



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: FABULOUS EVENTS, INC.
PROJECT NO.: 22-23
PROJECT LOCATION: SECTION 34, BLOCK 2, LOT 25.2, 54, 76, 77
REVIEW DATE: 10 MARCH 2023
MEETING DATE: 16 MARCH 2023
PROJECT REPRESENTATIVE: LANC & TULLY – JOHN QUEENAN, P.E.

1. The applicants are seeking the main access off of NYS Route 32. Comments from the Department of Transportation were received in response to the Lead Agency coordination. A Traffic Study with crash analysis was requested, as well as sight distance was to be shown on the plans. DOT requested additional site details and a Drainage Report. The applicants are requested to copy the Planning Board on all submissions to the DOT to keep the Board's files up to date.
2. Status and scope of the Traffic Study should be discussed.
3. The Stormwater Pollution Prevention Plan (SWPPP) is identified as "to be submitted in the future". The Stormwater Plan as well as the Traffic Plan are required prior to circulation to the Orange County Planning Department.
4. Adjoiner's Notices were sent.
5. The outdoor storage component previously proposed was removed from the plan.
6. An emergency access drive has been provided to the rear of the parcel accessing Crab Apple Court.
7. Sheet 3 of 8 continues to have outdoor storage notes on the plans. The Narrative has identified that outdoor storage would be removed.
8. The size of the water service should be depicted on the plans. The building will be required to have a sprinkler system. Water service should be sized for the water sprinkler and the potable water for the site. Typical detail is attached for the layout of the sprinkler/potable water.
9. The design for the subsurface sanitary sewer disposal system must be provided on future plans.
10. A Landscaping Plan consistent with the Town of Newburgh Design Guidelines should be provided. Parking is depicted within the front yard setback along NYS Route 32. Landscape

NEW YORK OFFICE

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845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

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planting and/or landscape features should be incorporated into this area to mitigate the parking within the front yard. Planning Board typically addresses front yard parking with a requirement for screening via low dry laid stone walls.

11. Is emergency access drive proposed to be gated?
12. Town of Newburgh Water and Sewer Notes are required to be placed on the plan sheets. Copies attached.
13. Project will be subject to ARB approval. Renderings of the building must be provided during the review process.
14. A Site Lighting Plan must be submitted for the Board's review.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads "Patrick J. Hines". The signature is written in a cursive, flowing style.

Patrick J. Hines
Principal

PJH/kbw

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

1. "Construction of potable water utilities and connection to the Town of Newburgh water system requires a permit from the Town of Newburgh Water Department. All work and materials shall conform to the requirements of the NYSDOH and the Town of Newburgh."
2. All water service lines four (4) inches and larger in diameter shall be cement lined class 52 ductile iron pipe conforming to ANSI\AWWA C151\A21.51 for Ductile Iron Pipe, latest revision. Joints shall be either push-on or mechanical joint as required.
3. Thrust restraint of the pipe shall be through the use of joint restraint. Thrust blocks are not acceptable. Joint restraint shall be through the use of mechanical joint pipe with retainer glands. All fittings and valves shall also be installed with retainer glands for joint restraint. Retainer glands shall be EBBA Iron Megalug Series 1100 or approved equal. The use of a manufactured restrained joint pipe is acceptable with prior approval of the Water Department.
4. All fittings shall be cast iron or ductile iron, mechanical joint, class 250 and conform to ANSI\AWWA C110\A21.10 for Ductile and Gray Iron Fittings or ANSI\AWWA C153\A21.53 for Ductile Iron Compact Fittings, latest revision.
5. All valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model A-2360-23 or approved equal. All gate valves shall open left (counterclockwise).
6. Tapping sleeve shall be mechanical joint such as Mueller H-615 or equal. Tapping valves 4 to 12 inches shall be Resilient Wedge Gate Valves conforming to ANSI\AWWA C509 such as Mueller Model T-2360-19 or approved equal. All tapping sleeves and valves shall be tested to 150 psi minimum; testing of the tapping sleeve and valve must be witnessed and accepted by the Town of Newburgh Water Department prior to cutting into the pipe.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

TOWN OF NEWBURGH
WATER SYSTEM NOTES FOR SITE PLANS

7. All hydrants shall be Clow-Eddy F-2640 conforming to AWWA Standard C-502, latest revision. All hydrants shall include a 5 ¼ inch main valve opening, two 2 ½ inch diameter NPT hose nozzles, one 4 inch NPT steamer nozzle, a 6 inch diameter inlet connection and a 1 ½ inch pentagon operating nut. All hydrants shall open left (counter-clockwise). Hydrants on mains to be dedicated to the Town shall be Equipment Yellow. Hydrants located on private property shall be Red.
8. All water service lines two (2) inches in diameter and smaller shall be type K copper tubing. Corporation stops shall be Mueller H-15020N for ¾ and 1 inch, Mueller H-15000N or B-25000N for 1 ½ and 2 inch sizes. Curb valves shall be Mueller H-1502-2N for ¾ and 1 inch and Mueller B-25204N for 1 ½ and 2 inch sizes. Curb boxes shall be Mueller H-10314N for ¾ and 1 inch and Mueller H-10310N for 1 ½ and 2 inch sizes.
9. All pipe installation shall be subject to inspection by the Town of Newburgh Water Department. The contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Water Department.
10. The water main shall be tested, disinfected and flushed in accordance with the Town of Newburgh requirements. All testing, disinfection and flushing shall be coordinated with the Town of Newburgh Water Department. Prior to putting the water main in service satisfactory sanitary results from a certified lab must be submitted to the Town of Newburgh Water Department. The test samples must be collected by a representative of the testing laboratory and witnessed by the Water Department.
11. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.

Original 12-06-96
Revised 04-24-02
Revised 01-2015

TOWN SEWER SYSTEM NOTES

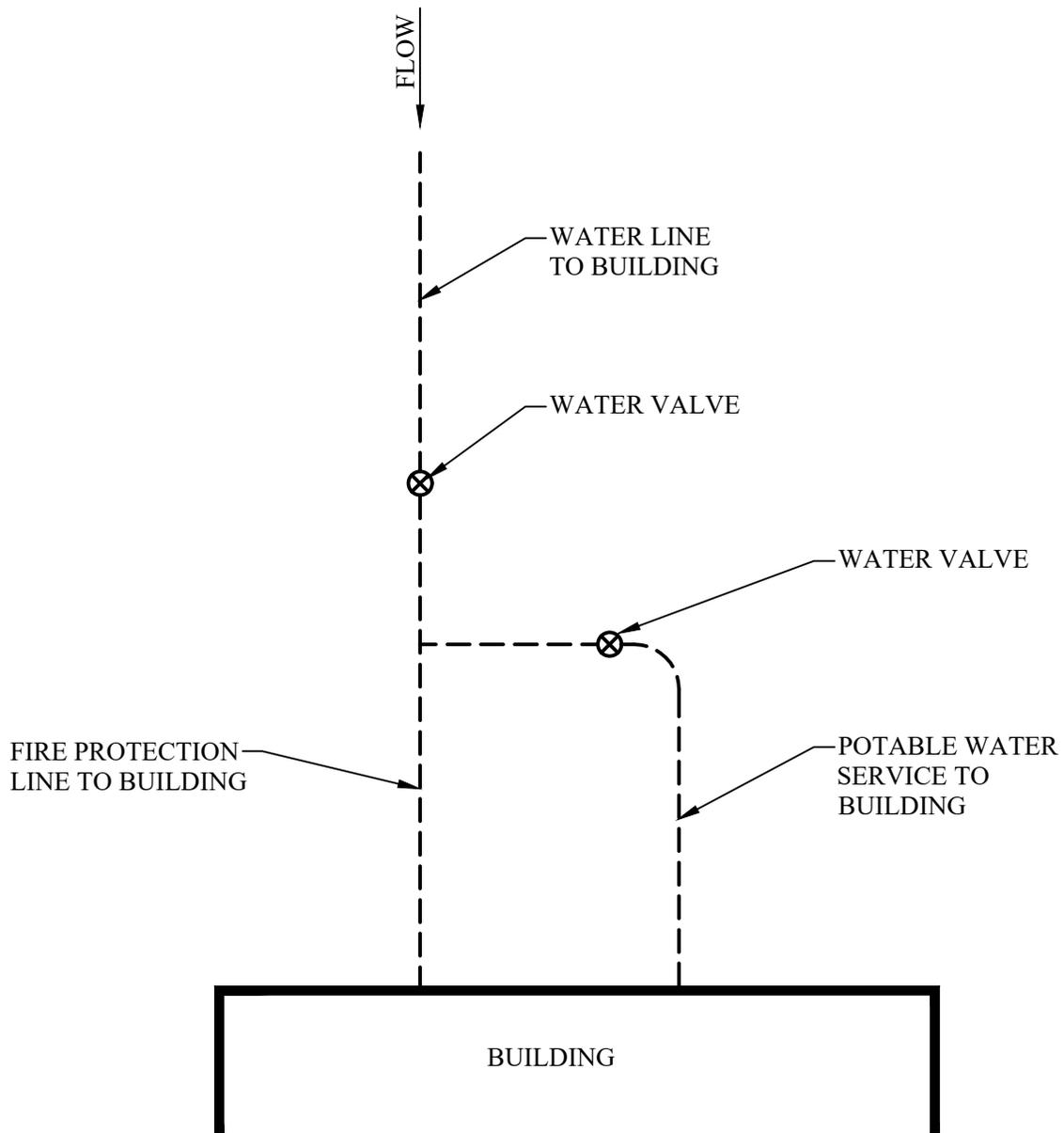
1. Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.

2. All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.

3. All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D-3034-89. Joints shall be push-on with elastomeric ring gasket conforming ASTM D-3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and spigot configuration compatible with the pipe.

4. The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.

5. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.



NOTE:
 VALVING MUST BE ARRANGED SO THAT
 POTABLE WATER IS TERMINATED IF
 FIRE PROTECTION LINE IS TURNED OFF.

TOWN OF NEWBURGH FIRE PROTECTION
FLOW TO BLDG. CONNECTION DETAIL

X
 XXX

SCALE: N.T.S.



March 7, 2023

Town of Newburgh Planning Board
Mr. John Ewasutyn - Chairman
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550

Re: Fabulous Events, Inc.
SBL: 34-2-25.2, 54, 76, 77
Site Plan – NYS Route 32

Dear Chairman Ewasutyn and Planning Board Members:

Enclosed are the following materials for the Board's continued review of the application at the upcoming March 16, 2023 Planning Board Meeting:

- Revised Site Plan entitled "Site Plan Prepared for Fabulous Events, Inc." last revised on February 28, 2023

The site plan has been revised to breakdown the building square footage and parking requirements based upon the Town Zoning Code. The following are responses to comments received from the Town's consultants in regards to the application since our last appearance before the Planning Board:

MHE Engineering dated October 14, 2022

1. The applicants are requested to address whether the project can access off of Crab Apple Court, an existing commercial private roadway.

RESPONSE: An emergency access driveway is proposed from the end of Crab Apple Court. The property within the application has rights to Crab Apple Court based upon the property survey data.

2. NYSDOT approval for the access drive to NYS Route 32 will be required.

RESPONSE: The applicant has engaged the NYSDOT for the driveway entrance permitting.

3. Filing of a lot consolidation map will be required as proposed project currently exists on several parcels.

RESPONSE: Correct, the applicant will consolidate the four parcels.

4. Code Enforcement/Building Department comments on the use should be received. The use is identified as B Zone D-2 (Business, Professional and Research Offices and Banks). It should be noted the project also has accessory warehousing loading docks and outdoor storage.

RESPONSE: The outdoor storage component of the application has been removed.

5. The project proposes outdoor storage in compliance with Section 185-30.

RESPONSE: The outdoor storage component of the application has been removed.

6. Future submissions must address Stormwater Management as project identifies disturbing 4.5+/-acres of property.

RESPONSE: The SWPPP is being developed for the project and it is expected to be a combination of underground and surface facilities.

7. The County Planning submission will be required upon development of the detailed plans.

RESPONSE: Comment noted.

8. Town of Newburgh Planning Board may wish to declare intent for Lead Agency for SEQRA review.

RESPONSE: The Planning Board completed this action at the October 20, 2022 meeting.

9. Section 185-18 C(4)(b) requires front yard setbacks to be 60-feet in depth for lots abutting County and State highways.

RESPONSE: The site plan and bulk table have been updated.

10. Additional review will be under taken once detailed design plans have been developed for the project.

RESPONSE: Comment noted.

Creighton Manning dated October 14, 2022

1. The proposed use appears to be for a party/event rental business, e.g., a couple may rent tables, chairs, linens, etc. from this company for a party or wedding.

RESPONSE: No response required.

2. The project would occupy four tax parcels, three of which have frontage to Crab Apple Court, the last having access to Route 32. There appears to be one other commercial property on Crab Apple Court developed.

RESPONSE: No response required.

3. The parking requirement calculations account for 8,000 SF of office, 28,000 SF of storage, but there appears to be 20,000 SF unaccounted for.

RESPONSE: The parking calculations and the building square footage have been updated to reflect the entire square footage of the building.

4. Access is proposed to Route 32. Sight distance will need to be verified; sight distances looking left cross through the inside of a curve and over the crest of a hill. As shown, the driveway is too close to the adjoining property line.

RESPONSE: The sight distances have been provided and the driveway adjusted to not encroach upon the adjacent property.

5. Has access to/from Crab Apple Court been considered?

RESPONSE: An emergency access drive has been proposed from Crab Apple Court.

6. Truck circulation will need to be demonstrated.

RESPONSE: This will be prepared within future submissions.

7. How many office, warehouse, maintenance employees are expected? Will customers frequent the business? Will a showroom be provided?

RESPONSE: The number of employees anticipated is 18. A 7,000-sf showroom is proposed that will be open Monday to Friday 9am to 5pm and by appointment only on Sunday.

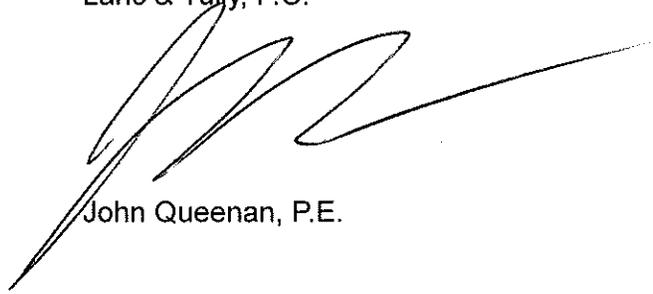
8. Based on ITE rates we estimate the project to generate relatively low volumes at approximately 10 to 30 trips in the AM and PM peak hours.

RESPONSE: No response required.

If you should require any additional information or have any questions, please do not hesitate to contact our office.

Very truly yours,

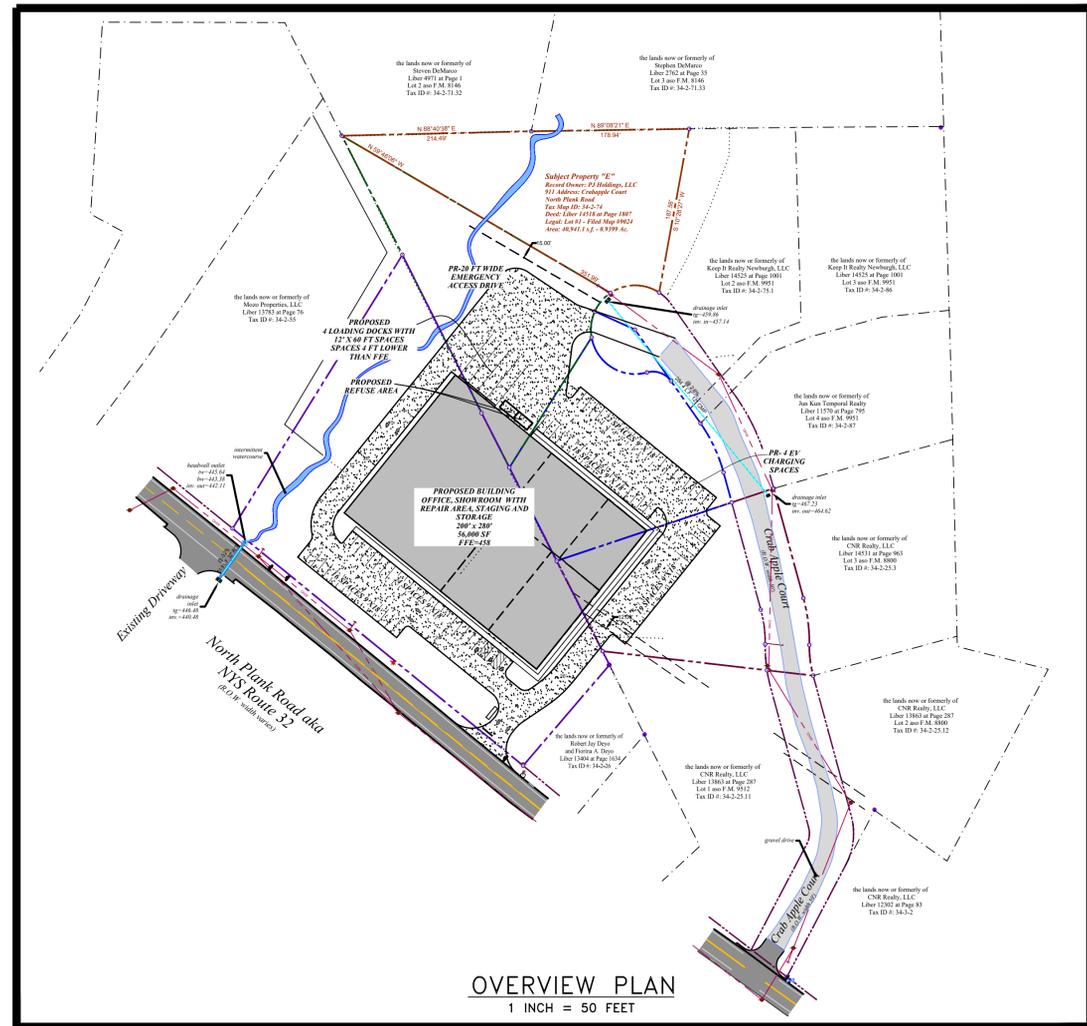
Lanc & Tully, P.C.

A handwritten signature in black ink, consisting of several fluid, overlapping loops and a long horizontal stroke extending to the right.

John Queenan, P.E.

SITE PLAN FOR FABULOUS EVENTS, INC

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



OVERVIEW PLAN
1 INCH = 50 FEET

LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EDGE OF PAVEMENT
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

SITE PLAN SHEET INDEX:

1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING AND UTILITY PLAN
5. NYSOT ENTRANCE PLAN AND DETAILS
6. CONSTRUCTION DETAILS
7. CONSTRUCTION DETAILS 2
8. CONSTRUCTION DETAILS 3

**PARKING REQUIREMENTS
REQUIRED**

OFFICE: 1 PARKING SPACE PER 200 SF UP TO 20,000 GFA
THEN 1 SPACE PER 300 SF OF ADDITIONAL FLOOR AREA
8,000 SF OFFICE / 200 SF = 40 SPACES REQUIRED FOR OFFICE AREA

RETAIL: 1 PARKING SPACE PER 150 SF UP TO 25,000 GLFA
7,000 SF OFFICE / 150 SF = 47 SPACES REQUIRED FOR RETAIL AREA

ACCESSORY USES
STORAGE, REPAIR AND STAGING: 2 PARKING SPACES PER 3 EMPLOYEES
41,000 SF – 18 EMPLOYEES = 12 SPACES REQUIRED

TOTAL = 99 PARKING SPACES REQUIRED
TOTAL = 99 PARKING SPACES PROVIDED
INCLUDING 3 HANDICAP SPACES

TABLE OF ZONING REQUIREMENTS

TOWN OF NEWBURGH – B ZONE BUSINESS, PROFESSIONAL AND RESEARCH OFFICE USE		
MINIMUM	REQUIRED	PROVIDED
LOT AREA	15,000 SF	5.24 ACRES
LOT WIDTH	100 FT.	114.25 FT.
LOT DEPTH	125 FT.	173.77 FT.
FRONT YARD	60 FT./40 FT.	94 FT.
ONE SIDE YARD/BOTH	15/30 FT.	59/157 FT.
REAR YARD	30 FT.	168 FT.
MAXIMUM	ALLOWED	PROVIDED
BUILDING HEIGHT	35 FT.	35 FT.
BUILDING COVERAGE	40%	24±%
DEVELOPMENT COVERAGE	80%	65±%
*-60 FT FRONT SETBACK REQUIRED ALONG STATE HIGHWAY		

RECORD OWNER:

PJ HOLDINGS, LLC
142 ROUTE 17K
NEWBURGH, NY 12550
34 - 2 - 25.2, 54, 76 & 77
L. 14518 P. 1807

APPLICANT:

FABULOUS EVENTS, INC
149 BURD STREET
NYACK, NY 10960

AREAS:

TAX LOT 34 - 2 - 25.2 0.91± AC.
TAX LOT 34 - 2 - 54 2.57± AC.
TAX LOT 34 - 2 - 76 0.84± AC.
TAX LOT 34 - 2 - 77 0.92± AC.

TOTAL AREA:

5.24± AC.

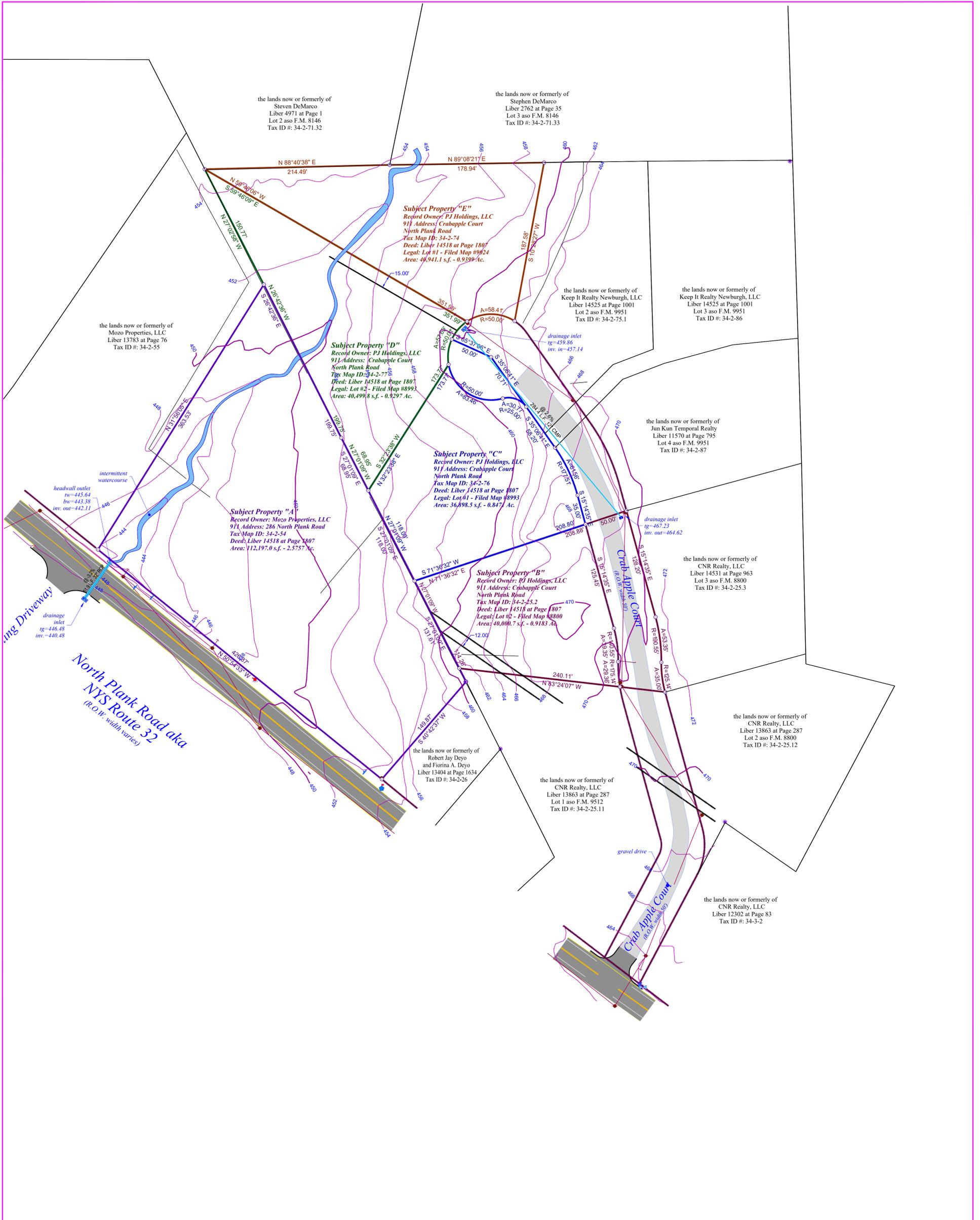
CONSTRUCTION NOTES:

1. ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
2. THE DESIGN AND LOCATION OF SANITARY FACILITIES (WATER AND SEWER SYSTEMS) SHALL ONLY BE CHANGED BY A LICENSED PROFESSIONAL ENGINEER WITH REVIEW AND APPROVAL FROM THE TOWN OF RAMAPO BUILDING DEPARTMENT.
3. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER (OR OTHER DESIGN PROFESSIONAL AS ALLOWED BY THE NYS EDUCATION DEPARTMENT) SHALL INSPECT THE SANITARY FACILITIES AT THE TIME OF CONSTRUCTION. THE ENGINEER SHALL CERTIFY TO THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
4. NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED AND THE APPROVED CLEARING LIMIT BOUNDARY HAS BEEN DELINEATED WITH CONSTRUCTION FENCING THROUGHOUT THE SITE.
5. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2008, AS SUPPLEMENTED.
CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
6. GAS, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
7. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
8. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
9. STORM SEWER PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) N-12 OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE PER MANUFACTURER'S SPECIFICATIONS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
10. WATERMAIN AND SERVICE PIPING SHALL BE CLASS 52 DUCTILE IRON PIPING.
11. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD, LATEST REVISION).
12. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED FROM RESPECTIVE INVOLVED AGENCIES HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.
13. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO THEIR SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID COLLISIONS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
15. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT LANC & TULLY ENGINEERING AND SURVEYING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. LANC & TULLY ENGINEERING AND SURVEYING, P.C. WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF CORRELATED ITEMS NOT RECEIVED.
16. NEITHER THE PROFESSIONAL ACTIVITIES OF LANC & TULLY ENGINEERING AND SURVEYING, P.C., NOR THE PRESENCE OF LANC & TULLY ENGINEERING AND SURVEYING, P.C. OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF HIS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS; AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. LANC & TULLY ENGINEERING AND SURVEYING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. LANC & TULLY ENGINEERING AND SURVEYING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
17. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND TOWN BUILDING DEPARTMENT AND/OR TOWN ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENAL TIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
18. IN ACCORDANCE WITH THE ROCKLAND COUNTY SANITARY CODE, SEDIMENT AND EROSION CONTROL SHALL BE IMPLEMENTED, WHERE AND WHEN NEEDED IN CONFORMANCE TO THE RECOMMENDATIONS OF THE ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT.
19. NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE DEPARTMENT PUBLIC WORKS.
20. THE LOCATION OF ALL EXISTING UTILITIES MUST BE VERIFIED.
21. NO OPEN BURNING DURING CONSTRUCTION WITHOUT EXPLICIT PERMISSION FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
22. SEWER AND WATER TRENCHES ARE TO BE LAID IN SEPARATE TRENCHES, WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
23. DURING THE COURSE OF CONSTRUCTION, THE BUILDER SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID THE CREATION OF DRAINAGE, EROSION AND SILTING PROBLEMS (IN CONSULTATION WITH APPROPRIATE AGENCIES) TO THE TOWN ENGINEER'S SATISFACTION.
24. DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR MORE THAN FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND STABILIZED.
25. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
26. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
27. THESE CONSTRUCTION NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

NYSOT NOTES:

1. ALL WORK AND IMPROVEMENTS WITHIN THE NYSOT RIGHT OF WAY FOR ROUTE 32 SHALL CONFORM TO THE FOLLOWING NYSOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
 - A. NYSOT STANDARD SHEETS 603 FOR DRIVEWAYS
 - B. NYSOT STANDARD SHEETS 608
 - C. NYSOT STANDARD SHEETS 608-03
 - D. NYSOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL





- REFERENCES:**
- The Official Tax Assessor's Maps for the Town of Newburgh, Orange County, New York.
 - Various Deeds of Record - Liber and Page or Document ID as shown:
 - Subject parcels being Lot 2 as shown on a map entitled, "Subdivision Lands of Land Investment Group of Newburgh", filed in the Orange County Clerk's Office on 03-31-1988 as Filed Map No. 8800, Lot 1 as shown on a map entitled, "Subdivision Plan of Yaffe Management Corp.", filed in the Orange County Clerk's Office on 07-29-1988 as Filed Map No. 9024, and Lots 1 and 2 as shown on a map entitled, "Subdivision Plan - Lands of Morbak Enterprises Inc.", filed in the Orange County Clerk's Office on 07-21-1988 as Filed Map No. 8993.
 - A map entitled, "Huggins II", dated 10-22-2014, prepared by Talcott Engineering Design PLLC.

CERTIFIED TO:
I hereby certify to:
Isaac Deutsch
PJ Holdings LLC
Mozo Properties LLC
Town of Newburgh

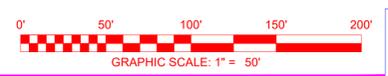
NOTE:
Vertical Datum is the North American Vertical Datum of 1988 (NAVD88). The project benchmark was established by GPS observation performed on June 3, 2016. Contours were calculated at two foot intervals as depicted hereon.

- SURVEYOR'S NOTES:**
- Copyright © 2022, Jonathan N. Millen, L.L.S. All Rights Reserved. Reproduction or copying of this document may be a violation of copyright law unless permission of the author and/or copyright holders is obtained.
 - Unauthorized alteration of an item in any way, or addition to a survey map for any person, unless acting under the direction of a licensed land surveyor, is a violation of section 7209, subdivision 2, of the New York State Education Law.
 - Only maps bearing the surveyor's signature overlaid with embossed seal are genuine true and correct copies of the surveyor's original work and opinion. Anything other than copies with an embossed seal and signature may contain unauthorized and undetectable modifications, deletions, additions, and changes, and are not to be relied upon. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.
 - Certifications on this map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this map.
 - The certifications herein are not transferable.
 - The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvements or encroachments exist or are shown, the improvements or encroachments are not covered by this certificate.
 - This survey is subject to the findings of a Title Report and or Title Search.
 - Surveyed as per deeds, prior survey maps, filed maps, physical evidence and existing monumentation found at the site.
 - Subject to any conditions, restrictions, covenants and/or right-of ways/easements of record, if any.

CERTIFICATION NOTES:
This certification is made only to named parties for purchase and/or mortgage of herein delineated property by named purchaser. No responsibility or liability is assumed by surveyor for use of survey for any other purpose including, but not limited to, use of survey for survey affidavit, resale of property, or to any other person not listed in certification, either directly or indirectly, the setting of fences and/or any other structures in or near the property lines. Unless indicated otherwise, property corners were not set.

SURVEYOR'S CERTIFICATION:
I hereby certify to the hereon listed parties that this survey was performed in accordance with the NYS Minimum Technical Standards Section 6 Suburban class and represents the results of an actual on the ground field survey, per record description, of the land shown hereon, located at 286 North Plank Road and Crabapple Court North Plank Road in the Town of Newburgh, County of Orange, State of New York. Completed on June 16th, 2022, performed in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc., and is to the best of my knowledge, belief and information, accurate and correct. Except as shown hereon: "there are no encroachments either way across property lines; title lines and lines of actual possession are the same".

Jonathan N. Millen, LLS
PROFESSIONAL LAND SURVEYOR
CERTIFIED TO BE CORRECT AND ACCURATE
N.Y. LIC. No. 050746



Signature _____ Date _____
Jonathan N. Millen, LLS
1229 Route 300 - Suite 3
Newburgh, NY 12550

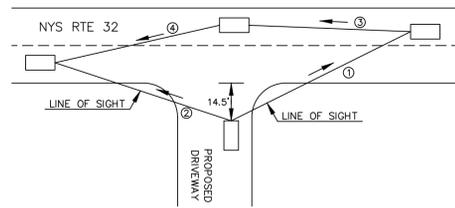
Sheet
2
of 8

Topographic Survey
of the lands of
PJ Holdings LLC and Mozo Properties LLC

Automated Construction Enhanced Solutions, Inc.
Professional Land Surveying
1229 Route 300 - Suite 4 - Newburgh, NY 12550
Office: 845-943-5198 Field: 914-906-8830 E-Mail: jmillenlls@acesurveying.com

Prepared For Tax Map Parcels
34-2-54, 34-2-25.2, 34-2-76, 34-2-77, and 34-2-74
aka addresses 286 North Plank Road and Crabapple Court North Plank Road
situated in the
Town of Newburgh
County of Orange, New York 12550

DATE: 06-16-2022 SCALE: 1"=50' JOB No.: 22053DEU DRAWN BY: jnm



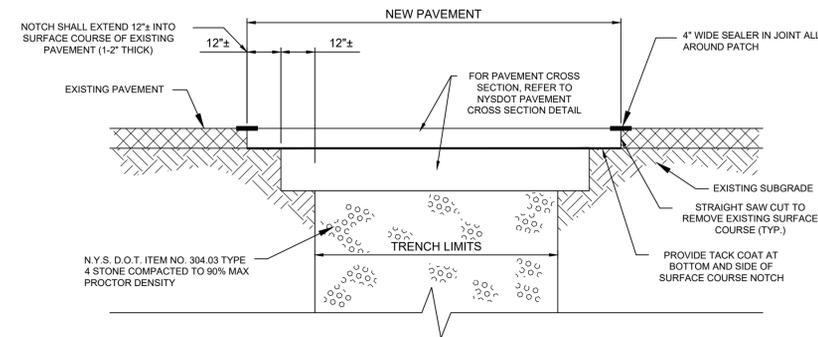
NOTES:
 POSTED SPEED LIMIT IS 45 MPH
 DESIGN SPEED FOR CALCULATIONS BELOW IS 45 MPH.
 THE GPS COORDINATES FOR THE DRIVEWAY ENTRANCE IS 41°32'51" - 74°03'21.8"

DESCRIPTION	RECOMMENDED STOPPING SIGHT DISTANCE	RECOMMENDED INTERSECTION SIGHT DISTANCE	PROPOSED ENTRANCE
1 EXITING SIGHT DISTANCE LOOKING RIGHT TO APPROACHING VEHICLE	360'	500'	1000'+
2 EXITING SIGHT DISTANCE LOOKING LEFT TO APPROACHING VEHICLE	360'	430'	445'+
3 REAR END SIGHT LINE FROM THE LEFT TURN ENTERING VEHICLE TO A VEHICLE APPROACHING FROM THE SAME DIRECTION	360'	---	550'+
4 SIGHT LINE FROM THE LEFT TURN ENTERING VEHICLE TO A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION	360'	---	550'+

NOTES:
 1) CALCULATED AND RECOMMENDED SIGHT DISTANCE MEASUREMENTS SHOWN PER AASHTO GEOMETRIC DESIGN OF HIGHWAYS AND STREETS.

SIGHT DISTANCE MEASUREMENTS

NOT TO SCALE

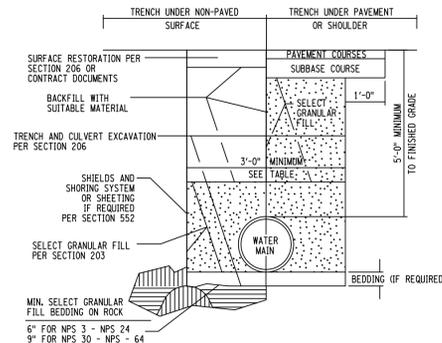


PAVEMENT RESTORATION DETAIL

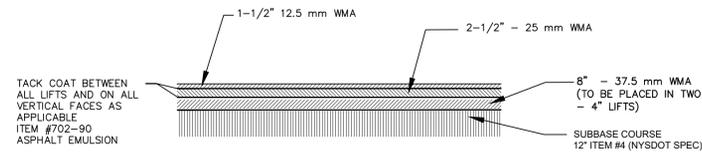
NOT TO SCALE

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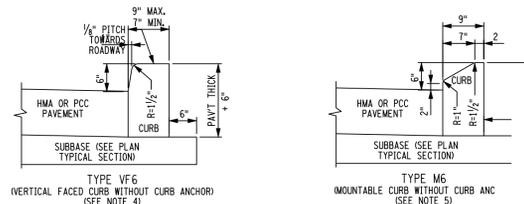
UTILITY TRENCH DETAIL



NOTES:
 1. NYSDOT PAVEMENT SPECIFICATION SHALL BE UTILIZED TO RIGHT-OF-WAY LINE.
 2. REFER TO SECTION 404 FOR ALL REQUIRED WARM MIX ASPHALT (WMA) SPECIFICATIONS AND REQUIREMENTS

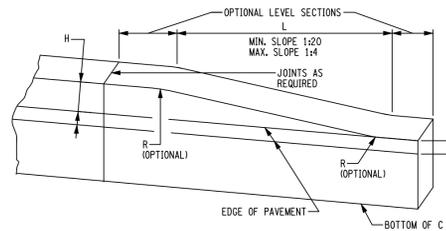
NYSDOT PAVEMENT CROSS SECTION

NOT TO SCALE



CAST-IN-PLACE CONCRETE CURB

- NOTES:
- USE CURB AND CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
 - CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
 - CURB TYPES M6A, VF6A AND M6A REQUIRE CURB ANCHOR. CURB AND GUTTER TYPES VF6G AND M6G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
 - WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES CU1, CU2, AND CU CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB. SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
 - USE WITH CURB BOXES, CM1, CM2, AND CM3.



CAST-IN-PLACE CONCRETE CURB TRANSITIONS (SEE NOTE 2)

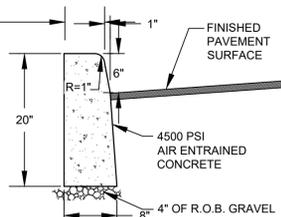
CURB TRANSITION LENGTHS (L)			
SLOPE	1:4	1:12	1:20
4"	16"	48"	80"
6"	24"	72"	120"

- NOTES:
- USE 1" REVEAL AND CONTINUE CURB ACROSS DRIVEWAY ENTRANCES ONLY IF SHOWN IN THE CONTRACT DOCUMENTS, OR DIRECTED BY THE ENGINEER AS A FIELD CONDITION.
 - TERMINATE CURB, CURB AND GUTTER BY TRANSITIONING ON A MAXIMUM SLOPE OF 1:12 TO PAVEMENT SURFACE.
 - EXTEND JOINT FILLER 6" MINIMUM BEHIND CURB ON BOTH SIDES OF CURB BOX. 705-07 NOT NEEDED WHEN VERTICAL FACED CURB WIDTH EQUAL TO WIDTH OF CURB BOX.

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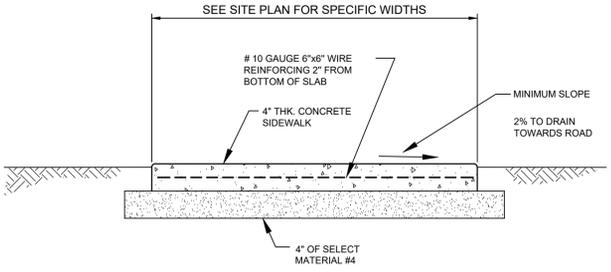
LANC & TULLY ENGINEERING AND SURVEYING, P.C.	P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	Date: SEPTEMBER 1, 2022
		Revision: FEBRUARY 28, 2023
NYSDOT ENTRANCE PLAN & DETAILS FOR		
FABULOUS EVENTS, INC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
Drawn By: JQ	Checked By:	Scale: 1" = 50' Tax Map No.: 34-2-25.2, 54, 76, 77 Drawing No.: C30 B - 22 - 0138 - 01

1. ALL WORK AND IMPROVEMENTS WITHIN THE NYSDOT RIGHT OF WAY FOR ROUTE 306 SHALL CONFORM TO THE FOLLOWING NYSDOT STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE PLAN:
- NYSDOT STANDARD SHEETS 603 FOR DRIVEWAYS
 - NYSDOT STANDARD SHEETS 609-01
 - NYSDOT STANDARD SHEETS 608-03
 - NYSDOT STANDARD SPECIFICATIONS 619 FOR WORK ZONE TRAFFIC CONTROL



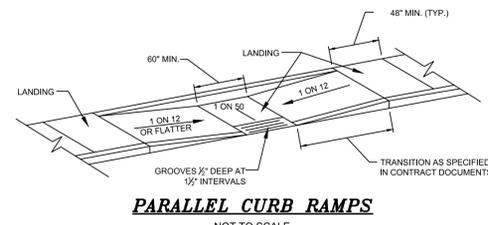
CONTRACTOR TO PROVIDE 1/2" PREFORMED BITUMINOUS - IMPREGNATED FIBER JOINT FILLER EVERY 10'. JOINT FILLER TO COMPLY WITH A.A.S.H.O. SPEC. M-213. FILLER TO BE RECESSED IN FROM FRONT FACE AND TOP OF CURB 1/2".

CONCRETE CURB
NOT TO SCALE

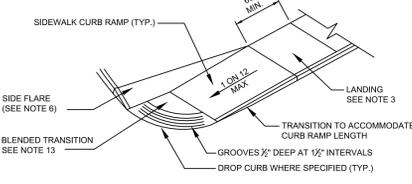


- NOTES:
- EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 - CONTRACTION JOINTS 1" DEEP HAVING 1/2" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 - EDGES SHALL HAVE 1/2" RADIUS.
 - USE 4500 PSI CONCRETE.
 - BROOM FINISH TOP SURFACE.

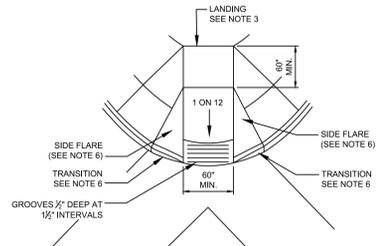
STANDARD SIDEWALK DETAIL
NOT TO SCALE



PARALLEL CURB RAMPS
NOT TO SCALE

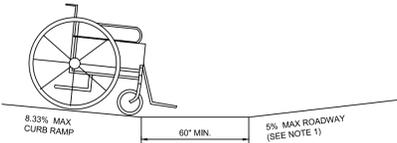


SIDEWALK CURB RAMP
NOT TO SCALE



DIAGONAL SIDEWALK CURB RAMP
NOT TO SCALE

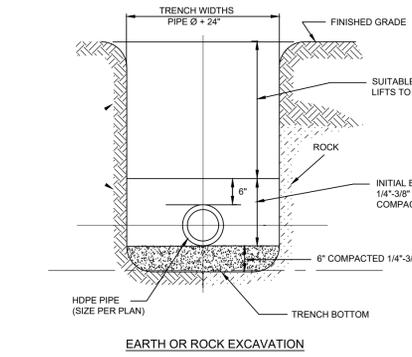
- GENERAL NOTES:
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGN.
 - THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP. THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH CURB RAMP AND PARALLEL PERPENDICULAR RAMP.
 - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 6'0" BY 6'0" SQUARE. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARF.
 - THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
 - CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 6'0" WIDE MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK, THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 - THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING GROOVES.
 - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX).
 - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR AS GREATER PEDESTRIAN SAFETY AND COMFORT.
 - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) NEED NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 - DETAILS ILLUSTRATE THAT DETECTABLE GROOVES ARE REQUIRED. SEE THE CURRENT DETECTABLE WARNING STANDARD SHEET FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROP CURBS MAY BE SPECIFIED.
 - SLOPES ON BLEND TRANSITIONS SHALL NOT BE STEEPER THAN 2% (1 ON 50) IN ANY DIRECTION.



NOTE: TO AVOID WHEEL CHAIR FOOTREST STRIKING PAVEMENT, PROVIDE 24" LEVEL STRIP (1.50 MAX. IN DIRECTION OF PEDESTRIAN TRAVEL). IF ALGEBRAIC DIFFERENCE BETWEEN CURB RAMP SLOPE & ROADWAY CROSS SLOPE EXCEEDS 11%.

COUNTER SLOPE CONDITIONS
NOT TO SCALE

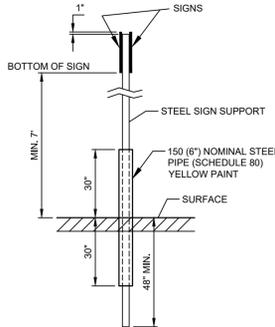
CURB RAMP DETAILS



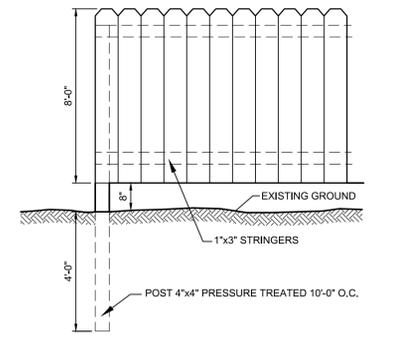
ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS				
	SOIL CLASSIFICATION			MINIMUM STANDARD PROCTOR DENSITY %
	ASTM D2321	ASTM D2487	AASHTO M43	
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5 56	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT PERMITTED.
* BACKFILL SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION. IN PAVED AREAS BACKFILL TO BE ITEM 4 (NYS DOT ITEM NO. 304.14) TO SUBGRADE.

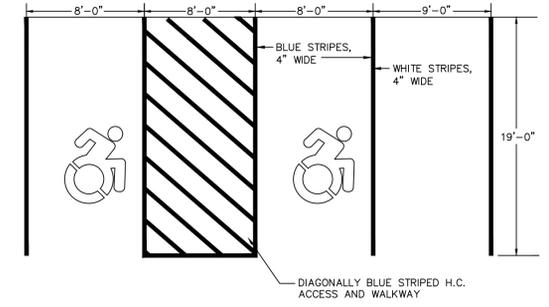
UTILITY TRENCH CROSS SECTION
NOT TO SCALE



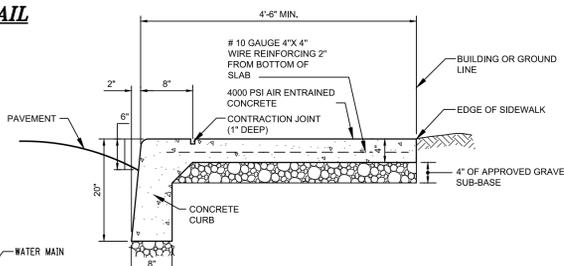
POST BASE DETAIL
NOT TO SCALE



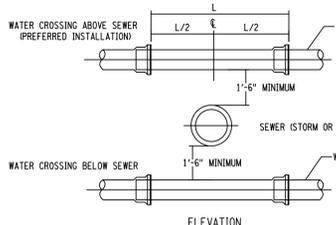
STOCKADE FENCE DETAIL
NOT TO SCALE



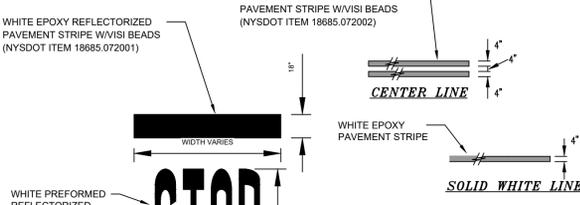
HANDICAP AND TYPICAL PARKING SPACE STRIPING DETAIL
NOTE: MAXIMUM SLOPE FOR ADA PARKING SPACES SHALL NOT EXCEED 2%. SEE GRADING PLAN ON SHEET 5 FOR SPECIFIC ELEVATIONS AND SLOPES.
NOT TO SCALE



MONOLITHIC CURB AND SIDEWALK DETAIL
NOT TO SCALE



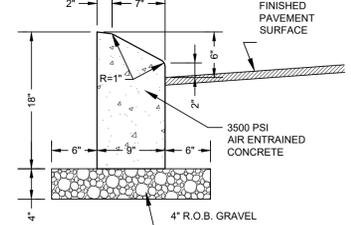
WATER MAIN/SEWER CROSSING



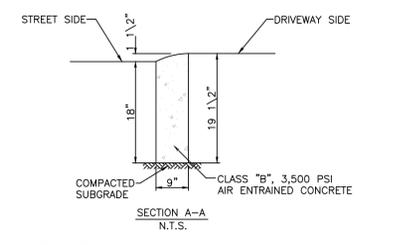
STRIPING DETAILS
NOT TO SCALE



NYS COMPLIANT ACCESSIBILITY SYMBOL
NOT TO SCALE



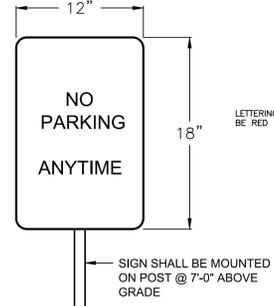
CONCRETE CURB DETAIL (MOUNTABLE)
NOT TO SCALE



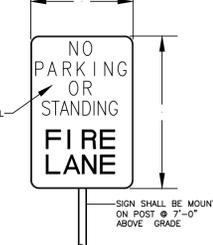
DROP CURB DETAIL AT ENTRANCE
NOT TO SCALE



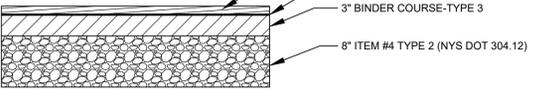
HANDICAP SIGN
NOT TO SCALE



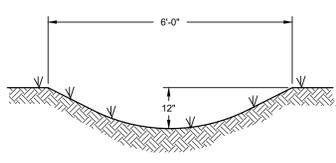
NO PARKING ANYTIME
NOT TO SCALE



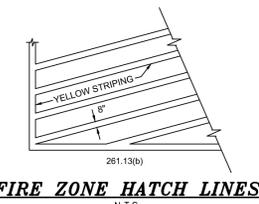
FIRE LANE SIGN



PAVEMENT SECTION PASSENGER TRAFFIC AND PARKING AREAS
NOT TO SCALE



SWALE DETAIL
NOT TO SCALE



FIRE ZONE HATCH LINES
N.T.S.



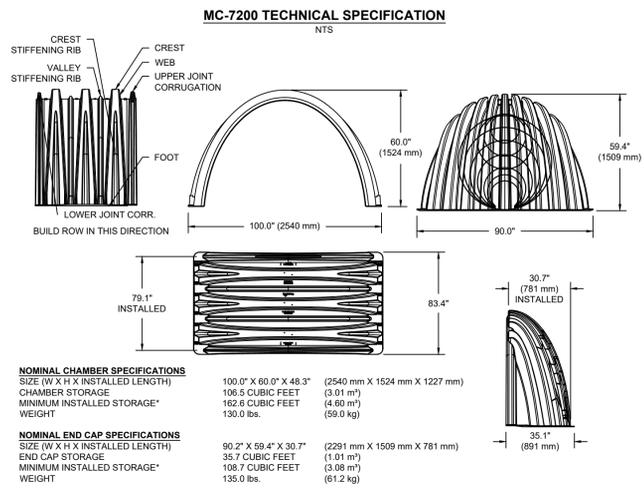
REGULATORY SIGNS
NOT TO SCALE

NOTE: STOP SIGN SHALL MEET THE REQUIREMENTS OF CHAPTER 28 OF THE MUTCD.

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LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
CONSTRUCTION DETAILS FOR		
FABULOUS EVENTS, INC TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		
Drawn By: JQ	Checked By:	Scale: 1" = 50' Tax Map No.: 34-2-25.2, 54, 76, 77
Date: SEPTEMBER 1, 2022 Revision: FEBRUARY 28, 2023		CAD File: BASE_6-21-22B.DWG Layout: DETAILS Sheet No.: 6 OF 8 Drawing No.: C30 B - 22 - 0138 - 01



STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC4500REPE06T	6" (150 mm)	42.54" (1081 mm)	---
MC4500REPE06B	---	---	0.86" (22 mm)
MC4500REPE08T	8" (200 mm)	40.50" (1029 mm)	---
MC4500REPE08B	---	---	1.01" (26 mm)
MC4500REPE10T	10" (250 mm)	38.37" (975 mm)	---
MC4500REPE10B	---	---	1.33" (34 mm)
MC4500REPE12T	12" (300 mm)	35.69" (907 mm)	---
MC4500REPE12B	---	---	1.55" (39 mm)
MC4500REPE15T	15" (375 mm)	32.72" (831 mm)	---
MC4500REPE15B	---	---	1.70" (43 mm)
MC4500REPE18TC	---	29.36" (746 mm)	---
MC4500REPE18TW	18" (450 mm)	---	---
MC4500REPE18BC	---	---	1.97" (50 mm)
MC4500REPE18BW	---	---	---
MC4500REPE24TC	---	23.05" (585 mm)	---
MC4500REPE24TW	24" (600 mm)	---	---
MC4500REPE24BC	---	---	2.26" (57 mm)
MC4500REPE24BW	---	---	---
MC4500REPE28BC	30" (750 mm)	---	2.55" (65 mm)
MC4500REPE28BC	36" (900 mm)	---	3.25" (83 mm)
MC4500REPE42BC	42" (1050 mm)	---	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.

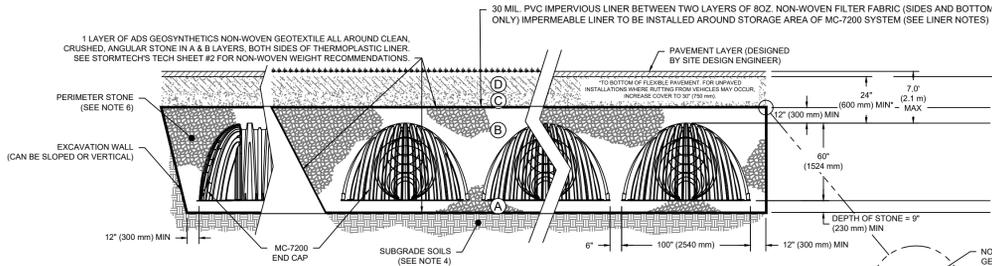
ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ² 3, 3S7, 4, 4S7, 5, 5S, 57, 6, 67, 68, 7, 7S, 8, 8S, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

NOTES:

- MC-7200 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST MOVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.



LINER NOTES

STORMTECH RECOMMENDS THE USE OF NON-REINFORCED 30 MIL POLYVINYL CHLORIDE (PVC) MEMBRANE LINERS FOR THERMOPLASTIC LINER DETENTION SYSTEMS. THE RECOMMENDED CONFIGURATION OF THE LINER SYSTEM IS 30 MIL PVC MEMBRANE PLACED BETWEEN 2 LAYERS OF 8 OZ. NON-WOVEN GEOTEXTILE FABRIC. IF SYSTEM IS TO CONTAIN RUNOFF FROM AGGRESSIVE CHEMICAL CONTAMINANTS A LINER SPECIALIST MUST BE CONSULTED. PVC LINERS MAY BE FIELD SOLVENT WELDED, TAPED, FIELD HEAT WELDED, OR PREFABRICATED (TYPICALLY UP TO 20,000 S.F.) DEPENDANT UPON APPROVAL OF THE DESIGN ENGINEER. ADS DOES NOT RECOMMEND INSTALLING LINED CHAMBER SYSTEMS BELOW GROUNDWATER LEVEL. IF GROUNDWATER IS EXPECTED TO BE NEAR THE LINER SYSTEM, THE CONSULTING DESIGN ENGINEER MAY REQUIRE A PERFORATED PIPE "UNDERDRAIN" SYSTEM TO CONTROL GROUNDWATER LEVELS. A PEAK FLOW STRUCTURE SHOULD BE INCORPORATED BY THE CONSULTING DESIGN ENGINEER IN ORDER TO PASS THE HIGH FLOW LEVELS ENSURING THAT THE LINER IS NOT OVERTOPPED. ALL LINED DETENTION SYSTEM DESIGNS MUST BE PERFORMED BY THE CONSULTING DESIGN ENGINEER AND ADS RECOMMENDS A LINER PROFESSIONAL BE CONSULTED ON ALL DESIGNS REQUIRING LINER SYSTEMS.

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

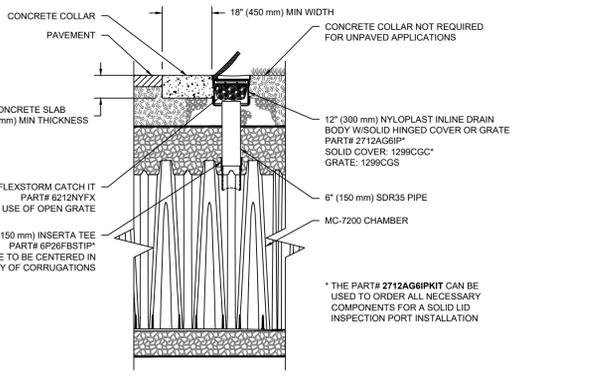
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED.
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

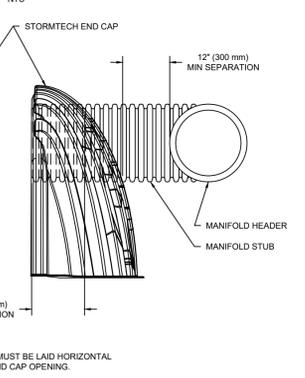
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-7200 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOTTER LOCATED OFF THE CHAMBER BED
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

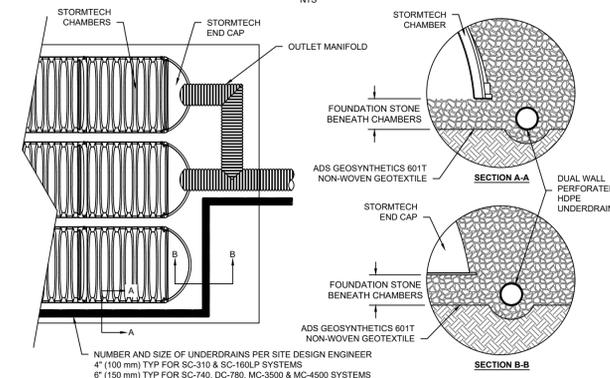
NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
 - NO RUBBER TIRED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

MC-SERIES END CAP INSERTION DETAIL



UNDERDRAIN DETAIL



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CONSTRUCTION DETAILS 3 FOR

FABULOUS EVENTS, INC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

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