



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** FABULOUS EVENTS, INC.  
**PROJECT NO.:** 22-23  
**PROJECT LOCATION:** SECTION 34, BLOCK 2, LOT 25.2, 54, 76, 77  
**REVIEW DATE:** 29 SEPTEMBER 2023  
**MEETING DATE:** 5 OCTOBER 2023  
**PROJECT REPRESENTATIVE:** LANC & TULLY – JOHN QUEENAN, P.E.

1. The applicants have addressed our previous comments from the 7 September 2023 meeting.
2. A Stormwater Facilities Maintenance Agreement is required to be executed for the long term operation and maintenance of the Stormwater Management Facilities.
3. NYSDOT Permit for access and utilities is required.
4. Notes have been added to the plans regarding Threatened or Endangered Species.
5. The Approval Resolution should identify the specific use in the B Zone. It is noted that the project is not a warehouse use and warehouse uses are not permitted in the B Zoning District.
6. The Tree Preservation Plan should document compliance with the percent removals for each of the tree types, Protected, Specimen and Significant Trees, based on the definition. Recent changes to the Ordinance increased the tree size for Significant and Specimen Trees.
7. Coverage under the NYSDEC Construction Stormwater Permit is required. This office will issue a Municipal Authorization upon request. The coverage should be in place prior to stamping of the plans.
8. Code Compliance Department comments regarding provisions for an on-site fire hydrant should be received. Apparently no fire hydrant is proposed, however existing hydrant is located immediately in front of the project site.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines  
Principal

PJH/kbw

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September 28, 2023

Town of Newburgh Planning Board  
Mr. John Ewasutyn - Chairman  
Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

Re: Fabulous Events, Inc.  
SBL: 34-2-25.2, 54, 74, 76, 77  
Site Plan – NYS Route 32

Dear Chairman Ewasutyn and Planning Board Members:

Enclosed are 11 copies of the following materials for the Board's review of the application at the upcoming October 5, 2023, Planning Board Meeting:

- Revised Site Plan entitled "Site Plan Prepared for Fabulous Events, Inc." last revised on September 28, 2023, 2023

The applicant would request consideration of final site plan approval. The site plan has been revised to address the comments received from the Planning Board's consultants at the September 7<sup>th</sup> Planning Board meeting. Below are the responses to the comments received:

**MHE Engineering comments dated September 7, 2023**

1. A Lot Consolidation Plan must be provided as part of the plan set.

**Response: A lot consolidation plan has been incorporated into the plan set as Sheet 3.**

2. The response to the previous comment regarding land banking parking identifies that the land bank parking has been removed, however the parking requirements on Sheet 3 of 15 continued to identify 35 land bank parking spaces.

**Response: The notation of the landbank parking has been removed from now what is Sheet 4.**

3. The project requires a NYSDOT Permit for access and utilities.

**Response: Comment noted.**

4. Additional information regarding the Tree Protection regulation is required. Comparison of the number of trees removed versus trees to remain must be provided. Calculation for tree planting replacement or fee must be added to the plans.

**Response: The tree location and removal plan has been updated to provide for the tag number, species and size of all onsite trees over 10" in DBH. The chart has been updated to provide for the total number of trees and the total number to be removed.**

5. The Lighting Plan does not depict site lighting.

**Response: The lighting plan has been updated and is located on Sheet 14.**

6. Standard parking lot striping for Town of Newburgh should be depicted on the plans. (copy attached)

**Response: The parking lot striping detail on Sheet 16 has been updated.**

7. A restraint joint pipe chart must be added to the plans in compliance with Town of Newburgh Water System requirements.

**Response: A restraint joint pipe chart has been added to Sheet 17.**

8. Stormwater Pollution Prevention Plan (SWPPP) is under review by this office.

**Response: Comment noted.**

9. The Habitat Report submitted identifies tree clearing restrictions for protection of Bat Species. Notes should be added to the plans identifying the tree clearing restrictions.

**Response: Note #15 under general notes has been added to Sheet 1 indicating the tree clearing restrictions.**

#### **Creighton Manning comments dated September 7, 2023**

1. The entrance has been moved to the left side of the building to improve sight distance. The sight distance looking left (east) has improved and now exceeds the recommended distances.

**Response: Comment Noted.**

2. There are two minor NYSDOT traffic signs that will need to be relocated out of the driveway.

**Response: Notations for the sign relocation have been added to Sheet 6.**

3. The plan shows four 12'x60' loading docks. Demonstrate truck turning/circulation movements.

**Response: A truck turning movement plan has been added to the plan.**

4. Four electric vehicle charging spaces are proposed. Additional equipment details will be needed on the site plan. Will these spaces be primarily for employees or will the public and customers have access?

**Response: The EV spaces will be primarily for employees and are located to the rear of the facility.**

5. There is an extensive landscaping plan proposed. It's unclear if any existing vegetation along the road frontage will be removed. The applicant should confirm if any removal is necessary for sight distance purposes or to remove dead wood.

**Response: The vegetation along the property frontage will be removed and replaced with the proposed landscaping along the frontage to construct the stormwater facility at this location.**

6. Traffic counts were collected in the Spring of 2023 at New Road, Crab Apple Court, and Route 300 during typical weekday AM and PM peak periods.

**Response: Comment noted.**

7. Future traffic volumes were developed using a reasonable 1% growth rate but also included 13 other developments proposed in the area.

**Response: Comment noted.**

8. Trip generation is based on "Warehouse" and estimated to generate 30 trips in the AM peak hour and 33 trips in the PM peak hour. Although the proposed use doesn't exactly fit the warehouse description, the traffic projections appear reasonable given the projected employee estimates from the specific business.

**Response: Comment noted.**

9. The trip distribution suggests that 60% of traffic will travel to/from the southeast on Route 32 and 40% to and from the northwest towards Route 300. The distribution will depend on customer base and event locations, regardless, the applied trip assignment numbers will not vary significantly and appear reasonable.

**Response: Comment noted.**

10. Given the relatively low traffic volumes, the traffic study found that the project would not add any significant delays to study area intersections. The northbound approach of Route 300 is projected to operate at LOS F but will improve with signal timing updates.

**Response: Comment noted.**

#### **KALA Comments dated September 1, 2023**

1. Show existing trees to remain on the plan so it is clear how proposed plantings and existing vegetation will form a cohesive landscape that provides screening where necessary.

**Response: Existing trees to remain have been shown and labeled on the plan.**

2. While it is ideal to encourage species diversity, the planting for the stormwater management area is overly complicated. Some of the proposed plant species for the stormwater basin are invasive, such as those listed in comment 1 above, and others are not suited for the sometimes very wet, sometimes very dry conditions of the basin, such as Goldthread Cypress, Roses, and Spirea. We suggest simplifying the plant pallet and consulting the NYSDEC Stormwater Management Design Manual for specifying masses of plants that will prefer these conditions.

1. **Response: Plant design for bioretention area has been simplified. More massing's of less variety of plants has been used. Also the plants which were deemed unacceptable have been removed. New plants chosen for this area include Red chokeberry and Nannyberry viburnum as mentioned in Cornell Universities Woody Shrubs for Stormwater Retention Practices. Other plants were previously chosen from the NYSDEC Stormwater Management Design Manual.**

3. A few Norway Spruces are proposed between the stormwater management area and the road. Norway Spruces will block views into the site from the road that may be desirable to the owner. Instead propose large growing shade trees which can be limbed up to both create a canopy and allow views into the site from the road.

**Response: The trees labeled Pa were intended to be Platanus Acerifolia (London plain tree) not Norway Spruce. The labels and key in the table have been changed to Pxa.**

4. Large empty beds of mulch are proposed around plantings at the east and northeast ends of the site adjacent to Crab Apple Lane. Large mulch beds are unsightly and become very weedy. Reduce the size of planting beds and consider showing tall Fescue below the plantings.

**Response: The beds to the east and northeast have been reduced in size and redesigned. Fescue grass has also been shown to the north of these beds, in the shadiest location.**

5. To create a naturalistic look that will provide more shade from the south, propose naturalistically placed deciduous trees along the southern angled property line near the septic system. Some 5-6' White Pines can be mixed in just to get some evergreen cover. This will complement other existing trees to remain along the border.

**Response: White Pines have been added to this location, per request.**

6. Azaleas and Rhododendrons proposed in the planting beds along Crab Apple Lane will suffer as these beds will be very sunny.

**Response: Azaleas and rhododendron have been replaced with limelight hydrangea and winterberry holly in these beds.**

7. Propose a groundcover, such as a lawn mix with clover, in the planting islands in the north parking lot to avoid islands consisting entirely of messy, weedy mulch.

**Response: The beds in the northern parking lot have been labeled indicating lawn, to eliminate the concern of messy mulch areas there.**

8. A very large bed of Pachysandra is proposed on the west edge of the site. It is not recommended to use large masses of Pachysandra as they are alternate hosts for Boxwood Blight that has devastated so many landscapes in the area. Propose a different groundcover or perhaps a wildflower seed mix such as Ernst Seeds' Showy Northeast Native Wildflower Mix (ERNMX-153-1).

**Response: Pachysandra has been replaced with suggested Ernst Wildflower mix.**

9. Plants proposed on the north side of the building will not thrive in sunny areas. Oakleaf Hydrangea may live on that side, but it is too shady for any of the other proposed plants shown except Andromeda, Azalea, and Rhododendron. Please propose species that will tolerate shade such as Clethra, Shadblow Serviceberry, and Bottlebrush Buckeye.

**Response: Plant beds on north side of building have been redesigned to include more shade tolerant plants including Mahonia, Leucothoe, Clethra and ferns.**

10. The same plants as shown on the west facade of the building are also shown on the east side. The east side of the building will get much less sun, and plant species that like more shade should be proposed there, such as those listed above.

**Response: The plants along the east building façade have been changed to more shade tolerant species including Mahonia, Leucothoe and Clethra.**

11. White Fir are unacceptable as they are highly sensitive to soil compaction, which often occurs on commercial developments. Blue Spruce are unacceptable as summer humidity fosters the growth of Cyrospora which has been known to decimate Spruces in the area. Oriental Spruce is not acceptable as it is very slow growing and needs to be planted in areas sheltered from winter winds. Acceptable alternative evergreens for the site are Norway Spruce and White Pine.

**Response: White Fir, Blue Spruce and Oriental Spruce have been removed, in favor of Norway Spruces and Eastern White Pine.**

12. A cultivar must be specified for Winterberry Holly, such as Red Sprite. Additionally, in order for berry production, one male Winterberry Holly must be planted for each 5 females. Jim Dandy is a suitable male Winterberry Holly for the Red Sprite cultivar.

**Response: Red Sprite cultivar has been indicated on the plant table. The plan has been changed to include Jim Dandy males, and the table also includes those.**

13. The same key (Pa) is used for London Plane Tree and Norway Spruce. Provide a different symbol name for each tree to avoid confusion.

**Response: The key for London Plane Tree has been changed to Pxa.**

14. Please note that currently the tree location and removal plan does not list the species of each tree nor the apparent condition of the tree. The list also includes trees with a DBH of 8" or greater. The chart should only show trees with a DBH of 10" or greater. The applicant is in the process of having trees identified and the conditions of the trees assessed. A summary showing total DBH inches of trees on site and total DBH inches of trees to be removed should be shown on the plans.

**Response: The tree removal plan has been updated and the total removal figures updated.**

15. The Tree Removal Plan and Tree Inventory chart are inconsistent. Tree 001 is shown on the plan to remain but is shown in the chart to be removed. Tree 001 can likely be saved as it is located only in the corner of the proposed expansion area. Likewise, the plan shows that Tree 009 should be removed, but the chart says that it will remain. It is likely that this tree will also be able to remain. Please make sure the chart matches the plans to avoid confusion and to make sure the most trees possible can be saved.

**Response: The tree chart has been revised.**

16. The plant list must specify plant sizes in inches and/or feet rather than can size. Many different sizes of plant can be shown within a specific can and once the plants are in the ground, can size cannot be determined.

**Response: Plant sizes have been modified to show heights, not can sizes.**

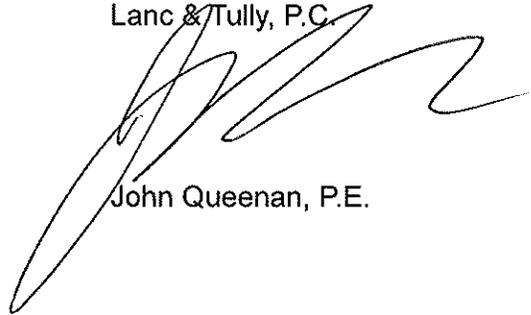
17. The following proposed plant species are considered invasive and shall not be used in a planting design:
- a. Miscanthus species
  - b. Berberis thunbergii

**Response: Miscanthus grass has been replaced with Switchgrass. Japanese barberry has been replaced with Winterberry Holly.**

The applicant would request the Board consider granting conditional final approval based of the application at the October 5, 2023 Planning Board meeting. If you should require any additional information or have any questions, please do not hesitate to contact our office.

Very truly yours,

Lanc & Tully, P.C.

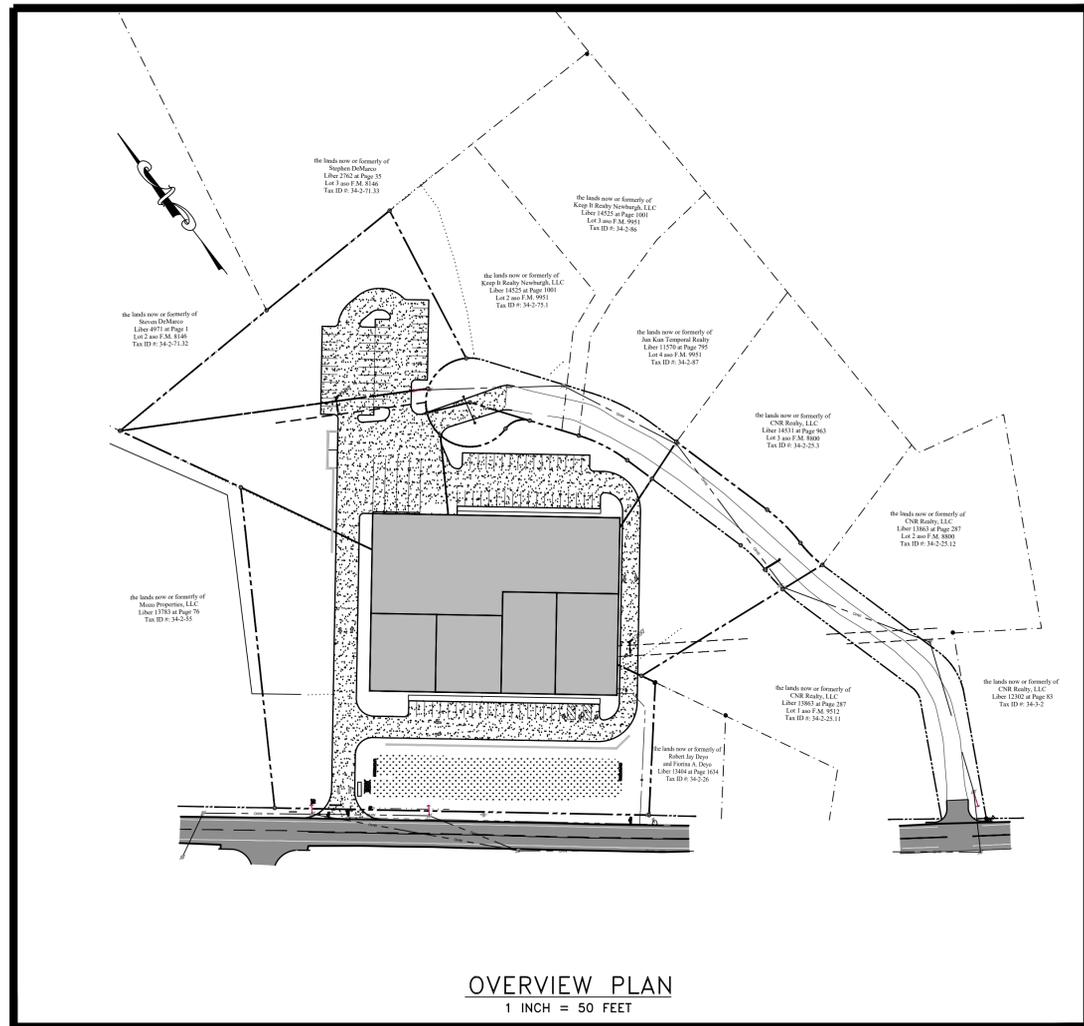


John Queenan, P.E.

Cc: Pat Hines, MHE  
Dominic Cordisco, Esq.  
Ken Wersted, P.E.  
Karen Arent, LA  
Applicant

# SITE PLAN FOR FABULOUS EVENTS, INC

## TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



### CONSTRUCTION NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
- A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH: NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
- NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL BE IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
- THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
- SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
- DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

### NYS DOT NOTES:

- ALL WORK AND IMPROVEMENTS WITHIN THE NYS DOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYS DOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
  - NYS DOT STANDARD SHEETS 603 FOR DRIVEWAYS
  - NYS DOT STANDARD SHEETS 608
  - NYS DOT STANDARD SHEETS 608-03
  - NYS DOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL

### GENERAL NOTES:

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 25.2, 54, 74, 76, 77
- TOTAL AREA: 6.18± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH ½" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAN IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.
- A WAREHOUSE USE IS PROHIBITED BASED UPON THE CURRENT ZONING REGULATIONS.
- TREE CLEARING ACTIVITIES SHALL ONLY BE COMPLETED BETWEEN OCTOBER 1 AND MARCH 31ST IN ORDER FOR THE PROTECTION OF BAT SPECIES.

### SURVEY NOTES:

- REFERENCES:
  - MAP ENTITLED "BOUNDARY SURVEY OF THE LANDS OF PJ HOLDINGS LLC AND MZO PROPERTIES, LLC" DATED JUNE 18, 2022 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING.
  - MAP ENTITLED "TOPOGRAPHIC SURVEY OF THE LANDS OF PJ HOLDINGS LLC AND MZO PROPERTIES, LLC" DATED JUNE 18, 2022 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING.
- LANC & TULLY, P.C. DOES NOT TAKE ANY RESPONSIBILITY FOR THE REFERENCED SURVEY AND TOPOGRAPHIC MAPPING AS PROVIDED BY THE APPLICANT.

### OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON STATES THAT HE IS FAMILIAR WITH THIS SITE PLAN MAP, ITS CONTENTS, LEGENDS AND NOTATIONS, AND HEREBY AGREES AND CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

### RECORD OWNER:

PJ HOLDINGS, LLC  
142 ROUTE 17K  
NEWBURGH, NY 12550  
34-2-25.2, 54, 76 & 77  
L. 14518 P. 1807

### APPLICANT:

FABULOUS EVENTS, INC  
149 BURD STREET  
NYACK, NY 10960

### AREAS:

TAX LOT 34 - 2 - 25.2 0.91± AC.  
TAX LOT 34 - 2 - 54 2.57± AC.  
TAX LOT 34 - 2 - 74 0.94± AC.  
TAX LOT 34 - 2 - 76 0.84± AC.  
TAX LOT 34 - 2 - 77 0.92± AC.

### TOTAL AREA:

6.18± AC.

### SITE PLAN SHEET INDEX:

- COVER SHEET
- EXISTING CONDITIONS
- LOT CONSOLIDATION PLAN
- SITE PLAN
- GRADING AND UTILITY PLAN
- NYS DOT ENTRANCE PLAN AND DETAILS
- SEWAGE DISPOSAL SYSTEM DESIGN AND DETAILS
- EROSION AND SEDIMENT CONTROL PLAN
- EROSION AND SEDIMENT CONTROL DETAILS
- TREE LOCATION AND REMOVAL PLAN
- LANDSCAPING PLAN 1
- LANDSCAPING PLAN 2
- LANDSCAPING PLAN 3
- LIGHTING PLAN
- LANDSCAPING AND LIGHTING DETAILS
- CONSTRUCTION DETAILS 1
- CONSTRUCTION DETAILS 2
- CONSTRUCTION DETAILS 3

EACH SHEET SHALL BE CONSIDERED INVALID IF NOT ACCOMPANIED BY ALL OTHER SHEETS IN THE SET.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



### PARKING REQUIREMENTS

**REQUIRED**

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA  
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA  
8,000 SF OFFICE / 200 SF = 40 SPACES REQUIRED FOR OFFICE AREA

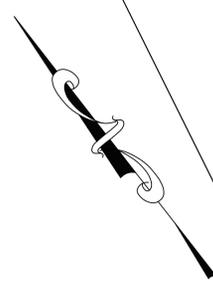
RETAIL: 1 PARKING SPACE PER 150 SF UP TO 25,000 GLFA  
7,000 SF OFFICE / 150 SF = 47 SPACES REQUIRED FOR RETAIL AREA

ACCESSORY USES  
STORAGE, REPAIR AND STAGING: 2 PARKING SPACES PER 3 EMPLOYEES  
41,000 SF - 18 EMPLOYEES = 12 SPACES REQUIRED

TOTAL = 99 PARKING SPACES REQUIRED  
TOTAL = 99 PARKING SPACES PROVIDED  
INCLUDING 3 HANDICAP SPACES

### TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH - B ZONE BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	6.18 ACRES
LOT WIDTH	100 FT.	114.25 FT.
LOT DEPTH	125 FT.	173.77 FT.
FRONT YARD	60 FT.*/40 FT.	94 FT.
ONE SIDE YARD/BOTH	15/30 FT.	59/157 FT.
REAR YARD	30 FT.	168 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%
*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY		



the lands now or formerly of  
Steven DeMarco  
Liber 4971 at Page 1  
Lot 2 aso F.M. 8146  
Tax ID #: 34-2-71.32

the lands now or formerly of  
Stephen DeMarco  
Liber 2762 at Page 35  
Lot 3 aso F.M. 8146  
Tax ID #: 34-2-71.33

the lands now or formerly of  
Keep It Realty Newburgh, LLC  
Liber 14525 at Page 1001  
Lot 3 aso F.M. 9951  
Tax ID #: 34-2-86

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Lot 2 aso F.M. 9951  
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the lands now or formerly of  
Jun Kim Temporal Realty  
Liber 11570 at Page 795  
Lot 4 aso F.M. 9951  
Tax ID #: 34-2-87

the lands now or formerly of  
CNR Realty, LLC  
Liber 14531 at Page 963  
Lot 3 aso F.M. 8800  
Tax ID #: 34-2-25.3

the lands now or formerly of  
CNR Realty, LLC  
Liber 13863 at Page 287  
Lot 2 aso F.M. 8800  
Tax ID #: 34-2-25.12

the lands now or formerly of  
CNR Realty, LLC  
Liber 12302 at Page 87  
Tax ID #: 34-3-2

the lands now or formerly of  
CNR Realty, LLC  
Liber 13863 at Page 287  
Lot 1 aso F.M. 9512  
Tax ID #: 34-2-25.11

the lands now or formerly of  
Robert Jay Deyo  
and Fiorina A. Deyo  
Liber 13404 at Page 1634  
Tax ID #: 34-2-26

the lands now or formerly of  
Mozo Properties, LLC  
Liber 13783 at Page 76  
Tax ID #: 34-2-55

**Subject Property "E"**  
Record Owner: PJ Holdings, LLC  
911 Address: Crabapple Court  
North Plank Road  
Tax Map ID: 34-2-74  
Deed: Liber 14518 at Page 1807  
Legal: Lot #1 - Filed Map #9024  
Area: 40,941.1 s.f. - 0.9399 Ac.

**Subject Property "D"**  
Record Owner: PJ Holdings, LLC  
911 Address: Crabapple Court  
North Plank Road  
Tax Map ID: 34-2-77  
Deed: Liber 14518 at Page 1807  
Legal: Lot #2 - Filed Map #8993  
Area: 48,499.8 s.f. - 0.9297 Ac.

**Subject Property "C"**  
Record Owner: PJ Holdings, LLC  
911 Address: Crabapple Court  
North Plank Road  
Tax Map ID: 34-2-76  
Deed: Liber 14518 at Page 1807  
Legal: Lot #1 - Filed Map #8993  
Area: 36,898.5 s.f. - 0.8471 Ac.

**Subject Property "B"**  
Record Owner: PJ Holdings, LLC  
911 Address: Crabapple Court  
North Plank Road  
Tax Map ID: 34-2-25.2  
Deed: Liber 14518 at Page 1807  
Legal: Lot #2 - Filed Map #8800  
Area: 40,000.7 s.f. - 0.9183 Ac.

**Subject Property "A"**  
Record Owner: PJ Holdings, LLC  
911 Address: 286 North Plank Road  
Tax Map ID: 34-2-54  
Deed: Liber 14518 at Page 1807  
Area: 112,197.0 s.f. - 2.5757 Ac.

**NOTE:**  
Vertical Datum is the North American Vertical Datum of 1988 (NAVD88). The project benchmark was established by GPS observation performed on June 3, 2016. Contours were calculated at two foot intervals as depicted hereon.

**SURVEYOR'S NOTES:**  
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2. Unauthorized alteration of an item in any way, or addition to a survey map for any person, unless acting under the direction of a licensed land surveyor, is a violation of section 7209, subdivision 2, of the New York State Education Law.  
3. Only maps bearing the surveyor's signature overlaid with embossed seal are genuine true and correct copies of the surveyor's original work and opinion. Any other than copies with an embossed seal and signature may contain unauthorized and undetectable modifications, deletions, additions, and changes, and are not to be relied upon. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.  
4. Certifications of this map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this map.  
5. The certifications herein are not transferable.  
6. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.  
7. This survey is subject to the findings of a Title Report and/or Title Search.  
8. Surveyed as per deeds, prior survey maps, filed maps, physical evidence and existing monumentation found at the site.  
9. Subject to any conditions, restrictions, covenants and/or right-of-ways/easements of record, if any.

**REFERENCES:**  
1. The Official Tax Assessor's Maps for the Town of Newburgh, Orange County, New York.  
2. Various Deeds of Record - Liber and Page or Document ID as shown.  
3. Subject parcels being Lot 2 as shown on a map entitled, "Subdivision Lands of Land Investment Group of Newburgh", filed in the Orange County Clerk's Office on 03-31-1988 as Filed Map No. 8800, Lot 1 as shown on a map entitled, "Subdivision Plan of Yaffe Management Corp.", filed in the Orange County Clerk's Office on 07-29-1988 as Filed Map No. 9024, and Lots 1 and 2 as shown on a map entitled, "Subdivision Plan - Lands of Morbak Enterprises Inc.", filed in the Orange County Clerk's Office on 07-21-1988 as Filed Map No. 8993.  
4. A map entitled, "Huggins I", dated 10-22-2014, prepared by Talcott Engineering Design PLLC.

**CERTIFIED TO:**  
I Herby certify to:  
Isaac Deutsch  
PJ Holdings LLC  
Mozo Properties LLC  
Town of Newburgh

**CERTIFICATION NOTES:**  
This certification is made only to named parties to purchase and/or mortgage of herein delineated property by named purchaser. No responsibility or liability is assumed by surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey affidavit, resale of property, or to any other person not listed in certification, either directly or indirectly, the setting of fences and/or any other structures in or near the property lines. Unless indicated otherwise, property corners were not set.

**SURVEYORS' CERTIFICATION:**  
I hereby certify to the hereon listed parties that this survey was prepared in accordance with the NYS Minimum Technical Standards Section 6 Suburban class and represents the results of an actual on the ground field survey, per record description, of the land shown hereon, located at 286 North Plank Road and Crabapple Court North Plank Road in the Town of Newburgh, County of Orange, State of New York. Completed on June 16th, 2022, performed in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc., and is to the best of my knowledge, belief and information, accurate and correct. Except as shown hereon, "there are no encroachments either way across property lines; title lines and lines of actual possession are the same".

Signature \_\_\_\_\_ Date \_\_\_\_\_  
Jonathan N. Millen, LLS  
1229 Route 300 - Suite 3  
Newburgh, NY 12550

**RECORD OWNER:**

PJ HOLDINGS, LLC  
142 ROUTE 17K  
NEWBURGH, NY 12550  
34 - 2 - 25.2, 54, 76 & 77  
L 14518 P. 1807

**APPLICANT:**

FABULOUS EVENTS, INC  
149 BURD STREET  
NYACK, NY 10960

**AREAS:**

TAX LOT 34 - 2 - 25.2 0.91± AC.  
TAX LOT 34 - 2 - 54 2.57± AC.  
TAX LOT 34 - 2 - 76 0.84± AC.  
TAX LOT 34 - 2 - 77 0.92± AC.

**TOTAL AREA:**

5.24± AC.



Jonathan N. Millen, LLS  
PROFESSIONAL LAND SURVEYOR  
CERTIFIED TO BE CORRECT AND ACCURATE  
N.Y. LIC. No. 050746

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**LANC & TULLY**  
ENGINEERING AND SURVEYING, P.C.  
P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

EXISTING CONDITIONS PREPARED FOR  
Date: SEPTEMBER 1, 2022  
Revisions:  
NOVEMBER 18, 2022  
FEBRUARY 28, 2023  
APRIL 28, 2023  
AUGUST 24, 2023  
SEPTEMBER 28, 2023

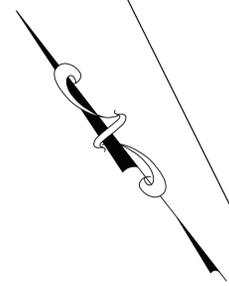
**FABULOUS EVENTS, INC.**  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JQ Checked By: Scale: 1" = 50' Tax Map No.: 34-2-25.2, 54, 74, 76, 77 Drawing No.: B - 22 - 0138 - 01  
Sheet No.: 2 OF 18  
C30

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.  
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.



**LEGEND:**  
EXISTING PROPERTY LINE —————  
EXISTING CONTOUR MAJOR - - - - - 610  
EXISTING CONTOUR MINOR - - - - - 608



the lands now or formerly of  
Steven DeMarco  
Liber 4971 at Page 1  
Lot 2 aso F.M. 8146  
Tax ID #: 34-2-71.32

the lands now or formerly of  
Stephen DeMarco  
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Liber 14525 at Page 1001  
Lot 3 aso F.M. 9951  
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Lot 4 aso F.M. 9951  
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Lot 3 aso F.M. 8800  
Tax ID #: 34-2-25.3

the lands now or formerly of  
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Liber 13863 at Page 287  
Lot 2 aso F.M. 8800  
Tax ID #: 34-2-25.12

the lands now or formerly of  
CNR Realty, LLC  
Liber 12302 at Page 83  
Tax ID #: 34-3-2

the lands now or formerly of  
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the lands now or formerly of  
Robert Jay Deyo  
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911 Address: Crabapple Court  
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Tax Map ID: 34-2-74  
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Area: 40,941.1 s.f. - 0.9399 Ac.

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911 Address: Crabapple Court  
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Tax Map ID: 34-2-77  
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Area: 40,499.8 s.f. - 0.9297 Ac.

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**Subject Property "B"**  
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Area: 112,197.0 s.f. - 2.5757 Ac.

ALL EXISTING INTERIOR PROPERTY LINES FOR SUBJECT  
PROPERTIES LABELED A, B, C, D, E  
SHALL BE ELIMINATED  
THE PROPERTIES SHALL BE CONSOLIDATED INTO A  
SINGLE TAX PARCEL.

**SURVEYOR'S NOTES:**

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I hereby certify to:  
Isaac Deutsch  
PJ Holdings LLC  
Mozo Properties LLC  
Town of Newburgh

**CERTIFICATION NOTES:**

This certification is made only to named parties for purchase and/or mortgage of herein delineated property by named purchaser. No responsibility or liability is assumed by surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey affidavit, resale of property, or to any other person not listed in certification, either directly or indirectly, the setting of fences and/or any other structures in or near the property lines. Unless indicated otherwise, property corners were not set.

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Signature \_\_\_\_\_ Date \_\_\_\_\_  
Jonathan N. Millen, LLS  
1229 Route 300 - Suite 3  
Newburgh, NY 12550

**RECORD OWNER:**

PJ HOLDINGS, LLC  
142 ROUTE 17K  
NEWBURGH, NY 12550  
34 - 2 - 25.2, 54, 74, 76 & 77  
L 14518 P. 1807

**APPLICANT:**

FABULOUS EVENTS, INC  
149 BURD STREET  
NYACK, NY 10960

**AREAS:**

TAX LOT 34 - 2 - 25.2	0.91± AC.
TAX LOT 34 - 2 - 54	2.57± AC.
TAX LOT 34 - 2 - 74	0.83± AC.
TAX LOT 34 - 2 - 76	0.84± AC.
TAX LOT 34 - 2 - 77	0.82± AC.

**TOTAL AREA:**

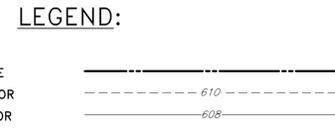
6.17± AC.

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	<b>LANC &amp; TULLY</b> ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
	<b>LOT CONSOLIDATION PLAN</b> PREPARED FOR	
<b>FABULOUS EVENTS, INC.</b>		Date: SEPTEMBER 1, 2022 Revisions: NOVEMBER 18, 2022 FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		CAD FILE: 220128_SKETCH_SITE.DWG Layout: LOT CONSOLIDATION Sheet No.: 3 OF 18
Drawn By: JQ	Checked By: JQ	Scale: 1" = 50' Tax Map No.: 34-2-25.2, 54, 74, 76, 77 Drawing No.: B - 22 - 0138 - 01

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Tax ID #: 34-2-71.33

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Liber 14525 at Page 1001  
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Tax ID #: 34-2-71.32

the lands now or formerly of  
Mozo Properties, LLC  
Liber 13783 at Page 76  
Tax ID #: 34-2-55

**GENERAL NOTES:**

- TAX MAP DESIGNATION: SECTION 34, BLOCK 2, LOT 25.2, 54, 76, 77
- TOTAL AREA: 5.24± ACRES
- DEED REFERENCE: LIBER 13084 PAGE 157 OF DEEDS AS RECORDED IN THE ORANGE COUNTY CLERK'S OFFICE.
- ZONING DISTRICT: B - BUSINESS
- FIRE DISTRICT: CRONOMER VALLEY FD
- SCHOOL DISTRICT: NEWBURGH SCHOOL DISTRICT
- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4" IRON RODS.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THIS PLAT IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS AND SPECIFICATIONS OF THE TOWN OF NEWBURGH AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS AND SITE PLANS ON FILE WITH THE TOWN OF NEWBURGH.
- THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY ARTICLE 12A AND 239L OF THE GENERAL MUNICIPAL LAW.
- ALL FEES SHALL BE PAID TO THE TOWN OF NEWBURGH PRIOR TO PLAN SIGNATURE.
- A SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND INCLUDED WITHIN THE PLAN SET. NO WORK OR CLEARING SHALL COMMENCE ON THE PROPERTY BEFORE APPROVAL BY THE PLANNING BOARD. EROSION CONTROL PRACTICES SHALL BE REVIEWED BY THE TOWN OF NEWBURGH ENGINEER AND/OR BUILDING INSPECTOR DURING THE SITE WORK AND CONSTRUCTION PROCESS AND CHANGES MADE TO ACHIEVE PROPER EROSION CONTROL PRACTICES.

**SURVEY NOTES:**

- REFERENCES:  
MAP ENTITLED "BOUNDARY SURVEY OF THE LANDS OF PJ HOLDINGS LLC AND MOZO PROPERTIES, LLC" DATED JUNE 16, 2022 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING.  
MAP ENTITLED "TOPOGRAPHIC SURVEY OF THE LANDS OF PJ HOLDINGS LLC AND MOZO PROPERTIES, LLC" DATED JUNE 16, 2022 AS PREPARED BY AUTOMATED CONSTRUCTION ENHANCED SOLUTIONS, INC. PROFESSIONAL LAND SURVEYING.
- LANC & TULLY, P.C. DOES NOT TAKE ANY RESPONSIBILITY FOR THE REFERENCED SURVEY AND TOPOGRAPHIC MAPPING AS PROVIDED BY THE APPLICANT.



**LOCATION PLAN**  
1 INCH = 1,000 FEET

**TABLE OF ZONING REQUIREMENTS**

TOWN OF NEWBURGH - B ZONE  
BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE

MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	5.24 ACRES
LOT WIDTH	100 FT.	114.25 FT.
LOT DEPTH	125 FT.	173.77 FT.
FRONT YARD	60 FT.* / 40 FT.	94 FT.
ONE SIDE YARD/BOTH	15 / 30 FT.	59 / 157 FT.
REAR YARD	30 FT.	168 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%

\*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY

**PARKING REQUIREMENTS**

**REQUIRED**

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA  
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA  
8,000 SF OFFICE / 200 SF = 40 SPACES REQUIRED FOR OFFICE AREA

RETAIL: 1 PARKING SPACE PER 150 SF UP TO 25,000 GLFA  
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**RECORD OWNER:**

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142 ROUTE 17K  
NEWBURGH, NY 12550

34 - 2 - 25.2, 54, 76 & 77  
L. 14518 P. 1807

**APPLICANT:**

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149 BURD STREET  
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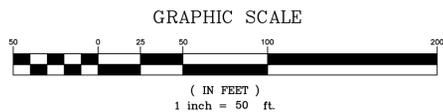
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TAX LOT 34 - 2 - 25.2 0.91± AC.  
TAX LOT 34 - 2 - 54 2.57± AC.  
TAX LOT 34 - 2 - 76 0.84± AC.  
TAX LOT 34 - 2 - 77 0.92± AC.

**TOTAL AREA:**  
5.24± AC.

**LEGEND:**

EXISTING PROPERTY LINE	_____
EXISTING CONTOUR MAJOR	----- 610
EXISTING CONTOUR MINOR	----- 608
PROPOSED CONTOUR MAJOR	----- 610
PROPOSED CONTOUR MINOR	----- 608
PROPOSED RETAINING WALL	=====
PROPOSED FENCE	=====
PROPOSED SWALE	=====
PROPOSED DRAINAGE CULVERT	-----
PROPOSED SEWER	-----
PROPOSED WATER MAIN	-----
PROPOSED CONCRETE CURBING	=====
PROPOSED CONCRETE SIDEWALK WITH RAMP	=====

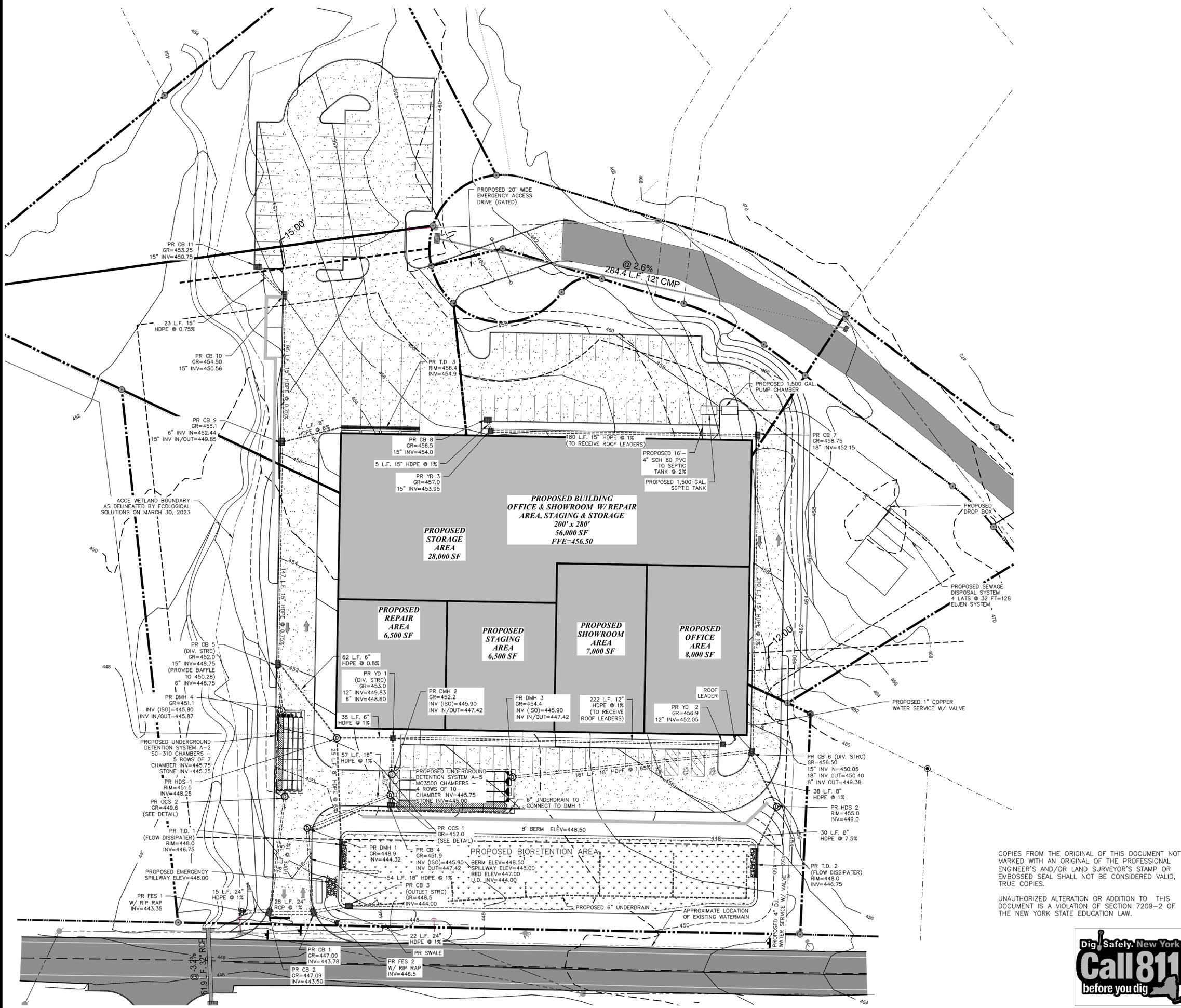


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	<p>Date: SEPTEMBER 1, 2022</p> <p>Revisions: NOVEMBER 18, 2022 FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023</p>
<p>SITE PLAN PREPARED FOR</p>	
<p><b>FABULOUS EVENTS, INC.</b></p>	
<p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>	
<p>Drawn By: JQ</p>	<p>Checked By: [ ]</p>
<p>Scale: 1" = 50'</p>	<p>Tax Map No.: 34-2-25.2, 54, 74, 76, 77</p>
<p>Drawing No.: B-22-0138-01</p>	<p>Sheet No.: 4 OF 18</p>



**TOWN OF NEWBURGH WATER SYSTEM NOTES**

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSII/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSII/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSII/AWWA C151/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSII/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- TAPPING SLEEVES SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSII/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5" MAIN VALVE OPENING, TWO 2" DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS OR MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 3/4 AND 1 INCH, MUELLER H-15000N OR B-2500N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1501-2N FOR 3/4 AND 1 INCH AND MUELLER B-2504N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

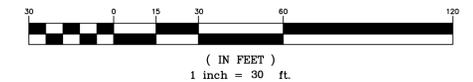
**TOWN OF NEWBURGH SEWER SYSTEM NOTES**

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDDEC AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

**LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- PROPOSED SWALE
- PROPOSED DRAINAGE CULVERT
- PROPOSED SEWER
- PROPOSED WATER MAIN
- PROPOSED CONCRETE CURBING
- PROPOSED CONCRETE SIDEWALK WITH RAMP

**GRAPHIC SCALE**



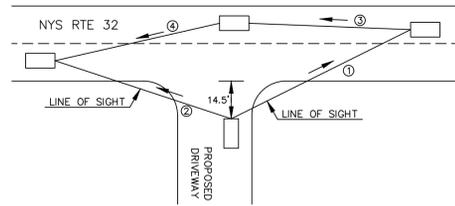
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<b>GRADING AND UTILITY PLAN FOR</b> <b>FABULOUS EVENTS, INC.</b>		
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		Date: SEPTEMBER 1, 2022 Revision: FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023
Drawn By: JQ Checked By: JQ Scale: 1" = 30' Tax Map No.: 34-2-25.2, 54, 74, 76, 77	CAD File: 220138_SKETCH_SITE.DWG Layout: G & U Sheet No.: 5 OF 18 Drawing No.: C30 B - 22 - 0138 - 01	



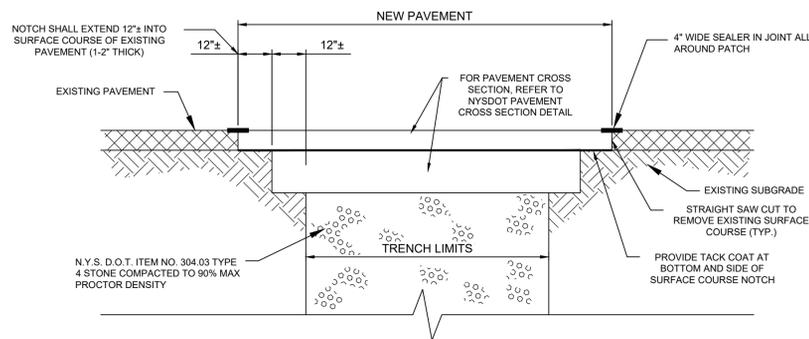
NOTES:  
 POSTED SPEED LIMIT IS 45 MPH  
 DESIGN SPEED FOR CALCULATIONS BELOW IS 45 MPH.  
 THE GPS COORDINATES FOR THE DRIVEWAY ENTRANCE IS 41°32'51" - 74°03'21.8"

DESCRIPTION	RECOMMENDED	RECOMMENDED	PROPOSED
1 EXITING SIGHT DISTANCE LOOKING RIGHT TO APPROACHING VEHICLE	360'	500'	1000'+
2 EXITING SIGHT DISTANCE LOOKING LEFT TO APPROACHING VEHICLE FOR LEFT TURN	360'	500'	750'
3 REAR END SIGHT LINE FROM THE LEFT TURN ENTERING VEHICLE TO A VEHICLE APPROACHING FROM THE SAME DIRECTION	360'	---	550'+
4 SIGHT LINE FROM THE LEFT TURN ENTERING VEHICLE TO A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION	360'	---	550'+

NOTES:  
 1) CALCULATED AND RECOMMENDED SIGHT DISTANCE MEASUREMENTS SHOWN PER AASHTO GEOMETRIC DESIGN OF HIGHWAYS AND STREETS.

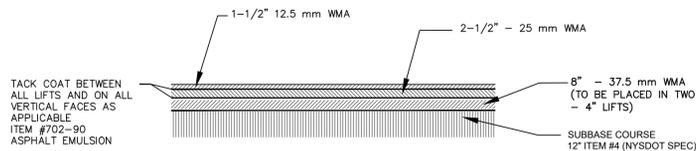
### SIGHT DISTANCE MEASUREMENTS

NOT TO SCALE



### PAVEMENT RESTORATION DETAIL

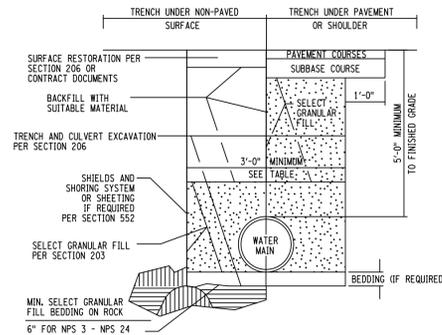
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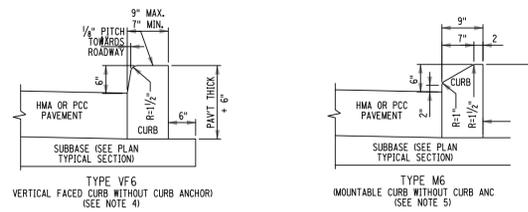
NOTES:  
 1. NYSDOT PAVEMENT SPECIFICATION SHALL BE UTILIZED TO RIGHT-OF-WAY LINE.  
 2. REFER TO SECTION 404 FOR ALL REQUIRED WARM MIX ASPHALT (WMA) SPECIFICATIONS AND REQUIREMENTS

### NYSDOT PAVEMENT CROSS SECTION

NOT TO SCALE

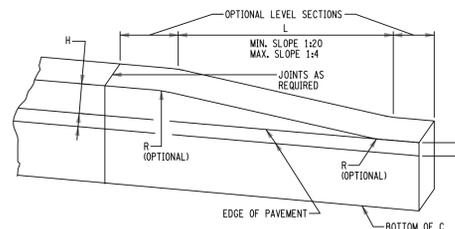


### UTILITY TRENCH DETAIL



### CAST-IN-PLACE CONCRETE CURB

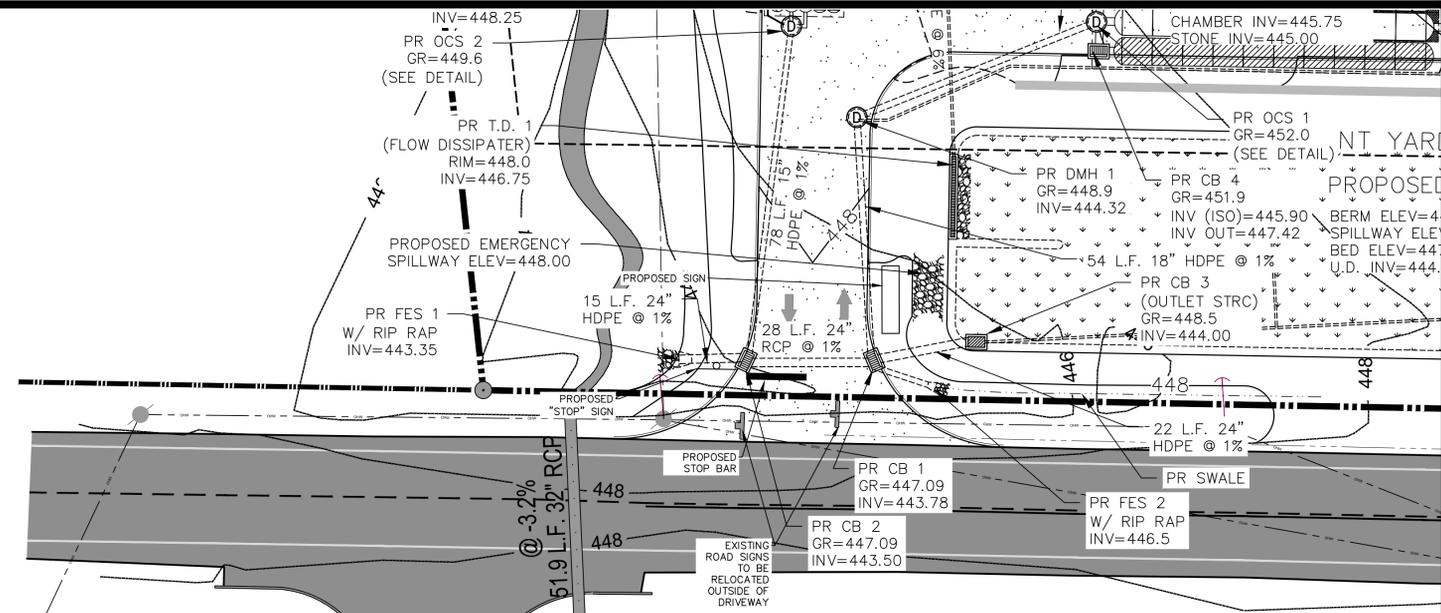
- NOTES:
- USE CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
  - CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
  - CURB TYPES M6A, VF6A AND M4A REQUIRE CURB ANCHOR. CURB AND GUTTER TYPES VF6G AND M4G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
  - WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES CUI, CU2, AND CU CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB. SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
  - USE WITH CURB BOXES, CM1, CM2, AND CM3.



### CAST-IN-PLACE CONCRETE CURB TRANSITIONS

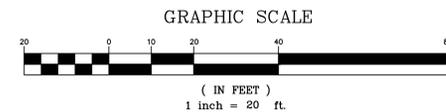
CURB TRANSITION LENGTHS (L)			
H	1:4	1:12	1:20
4"	16"	48"	80"
6"	24"	72"	120"

- NOTES:
- USE 1" REVEAL AND CONTINUE CURB ACROSS DRIVEWAY ENTRANCES ONLY IF SHOWN IN THE CONTRACT DOCUMENTS, OR DIRECTED BY THE ENGINEER AS A FIELD CONDITION.
  - TERMINATE CURB, CURB AND GUTTER BY TRANSITIONING ON A MAXIMUM SLOPE OF 1:12 TO PAVEMENT SURFACE.
  - EXTEND JOINT FILLER 6" MINIMUM BEHIND CURB ON BOTH SIDES OF CURB BOX. 705-07 NOT NEEDED WHEN VERTICAL FACED CURB WIDTH EQUAL TO WIDTH OF CURB BOX.



### North Plank Road aka NYS Route 32

(R.O.W. width varies)



### LEGEND:

EXISTING PROPERTY LINE	---
EXISTING CONTOUR MAJOR	----- 610
EXISTING CONTOUR MINOR	----- 608
PROPOSED CONTOUR MAJOR	----- 610
PROPOSED CONTOUR MINOR	----- 608
PROPOSED RETAINING WALL	=====
PROPOSED FENCE	=====
PROPOSED SWALE	=====
PROPOSED DRAINAGE CULVERT	=====
PROPOSED SEWER	=====
PROPOSED WATER MAIN	=====
PROPOSED CONCRETE CURBING	=====
PROPOSED CONCRETE SIDEWALK WITH RAMP	=====

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		Revisions: FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023
NYSDOT ENTRANCE PLAN & DETAILS FOR		CAD File: 220135 SKETCH SITE.DWG Layout: DOT Sheet No.: 6 OF 18
<b>FABULOUS EVENTS, INC.</b>		Drawing No.: C30 B - 22 - 0138 - 01
Drawn By: JQ	Checked By: AS SHOWN	Scale: AS SHOWN Tax Map No.: 34-2-25.2, 54, 74, 76, 77

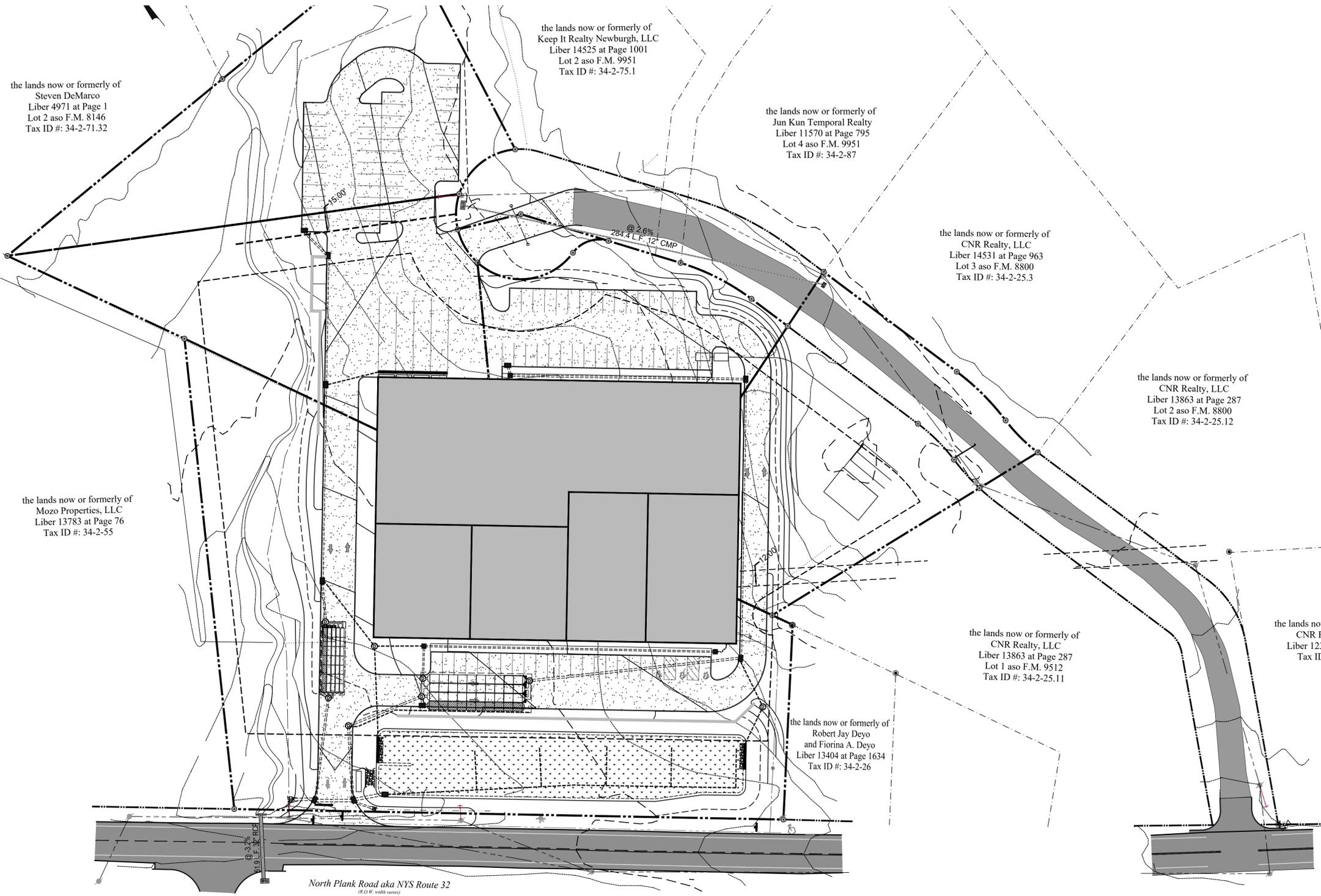
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1. ALL WORK AND IMPROVEMENTS WITHIN THE NYSDOT RIGHT OF WAY FOR ROUTE 306 SHALL CONFORM TO THE FOLLOWING NYSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
- NYSDOT STANDARD SHEETS 603 FOR DRIVEWAYS
  - NYSDOT STANDARD SHEETS 609-01
  - NYSDOT STANDARD SHEETS 608-03
  - NYSDOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL





**LEGEND:**

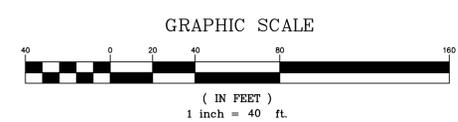
EXISTING PROPERTY LINE	-----
EXISTING CONTOUR MAJOR	----- 610
EXISTING CONTOUR MINOR	----- 608
PROPOSED CONTOUR MAJOR	----- 610
PROPOSED CONTOUR MINOR	----- 608
PROPOSED RETAINING WALL	-----
PROPOSED FENCE	-----
PROPOSED SWALE	-----
PROPOSED DRAINAGE CULVERT	-----
PROPOSED SEWER	-----
PROPOSED WATER MAIN	-----
PROPOSED CONCRETE CURBING	-----
PROPOSED CONCRETE SIDEWALK WITH RAMP	-----
PROPOSED SILT FENCE	-----
PROPOSED DIVERSION SWALE	-----

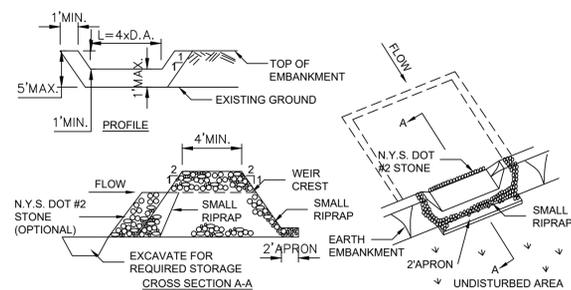
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	Date: SEPTEMBER 1, 2022 Revisions: FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023
<b>EROSION AND SEDIMENT CONTROL PLAN FOR</b>	
<b>FABULOUS EVENTS, INC.</b>	
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK	
CAD File: BASE_6-21-22B.DWG Layout: EROSION Sheet No.: 8 OF 18	Drawing No.: C30 B - 22 - 0138 - 01
Drawn By: JQ Checked By:	Scale: 1" = 40' Tax Map No.: 34-2-25.2, 54, 74, 76, 77

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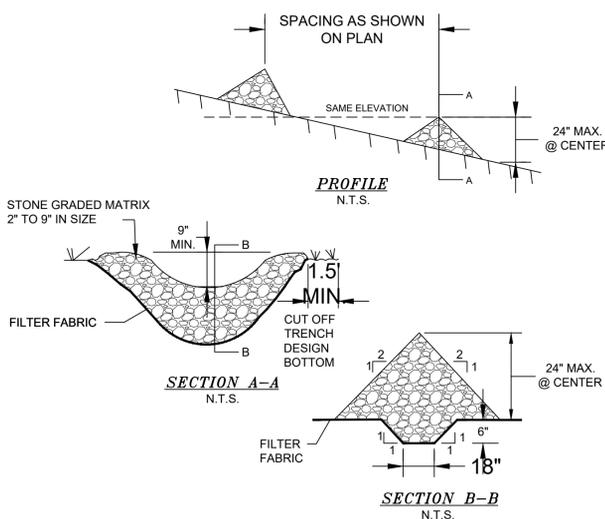
OPTION: A ONE FOOT LAYER OF N.Y.S. DOT #2 STONE MAY BE PLACED ON THE UPSTREAM SIDE OF THE RIPRAP IN PLACE OF THE EMBEDDED FILTER CLOTH.

**CONSTRUCTION SPECIFICATIONS**

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
- THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- MAXIMUM DRAINAGE AREA 5 ACRES.

**STONE OUTLET SEDIMENT TRAP**

NOT TO SCALE



**CONSTRUCTION SPECIFICATIONS**

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT THE CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

**CHECK DAM DETAIL**

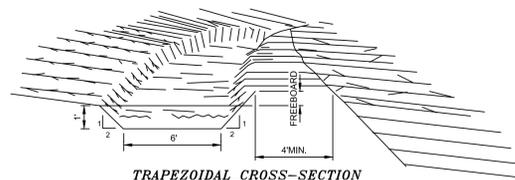
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FOR CONSTRUCTION SPECIFICATIONS REFER TO "NY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL"



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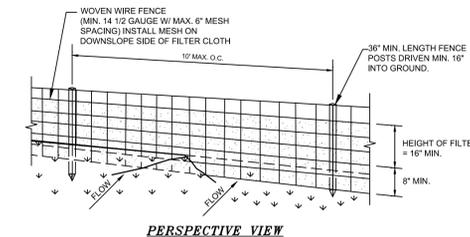


**CONSTRUCTION SPECIFICATIONS**

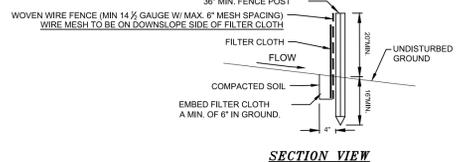
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
- THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
- ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
- STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
  - FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCELISIOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

**TEMPORARY DIVERSION SWALE**

NOT TO SCALE



**PERSPECTIVE VIEW**

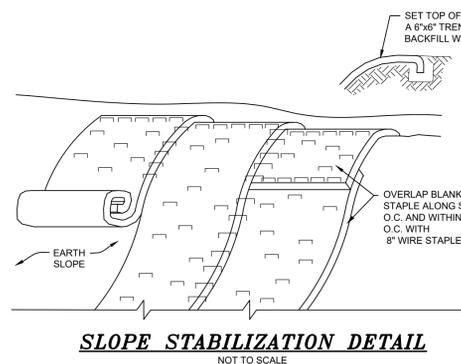


**CONSTRUCTION SPECIFICATIONS**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILTATION FENCE**

NOT TO SCALE

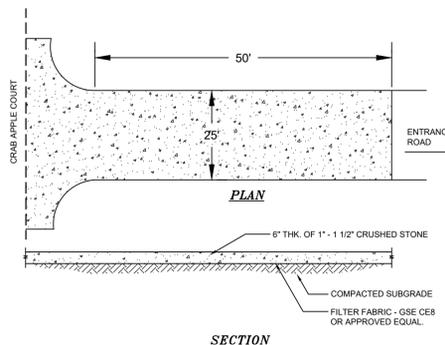


**SLOPE STABILIZATION DETAIL**

NOT TO SCALE

**NOTES:**

- SLOPE STABILIZATION TO BE USED ON ALL CREATED OR DISTURBED SLOPES GREATER THAN 25%.
- STABILIZE PREPARED EARTHEN SLOPE WITH A BIODEGRADABLE NATURAL FIBER NETTING. APPROVED TYPES AS FOLLOWS:
  - S1505N - NORTH AMERICAN GREEN 1-800-772-2040
  - ECS-2B - EAST COAST EROSION BLANKET 1-800-582-4005
  - APPROVED EQUAL
- ALL SLOPE RESTORATION MUST INCLUDE 4" TOPSOIL.
- PREPARE THE SOIL SURFACE INCLUDING RAKING, SEEDING AND FERTILIZING PRIOR TO INSTALLING EROSION CONTROL NETTING.
- AFTER NETTING IS INSTALLED, PLANT ANY PROPOSED LANDSCAPING/GROUND COVER THROUGH SLITS CUT IN FABRIC.



**SECTION**

NOTE: ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.

**STABILIZED CONSTRUCTION ENTRANCE**

NOT TO SCALE

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS.

A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1-1 1/2" CRUSHED STONE. WILL BE AT LEAST 24" X 50" AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.

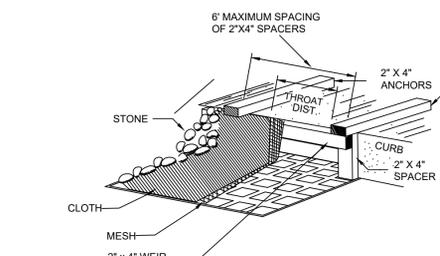
ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.

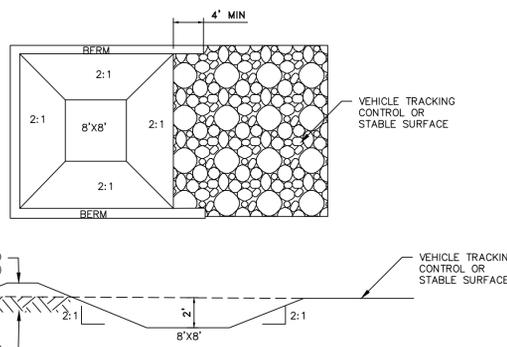


**CONSTRUCTION SPECIFICATIONS:**

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2" X 4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" X 4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2" X 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" X 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.
- THE STONE USED TO HOLD AND COVER THE FILTER FABRIC SHALL BE LOOSELY PLACED, 2" MIN. DIAM. ROUND STONE.

**STORM DRAIN INLET FILTER DETAIL**

NOT TO SCALE



**NOTES:**

- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- THE CONCRETE WASHOUT AREA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8'X8' SLOPES LEADING OUT IF THE SUBSURFACE PIT SHALL BE 2:1 OR FLATTER. THE PIT SHALL BE AT LEAST 2' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CONCRETE WASHOUT AREA SHALL HAVE MINIMUM OF 1:1.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CONCRETE WASHOUT AREA.
- USE EXCAVATED MATERIAL FOR PERIMETER CONSTRUCTION.

**CONCRETE WASHOUT AREA DETAIL**

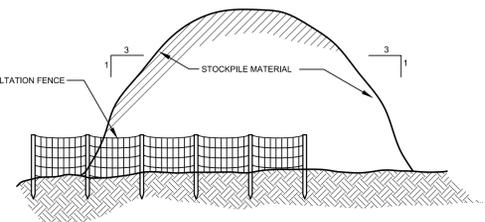
NOT TO SCALE

**EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS**

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
  - LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
  - SEED WITH SUMMER, PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE FALL/WINTER - ARKOSTOCK WINTER RYE AT 100 LBS PER ACRE
  - MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
  - WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS SPECIFIED ON LANDSCAPE PLAN:
  - LIME TOPSOIL TO PH 6.0.
  - FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
  - SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
  - MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 16 ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE FOLLOWING APPLICABLE ITEMS FOR THE PROJECT: CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP) NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS HAVE OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPERING AND DE-COMPACTATION."
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

**SOIL RESTORATION REQUIREMENTS**

- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPERING AND DE-COMPACTATION."



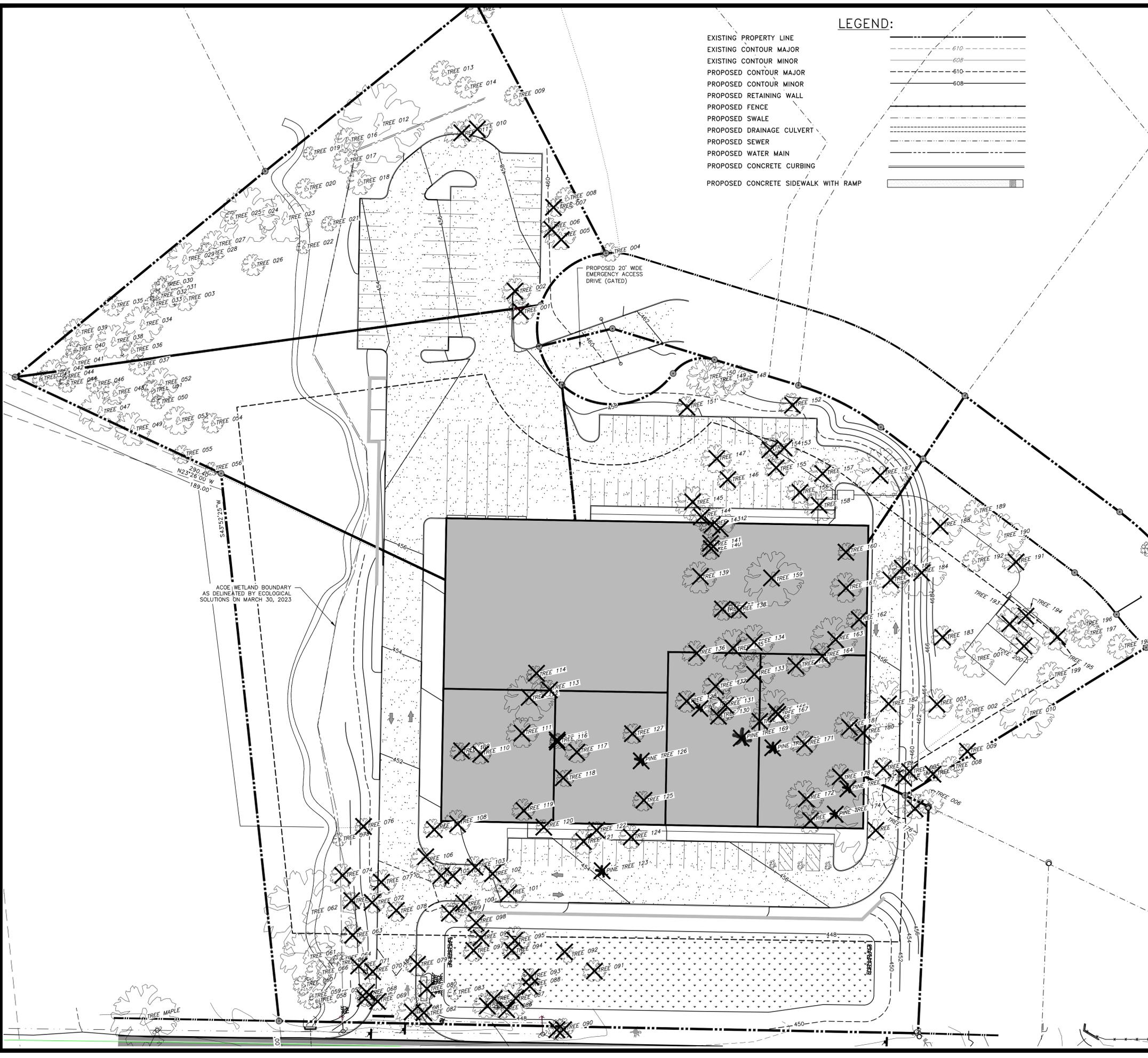
NOTE: SEE DETAILS FOR INSTALLATION OF SILTATION FENCE

**TYPICAL STOCKPILE DETAIL**

NOT TO SCALE

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	<p>Date: SEPTEMBER 1, 2022</p>
<p>EROSION AND SEDIMENT CONTROL DETAILS FOR</p>	
<p><b>FABULOUS EVENTS, INC.</b></p>	
<p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>	
<p>Drawn By: JQ</p>	<p>Checked By: N.T.S.</p>
<p>Scale: N.T.S.</p>	<p>Tax Map No.: 34-2-25.2, 54, 74, 76, 77</p>
<p>Revision: FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023</p>	<p>Drawing No.: C30 B - 22 - 0138 - 01</p>



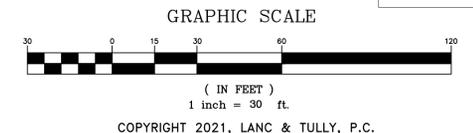
**LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- PROPOSED DRAINAGE CULVERT
- PROPOSED SEWER
- PROPOSED WATER MAIN
- PROPOSED CONCRETE CURBING
- PROPOSED CONCRETE SIDEWALK WITH RAMP

TAG NO.	TYPE	SPECIES	DBH (INCHES)	STATUS	TAG NO.	TYPE	SPECIES	DBH (INCHES)	STATUS	TAG NO.	TYPE	SPECIES	DBH (INCHES)	STATUS	TAG NO.	TYPE	SPECIES	DBH (INCHES)	STATUS
001	IMPL	15	ASH/FR	YES	000	IMPL	27	HILD MAPLE	NO	319	IMPL	15	HILD MAPLE	YES	318	IMPL	17	FR ASH	YES
002	IMPL	16	ASH/FR	YES	001	IMPL	10	SUGAR MAPLE	NO	320	IMPL	15	HILD MAPLE	YES	319	IMPL	17	FR ASH	YES
003	IMPL	16	SUGAR MAPLE	NO	002	IMPL	14	OSAK	NO	321	IMPL	15	HILD MAPLE	YES	320	IMPL	15	SUGAR MAPLE	YES
004	IMPL	11	WHITL OAK	NO	003	IMPL	18	HILD MAPLE	YES	322	IMPL	21	HILD MAPLE	YES	321	IMPL	16	WHITL OAK	YES
005	IMPL	17	WHITL OAK	YES	004	IMPL	11	HILD MAPLE	NO	323	IMPL	12	HILD MAPLE	YES	322	IMPL	28	CHESTNUT OAK	YES
006	IMPL	11	DEAD	YES	005	IMPL	11	HILD MAPLE	NO	324	IMPL	12	HILD MAPLE	YES	323	IMPL	24	CHERRY	YES
007	IMPL	11	FR ASH	YES	006	IMPL	14	HILD MAPLE	NO	325	IMPL	12	FR ASH	YES	324	IMPL	10	SUGAR MAPLE	YES
008	IMPL	11	FR ASH	NO	007	IMPL	10	HILD MAPLE	YES	326	IMPL	12	FR ASH	YES	325	IMPL	11	HILD MAPLE	YES
009	IMPL	12	NO	NO	008	IMPL	11	HILD MAPLE	YES	327	IMPL	12	DEAD	YES	326	IMPL	10	SWAMP WHITL OAK	YES
010	IMPL	17	HILD MAPLE	YES	009	IMPL	11	SUGAR MAPLE	YES	328	IMPL	13	SUGAR MAPLE	YES	327	IMPL	18	BLACK OAK	YES
011	IMPL	16	SUGAR MAPLE	YES	010	IMPL	10	SUGAR MAPLE	YES	329	IMPL	11	DEAD	YES	328	IMPL	24	BLACK OAK	YES
012	IMPL	18	OAK TWN	NO	011	IMPL	12	HILD MAPLE	YES	330	IMPL	11	DEAD	YES	329	IMPL	14	HILD OAK	NO
013	IMPL	15	HILD MAPLE	NO	012	IMPL	12	HILD MAPLE	YES	331	IMPL	15	SUGAR MAPLE	YES	330	IMPL	17	SUGAR MAPLE	NO
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016	IMPL	15	HILD MAPLE	NO	015	IMPL	10	HILD MAPLE	YES	334	IMPL	21	HICKORY	YES	333	IMPL	18	OAK	YES
017	IMPL	15	HILD MAPLE	NO	016	IMPL	10	HILD MAPLE	YES	335	IMPL	17	HICKORY	YES	334	IMPL	12	CHESTNUT OAK	YES
018	IMPL	15	HILD MAPLE	NO	017	IMPL	15	HILD MAPLE	YES	336	IMPL	15	HICKORY	YES	335	IMPL	26	SUGAR MAPLE	NO
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041	IMPL	17	DEAD	NO	040	IMPL	10	HILD MAPLE	YES	359	IMPL	13	HILD OAK	YES	358	IMPL	10	HILD OAK	NO
042	IMPL	16	OAK	NO	041	IMPL	18	SUGAR MAPLE	YES	360	IMPL	17	HICKORY	YES	359	IMPL	14	NO	NO
043	IMPL	10	SUGAR MAPLE	NO	042	IMPL	10	SUGAR MAPLE	YES	361	IMPL	18	CHESTNUT OAK	YES	360	IMPL	12	NO	NO
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053	IMPL	17	HILD MAPLE	NO	052	IMPL	10	HILD MAPLE	YES	371	IMPL	15	HICKORY	YES	370	IMPL	10	NO	NO
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056	IMPL	10	HILD MAPLE	NO	055	IMPL	10	HILD MAPLE	YES	374	IMPL	14	WHITL OAK	YES	373	IMPL	10	NO	NO
057	IMPL	15	NOI FOUND	NO	056	IMPL	10	HILD MAPLE	YES	375	IMPL	10	SPRUC	YES	374	IMPL	10	NO	NO

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TREE REMOVAL PLAN FOR

**FABULOUS EVENTS, INC.**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JQ

Checked By:

Scale: 1" = 30'

Tax Map No.: 34-2-25.2, 54, 74, 76, 77

Date: SEPTEMBER 1, 2022

Revisions:

- FEBRUARY 28, 2023
- APRIL 28, 2023
- AUGUST 24, 2023
- SEPTEMBER 28, 2023

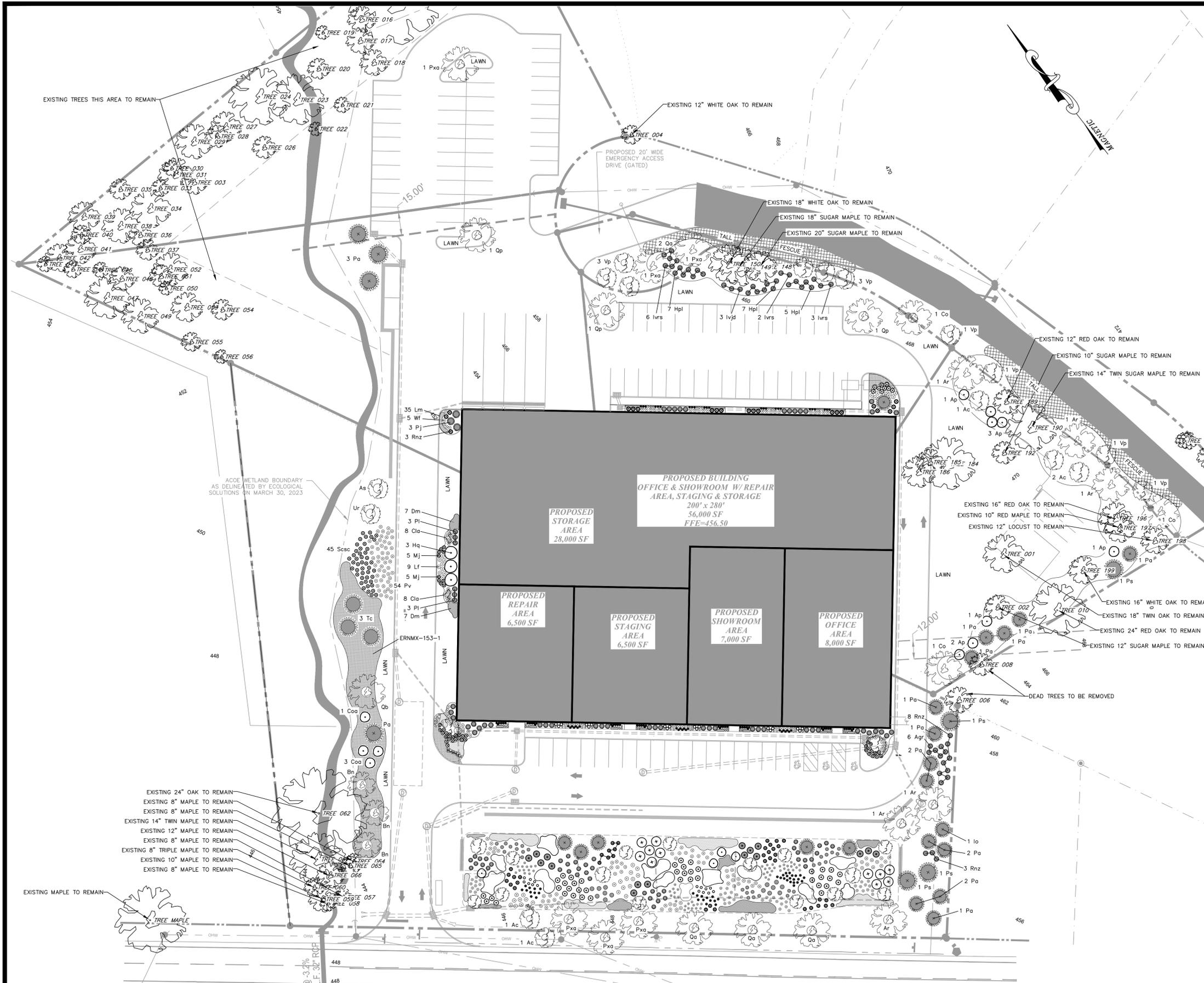
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Layout: TREE REM

Sheet No.: 10 OF 18

Drawing No.: C30

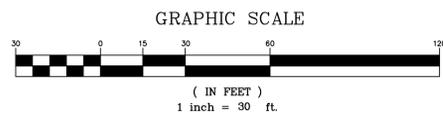
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SITE PLANT SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES
<b>DECIDUOUS TREES</b>				
Ar	6	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	7'-8' HGT
Co	3	CARYA OVATA	SHAGBARK HICKORY	7'-8' HGT
Pxa	5	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	7'-8' HGT
Qa	5	QUERCUS ALBA	WHITE OAK	7'-8' HGT
Qb	1	QUERCUS BICOLOR	PIN OAK	7'-8' HGT
Qp	3	QUERCUS PALUSTRIS	SWAMP WHITE OAK	7'-8' HGT
<b>EVERGREEN TREES</b>				
la	3	ILEX X AQUIPERNYI	DRAGON LADY HOLLY	6'-7' HGT
lo	1	ILEX OPACA	AMERICAN HOLLY	6'-7' HGT
Pa	18	PICEA ABIES	NORWAY SPRUCE	6'-7' HGT
Ps	3	PINUS STROBUS	EASTERN WHITE PINE	6'-7' HGT
Tc	3	TSUGA CANADENSIS	EASTERN HEMLOCK	6'-7' HGT
<b>ORNAMENTAL TREES</b>				
Ac	5	AMELANCHIER CANADENSIS	SHADBLOOM SERVICEBERRY	6'-7' HGT
As	1	ALNUS SERRULATA	SMOOTH ALDER	6'-7' HGT
Bn	3	BETULA NIGRA	RIVER BIRCH	6'-7' HGT
Coa	3	CORNUS AMOMIUM	SILKY DOGWOOD	6'-7' HGT
Ck	2	CORNUS KOUSA	KOUSA DOGWOOD	6'-7' HGT
Ur	1	ULNUS RUBRA	SLIPPERY ELM	6'-7' HGT
* RIVER BIRCHES IN LAWN AREAS ARE TO BE SELECTED FOR UPRIGHT BRANCHING, AND LIMBED UP TO ALLOW LAWN MAINTENANCE UNDERNEATH				
<b>SHRUBS</b>				
Ap	8	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	30"-36" HGT
Ag	6	AZALEA x GIRARDS ROSE	GIRARDS ROSE AZALEA	30"-36" HGT
Bd	18	BUDDLEIA DAVIDII	BUTTERFLY BUSH	30"-36" HGT
Hpb	50	HYDRANGEA PANICULATA 'BOBO'	BOBO HYDRANGEA	30"-36" HGT
Hpl	19	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30"-36" HGT
Lf	21	LEUCOTHOE FONTANESIANA	DOGHOBBLE	24"-30" HGT
Hq	3	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	30"-36" HGT
lvrs	41	ILEX VERTICILLATA 'RED SPRITE'	WINTERBERRY HOLLY RED SPRITE	30"-36" HGT
lvjd	22	ILEX VERTICILLATA 'JIM DANDY'	WINTERBERRY HOLLY JIM DANDY	30"-36" HGT
Nr	10	NEPATA RACEMOSA	WALKERS LOW CATMINT	18"-24" HGT
Pea	36	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	10"-18" HGT
Pj	3	PIERIS JAPONICA	ANDROMEDA	30"-36" HGT
Pi	25	PRUNUS LAUROCERASUS	CHERRY LAUREL	30"-36" HGT
Rnz	8	RHODODENDRON x 'NOVA ZEMBLA'	NOVA ZEMBLA RHODODENDRON	30"-36" HGT
Vp	10	VIBURNUM PLICATUM TOMENTOSUM	DOUBLEFILE VIBURNUM	30"-36" HGT
Vs	21	VERONICA SPICATA 'SUNNY BORDER BLUE'	SUNNY BORDER BLUE VERONICA	12"-18" HGT
Wf	13	WEIGELA FLORIDA	MIDNIGHT WINE SHINE WEIGELA	18"-24" HGT
<b>GRASSES</b>				
Caa	20	CALAMAGROSTIS ACUTIFOLIA	KARL FOERSTER GRASS	24"-30" HGT
Pv	86	PANICUM VIRGATUM	SWITCHGRASS	24"-30" HGT
Scsc	69	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	24"-30" HGT
<b>GROUNDCOVER</b>				
Lm	170	LIROPE MUSCARI	LILY TURF	6"-10" HGT
ERNX-153-1				
ERNST SEEDS SHOWY NORTHEAST NATIVE WILDFLOWER MIX				
<b>PERENNIALS</b>				
Cl	32	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	12"-18" HGT
Dm	14	DRYOPTERIS MARGINALIS	MARGINAL WOODFERN	12"-18" HGT
Ep	48	ECHINACEA PURPUREA	PURPLE CONEFLOWER	10"-18" HGT
HI	40	HEMEROCALLIS LILIOASPHODELUS	YELLOW DAY LILLY	10"-18" HGT
Mj	34	MAHONIA JAPONICA	JAPANESE MAHONIA	12"-18" HGT
Rh	21	RUDBECKIA HIRTA	BLACK-EYED SUSAN	10"-18" HGT
Rf	22	RUDBECKIA FULGIDA	BLACK-EYED SUSAN VAR. FULGIDA	10"-18" HGT
<b>STORMWATER AREA</b>				
Aa	16	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	30"-36" HGT
Ag	26	ANDROPOGON GERARDI	BIG BLUE STEM	24"-30" HGT
Al	150	AESCLEPIAS INCANTATA	MILKWEED	24"-30" HGT
As	2	ALNUS SERRULATA	SMOOTH ALDER	30"-36" HGT
Cae	40	CORNUS ALBA 'ELEGANTISSIMA'	VARIEGATED REDTIDW DOGWOOD	30"-36" HGT
Ep	21	ECHINACEA PURPUREA	PURPLE CONEFLOWER	10"-18" HGT
Eup	13	EUTROCHIUM PURPUREUM	JOE PYE WEED	10"-18" HGT
HI	247	HEMEROCALLIS LILIOASPHODELUS	YELLOW DAY LILLY	10"-18" HGT
Hp	43	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	24"-30" HGT
Hv	11	HAMAMELIS VIRGINIANA	WITCH HAZEL	30"-36" HGT
Ive	315	IRIS VERSICOLOR	BLUE FLAG IRIS	10"-18" HGT
lvwr	58	ILEX VERTICILLATA 'WINTER RED'	WINTERBERRY HOLLY WINTER RED	30"-36" HGT
lvwg	30	ILEX VERTICILLATA 'WINTER GOLD'	WINTERBERRY HOLLY WINTER GOLD	30"-36" HGT
Vi	13	VIBURNUM LENTAGO	NANNYBERRY VIBURNUM	30"-36" HGT
Jh	5	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	30"-36" HGT
Lc	54	LOBELIA CARDINALIS	CARDINAL FLOWER	10"-18" HGT
Nr	310	NEPATA RACEMOSA	WALKERS LOW CATMINT	24"-30" HGT
Pa	5	PICEA ABIES	NORWAY SPRUCE	6'-7' HGT
Pca	3	PRUNUS CERASIFERA 'ATROPURPUREA'	ATROPURPUREA CHERRY PLUM	6'-7' HGT
Pv	119	PANICUM VIRGATUM	SWITCHGRASS	24"-30" HGT
Rh	42	RUDBECKIA HIRTA	BLACK-EYED SUSAN	10"-18" HGT
Ur	2	ULNUS RUBRA	SLIPPERY ELM	6'-7' HGT
Vp	4	VIBURNUM PLICATUM TOMENTOSUM	DOUBLEFILE VIBURNUM	30"-36" HGT

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LANDSCAPE PLAN PREPARED FOR

**FABULOUS EVENTS, INC.**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

LANC & TULLY  
Engineering and Surveying, P.C.

P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

Date: SEPTEMBER 1, 2022

Revision:  
FEBRUARY 28, 2023  
APRIL 28, 2023  
AUGUST 24, 2023  
SEPTEMBER 26, 2023

CUJ File:  
LANDSCAPE PLAN.DWG

Layout:  
PLAN

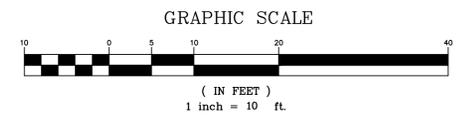
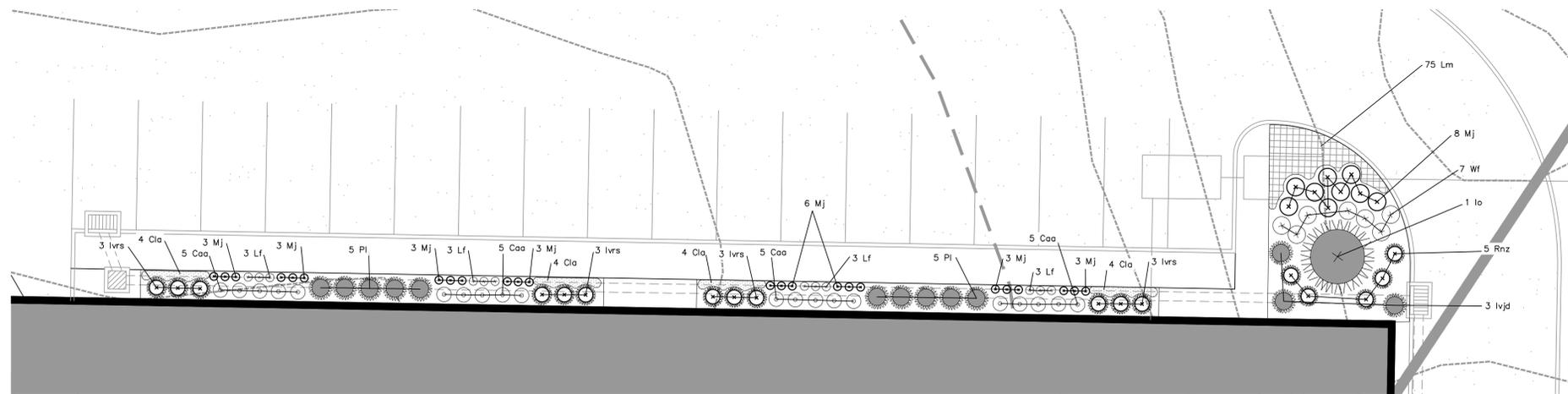
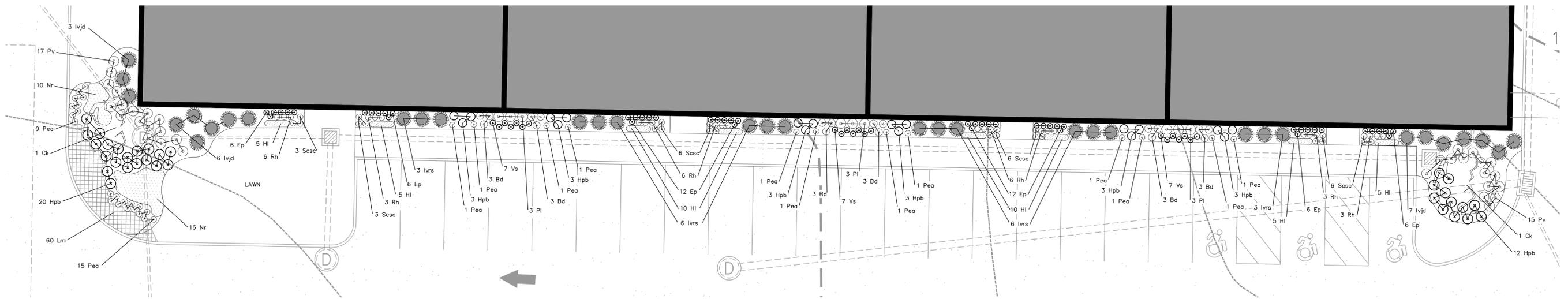
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Drawing No.: C3D  
B - 22 - 0138 - 01

Drawn By: JWC  
Checked By:  
Scale: 1" = 30'  
Tax Map No.: 34-2-25.2, 54, 76, 77

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Goshen, N.Y. 10924  
(845) 294-3700

LANDSCAPE PLAN 3 PREPARED FOR

**FABULOUS EVENTS, INC.**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Date: SEPTEMBER 28, 2023  
Revision:

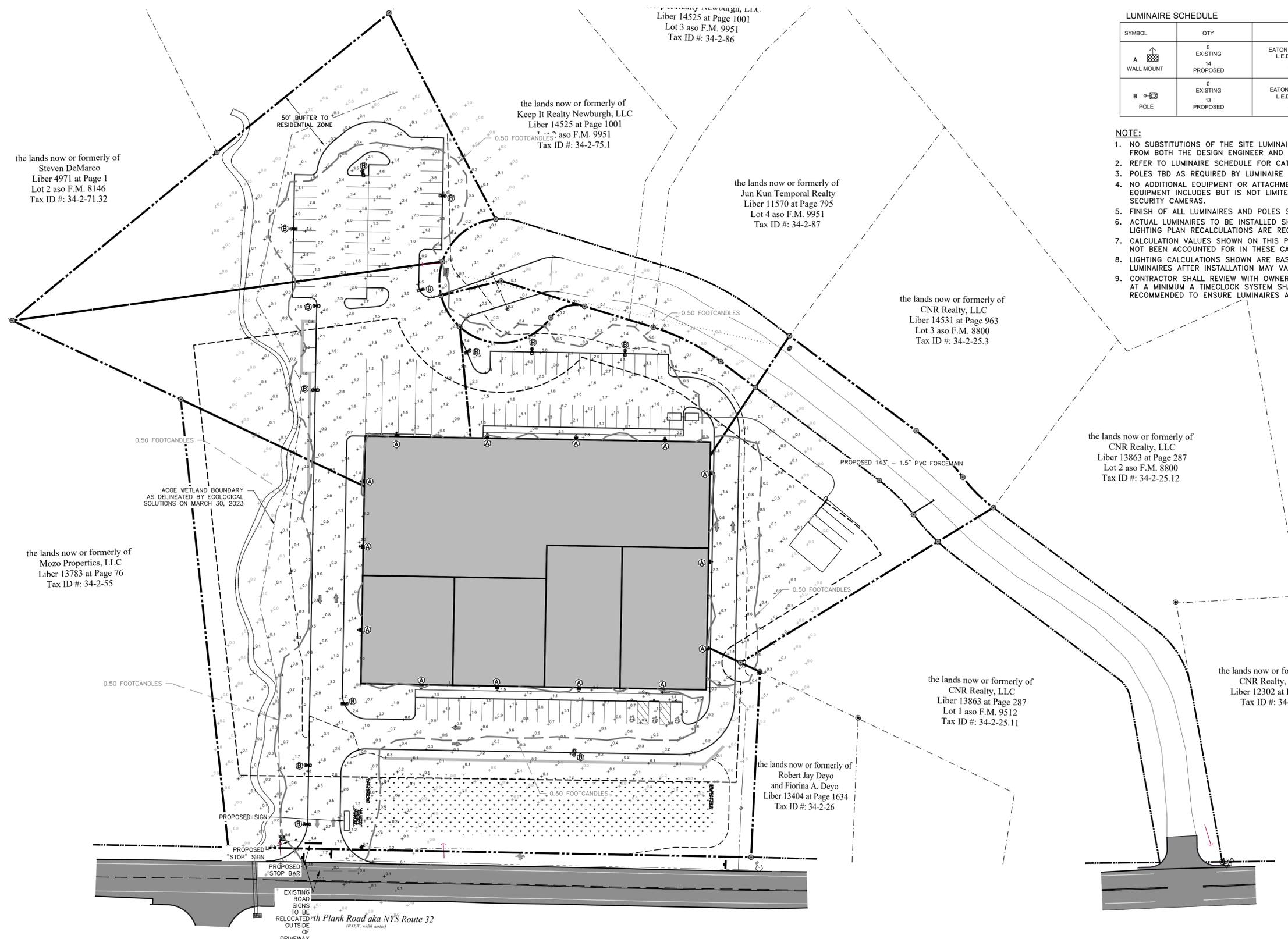
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Layout: PLAN\_3  
Sheet No.: 13 OF 18

Drawn By: JWC	Checked By:	Scale: 1" = 10'	Tax Map No.: 34-2-25.2, 54, 76, 77	Drawing No.: B-22-0138-01
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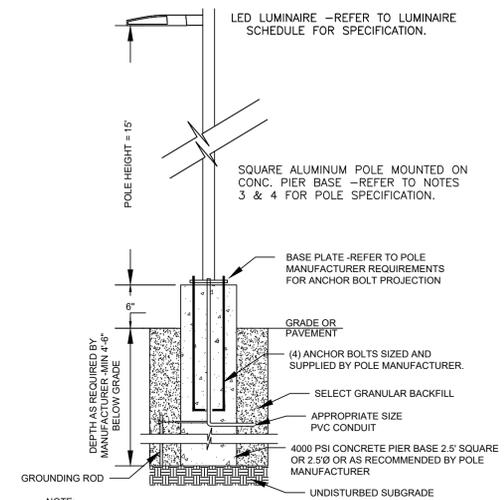




**LUMINAIRE SCHEDULE**

SYMBOL	QTY	DESCRIPTION	MANUFACTURER NO.	MOUNTING HEIGHT	LAMP	LUMENS
A	0 EXISTING 14 PROPOSED	EATON MCGRAW-EDISON "IMPACT LED" L.E.D. LUMINAIRE WALL MOUNTED 1 LED LIGHT SQUARES TYPE T4FT DISTRIBUTION	ISW-SA1C-740-U-T4FT-8K	15'	LED ARRAY	4000z
B	0 EXISTING 13 PROPOSED	EATON MCGRAW-EDISON "GALLEON II" L.E.D. LUMINAIRE POLE MOUNTED 2 LED LIGHT SQUARES TYPE T4FT DISTRIBUTION	GALN-SA2A-740U-T4FT-8K	15'	LED ARRAY	4500z

- NOTE:**
- NO SUBSTITUTIONS OF THE SITE LUMINAIRES SHOWN ON THIS LIGHTING PLAN SHALL BE PERMITTED WITHOUT REVIEW AND AUTHORIZATION FROM BOTH THE DESIGN ENGINEER AND PLANNING BOARD TO VERIFY CONFORMANCE WITH THE DESIGN INTENT.
  - REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER.
  - POLES TBD AS REQUIRED BY LUMINAIRE MANUFACTURER.
  - NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
  - FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
  - ACTUAL LUMINAIRES TO BE INSTALLED SHALL BE CONFIRMED WITH THE OWNER AND ARCHITECT AT THE TIME OF CONSTRUCTION. NO LIGHTING PLAN RECALCULATIONS ARE REQUIRED FOR BUILDING MOUNTED ARCHITECTURAL LUMINAIRES.
  - CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLAIN AT GROUND LEVEL. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
  - LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA FILES PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.
  - CONTRACTOR SHALL REVIEW WITH OWNER PRIOR TO ORDERING LUMINAIRES TO DETERMINE IF PHOTOCELL LIGHTING CONTROL IS DESIRED. AT A MINIMUM A TIMECLOCK SYSTEM SHALL BE UTILIZED FOR LIGHTING CONTROL. ADDITIONAL PHOTOCELL LIGHTING CONTROL IS RECOMMENDED TO ENSURE LUMINAIRES ARE ONLY ILLUMINATED AS AMBIENT LIGHT CONDITIONS WARRANT.

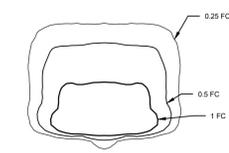


**NOTE:**  
 1. INSTALL ONLY AS PER MFG'S INSTRUCTIONS.  
 2. DESIGN ENGINEER SHALL REVIEW CONCRETE POLE BASE SUBMITTAL PRIOR TO ORDERING / INSTALLATION OF POLE BASE.

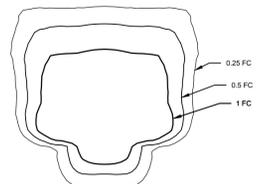
**LIGHT POLE BASE DETAIL**  
 NOT TO SCALE

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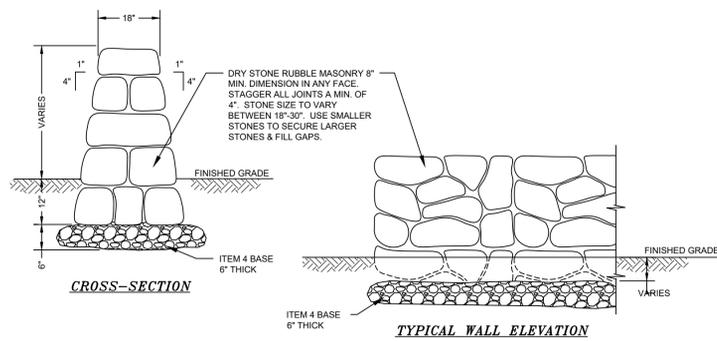
LUMINAIRE "A"  
 EATON MCGRAW-EDISON "IMPACT ELITE LED"  
 1 LED LIGHT SQUARE  
 TYPE T4FT DISTRIBUTION  
 PHOTOMETRIC DIAGRAM  
 (TYPICAL MOUNTING HEIGHT OF 15')



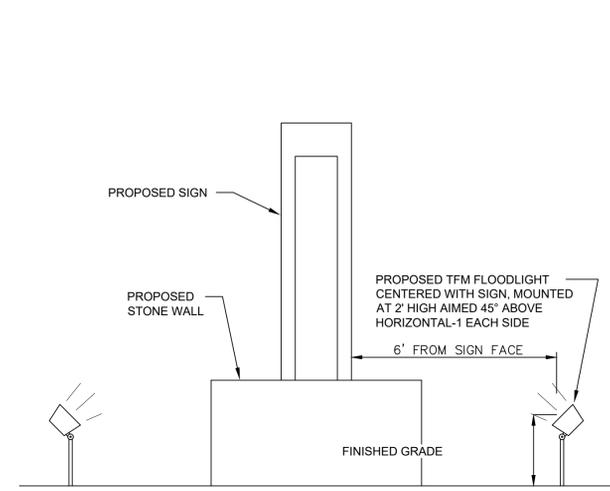
LUMINAIRE "B"  
 EATON MCGRAW-EDISON "GALN GALLEON II"  
 2 LED LIGHT SQUARES  
 TYPE T4FT DISTRIBUTION  
 PHOTOMETRIC DIAGRAM  
 (TYPICAL MOUNTING HEIGHT OF 15')

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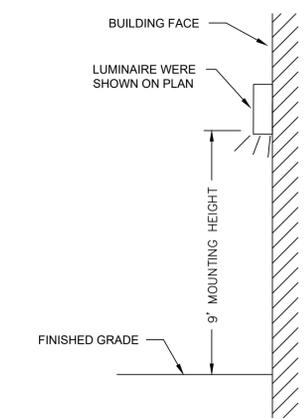
<p><b>LANC &amp; TULLY</b> ENGINEERING AND SURVEYING, P.C.</p>	<p>P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700</p>	Date: SEPTEMBER 1, 2022
		<p>Revisions:          FEBRUARY 28, 2023          APRIL 28, 2023          AUGUST 24, 2023          SEPTEMBER 28, 2023</p>
<p>LIGHTING PLAN FOR</p> <p><b>FABULOUS EVENTS, INC.</b></p> <p>TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK</p>		<p>CAD File: BASE_6-21-22B.DWG          Layout: LIGHTING          Sheet No.: 14 OF 18</p>
<p>Drawn By: JQ</p>	<p>Checked By:</p>	<p>Scale: 1" = 40'</p>
<p>Tax Map No.: 34-2-25.2, 54, 74, 76, 77</p>		<p>Drawing No.: C30          B - 22 - 0138 - 01</p>



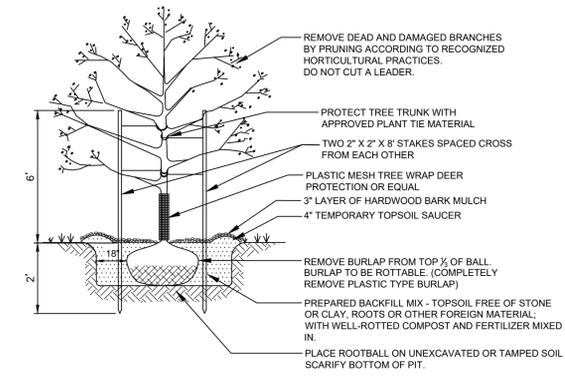
**LANDSCAPING DRY-SET STONE RETAINING WALL DETAIL**  
NOT TO SCALE



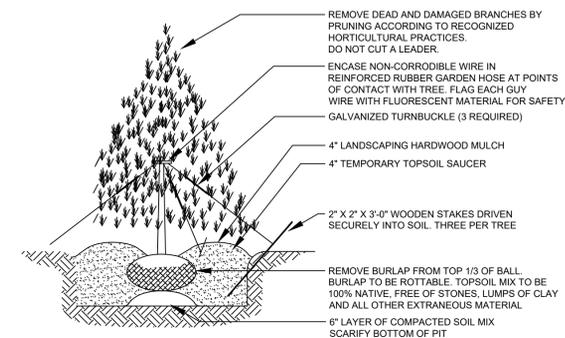
**PROPOSED SIGN LIGHTING DETAIL**  
NOT TO SCALE



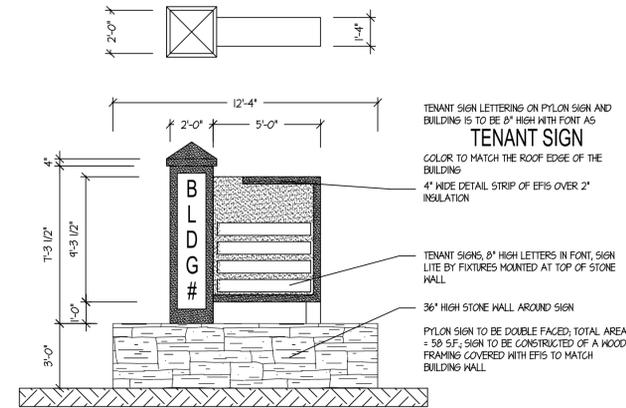
**BUILDING MOUNTED LIGHTING DETAIL**  
NOT TO SCALE



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

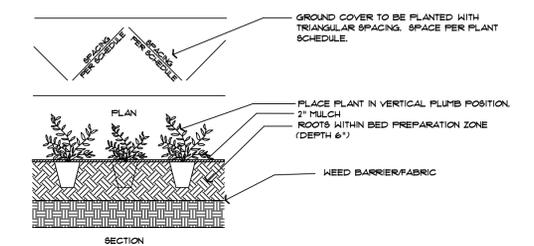


**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE

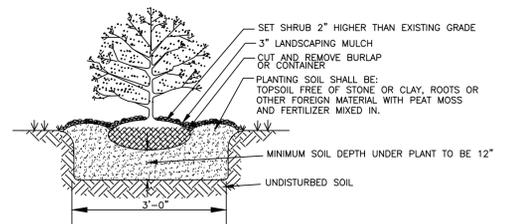


**PYLON SIGN DETAIL**

- NOTES:
1. ALL DISTURBED AREAS TO BE TOPSOILED AT A DEPTH OF 6" AND SEEDED.
  2. ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK.
  3. ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECTURAL CONSULTANT FOR THE TOWN OF NEWBURGH UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT AND MUST BE REPLACED WITHIN TWO MONTHS OF RECEIPT OF THE INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON.
  4. A MINIMUM OF 24" OF SOIL SHALL BE PLACED IN THE PLANTING AREA BETWEEN THE BUILDINGS AND THE PARKING AREA AND IN THE PARKING ISLAND. MIX 6" OF TOPSOIL INTO THIS 24" OF SOIL AND ADD AN ADDITIONAL 6" OF TOPSOIL ON TOP.
  5. UNDER THE CANOPY OVERHANG, IN AREAS WHERE THERE IS NO SIDEWALK PROVIDE GRAVEL SUCH AS RIVER JAX OR TIMBER LITE STONE OVER LANDSCAPE FABRIC.



**GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE

**TEMPORARY SEEDINGS FOR CRITICAL AREAS**

TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS./1000 SY	LBS. PER ACRE
ANNUAL RYEGRASS	10	48.4

**FINAL SEEDING RATES**

TYPE OF COVER & SPECIES OF MIXTURES	PERCENT OF MIXTURES	SEEDING RATES IN LBS./1000 SY	LBS. PER ACRE
KY 31 TALL FESCUE	70	15	73
CREeping RED FESCUE	30	6	29

SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1000 SY AND FERTILIZE WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1000 SY AFTER SEEDING. HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

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(845) 294-3700

LANDSCAPING AND LIGHTING DETAILS FOR

**FABULOUS EVENTS, INC.**

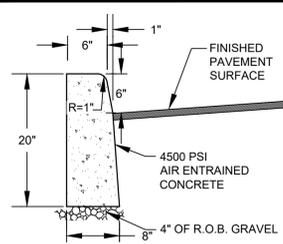
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JQ | Checked By: | Scale: N.T.S. | Tax Map No.: 34-2-25.2, 54, 74, 76, 77 | Drawing No.: C30 | B - 22 - 0138 - 01

Date: SEPTEMBER 1, 2022

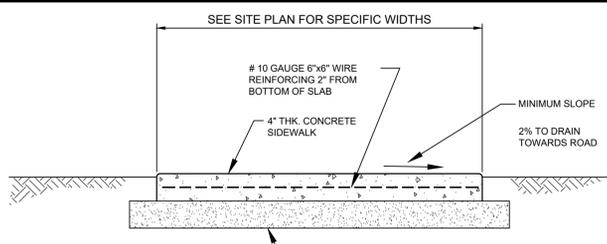
Revisions:  
FEBRUARY 28, 2023  
APRIL 28, 2023  
AUGUST 24, 2023  
SEPTEMBER 28, 2023

CAD File: BASE\_6-21-22B.DWG  
Layout: LAND LIGHT DETAILS  
Sheet No.: 15 OF 18



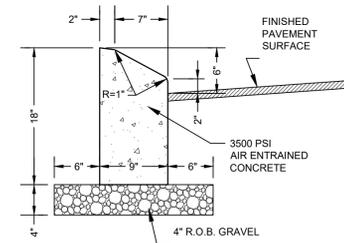
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

**CONCRETE CURB**  
NOT TO SCALE



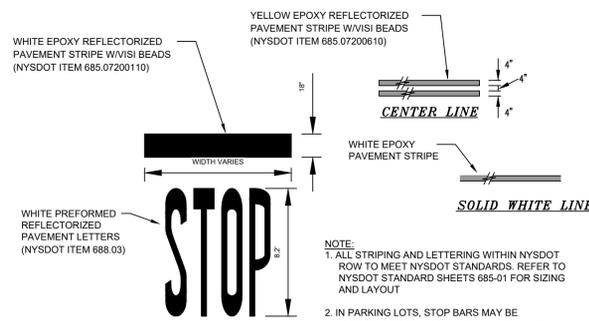
- NOTES:
1. EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
  2. CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
  3. EDGES SHALL HAVE 1/2" RADIUS.
  4. USE 4500 PSI CONCRETE.
  5. BROOM FINISH TOP SURFACE.

**STANDARD SIDEWALK DETAIL**  
NOT TO SCALE



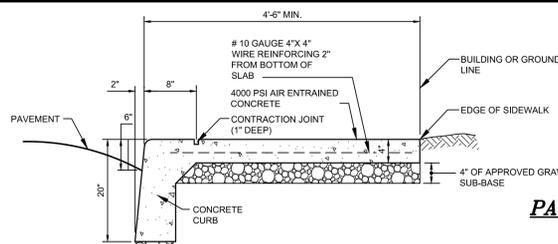
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/4".

**CONCRETE CURB DETAIL (MOUNTABLE)**  
NOT TO SCALE

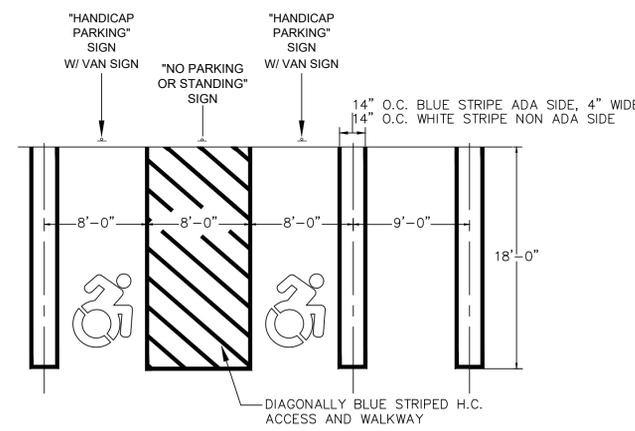


- NOTE:
1. ALL STRIPING AND LETTERING WITHIN NYSDOT ROW TO MEET NYSDOT STANDARDS. REFER TO NYSDOT STANDARD SHEETS 685-01 FOR SIZING AND LAYOUT.
  2. IN PARKING LOTS, STOP BARS MAY BE REDUCED TO 12" WIDE AND LETTER MAY BE REDUCED TO 6" TALL.

**STRIPING DETAILS**  
NOT TO SCALE

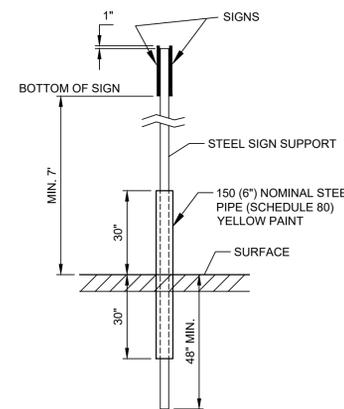


**MONOLITHIC CURB AND SIDEWALK DETAIL**  
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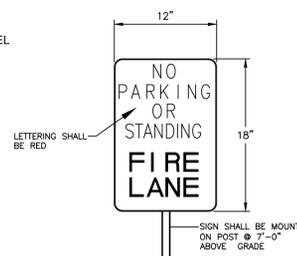


**ADA AND TYPICAL PARKING SPACE STRIPING DETAIL**  
NOT TO SCALE

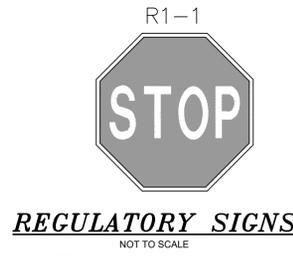
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.



**POST BASE DETAIL**  
NOT TO SCALE



**FIRE LANE SIGN**  
NOT TO SCALE

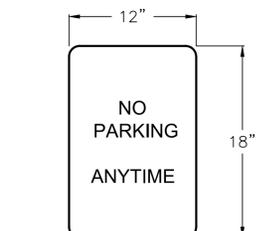


**REGULATORY SIGNS**  
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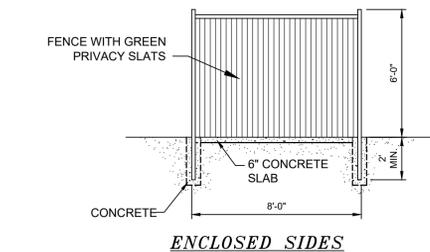
**NYS COMPLIANT ACCESSIBILITY SYMBOL**  
NOT TO SCALE



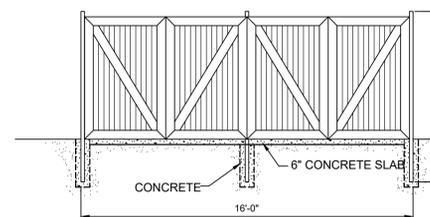
**HANDICAP SIGN**  
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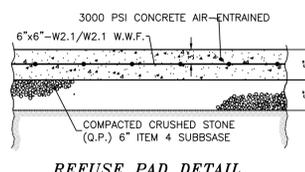
**NO PARKING SIGN**  
NOT TO SCALE



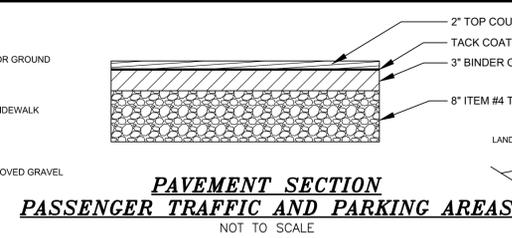
**ENCLOSED SIDES**



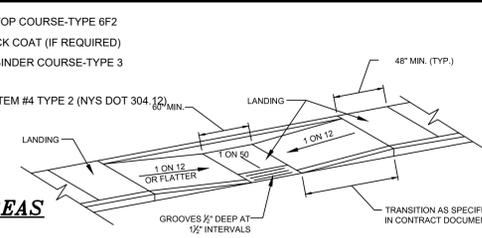
**PICK UP ENTRANCE**



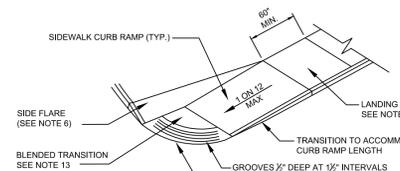
**REFUSE PAD DETAIL**



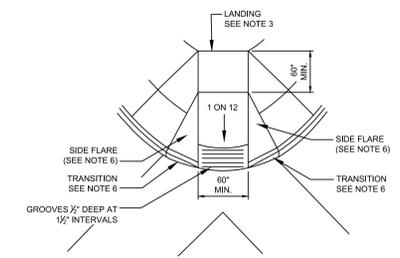
**PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS**  
NOT TO SCALE



**PARALLEL CURB RAMPS**  
NOT TO SCALE

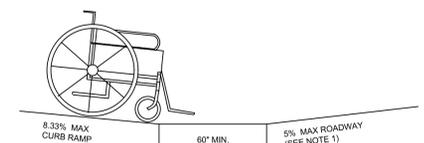


**SIDEWALK CURB RAMP**  
NOT TO SCALE



**DIAGONAL SIDEWALK CURB RAMP**  
NOT TO SCALE

- GENERAL NOTES:
1. THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
  2. THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
  3. LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 60" BY 60" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OF A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
  4. CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARF.
  5. THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
  6. CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
  7. THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
  8. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).
  9. COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
  10. WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
  11. AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
  12. DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROP CURBS MAY BE SPECIFIED.
  13. SLOPES ON BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.



**COUNTER SLOPE CONDITIONS**  
NOT TO SCALE

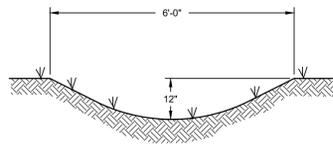
**CURB RAMP DETAILS**

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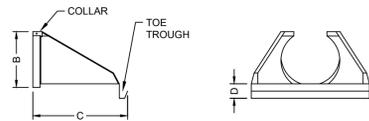
		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
CONSTRUCTION DETAILS 1 FOR			
<b>FABULOUS EVENTS, INC</b>			
TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK			
Drawn By: JQ	Checked By:	Scale: N.T.S.	Tax Map No.: 34-2-25.2, 54, 74, 76, 77
Date: SEPTEMBER 1, 2022		Revisions: FEBRUARY 28, 2023 APRIL 28, 2023 AUGUST 24, 2023 SEPTEMBER 28, 2023	
CAD File: BASE_6-21-22B.DWG		Drawing No.: C30	
Layout: DETAILS 1		Sheet No.: 16 OF 18	
B - 22 - 0138 - 01			



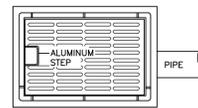
**SWALE DETAIL**  
NOT TO SCALE

PIPE DIAMETER			
DIMENSION	10/12	15	18
A	42	41	49
B	14.5	19	22
C	33	34	43
D	6	6	6

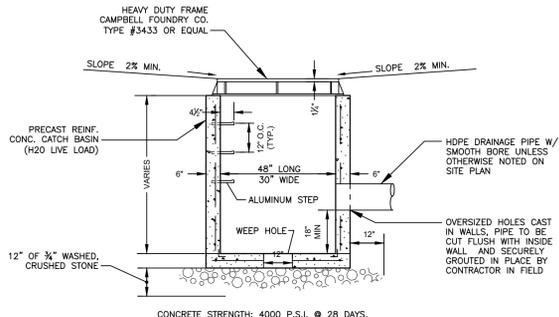
NOTE: ALL MEASUREMENTS IN INCHES



**HDPE FLARED END SECTION**  
NOT TO SCALE

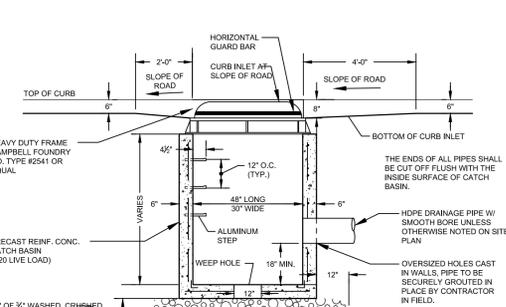
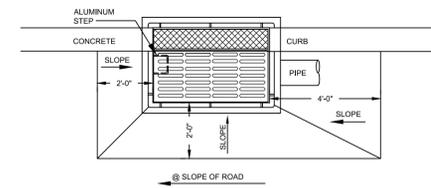


**PLAN**

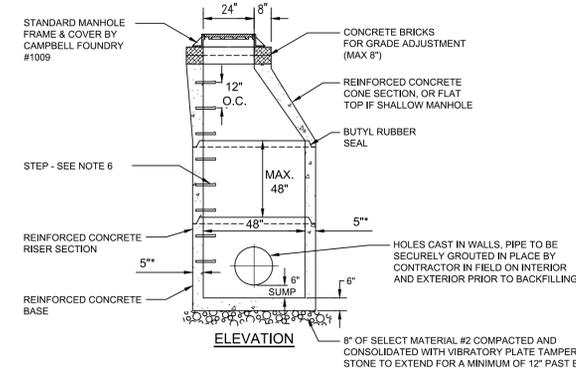


**SECTION**

**FLAT GRATE-CATCH BASIN**  
NOT TO SCALE



**CURB INLET-CATCH BASIN**  
NOT TO SCALE

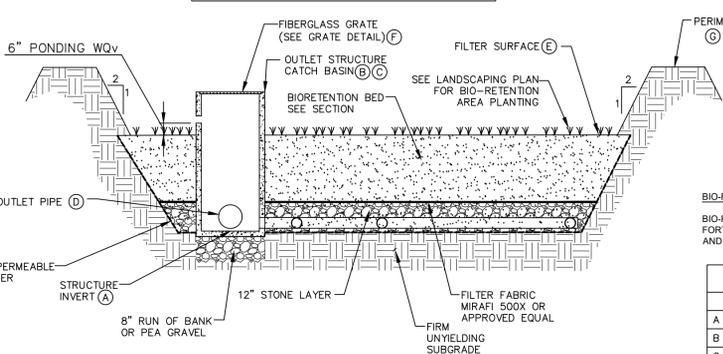


**NOTES:**

- PIPE TO EXTEND INTO THE MANHOLE ONLY TO A POINT WHERE OUTSIDE OF PIPE MEETS INSIDE WALL OF MANHOLE.
- OPENING FOR PIPE SHALL BE PRE-CAST.
- MANHOLE COVERS TO BE STAMPED "STORM".
- PRE-CAST REINFORCED CONCRETE MANHOLE SHALL BE DESIGNED FOR H20 LIVE LOAD.
- "WALL THICKNESS TO BE 6" IF MANHOLE HEIGHT EXCEEDS 9'.
- STEPS SHALL BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT.
- PIPES SHALL BE PARGED AROUND INTERIOR AND EXTERIOR PRIOR TO BACKFILLING OF STRUCTURE.
- BACKFILL AROUND MANHOLE SHALL BE ACCEPTABLE DRY RUN OF BANK GRAVEL, FREE OF ANY STONES LARGER THAN 3" IN DIAMETER, COMPACTED IN 6" MAX. LIFTS, USING JUMPING JACK COMPACTOR, ACHIEVING 95% COMPACTION.

**PRE-CAST DRAINAGE MANHOLE**  
NOT TO SCALE

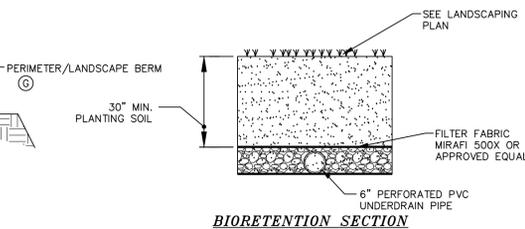
**NOTE:**  
BIO-RETENTION FACILITY SHALL NOT BE FINAL CONSTRUCTED UNTIL SUCH TIME AS THE SITE IS GENERALLY STABILIZED.



**BIO-RETENTION AREA DETAIL**  
NOT TO SCALE

**BIORETENTION AREA MAINTENANCE REQUIREMENTS:**  
INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
- RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THEN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
- REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
- ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
- WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E., LANDFILL).
- REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.
- COMPACTION SHALL BE AVOIDED AT ALL TIMES OF CONSTRUCTION OF MAINTENANCE OF THE BIORETENTION AREAS IN ORDER TO MAINTAIN THE NATURAL INFILTRATION CHARACTERISTICS OF THE UNDERLYING SOILS.

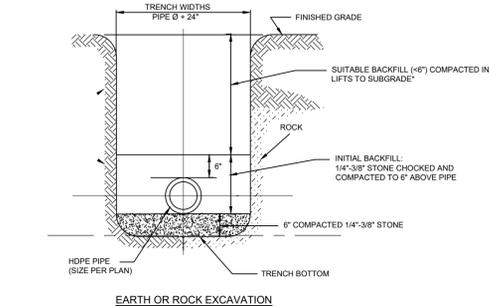


**BIORETENTION SECTION**

**BIO-RETENTION SOIL NOTES:**

BIO-RETENTION SOILS SHALL MEET THE SPECIFICATIONS SET FORTH BY THE NYSDOT ITEM #208.01030022 (BIO-RETENTION AND DRY SWALE SOIL)

BIO-RETENTION AREA DATA	
BIO-RETENTION AREA OUTLET STRUCTURE	BIO AREA A-1
A INVERT OF OUTLET STRUCTURE	444.00'
B OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	42"x60"
C TOP OF STRUCTURE ELEVATION	448.50'
D CULVERT: DIAMETER/INVERT ELEVATION	24" HDPE @ 444.00'
E FILTER SURFACE ELEVATION	447.00'
F GRATE DIMENSION	30"x48"
G TOP OF PERIMETER BERM	448.50'
H 1-YEAR SURFACE ELEVATION	447.67'
I 10-YEAR SURFACE ELEVATION	447.80'
J 100-YEAR SURFACE ELEVATION	447.92'



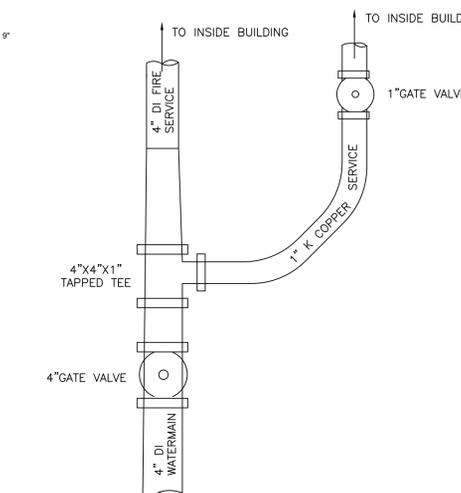
**EARTH OR ROCK EXCAVATION**

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS			
SOIL CLASSIFICATION	MINIMUM STANDARD PROCTOR DENSITY %		MINIMUM STANDARD PROCTOR DENSITY %
	ASTM D2321	ASTM D2487	
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	5	96
SAND, GRAVELS AND GRAVELS MIXTURES; LITTLE OR NO FINES	GW	57	85%
	GP	57	
	SW	57	
SILTY OR CLAYEY GRAVELS, GRAVELS/SANDS/CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	GM	56	90%
	GC	56	
	SM	56	

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.

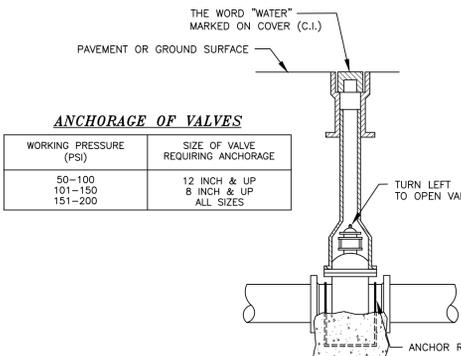
\*BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM #34.14) TO SUBGRADE.

**UTILITY TRENCH CROSS SECTION**  
NOT TO SCALE



**BUILDING WATER SERVICE CONNECTION DETAIL**  
NOT TO SCALE

- NOTES:**
- TOWN OF NEWBURGH WATER METER TO BE LOCATED INSIDE THE BUILDING WITH REMOTE SENSORS ON THE OUTSIDE.
  - VALVING MUST BE ARRANGED SO THAT POTABLE WATER IS TERMINATED IF FIRE PROTECTION LINE IS TURNED OFF.



**ANCHORAGE OF VALVES**  
NOT TO SCALE



**VALVE DETAIL**  
NOT TO SCALE

**TOWN OF NEWBURGH WATER SYSTEM NOTES**

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATER REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- TAPPING SLEEVES SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVES MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502 LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/2" MAIN VALVE OPENING, TWO 2 1/2" DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1/2" PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION SIZES SHALL BE MUELLER H-1500N FOR 3/4 AND 1 INCH, MUELLER H-1500N OR B-2500N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1001-2N FOR 3/4 AND 1 INCH AND MUELLER H-1031N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-1031N FOR 3/4 AND 1 INCH AND MUELLER H-1031N FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE, LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

**TOWN OF NEWBURGH SEWER SYSTEM NOTES**

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOT AND THE TOWN OF NEWBURGH.
- ALL SEWER PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- THE SEWERMAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

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P.O. Box 687, Rt. 207  
Goshen, N.Y. 10924  
(845) 294-3700

CONSTRUCTION DETAILS 2 FOR

**FABULOUS EVENTS, INC**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Revision: SEPTEMBER 1, 2022  
FEBRUARY 28, 2023  
APRIL 28, 2023  
AUGUST 24, 2023  
SEPTEMBER 28, 2023

CAD File: BASE\_6-21-22B.DWG  
Layout: DETAILS 2  
Sheet No.: 17 OF 18

Drawn By: JQ  
Checked By: N.T.S.  
Scale: 34-2-25.2, 54, 74, 76, 77  
Tax Map No.: B-22-0138-01

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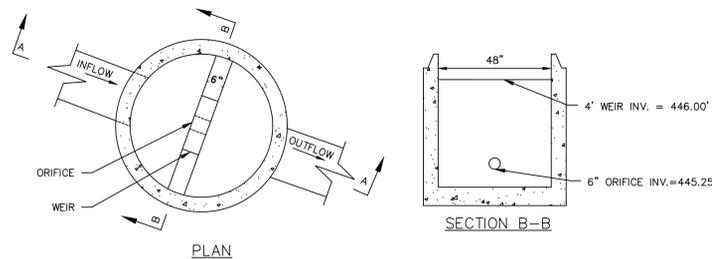
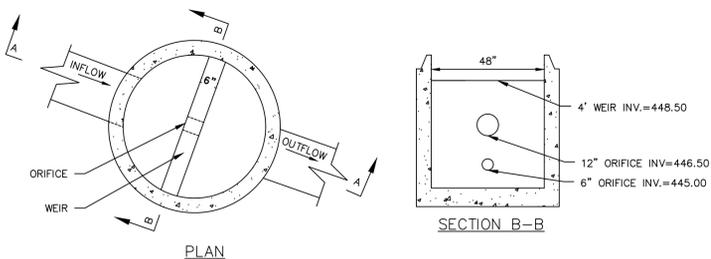
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**WET TAP DETAIL**  
NOT TO SCALE

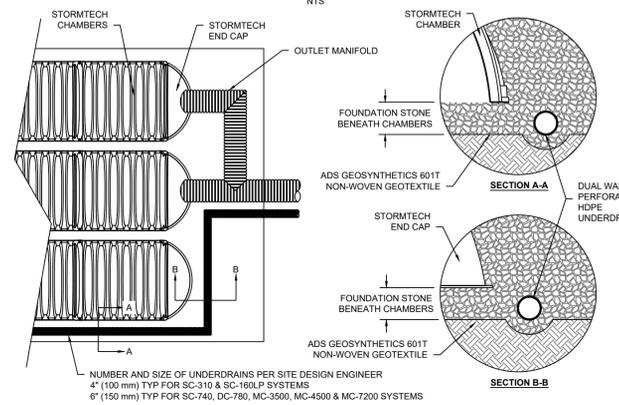
**WATER & SEWER HORIZONTAL SEPARATION**  
NOT TO SCALE

**RESTRAINED JOINT DETAILS**  
NOT TO SCALE

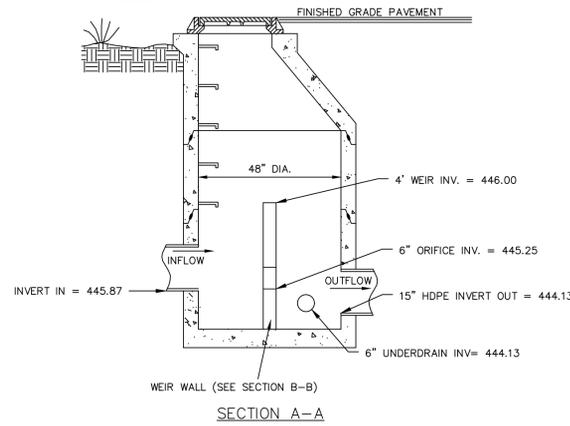
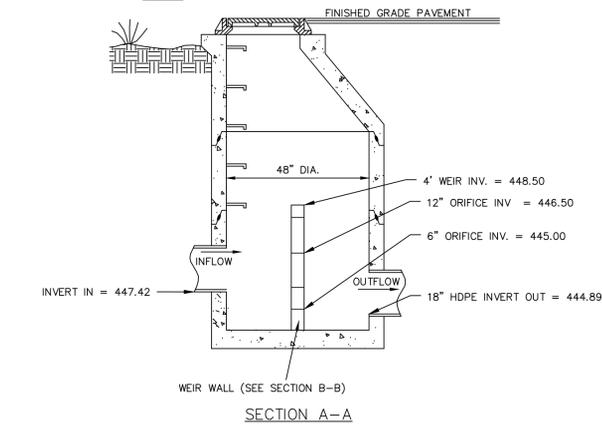
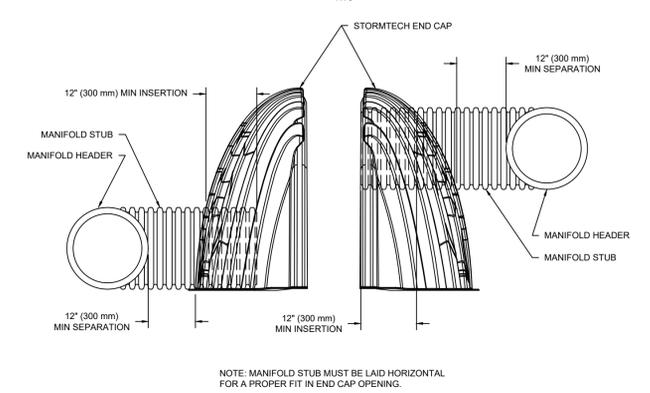
ALL REQUIRED JOINT RESTRAINT SHALL BE MEGALUG RETAINING GLANDS AS MANUFACTURED BY EBBA IRON, OR APPROVED EQUAL.



**UNDERDRAIN DETAIL**  
NTS



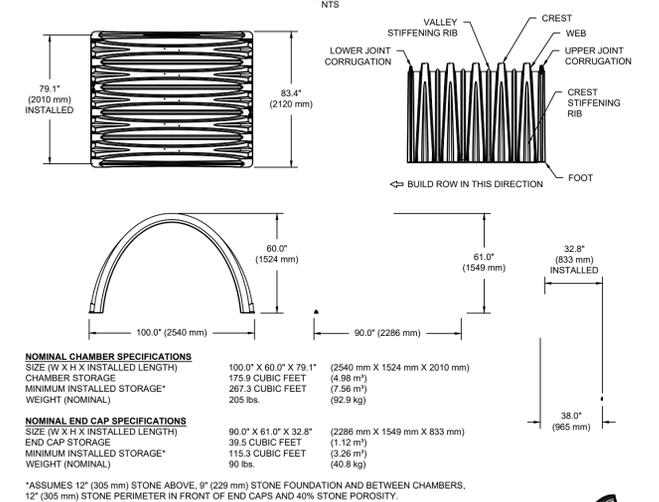
**MC-SERIES END CAP INSERTION DETAIL**  
NTS



**OCS 1 (UG A-5) OUTLET CONTROL STRUCTURE DRAINAGE MANHOLE DETAIL**  
NOT TO SCALE

**OCS 2 (UG A-2) OUTLET CONTROL STRUCTURE DRAINAGE MANHOLE DETAIL**  
NOT TO SCALE

**MC-7200 TECHNICAL SPECIFICATION**  
NTS



**ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS**

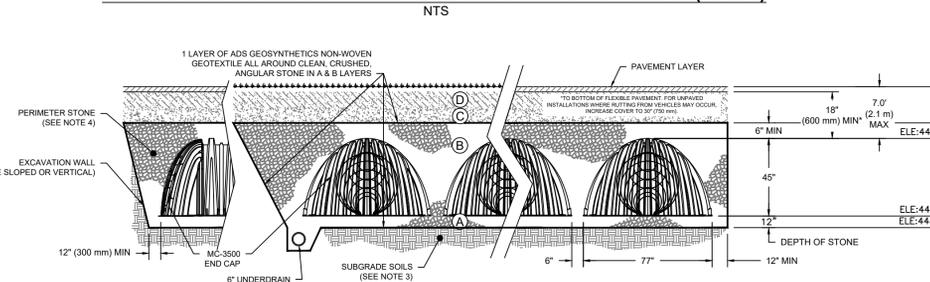
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2-4, A-3 OR AASHTO M43 <sup>3</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 <sup>3</sup> 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 <sup>3</sup> 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE.
  - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
  - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY PAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

**NOTES:**

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- MC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

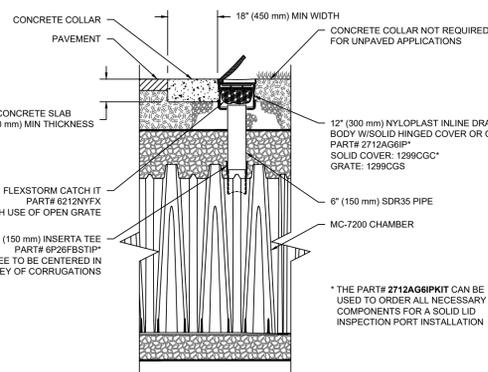
**SC-310 STORAGE CHAMBER AREA DETAIL & CROSS SECTION (UG A2)**  
NTS



**NOTES:**

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

**MC-3500 STORAGE CHAMBER AREA DETAIL & CROSS SECTION (UG A5)**  
NTS



**MC-7200 6" (150 mm) INSPECTION PORT DETAIL**  
NTS

PART #	STUB	B	C
MC7200EPP06T	6" (150 mm)	42.54" (1081 mm)	---
MC7200EPP06B	---	---	0.86" (22 mm)
MC7200EPP08T	8" (200 mm)	40.50" (1029 mm)	---
MC7200EPP08B	---	---	1.01" (26 mm)
MC7200EPP10T	10" (250 mm)	38.37" (975 mm)	---
MC7200EPP10B	---	---	1.33" (34 mm)
MC7200EPP12T	12" (300 mm)	35.69" (907 mm)	---
MC7200EPP12B	---	---	1.55" (39 mm)
MC7200EPP15T	15" (375 mm)	32.72" (831 mm)	---
MC7200EPP15B	---	---	1.70" (43 mm)
MC7200EPP18T	---	29.38" (746 mm)	---
MC7200EPP18B	---	---	1.97" (50 mm)
MC7200EPP18W	---	---	---
MC7200EPP24T	24" (600 mm)	23.05" (585 mm)	---
MC7200EPP24B	---	---	2.26" (57 mm)
MC7200EPP24W	---	---	2.95" (75 mm)
MC7200EPP36W	36" (900 mm)	---	3.25" (83 mm)
MC7200EPP42W	42" (1050 mm)	---	3.55" (90 mm)

CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVENTED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-7200 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

NOTE: FOR ADDITIONAL DETAILS FOR UG A2 AND UG A5, REFER TO THE PLANS ENTITLED "FABULOUS EVENTS INC." PREPARED BY ADVANCED DRAINAGE SYSTEMS, INC. LAST REVISED AUGUST 21, 2023.

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CONSTRUCTION DETAILS 3 FOR  
**FABULOUS EVENTS, INC**

TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

Drawn By: JQ  
Checked By:  
Scale: N.T.S.  
Tax Map No.: 34-2-25.2, 54, 74, 76, 77

Date: SEPTEMBER 1, 2022  
Revisions:  
FEBRUARY 28, 2023  
APRIL 28, 2023  
AUGUST 24, 2023  
SEPTEMBER 28, 2023

CAD File: RASE\_6-21-22B.DWG  
Layout: DETAILS 3  
Sheet No.: 18 OF 18  
Drawing No.: C3D  
B-22-0138-01

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