22 - 0138 - 01



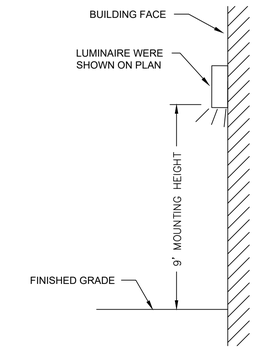
LANDSCAPING DRY-SET STONE RETAINING WALL DETAIL

NOT TO SCALE



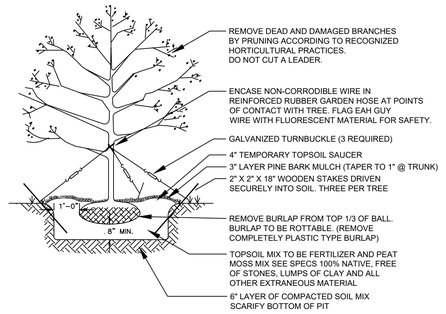
PROPOSED SIGN LIGHTING DETAIL

NOT TO SCALE



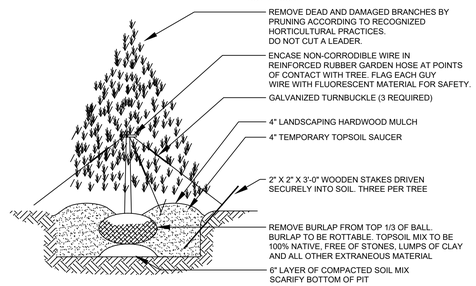
BUILDING MOUNTED LIGHTING DETAIL

NOT TO SCALE



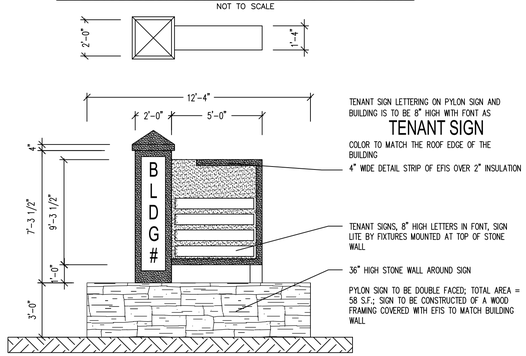
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL

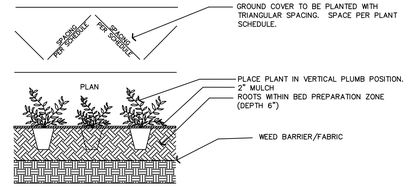
NOT TO SCALE



PYLON SIGN DETAIL

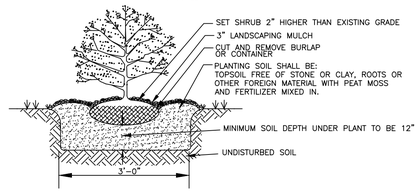
NOTES:

1. ALL DISTURBED AREAS TO BE TOPSOILED AT A DEPTH OF 6" AND SEEDED.
2. ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
3. ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
4. A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
5. UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE

TEMPORARY SEEDINGS FOR CRITICAL AREAS

TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS./1000 SY	LBS. PER ACRE
ANNUAL RYEGRASS	10	48.4

FINAL SEEDING RATES

TYPE OF COVER & SPECIES OF MIXTURES	PERCENT OF MIXTURES	SEEDING RATES IN LBS./1000 SY	LBS. PER ACRE
KY 31 TALL FESCUE	70	15	73
CREEPING RED FESCUE	30	6	29

SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE THE RATE OF 800 LBS. PER 1000 SY AND FERTILIZE WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

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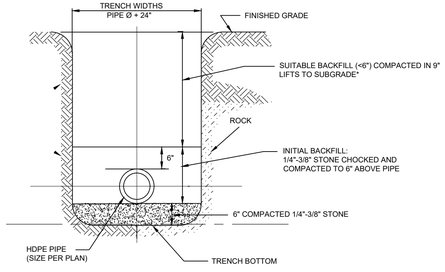
Goshen, N.Y. 10924
(845) 294-3700

LANDSCAPING AND LIGHTING DETAILS FOR

FABULOUS EVENTS, INC.

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date:	SEPTEMBER 1, 2022
Revisions:	FEBRUARY 28, 2023 APRIL 28, 2023
CAD File:	BASE 6-21-22B.DWG
Layout:	LAND LIGHT DETAILS
Sheet No.:	11 OF 14
Drawn By:	JQ
Checked By:	
Scale:	N.T.S.
Tax Map No.:	34-2-25.2, 54, 76, 77
Drawing No.:	C3D B - 22 - 0138 - 01



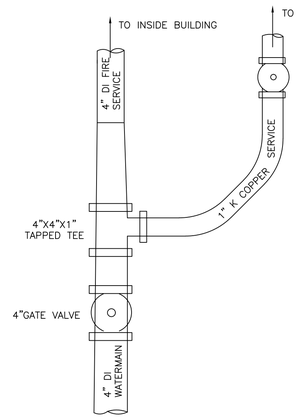
EARTH OR ROCK EXCAVATION

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
	SOIL CLASSIFICATION			
	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5 56	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.

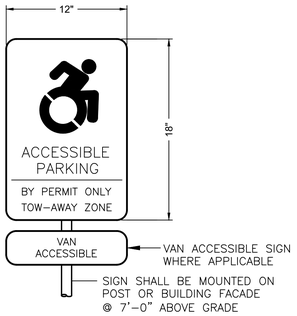
* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 304.14) TO SUBGRADE.

UTILITY TRENCH CROSS SECTION
NOT TO SCALE

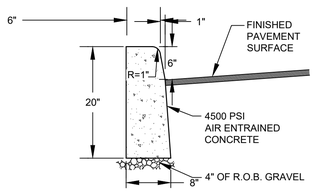


BUILDING WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

NOTES:
1. TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
2. VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.

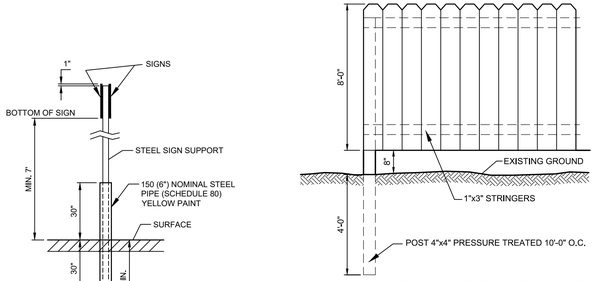


HANDICAP SIGN
NOT TO SCALE



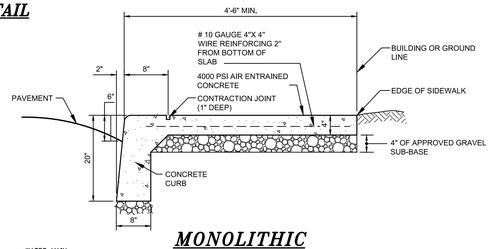
CONTRACTOR TO PROVIDE ½" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB ¼".

CONCRETE CURB
NOT TO SCALE

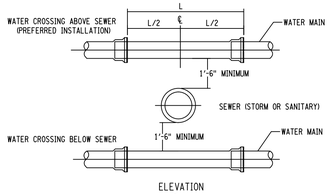


POST BASE DETAIL
NOT TO SCALE

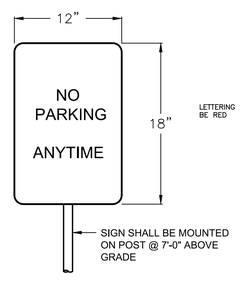
STOCKADE FENCE DETAIL
NOT TO SCALE



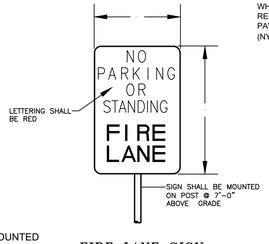
MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE



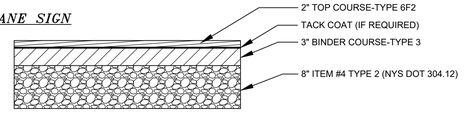
WATER MAIN/SEWER CROSSING



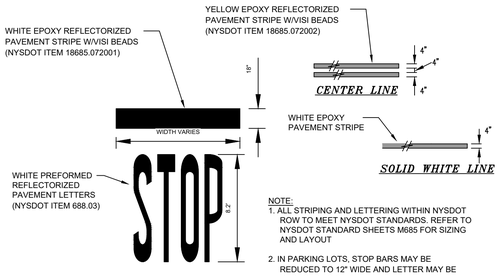
NO PARKING SIGN
NOT TO SCALE



FIRE LANE SIGN

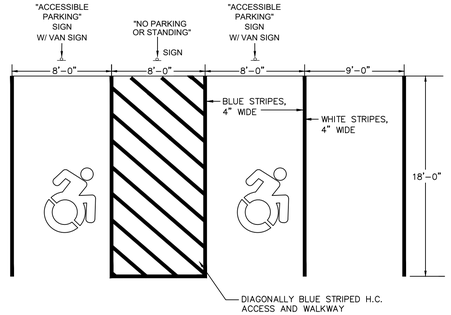


PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



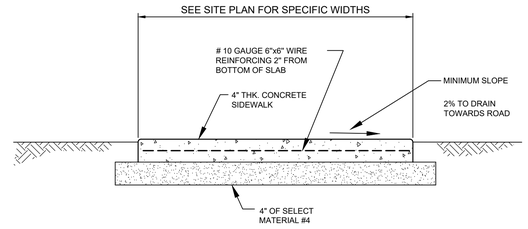
NOTE:
1. ALL STRIPING AND LETTERING WITHIN NYSDOT ROW TO MEET NYSDOT STANDARDS. REFER TO NYSDOT STANDARD SHEETS M685 FOR SIZING AND LAYOUT
2. IN PARKING LOTS, STOP BARS MAY BE REDUCED TO 12" WIDE AND LETTER MAY BE REDUCED TO 6' TALL

STRIPING DETAILS
NOT TO SCALE



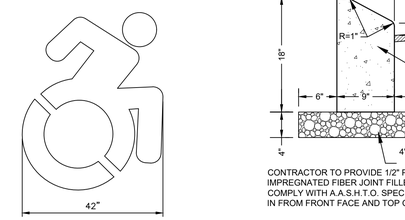
HANDICAP AND TYPICAL PARKING SPACE STRIPING DETAIL

NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.
NOT TO SCALE



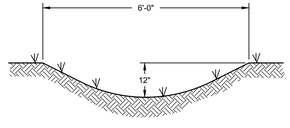
NOTES:
1. EXPANSION JOINTS OF 3/8" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
2. CONTRACTION JOINTS 1" DEEP HAVING ¼" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
3. EDGES SHALL HAVE ¼" RADIUS.
4. USE 4500 PSI CONCRETE.
5. BROOM FINISH TOP SURFACE.

STANDARD SIDEWALK DETAIL
NOT TO SCALE

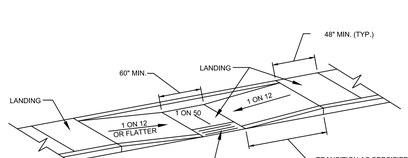


NOTE: SYMBOL TO BE PAINTED WITH BLUE NON-REFLECTIVE TRAFFIC PAINT.

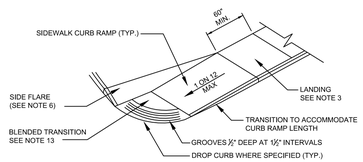
NYS COMPLIANT ACCESSIBILITY SYMBOL
NOT TO SCALE



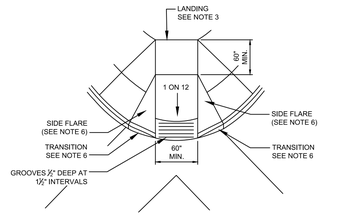
SWALE DETAIL
NOT TO SCALE



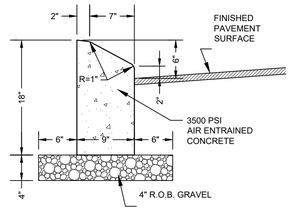
PARALLEL CURB RAMPS
NOT TO SCALE



SIDEWALK CURB RAMP
NOT TO SCALE

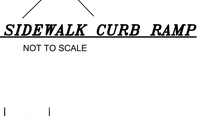


DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE



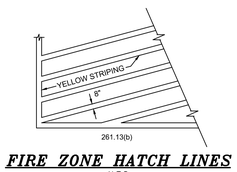
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.T.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

CONCRETE CURB DETAIL (MOUNTABLE)
NOT TO SCALE



REGULATORY SIGNS
NOT TO SCALE

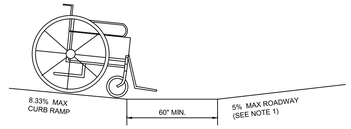
NOTE:
STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 2B OF THE MUTCD.



FIRE ZONE HATCH LINES
N.T.S.

GENERAL NOTES:

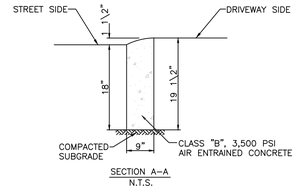
1. THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
2. THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
3. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
4. CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
5. THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
6. CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
7. THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
8. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
9. COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
10. WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
11. AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
12. DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROP CURBS MAY BE SPECIFIED.
13. SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.



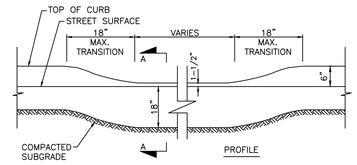
NOTE:
TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1:50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL) IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

COUNTER SLOPE CONDITIONS
NOT TO SCALE

CURB RAMP DETAILS



SECTION A–A
N.T.S.



DROP CURB DETAIL AT ENTRANCE
NOT TO SCALE

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Goshen, N.Y. 10924
(845) 294-3700

CONSTRUCTION DETAILS 1 FOR

FABULOUS EVENTS, INC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date:	SEPTEMBER 1, 2022
Revisions:	FEBRUARY 28, 2023 APRIL 28, 2023
CAD File:	BASE 6-21-22B.DWG
Layout:	DETAILS 1
Sheet No.:	12 OF 14
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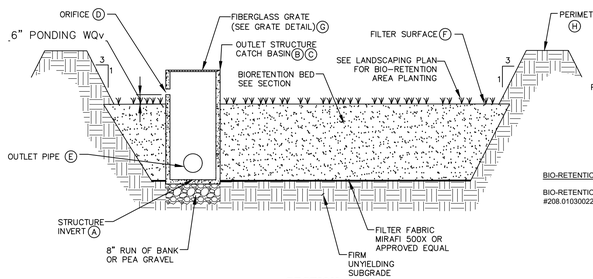
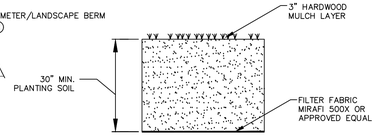
Tax Map No.:	34-2-25.2, 54, 76, 77
Drawing No.:	C3D B - 22 - 0138 - 01



SECTION



BIORETENTION SECTION

BIO-RETENTION SOIL NOTES:

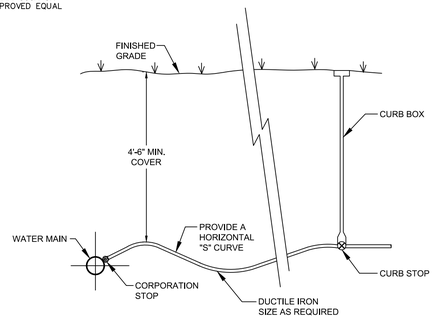
BIO-RETENTION SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYSDOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL)

BIO-RETENTION AREA (PR-OCS-2) DETAIL

NOT TO SCALE

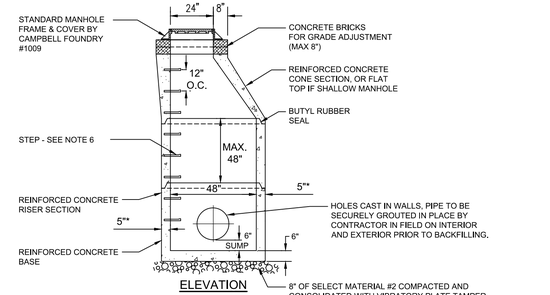
BIORETENTION AREA MAINTENANCE REQUIREMENTS:
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY ½" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

1. REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
2. RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
3. REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
4. ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
5. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
6. REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.



WATER SERVICE DETAIL

NOT TO SCALE



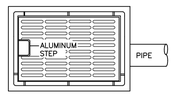
ELEVATION

NOTES:

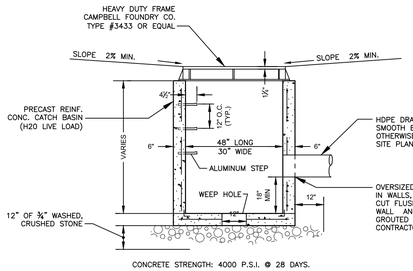
1. PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
2. OPENING FOR PIPE SHALL BE PRE-CAST.
3. MANHOLE COVERS TO BE STAMPED "STORM".
4. PRECAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H20 LIVE LOAD.
5. *WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
6. STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
7. PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
8. BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 8" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

PRE-CAST DRAINAGE MANHOLE

NOT TO SCALE



PLAN

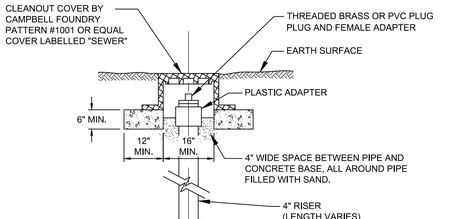


CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.

SECTION

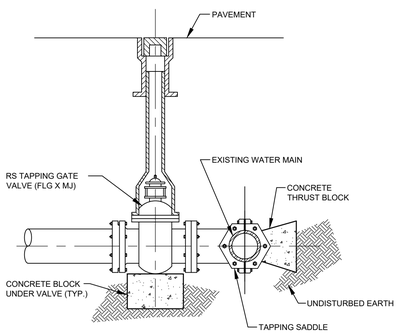
FLAT GRATE-CATCH BASIN

NOT TO SCALE



CLEANOUT DETAIL

NOT TO SCALE



WET TAP DETAIL

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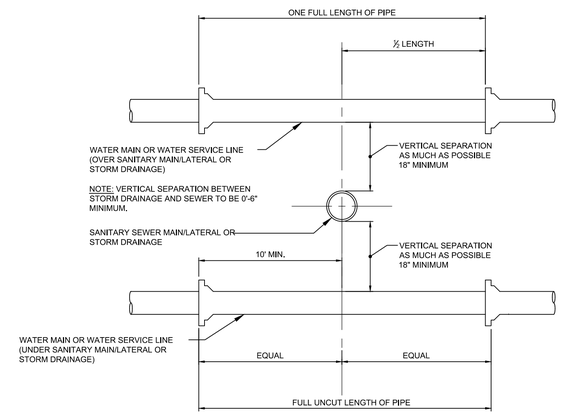
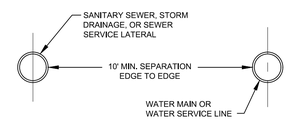


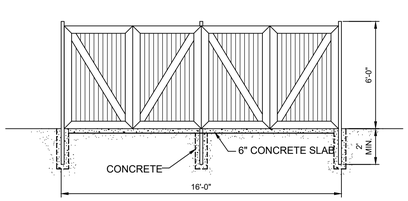
WATER & SEWER CROSSING DETAIL

NOT TO SCALE

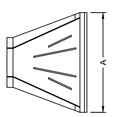


WATER & SEWER HORIZONTAL SEPARATION

NOT TO SCALE

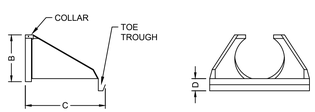


ENCLOSED SIDES



PIPE DIAMETER			
DIMENSION	10/12	15	18
A	42	41	49
B	14.5	19	22
C	33	34	43
D	6	6	6

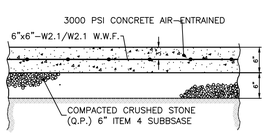
NOTE: ALL MEASUREMENTS IN INCHES



HDPE FLARED END SECTION

NOT TO SCALE

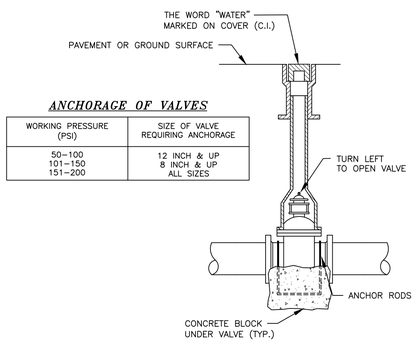
PICK UP ENTRANCE



REFUSE PAD DETAIL

REFUSE STORAGE ENCLOSURE DETAIL

NOT TO SCALE

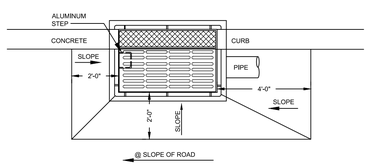


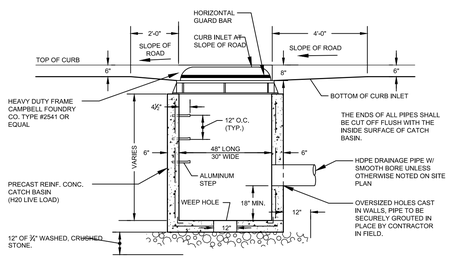
ANCHORAGE OF VALVES

WORKING PRESSURE (PSI)	SIZE OF VALVE REQUIRING ANCHORAGE
50-100 101-150 151-200	12 INCH & UP 8 INCH & UP ALL SIZES

VALVE DETAIL

NOT TO SCALE





CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.

CURB INLET-CATCH BASIN

NOT TO SCALE

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.
P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

CONSTRUCTION DETAILS 2 FOR

FABULOUS EVENTS, INC

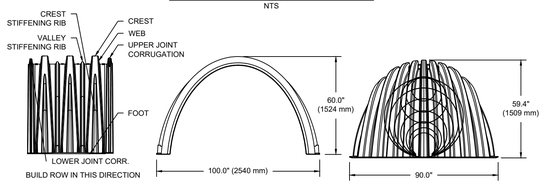
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: SEPTEMBER 1, 2022
Revisions: FEBRUARY 28, 2023
APRIL 28, 2023
CAD File: BASE 6-21-22B.DWG
Layout: DETAILS 2
Sheet No.: 13 OF 14

Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:
JQ		N.T.S.	34-2-25.2, 54, 76, 77	C.D. B - 22 - 0138 - 01

MC-7200 TECHNICAL SPECIFICATION

NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	100.0" X 60.0" X 48.3"	(2540 mm X 1524 mm X 1227 mm)
CHAMBER STORAGE	106.5 CUBIC FEET	(3.01 m³)
MINIMUM INSTALLED STORAGE*	162.6 CUBIC FEET	(4.60 m³)
WEIGHT	130.0 lbs.	(59.0 kg)

NOMINAL END CAP SPECIFICATIONS

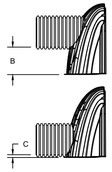
SIZE (W X H X INSTALLED LENGTH)	90.2" X 59.4" X 30.7"	(2291 mm X 1509 mm X 781 mm)
END CAP STORAGE	35.7 CUBIC FEET	(1.01 m³)
MINIMUM INSTALLED STORAGE*	108.7 CUBIC FEET	(3.08 m³)
WEIGHT	135.0 lbs.	(61.2 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC4500REPE06T	6" (150 mm)	42.54" (1.081 m)	---
MC4500REPE06B		---	0.86" (22 mm)
MC4500REPE08T	8" (200 mm)	40.50" (1.029 m)	---
MC4500REPE08B		---	1.01" (26 mm)
MC4500REPE10T	10" (250 mm)	38.37" (975 mm)	---
MC4500REPE10B		---	1.33" (34 mm)
MC4500REPE12T	12" (300 mm)	35.69" (907 mm)	---
MC4500REPE12B		---	1.55" (39 mm)
MC4500REPE15T	15" (375 mm)	32.72" (831 mm)	---
MC4500REPE15B		---	1.70" (43 mm)
MC4500REPE18TC	18" (450 mm)	29.36" (746 mm)	---
MC4500REPE18TW			
MC4500REPE18BC		---	1.97" (50 mm)
MC4500REPE18BW			
MC4500REPE24TC	24" (600 mm)	23.05" (585 mm)	---
MC4500REPE24TW			
MC4500REPE24BC		---	2.26" (57 mm)
MC4500REPE24BW			
MC4500REPE30BC	30" (750 mm)	---	2.95" (75 mm)
MC4500REPE36BC	36" (900 mm)	---	3.25" (83 mm)
MC4500REPE42BC	42" (1050 mm)	---	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL



CUSTOM PRECORED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-4500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
  - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
  - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
  - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
  - A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
  - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROWS
  - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
  - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
    - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
  - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

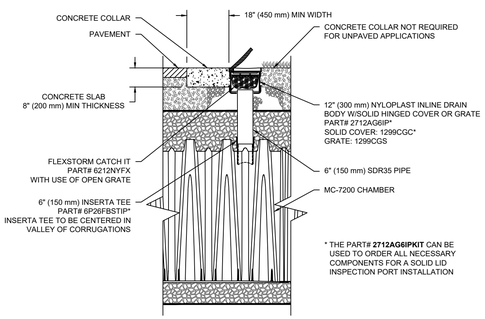
STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



MC-7200 6" (150 mm) INSPECTION PORT DETAIL

NTS

STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH MC-7200.
2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
4. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
5. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
6. CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
7. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
   a. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
   b. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
   c. STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
8. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

1. STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-7200 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
   - STONESHOOTER LOCATED OFF THE CHAMBER BED.
   - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
   - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
8. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
9. STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
10. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
11. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
12. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

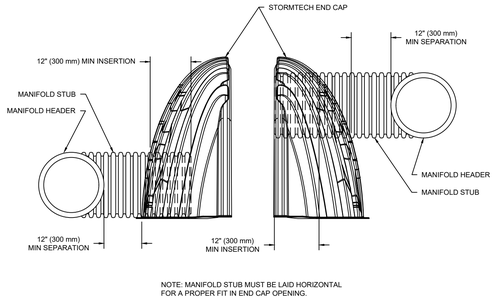
1. STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
2. THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
   - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
   - NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
   - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

MC-SERIES END CAP INSERTION DETAIL

NTS



NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

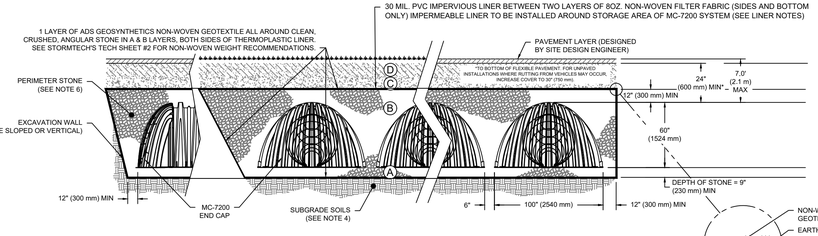
ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	**FINAL FILL:** FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	**INITIAL FILL:** FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145[1] A-1, A-2-4, A-3 OR AASHTO M43[1] 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	**EMBEDMENT STONE:** FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 4	NO COMPACTION REQUIRED.
A	**FOUNDATION STONE:** FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43[1] 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE[2,3]

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

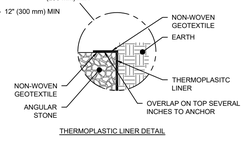
NOTES:

1. MC-7200 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
5. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.



LINER NOTES

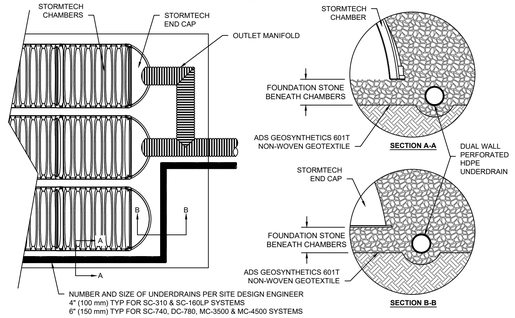
STORMTECH RECOMMENDS THE USE OF NON-REINFORCED 30 MIL. POLYVINYL CHLORIDE (PVC) MEMBRANE LINERS FOR THERMOPLASTIC LINER DETENTION SYSTEMS. THE RECOMMENDED CONFIGURATION OF THE LINER SYSTEM IS 30 MIL. PVC MEMBRANE PLACED BETWEEN 2 LAYERS OF 8 OZ. NON-WOVEN GEOTEXTILE FABRIC. IF SYSTEM IS TO CONTAIN RUNOFF FROM AGGRESSIVE CHEMICAL CONTAMINANTS A LINER SPECIALIST MUST BE CONSULTED. PVC LINERS MAY BE FIELD SOLVENT WELDED, TAPED, FIELD HEAT WELDED, OR PREFABRICATED (TYPICALLY UP TO 20,000 S.F.) DEPENDANT UPON APPROVAL OF THE DESIGN ENGINEER. ADS DOES NOT RECOMMEND INSTALLING LINED CHAMBER SYSTEMS BELOW GROUNDWATER LEVEL. IF GROUNDWATER IS EXPECTED TO BE NEAR THE LINER SYSTEM, THE CONSULTING DESIGN ENGINEER MAY REQUIRE A PERFORATED PIPE "UNDERDRAIN" SYSTEM TO CONTROL GROUNDWATER LEVELS. A PEAK FLOW STRUCTURE SHOULD BE INCORPORATED BY THE CONSULTING DESIGN ENGINEER IN ORDER TO PASS THE HIGH FLOW LEVELS ENSURING THAT THE LINER IS NOT OVERTOPPED. ALL LINED DETENTION SYSTEM DESIGNS MUST BE PERFORMED BY THE CONSULTING DESIGN ENGINEER AND ADS RECOMMENDS A LINER PROFESSIONAL BE CONSULTED ON ALL DESIGNS REQUIRING LINER SYSTEMS.



THERMOPLASTIC LINER DETAIL

UNDERDRAIN DETAIL

NTS



LANC & TULLY
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(845) 294-3700

CONSTRUCTION DETAILS 3 FOR

FABULOUS EVENTS, INC

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Date: SEPTEMBER 1, 2022
Revisions: FEBRUARY 28, 2023
APRIL 28, 2023
CAD File: BASE 6-21-22B.DWG
Layout: DETAILS 3
Sheet No.: 14 OF 14

Drawn By:	Checked By:	Scale:	Tax Map No.:	Drawing No.:
JQ		N.T.S.	34-2-25.2, 54, 76, 77	C3D B - 22 - 0138 - 01

United States Department of the Interior

FISH AND WILDLIFE SERVICE
New York Ecological Services Field Office
3817 Luker Road
Cortland, NY 13045-9385
Phone: (607) 753-9334 Fax: (607) 753-9699
Email Address: fw5es_nyfo@fws.gov

In Reply Refer To:
Project Code: 2023-0063042
Project Name: Fabulous Events

March 31, 2023

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2)

(c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF

Migratory Birds: In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts see https://www.fws.gov/birds/policies-and-regulations.php.

The MBTA has no provision for allowing take of migratory birds that may be unintentionally killed or injured by otherwise lawful activities. It is the responsibility of the project proponent to comply with these Acts by identifying potential impacts to migratory birds and eagles within applicable NEPA documents (when there is a federal nexus) or a Bird/Eagle Conservation Plan (when there is no federal nexus). Proponents should implement conservation measures to avoid or minimize the production of project-related stressors or minimize the exposure of birds and their resources to the project-related stressors. For more information on avian stressors and recommended conservation measures see https://www.fws.gov/birds/bird-enthusiasts/threats-to-birds.php.

In addition to MBTA and BGEPA, Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit https://www.fws.gov/birds/policies-and-regulations/executive-orders/e0-13186.php.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. **Please include the Consultation Code in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.**

Attachment(s):

- Official Species List

OFFICIAL SPECIES LIST

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

New York Ecological Services Field Office
3817 Luker Road
Cortland, NY 13045-9385
(607) 753-9334

PROJECT SUMMARY

Project Code: 2023-0063042
Project Name: Fabulous Events
Project Type: Commercial Development
Project Description: Commercial Development
Project Location:

The approximate location of the project can be viewed in Google Maps: https://www.google.com/maps/@41.5484576,-74.05605419434329,14z

Counties: Orange County, New York

ENDANGERED SPECIES ACT SPECIES

There is a total of 5 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries[1], as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

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1. NOAA Fisheries, also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

MAMMALS

NAME	STATUS
Indiana Bat *Myotis sodalis* There is **final** critical habitat for this species. Your location does not overlap the critical habitat. Species profile: https://ecos.fws.gov/ecp/species/5949	Endangered
Northern Long-eared Bat *Myotis septentrionalis* No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

REPTILES

NAME	STATUS
Bog Turtle *Glyptemys muhlenbergii* Population: Wherever found, except GA, NC, SC, TN, VA No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/6962	Threatened

INSECTS

NAME	STATUS
Monarch Butterfly *Danaus plexippus* No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

FLOWERING PLANTS

NAME	STATUS
Small Whorled Pogonia *Isotria medeoloides*	Threatened

Population:

No critical habitat has been designated for this species.

Species profile: https://ecos.fws.gov/ecp/species/1890

CRITICAL HABITATS

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

IPAC USER CONTACT INFORMATION

Agency: Ecological Solutions, LLC
Name: Michael Nowicki
Address: 121 Leon Stocker Drive
City: Stratton
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Zip: 05360
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