

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS D.P.C.

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Principal Emeritus: RICHARD D. McGOEY, P.E. (NY & PA) WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT:

CUMBERLAND FARMS

PROJECT NO.:

16-05

PROJECT LOCATION:

SECTION 86, BLOCK 1, LOT 14 & 15

REVIEW DATE:

30 MARCH 2016

MEETING DATE:

7 APRIL 2016

PROJECT REPRESENTATIVE: BOHLER ENGINEERING

- 1. A City of Newburgh Flow Acceptance letter will be required for Sanitary Sewer connection.
- 2. Orange County Planning referral will be required.
- 3. Orange County DPW and NYSDOT referrals and approvals will be required for proposed driveway access points. It is noted that 2 driveways are proposed on each of the roadways. It is unclear if these will be issued by those agencies. Information pertaining to and in coordination of submissions to the county or DOT should be copied to the Planning Board to complete the file.
- The Town of Newburgh has adopted design guidelines in 2007. Compliance with design 4. quidelines should be documented on the plans. Any specific waivers of requirements should be formally requested to the Planning Board. Parking along the front of the building along both roadway frontages is proposed. Mitigation measures for screening that parking should be incorporated into the plan and a waiver for that be requested. In the past stone walls have been incorporated into site plans to provide for screening of parking.
- 5. Truck access plan for delivery vehicles should be provide.
- A Stormwater Management Report and SWPPP should be included in future submissions. 6.
- Sanitary Sewer Pump Station design report and plan should be submitted. 7.
- Water and sewer line routing depicts a circuitous path across the site. This should be 8. modified.
 - Regional Office 111 Wheatfield Drive Suite 1 Milford, Pennsylvania 18337 570-296-2765 •

- 9. Town of Newburgh has requirements for sprinklering commercial buildings. Fire Suppression sprinklers should be addressed on the plans. Water lines should be provided to adequately serve the fire protection system.
- 10. Standard Town of Newburgh water and sewer notes must be added to the plans(copies attached).
- 11. Numerous variances will be required. The Bulk table notes previously issued variances, however the location of items involving those variances has changed on the site. Mike Donnelly's comments on the previously issued variance should be received.
- 12. Based on a review of the plans the following variances will be required:
 - a) Maximum Canopy Height
 - b) Front Yard Setback for Canopy from both Rock Cut Road & Rt. 17K
 - c) Front Yard Landscaping Requirement
 - d) Signage Locations in Front Yard
 - e) Side Yard for Canopy
 - f) Number of Required Parking Spaces
- 13. Notes on the Demolition Plan should be added requiring a demolition permit from the Town of Newburgh Building Department for removal of any and all structures. In addition a permit is required for removal of existing petroleum bulk storage tanks.
- 14. Parking spaces are depicted as 10x20. Town of Newburgh parking spaces are 9x19 with a double stripe pattern. Striping pattern details should be added to the plans.
- 15. Sizing information for the proposed grease trap should be provided.
- 16. The design depicts 12 inch diameter pipe. 15 inch Stormwater pipe is the minimum permitted in the Town of Newburgh.
- 17. A temporary sediment trap is identified in the DOT right of way. This should be addressed with the DOT during permitting.
- 18. Drainage Plan identifies "ridgelines" on the site. These appear to conflict with the proposed grading. Discharge to the State Highway will occur based on the proposed grading.

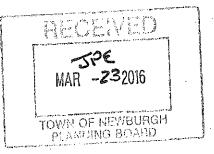
Respectfully submitted,

Consulting En	gineers, D.P.C.
Patrick J. Hines	<u> </u>
Principal	

McGoev. Hauser and Edsall

MAR 2 4 2016

CUMBERLAND FARMS, INC. PROJECT NARRATIVE 270 ROUTE 17K



Cumberland Farms, Inc. as successor by merger to VSH Realty, Inc. is the owner of an existing convenience store and gas sales facility located on a 20,600 square foot parcel of land at the intersection of Route 17K and Rock Cut Road (the property). The property is shown on the Newburgh Assessor's Map as Tax Map No. 86-1-14. The property is located in the Interchange Business District and is connected to municipal water and currently serviced by a private septic system. The proposal will include an application to connect to the municipal sewer system. The property was converted to the existing use in 1980 from a former service station facility and has existed in such condition since that time.

Cumberland Farms is under contract to purchase the property to its north in order to bring the property into compliance with the district bulk requirement. The plan is for the demolition of the existing improvements on both sites and construction of a new 4,956 sf convenience store with four gas dispensers and a canopy fronting on Route 17K. The building will meet all setback requirements. The current canopy benefits from a variance granted in 2000 for a 5.5 foot setback from Route 17K but will require a variance from Rock Cut Road and a side yard set back variance. In addition we will be seeking a variance of the parking and landscape requirements. The architecture will incorporate the new image of Cumberland Farms being a white colonial structure.



TOWN OF NEWBURGH APPLICATION FOR SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550

DA	TE RECEIVED		WN FILE NO:_	2016-05
	(Ap	plication fee returnable with this	application)	
1.		sion/Site Plan (Project name): oberland Farms Site Plan		
2.	Name Address	to be reviewed: Cumberland Farms Inc. 100 Crossings Boulevard Framingham, MA 01702	42 Latti	. Kelson Intown Road Igh, NY 12550
	Phone			
3.	Applicant Infor Name Address	mation (If different than owner): Cumberland Farms Inc. 100 Crossings Boulevard Framingham, MA 01702		
	Representati Phone Fax Email	rolson@mccm.com		
4.	Subdivision/Site Name Address	Plan prepared by: Bohler Engineering 17 Computer Drive West Albany, NY 12205	Suite 203	
	Phone/Fax	518-438-9900 / 518-438	-0900	
5.	Location of land			
6.	ZoneIB Acreage1.15		ct Coldenhar trict Valley Co	n entral
7.	Tax Map: Secti	on <u>86</u> Block <u>1</u>	Lot <u>14 &</u>	15

McCABE & MACK LLP

ATTORNEYS AT LAW

DAVID L. POSNER ELLEN L. BAKER SCOTT D. BERGIN RICHARD R. DUVALL LANCE PORTMAN RICHARD J. OLSON MATTHEW V. MIRABILE KIMBERLY HUNT LEE REBECCA M. BLAHUT BETSY N. ABRAHAM DANIEL C. STAFFORD CHRISTINA M. PIRACCI KYLE A. STELLER ANDREA L. GELLEN CORY A. POOLMAN

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> JOHN E. MACK (1874-1958) JOSEPH A. McCABE (1890-1973) EDWARD J. MACK (1910-1998) JOSEPH C. McCABE (1925-1981)

DIRECT TELEPHONE: (845) 486-6896 E-MAIL: rolson@mccm.com

HAND DELIVERED

March 23, 2016

John P. Ewasutyn, Chairman Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, NY 12550

RE: Cumberland Farms Site Plan

> Project No. 2016-05 Our File: 7457-1

Dear Mr. Ewasutyn:

As discussed delivered herewith are the following:

- 1. Application for site plan approval, Long Form EAF and project narrative
- 2. Fifteen sets of site plan drawings
- 3. Application fee in the amount of \$3,300
- 4. Escrow deposit in the amount of \$3,000
- 5. Publication fee in the amount of \$150

Copies of the plans have been delivered to Creighton Manning Engineering. It is my understanding that this matter will be on the April 7 agenda for an initial presentation.

If you need anything further please advise.

Very truly yours,





TOWN OF NEWBURGH APPLICATION FOR SUBDIVISION/SITE PLAN REVIEW

RETURN TO: Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550

D/	ATE RECEIVED:	ТО	WN FILE NO:_	2016-05
		plication fee returnable with this		
1.		sion/Site Plan (Project name): berland Farms Site Plan		
2.	Owner of Lands Name Address	to be reviewed: Cumberland Farms Inc. 100 Crossings Boulevard Framingham, MA 01702	42 Latti	. Kelson ntown Road gh. NY 12550
	Phone			
3.	Applicant Inform Name Address	nation (If different than owner): Cumberland Farms Inc. 100 Crossings Boulevard Framingham, MA 01702		
	Representativ Phone Fax Email	0450406 7604		
1.	Subdivision/Site Name Address	Plan prepared by: Bohler Engineering 17 Computer Drive West. Albany, NY 12205		
	Phone/Fax	518-438-9900 / 518-438-	-0900	
5.	Location of land			
ō.	Zone IB Acreage 1.15		t <u>Coldenhan</u>	
7.	Tax Map: Section	m 86 Block 1	Lot <u>14 &</u>	15

8.	Project Description and Purpose of Review:
	Number of existing lots 2 Number of proposed lots 1
	Lot line change
	Site plan review X
	Clearing and grading
	Other
TH	OVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF E PROJECT
9.	Easements or other restrictions on property: (Describe generally)
10.	The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:
	Cumberland Farms, Inc. Signature Langer Smile Sr. Pipeline Manager
	Date: 3121/2016

<u>NOTE:</u> If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

DISCLOSURE ADDENDUM STATEMENT TO APPLICATION. PETITION AND REQUEST

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penai provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

X *	AONE
	NAME, ADDRESS, RELATIONSHIP OR INTEREST (financial or otherwise)
* To the	best of its knowledge closure addendum statement is americal to and made a part of the petition,
sphucknon and	request made by the undersigned applicant to the following Board or own of Newburgh.
	TOWN BOARD PLANNING BOARD
The second secon	Zoning board of appeals Zoning enforcement officer
	Building inspector Other
March 21, 2	2016
DATE	INDIVIDUAL APPLICANT

Cumberland Farms, Inc.

CORPORATE OR PARTNERSHIP APPLICANT

BY:

(Pres.) (Partner) (Vice-Pres.)

(Sec.) (Treas.)

Brian E. Glennon, II, Assistant Secretary

FEE ACKNOWLEDGEMENT

The town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal), public hearing and site inspection. Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Cumberland Farms, Inc.

APPLICANT'S NAME (printed)	
Kashlier Sousa Applicants signature	
3/21/2016	
DATE	

By: Kathleen Sousa sr Pipeline Manager

Note: if the property abuts and has access to a County or State Highway or road, the following information must be place on the subdivision map: entrance location, entrance profile, sizing of drainage pipe (minimum length of pipe to be twenty-four (24) feet).

PLANNING BOARD DISCLAIMER STATEMENT TO APPLICANTS

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

3/16/2016 DATED Cumberland Farms, Inc.
APPLICANT'S NAME (printed)

APPLICANT'S SIGNATURE

Kathleen Sousa, Sr. Pipeline Mgr.

TOWN OF NEWBURGH PLANNING BOARD

Cumberland Farms, 270 NYS RT 17k

PROJECT NAME

CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.
1. Environmental Assessment Form As Required
2. Proxy Statement (provided by Attorney)
3. X Application Fees (provided by Attorney)
4, X Completed Checklist (Automatic rejection of application without checklist)
II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda. Non-submittal of the checklist will result in application rejection.
1. Name and address of applicant provided on supporting doccuments
2. Name and address of owner (if different from applicant) provided on supporting doccuments
3. Subdivision or Site Plan and Location
4. X Tax Map Data (Section-Block-Lot)
5. Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. \(\times \) Date of plan preparation and/or plan revisions
9. \times Scale the plan is drawn to (Max 1" = 100")
10. X North Arrow pointing generally up
, \cdot

11.X	Surveyor,s Certification
_{12.} X	Surveyor's seal and signature
13. <u>X</u>	Name of adjoining owners
14. <u>N/</u>	Wetlands and 100 ft. buffer zone with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. <u>N/A</u>	Flood plain boundaries
16. <u>N/A</u>	Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. <u>X</u>	Metes and bounds of all lots
_{18.} X	Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. <u>X</u>	Show existing or proposed easements (note restrictions)
_{20.} X	Right-of-way width and Rights of Access and Utility Placement
21. <u>N/</u>	Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
_{22.} X	Lot area (in sq. ft. for each lot less than 2 acres)
_{23.} X	Number of lots including residual lot
_{24.} X	Show any existing waterways
25. <u>N/A</u>	A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26	Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27.X	Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. <u>X</u>	Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29.X	Show topographical data with 2 or 5 ft. contours on initial submission

30. N/A Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number 31. N/A If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed 32. X Number of acres to be cleared or timber harvested Estimated or known cubic yards of material to be excavated and removed from the site Provided on supporting doccuments 34.x Estimated or known cubic yards of fill required Provided on supporting doccuments 35.X The amount of grading expected or known to be required to bring the site to readiness 36. N/A Type and amount of site preparation which falls within the 100 ft. buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards. 37. N/A Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards. 38. List of property owners within 500 feet of all parcels to be developed (see attached statement). Part of application The plan for the proposed subdivision or site has been prepared in accordance with this checklist. Licensed Professional Date: March 23, 2016

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board

may require additional notes or revisions prior to granting approval.

Prepared (insert date): March 23, 2016



17 COMPUTER DRIVE WEST ALBANY NY, 12205

Phone: (518) 438-9900 Fax: (518) 438-0900 www.BohlerEngineering.com

EARTHWORK SUMMARY NOTES:

1) THE "CUT" AND "FILL" YOU MES SHOWN HEREIN ARE UNADJUSTED, AND REPRESENT TOTAL, COMPACTED "IN PLACE" EARTHWORK YOU MES REQUIRED TO MEET THE PROPOSED FINISHED SITE GRADES SHOWN ON THE GRADINS PLAN, RELATIVE TO EXISTING GRADES.

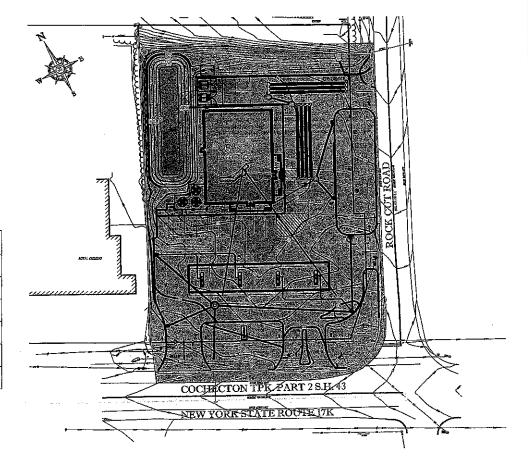
ZYME TERMS "CLIT" AND "PILL" SHOULD NOT BE CONFUSED WITH "DISDORT" AND "INFORM", SINCE SOME MATERIAS, SUCHA FANZHANT, CONCICTE, GRAVE, BASE, GRAVED SENSE, AND THAS SPECIAL TERMS CANNOT BE ORIGINATED BASE. AND THE OWNER OF THE SPECIAL TERMS CANNOT BE OWNERED CHANNEL AND THE AND THE SPECIAL TERMS CANNOT BE OFFICE THE SPECIAL TERMS. CONCILINATION LIKETO TO BE REPORTED, THEREBY OPPOSITIONED THE TOTAL "CUIT" AND "PILL" QUARTITIES NOTED.

3) THIS DIAGRAM IS INTENDED TO GIVE A SUMMARY OF OVERALL EARTHWORK VOLUMES. A MORE DETAILED ANALYSIS OF MATERIAL VOLUMES WILL LIKELY BE REQUIRED TO ACCOUNT FOR REMOVAL OF UNSUITABLE MATERIALS, ETC.

DESCRIPTION	CUT	FILL.	OVERALL NET				
OVERALL SITE BALANCE (EXISTING VS. PROPOSED SURFACE)	325 CY	2,882 CY	2,557 CY (FILL)				
TOTAL UNSUITABLES (BUILDING FOUNDATION, SLAB, PAVEMENT)	83 CY	637 CY					
TOTAL CUT AND FILL (AFTER STRIPPING)	252 CY	3,519 CY	3,257CY (FILL)				
TOTAL IMPORTED MATERIALS (HISTORICAL ESTIMATE)	300 CY	2,200 CY					
OVERALL OUT AND FILL	562 CY	1,319 CY	757 CY (FILL)				

* ESTIMATED VOLUME OF CFRELATED SITE FEATURES (PAVEMENT, FOUNDATION, DRAINAGE, PUEL, TOPSOIL) BASED ON SIMILAR HISTORICAL QUANTITIES = 2,500 CY

VOLUMES WILL BE RECALCULATED WHEN SITE DESIGN IS COMPLETE.



	Elevali	ons Table	
Number	Minimum Elevation	Maximum Elevation	Color
1	-5,000	-3,000	88
2	-3,000	-1,900	艦
3	-1.000	0.000	7
4	0.000	3.000	**
5	3.000	5.000	3
6	5.000	7.000	2

Overall Earthwork Volumes (Unadjusted)			
Total Cut	325 CY		
Total Fill	2,882 CY		
Net	2,557 CY (FILL)		
Method Used	Tin Surface		

Earthwork Volumes Diagram

FOR



LOCATION OF SITE 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY STATE OF NEW YORK

50				5 5	0 1	20		200
i		- 3	1			1		
25/85	200	448		Control of the		THE PERSON NAMED IN COLUMN	经济海绵进	新加黎斯
18	16.4		X 200 X 100		CONTRACTOR OF THE PARTY OF THE			
GRAP	HICS	CAI	ıF		-	1	INCH =	50 FEET

Full Environmental Assessment Form Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project:		<u> </u>
Cumberland Farms (V.H.S. Reality, LLC)		
Project Location (describe, and attach a general location map):		
Cumberland Farms, Inc., 270 Route 17K, Town of Newburgh		
Brief Description of Proposed Action (include purpose or need):		
Redevelop / expand existing Cumberland Farms.		
The applicant is seeking to consolidate two lots, demolish two buildings and construct a 4,95 consolidation will result in a total area of ± 1.19 acres.	66 SF convenience store with 4 fuel	pumps. The lot
Name of Applicant/Sponsor:	Telephone: 508-270-1416	
Cumberland Farms (V.H.S Reality LŁC)	E-Mail: splona@cumberlandfa	rms.com
Address: 100 Cumberland Farms		
City/PO: Framingham	State: MA	Zip Code: 01702
Project Contact (if not same as sponsor; give name and title/role):	Telephone: 518-438-9900	
Bohler Engineering c/o Scott Shearing	E-Mail: sshearing@bohlereng.	com ·
Address: 17 Computer Drive West		
City/PO:	State:	Zip Code:
Albany	NY	12205
Property Owner (if not same as sponsor):	Telephone: 508-270-1416	
Cumberland Farms (VHS Reality LLC); second parcel by Todd & Sharon Kelson (seller)	E-Mail: splona@cumberlandfa	rms.com
Address:		
100 Crossing Blvd.		
City/PO: Framingham	State: MA	Zip Code: 01702

B. Government Approvals

B. Government Approvals, F assistance.)	unding, or Spoi	nsorship. ("Funding" includes grants, loans, to	ax relief, and any othe	r forms of financial
Government En	tity	If Yes: Identify Agency and Approval(s) Required	Applicat (Actual or	
a. City Council, Town Board, or Village Board of Trustee				
b. City, Town or Village Planning Board or Commiss	☑Yes□No sion	Site Plan Review (Town of Newburgh)	March 23,2016	ii.
c. City Council, Town or Village Zoning Board of Ap	ZYes∏No peals	Area Variance	To Be Determined	
d. Other local agencies	□Yes☑No			
e. County agencies	☑Yes ☐No	Orange County	To Be Determined	
f. Regional agencies	□Yes ZNo			
g. State agencies	☑Yes□No	NYS DOT, NYS DEC	To Be Determined	
h. Federal agencies	∐Yes Z No			
i. Coastal Resources.i. Is the project site within	a Coastal Area, c	or the waterfront area of a Designated Inland W	aterway?	□Yes☑No
ii. Is the project site located iii. Is the project site within a		with an approved Local Waterfront Revitalizat Hazard Area?	ion Program?	□Yes⊠No □Yes⊠No
C. Planning and Zoning			· · · · · · · · · · · · · · · · · · ·	
C.1. Planning and zoning act				
only approval(s) which must b • If Yes, complete secti	e granted to enal ons C, F and G.	mendment of a plan, local law, ordinance, rule ble the proposed action to proceed? nplete all remaining sections and questions in F	-	∐Yes Z]No
C.2. Adopted land use plans.				
a. Do any municipally- adopted where the proposed action w		lage or county) comprehensive land use plan(s)	include the site	☑Yes□No
		ecific recommendations for the site where the p	roposed action	☑Yes□No
		ocal or regional special planning district (for exated State or Federal heritage area; watershed t		□Yes ☑ No
				11/4-0111
<u></u>	ed wholly or part	ially within an area listed in an adopted munici n plan?	pal open space plan,	∐Yes ⊠ No
	WII - 12-W			**************************************

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? IB District (Interchange Business)	☑Yes□No
b. Is the use permitted or allowed by a special or conditional use permit?	ZIYes□No
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site?	□Yes ☑No
C.4. Existing community services.	
a. In what school district is the project site located? Valley Central School District	
b. What police or other public protection forces serve the project site?	
Town of Newburgh	
c. Which fire protection and emergency medical services serve the project site? Coldemham Fire District	
d. What parks serve the project site? none	
D. Project Details	
D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mis components)? Commercial	xed, include all
b. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? ±1.19 acres ±1.19 acres	1100
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, mill square feet)? ye 1,778 sf to 4,956 sf Units: square feet increase	☑ Yes□No les, housing units,
 d. Is the proposed action a subdivision, or does it include a subdivision? If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) 	□Yes Z No
ii. Is a cluster/conservation layout proposed? iii. Number of lots proposed? iv. Minimum and maximum proposed lot sizes? Minimum Maximum	□Yes ☑No
e. Will proposed action be constructed in multiple phases? i. If No, anticipated period of construction: ii. If Yes: 6 months	☐ Yes Z No
 Total number of phases anticipated Anticipated commencement date of phase 1 (including demolition) month year Anticipated completion date of final phase month year Generally describe connections or relationships among phases, including any contingencies where progdetermine timing or duration of future phases: 	gress of one phase may

f. Does the project	ot include new resid	ential uses?		· · · · · · · · · · · · · · · · · · ·	□Yes ☑ No
If Yes, show nun	bers of units propo				
	One Family	Two Family	Three Family	Multiple Family (four or more)	
Initial Phase At completion					
of all phases					
			P		
If Yes,		new non-residentia	l construction (inclu	iding expansions)?	☑ Yes □ No
i. Total number	of structures	1	-41.		
iii. Approximate	extent of building s	roposed structure:	24' height;	±55' width; and 90' length ±4,956 square feet	
				result in the impoundment of any	Par Pro
liquids, such as	s creation of a water	r supply, reservoir.	er activities mat will nond, lake, waste la	goon or other storage?	□Yes ☑No
If Yes,				good of other storage.	
i. Purpose of the	impoundment:oundment, the princ				
				Ground water Surface water strea	ms Other specify:
			contained liquids and		-
iv. Approximate	size of the proposed	l impoundment.	Volume:	million gallons; surface area: height; length	acres
v. Dimensions of	f the proposed dam	or impounding str	icture:	height;length	
vi. Construction i	nethod/materials to	or the proposed dai	n or impounding str	ucture (e.g., earth fill, rock, wood, con-	erete):
D.2. Project Ope	erations				
a. Does the propo (Not including materials will re If Yes:	general site prepara	ny excavation, min tion, grading or ins	ning, or dredging, du stallation of utilities	ring construction, operations, or both? or foundations where all excavated	∐Yes √ No
	rpose of the excava				
ii. How much mat	erial (including roc	k, earth, sediments	, etc.) is proposed to	be removed from the site?	
Volume	(specify tons or cub	ic yards):			
 Over when the over the ove	at duration of time?	s of materials to be	everysted or drede	ed, and plans to use, manage or dispose	
		or materials to ex			or mem.
iv. Will there be	onsite dewatering o	r processing of exc	avated materials?		Yes No
If yes, describ	ре		The state of the s		
v. What is the tot	tal area to be dredge	ed or excavated?		acres	
vi. What is the ma	aximum area to be	worked at any one	time?	acres	-
vii. What would b	e the maximum dep	th of excavation of	r dredging?	feet	
viii. Will the exca	vation require blast	ing?			∏Yes ∏No
ix. Summarize site					
into any existir	osed action cause o			rease in size of, or encroachment	∐Yes Z No
If Yes: i. Identify the w description):	etland or waterbody	which would be a	ffected (by name, w	ater index number, wetland map number	er or geographic

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placemalteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square.	ent of structures, or uare feet or acres:
iii. Will proposed action cause or result in disturbance to bottom sediments? If Yes, describe:	☐ Yes ☐ No
iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? If Yes:	☐ Yes☐No
acres of aquatic vegetation proposed to be removed:	
expected acreage of aquatic vegetation remaining after project completion:	
purpose of proposed removal (e.g. beach clearing, invasive species control, boat access):	
proposed method of plant removal: if chemical/barkinide treatment will be used to all the proposed method of plant removal:	
if chemical/herbicide treatment will be used, specify product(s): y. Describe any proposed reclamation/mitigation following disturbance.	
v. Describe any proposed reclamation/mitigation following disturbance:	
c. Will the proposed action use, or create a new demand for water?	
If Yes:	☐Yes Z No
i. Total anticipated water usage/demand per day: gallons/day	
ii. Will the proposed action obtain water from an existing public water supply?	□Yes □No
If Yes:	☐ 1 c2 ☐ 140
Name of district or service area:	
Does the existing public water supply have capacity to serve the proposal?	☐ Yes ☐ No
Is the project site in the existing district?	Yes No
 Is expansion of the district needed? 	☐ Yes☐ No
Do existing lines serve the project site?	☐ Yes☐ No
iii. Will line extension within an existing district be necessary to supply the project? If Yes:	□Yes □No
Describe extensions or capacity expansions proposed to serve this project:	
Source(s) of supply for the district:	
iv. Is a new water supply district or service area proposed to be formed to serve the project site? If, Yes:	☐ Yes☐No
Applicant/sponsor for new district:	
Date application submitted or anticipated:	
Proposed source(s) of supply for new district:	4
ν. If a public water supply will not be used, describe plans to provide water supply for the project:	
vi. If water supply will be from wells (public or private), maximum pumping capacity: gallons/min	ute.
d. Will the proposed action generate liquid wastes? If Yes:	☑Yes⊡No
i. Total anticipated liquid waste generation per day: 500 gallons/day	
ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all approximate volumes or proportions of each):	components and
Sanitary Wastewater	
or Will d	
iii. Will the proposed action use any existing public wastewater treatment facilities? If Yes:	Z Yes □No
Name of wastewater treatment plant to be used: <u>City of Newburgh</u>	
Name of district: Cross Road Service District	
Does the existing wastewater treatment plant have capacity to serve the project?	☑Yes ☐No
• Is the project site in the existing district?	☑Yes □No
Is expansion of the district needed?	☐Yes Z No

Do existing sewer lines serve the project site?	ZYes □No
 Will line extension within an existing district be necessary to serve the project? If Yes: 	☐Yes Z No
Describe extensions or capacity expansions proposed to serve this project:	
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?	☐Yes Ø No
If Yes:	
Applicant/sponsor for new district: Date application submitted or applicated:	····
 What is the receiving water for the wastewater discharge? ν. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including spec 	cifying proposed
receiving water (name and classification if surface discharge, or describe subsurface disposal plans):	. 0. 1
vi. Describe any plans or designs to capture, recycle or reuse liquid waste:	
a Will the propagal estimation between the control of the Control	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point	☑Yes ☐No
source (i.e. sheet flow) during construction or post construction?	
If Yes:	
 i. How much impervious surface will the project create in relation to total size of project parcel? 34.850 Square feet or0.80 acres (impervious surface) 	
51,938 Square feet or 1.19 acres (parcel size)	
ii. Describe types of new point sources.	
iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent p	vonerties
groundwater, on-site surface water or off-site surface waters)?	hopernes,
If to surface waters, identify receiving water bodies or wetlands:	
Will stormwater runoff flow to adjacent properties?	☐Yes Z No
iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?	✓ Yes ☐ No
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel	∐Yes Z No
combustion, waste incineration, or other processes or operations?	
If Yes, identify: i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)	
ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)	
iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?	□Yes ZNo
If Yes:	
i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet	∐Yes□No
ambient air quality standards for all or some parts of the year)	
ii. In addition to emissions as calculated in the application, the project will generate:	
 Tons/year (short tons) of Carbon Dioxide (CO₂) Tons/year (short tons) of Nitrous Oxide (N₂O) 	
•Tons/year (short tons) of Perfluorocarbons (PFCs)	
•Tons/year (short tons) of Sulfur Hexafluoride (SF ₆)	
Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflourocarbons (HFCs)	
 Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? If Yes:	Yes No
 i. Estimate methane generation in tons/year (metric): ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generative); 	enerate heat or
 i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): 	□Yes ☑ No
j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? If Yes: i. When is the peak traffic expected (Check all that apply):	∏Yes∏No
v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing a vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? vii Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?	
 k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? If Yes: i. Estimate annual electricity demand during operation of the proposed action: ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/leother): 	
iii. Will the proposed action require a new, or an upgrade to, an existing substation?	∏Yes∏No
I. Hours of operation. Answer all items which apply. ii. During Operations: i. During Construction: iii. During Operations: • Monday - Friday: 24 HR Location • Saturday: 5aturday: • Sunday: 9 Sunday: • Holidays: 24 HR Location (anticine)	

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? If yes:	☐Yes ☑No
i. Provide details including sources, time of day and duration:	
ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Describe:	☐Yes ☐No
n Will the proposed action have outdoor lighting? If yes: / Describe source(s) location(s) height of fixture(s) direction(sing and annihilate to the source of the sou	☑Yes ☐No
 Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: Parking Lot lighting for customer safety and security via down lit fixtures at ±14' Height, ±30' to neighboring commercial building 	ą
ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Describe:	☐ Yes ☑ No
o. Does the proposed action have the potential to produce odors for more than one hour per day? If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:	□ Yes ☑ No
p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? If Yes: i. Product(s) to be stored Petroleum ii. Volume(s)40,000 per unit time4x per month (e.g., month, year)	☑ Yes □No
iii. Generally describe proposed storage facilities: Underground double-wall fiberglass tank	
 q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? If Yes: i. Describe proposed treatment(s): 	☐ Yes ☑No
ii. Will the proposed action use Integrated Pest Management Practices?	☐ Yes ☑No
Hughest at	Yes No
i. Describe any solid waste(s) to be generated during construction or operation of the facility:	
• Construction: tons per (unit of time)	
 Operation: tons per (unit of time) ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste: Construction: 	
Operation:	
 iii. Proposed disposal methods/facilities for solid waste generated on-site: Construction: 	
Operation:	

s. Does the proposed action include construction or mod	ification of a solid waste mar	agement facility?	Yes 🛭 No
If Yes: i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or			, landfill, or
other disposal activities):			
ii. Anticipated rate of disposal/processing:	1		
Tons/month, if transfer or other non- Tons/hour, if combustion or thermal	combustion/thermal treatmen	t, or	
iii. If landfill, anticipated site life:	treatment		
iii. If landfill, anticipated site life:	years		
waste?	I generation, treatment, stora	ge, or disposal of hazardous	☐Yes / No
If Yes:			
i. Name(s) of all hazardous wastes or constituents to be	e generated, handled or mana	ged at facility:	
			
ii. Generally describe processes or activities involving h	nazardous wastes or constitue	nts:	
iii. Specify amount to be handled or generatedto	ons/month		
iv. Describe any proposals for on-site minimization, rec	young or reuse of hazardous	constituents:	
ν. Will any hazardous wastes be disposed at an existing	offsite hazardous waste faci	lity?	□Yes□No
If Yes: provide name and location of facility:			
If No: describe proposed management of any hazardous			
if two, describe proposed management of any nazardous	wastes which will not be sent	to a hazardous waste facility	:
			
E. Site and Setting of Proposed Action			
E.1. Land uses on and surrounding the project site			
a. Existing land uses. i. Check all uses that occur on, adjoining and near the	nroinat nita		
☐ Urban ☐ Industrial ☑ Commercial ☑ Resid	project sne. ential (suburban)	(non-farm)	
	(specify):	(non turne)	
ii. If mix of uses, generally describe:			
b. Land uses and covertypes on the project site.			
Land use or	Current	Acreage After	Change
Covertype	Acreage	Project Completion	(Acres +/-)
Roads, buildings, and other paved or impervious	+/- 0.71		
surfaces	*/- 0.71	+/- 0.92	+ 0.21
Forested	+/- 0.07	+/- 0.06	- 0.01
Meadows, grasslands or brushlands (non-	+/- 0.62	+/- 0.42	-0.2
agricultural, including abandoned agricultural)			-0.2
Agricultural Graduda antique and field assenting and a	N/A	N/A	N/A
(includes active orchards, field, greenhouse etc.) • Surface water features			
(lakes, ponds, streams, rivers, etc.)	N/A	N/A	N/A
Wetlands (freshwater or tidal)	N/A	Aug	***
Non-vegetated (bare rock, earth or fill)	· · · · · · · · · · · · · · · · · · ·	N/A	N/A
	N/A	N/A	N/A
• Other			
Describe:			
		1	

c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain:	□Yes☑No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes,	□Yes ☑ No
i. Identify Facilities:	
e. Does the project site contain an existing dam? If Yes:	☐Yes Z No
i. Dimensions of the dam and impoundment:	
Dam height: feet	
Dam length: feet	
Surface area: acres	
Volume impounded: gallons OR acre-feet ii. Dam's existing hazard classification:	
iii. Provide date and summarize results of last inspection:	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facil If Yes:	□Yes☑No ity?
i. Has the facility been formally closed?	☐Yes☐ No
If yes, cite sources/documentation:	
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:	
iii. Describe any development constraints due to the prior solid waste activities:	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes:	∐Yes ⊠ No
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurre	ed:
 h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? IXXXXX No, per NYS DEC, Environmental Site Remediation Database and Spill Incider 	□Yes☑ No nt Database
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:	□Yes□No
Yes - Spills Incidents database Provide DEC ID number(s):	
☐ Yes - Environmental Site Remediation database Provide DEC ID number(s): Neither database	
ii. If site has been subject of RCRA corrective activities, describe control measures:	
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s):	□Yes ☑ No
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):	

v. Is the project site subject to an institutional control		☐ Yes Z No
If yes, DEC site ID number: Describe the type of institutional control (e.g.	g., deed restriction or easement):	
Describe any use limitations:		
Will the project affect the institutional or englishin: Explain:	gineering controls in place?	☐ Yes ☑ No
E.2. Natural Resources On or Near Project Site		
a. What is the average depth to bedrock on the project	site? +/- 4' feet	
b. Are there bedrock outcroppings on the project site? If Yes, what proportion of the site is comprised of bed	rock outcroppings?%	∐Yes ∑ No
c. Predominant soil type(s) present on project site:	Erie gravelly silt loam	2.9 %
	Mardin gravelly silt	97.1 % %
d. What is the average depth to the water table on the	project site? Average: +/- 5' feet	
e. Drainage status of project site soils: Well Draine Moderately Poorly Drain	Well Drained: 100.0 % of site	
f. Approximate proportion of proposed action site with		
	☐ 10-15%: 5 % of site ☐ 15% or greater: % of site	
g. Are there any unique geologic features on the projectif Yes, describe:		□ Yes ☑ No
 h. Surface water features. i. Does any portion of the project site contain wetland ponds or lakes)? 	ds or other waterbodies (including streams, rivers,	∏Yes Z No
ii. Do any wetlands or other waterbodies adjoin the proof of Yes to either i or ii, continue. If No, skip to E.2.i.	oject site?	✓ Yes □ No
iii. Are any of the wetlands or waterbodies within or a	adjoining the project site regulated by any federal,	
state or local agency? iv. For each identified regulated wetland and waterbo Streams: Name		ion:
	Classification Classification	· · · · · · · · · · · · · · · · · · ·
Wetlands: Name	Approximate Size	ze
Wetland No. (if regulated by DEC) v. Are any of the above water bodies listed in the mos waterbodies?	t recent compilation of NYS water quality-impaired	□Yes ☑ No
If yes, name of impaired water body/bodies and basis	for listing as impaired:	
i. Is the project site in a designated Floodway?		∐Yes ∏ No
j. Is the project site in the 100 year Floodplain?		∐Yes Z No
k. Is the project site in the 500 year Floodplain?		□Yes ☑ No
I. Is the project site located over, or immediately adjointf Yes: i. Name of aquifer:	ning, a primary, principal or sole source aquifer?	□Yes Z No

n. Does the project site contain a designated significant natural community? If Yes: I Describe the habitat/community (composition, function, and basis for designation): sed Maghet-Hardwood Swamp— if is Source(s) of description or evaluation: iii. Extent of community/habitat: • Currently: • Following completion of project as proposed: • Gain or loss (indicate + or -): • Pollowing completion of project as proposed: • Gain or loss (indicate + or -): • Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? minimal tree removal will be performed. p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use: E.3. Designated Public Resources On or Near Project Site a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/mber: if Yes, provide county plus district name/mber: if Yes acreage(s) on project site? if Source(s) of soil rading(s): c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Yes [IN Nature I Landmark?] If Yes: Nature of the natural landmark: Biological Community	m. Identify the predominant wildlife species that occupy or use the	project site:	
If Yes: I. Describe the habitat/community (composition, function, and basis for designation): ### Washel-tardwood Swamp— ### 16. Source(s) of description or evaluation: ### Extent of community/habitat: ### Extent of community/habitat: ### Currently: ### Pollowing completion of project as proposed: ### Cain or loss (indicate + or -): ### O. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? #### O. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plant or animal that is listed by NYS as rare, or as a species of plantane or animal that is li			
### Extent of community/habitat: Currently:	If Yes: i. Describe the habitat/community (composition, function, and bas	is for designation):	
### Extent of community/habitat: * Currently: * Pollowing completion of project as proposed: * Gain or loss (indicate + or -): * O. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ###################################	ii Source(s) of description or evaluation:		
Currently: Pollowing completion of project as proposed: Gin or loss (indicate + or -): Co. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? minimal tree removal will be parformed. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use: E.3. Designated Public Resources On or Near Project Site a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/number: b. Are agricultural lands consisting of highly productive soils present? i. If Yes: acreage(s) on project site? ii. Source(s) of soil rating(s): c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? If Yes: If Yes: i. Nature of the natural landmark: Biological Community Geological Feature ii. Nature of the natural landmark, including values behind designation and approximate size/extent: Yes IN			
• Following completion of project as proposed: • Gain or loss (indicate + or -): • Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? ### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? #### Project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? ##### Project si	· · · · · · · · · · · · · · · · · · ·	1460.0 acres	
Gain or loss (indicate + or -): O. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? minimal tree removal will be performed. P. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use: E.3. Designated Public Resources On or Near Project Site a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/number: b. Are agricultural lands consisting of highly productive soils present? i. If Yes; acreage(s) on project site? ii. Source(s) of soil rating(s): c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? If Yes: ii. Nature of the natural landmark: Biological Community Geological Feature iii. Provide brief description of landmark, including values behind designation and approximate size/extent: d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes Ves Ves Ves Ves Ves Ves Ves Ves Ves V	Following completion of project as proposed:	acres	
endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use: E.3. Designated Public Resources On or Near Project Site a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/number: b. Are agricultural lands consisting of highly productive soils present? i. If Yes: acreage(s) on project site? ii. Source(s) of soil rating(s): c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? If Yes: i. Nature of the natural landmark: Biological Community Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes Ves Ves ii. CEA name: ii. Basis for designation: iii. Besignation gency and date:			,
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If Yes: i. CEA name: ii. Basis for designation: iii. Designating agency and date:	 c. Does the project site contain all or part of, or is it substantially of Natural Landmark? If Yes: Nature of the natural landmark: Biological Communit Provide brief description of landmark, including values behind 	y Geological Feature designation and approximate size/extent:	
iii. Designating agency and date:	If Yes: i. CEA name:		∐Yes ∑ No
iii. Designating agency and date:	ii. Basis for designation:		
	iii. Designating agency and date:		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? If Yes:	∐ Yes ∑ No
i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District ii. Name:	
iii. Brief description of attributes on which listing is based:	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	∐Yes Z No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): ii. Basis for identification:	□Yes ☑No
h. Is the project site within fives miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes:	□Yes ☑No
 i. Identify resource: ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or etc.): iii. Distance between project and resource: miles. 	scenic byway,
 i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: 	☐ Yes 🗹 No
i. Identify the name of the river and its designation: ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	□Yes □No
F. Additional Information Attach any additional information which may be needed to clarify your project. If you have identified any adverse impacts which could be associated with your proposal, please describe those in measures which you propose to avoid or minimize them.	npacts plus any
G. Verification I certify that the information provided is true to the best of my knowledge.	
AOXINGATIVISTATION Name Scott C. Shearing (Agent) Date March 23, 2016	
Signature 3 coel Steak Title Asst Project Manager	

SITE DEVELOPMENT PLANS

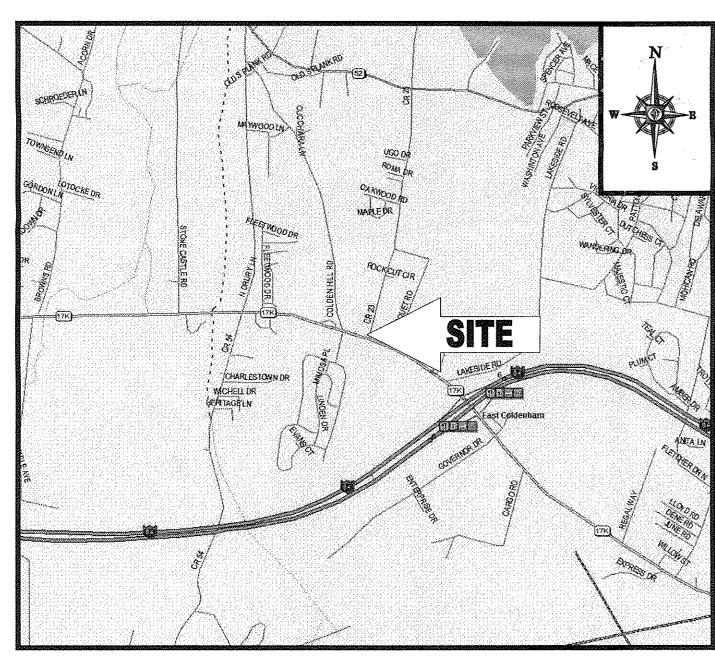
FOR: PROPOSED



LOCATION OF SITE:

270 ROUTE 17K, TOWN OF NEWBURGH ORANGE COUNTY, STATE OF NEW YORK

MAP 86.00, BLOCK 1, LOTS 14 & 15



LOCATION MAP

SCALE: 1"=2000'
PLAN REFERENCE: XXXXX USGS QUADRANGLE



AREA PLAN

SCALE: 1"=XX"

SHEETTITLE	SHEET NUMBER
CFG01.0 - COVER SHEET	1 OF 16
CFG01.1 - GENERAL NOTES	2 OF 16
CFG02.0 - ALTA SURVEY (BY OTHERS)	3 OF 16
CFG03.0 - SITE DEMOLITION PLAN	4 OF 16
CFG04.0 - SITE PLAN	5 OF 16
CFG05.0 - SITE GRADING & DRAINAGE PLAN	6 OF 16
CFG06.0 - SITE EROSION & SEDIMENT CONTROL PLAN	7 OF 16
CFG06.1 - SITE EROSION CONTROL NOTES & DETAILS	8 OF 16
CFG07.0 - SITE UTILITY PLAN	9 OF 16
CFG08.0 - SITE LANDSCAPE PLAN	10 OF 16
CFG08.1 - SITE LANDSCAPE NOTES & DETAILS SHEET	11 OF 16
CFG09.0 - SITE CONSTRUCTION DETAILS	12 OF 16
CFG09.1 - SITE CONSTRUCTION DETAILS	13 OF 16
CFG09.2 - SITE CONSTRUCTION DETAILS	14 OF 16
CFG10.0 - SITE LIGHTING PLAN (BY OTHERS)	15 OF 16
CFG10.1 - LIGHTING PLAN DETAILS (BY OTHERS)	16 OF 16
A1.1 - FLOOR PLAN (BY OTHERS)	1 OF 1
A3.1 - EXTERIOR ELEVATIONS (BY OTHERS)	1 OF 1
A3.2 - EXTERIOR ELEVATIONS (BY OTHERS)	1 OF 1

SHEET INDEX

PREPARED BY



ENGELLAND CONSULTING ENGINEERING

LAND SURVEYING

PERMITTING SERVICES

+ UPSTATE NEW YORK

+ NEW HOLD CONSULTING ENGINEERING

LAND SCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

+ UPSTATE NEW YORK

+ PHILADELPHIA, PA

+ BOSTON, MA

+ REHIGH VALLEY, PA

+ BOSTON, MA

+ BOSTON, MA

+ BOSTON, MA

+ REHIGH VALLEY, PA

+ BOSTON, MA

+ BOSTON

	parkers)	REVISIONS
REV	DATE	COMMENT
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PROJECT No.: B150208
DRAWN BY: MED
CHECKED BY: JRG
DATE: 01/12/2016
SCALE: AS NOTED
CAD I.D.: B150208SS04

PROJECT: SITE

DOCUMENT
PLANS
FOR

F A R M S
LOCATION OF SITE
270 ROUTE 17K
TOWN OF NEWBURGH
ORANGE COUNTY
STATE OF NEW YORK

BOHLER
ENGINEERING

17 COMPUTER DRIVE WEST, SUITE 203
ALBANY, NY 12205
Phone: (518) 438-9900
Fax: (518) 438-0900
www.BohlerEngineering.com

W.D. GOEBEL

PROFESSIONAL ENGINEER

NEW YORK LICENSE No. 071284-1

VERMONT LICENSE No. 7735

CONNECTICUT LICENSE No. 21854

NEW HAMPSHIRE LICENSE No. 10286

MASSACHUSETTS LICENSE No. 42644

OHIO LICENSE No. E-68329

SHEET TITLE

COVER SHEET

CFG01.0

BEV 1

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
- ALTA/ACSM LAND TITLE SURVEY OF THE LANDS OF V.S.H. REALTY, INC. & TODD AND SHARON KELSON, 270 ROUTE 17K, NEWBURGH, NY, PREPARED BY AUSFELD & WALDRUFF LAND SURVEYORS, LLP. DATED OCTOBER 28, 2015, REVISED THROUGH NOVEMBER 27, 2015.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS
- ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT. DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH
- CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- 0. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
- . DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS
- 3. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- . THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. TH REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- . ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS
- . THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
- 8. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
- 9. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- 1). NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED
- 1. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.
- 3. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
- 24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.
- OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 3. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
- 7. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
- 3. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
- . AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY IN AND ALL UTHER UTILITY SERVICE CURNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR
- THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND
- THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
- THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- 14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE
- WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .075% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.
- REFER TO THIS SHEET FOR ADDITIONAL NOTES.
- IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
- CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.
- WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.
- STORM DRAINAGE PIPE:UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
- SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN
- STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
- STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL
- 27. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR
- SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
- 28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT
- 29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
- 30. WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCOUNTERED IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED, TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER. A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BLOCKAGES CAN BE ADDRESSED.
- 31. FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATION(S) ARE SCHEMATIC FOR GENERIC BUILDING FOOTPRINT, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW TOP OF BLOCK AND /OR SIX (6) INCHES BELOW SIDING, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- 32. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.
- 33. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

ALTA/ACSM LAND TITLE SURVEY 270 ROUTE 17K NEWBURGH, NY 12550 PREPARED BY: AUSFELD & WALDRUFF LAND SURVEYORS, LLP SCHENECTADY NY 10/28/15, REVISED THROUGH 11/27/15

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK
- C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.
- E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
- H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES
- CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- 14. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL
- THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 16. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS
- 17. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY,
- 18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- 19. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
- 20. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAP) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- LANDINGS MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE) THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE
- DOORWAYS MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY. 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
- THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION

ABBREVIATIONS DESCRIPTION KEY DESCRIPTION BOTTOM CURB PROP. PROPOSED TO BE REMOVED TOP CURB TBR/R AND REPLACED BACK OF CURB TO BE REMOVED OTTOM OF WALL GRADE FREE PROTECTION FENCE TOP OF WALL BLDG. BUILDING EXIST. EXISTING SQUARE FEET BENCHMARK SMH SEWER MANHOLE EOP EDGE OF PAVEMENT DMH DRAIN MANHOLE CENTERLINE STM STORM FINISHED FLOOR SAN. SANITARY CONC. VERIFY IN FIELD CONCRETE GENERAL CONTRACTOR ARCH. **ARCHITECTURAL** HIGH POINT DEP. DEPRESSED LOW POINT RADIUS **TYPICAL** MIN. MINIMUM INTERSECTION MAX. MAXIMUM POINT OF CURVATURE No. /# NUMBER POINT OF TANGENCY WIDE POINT OF INTERSECTION DEC. DECORATIVE POINT OF VERTICAL ELEV. ELEVATION INTERSECTION STATION UNG. UNDERGROUND GRATE R.O.W. RIGHT OF WAY INVERT LINEAR FOOT **DUCTILE IRON PIPE** LOD LIMIT OF DISTURBANCE POLYVINYL CHLORIDE PIPE LIMIT OF WORK HIGH DENSITY L.S.A. LANDSCAPED AREA OLYETHYLENE PIPE REINFORCED PLUS OR MINUS CONCRETE PIPE SLOPE DEGREE MEET EXISTING Ø/DIA. DIAMETER

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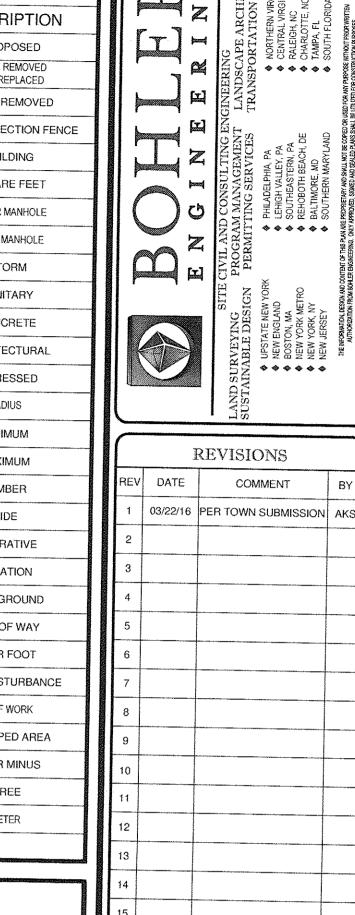
REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE/ ZONING INFORMATION & NOTES

UTILITY POLE

REFER TO SOIL EROSION CONTROL NOTES & DETAILS SHEET FOR TYPICAL EROSION NOTES AND DETAILS

REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TYPICAL LANDSCAPE NOTES AND DETAILS

REFER TO LIGHTING PLAN FOR TYPICAL LIGHTING NOTES AND TABLES



PRELIMINARY

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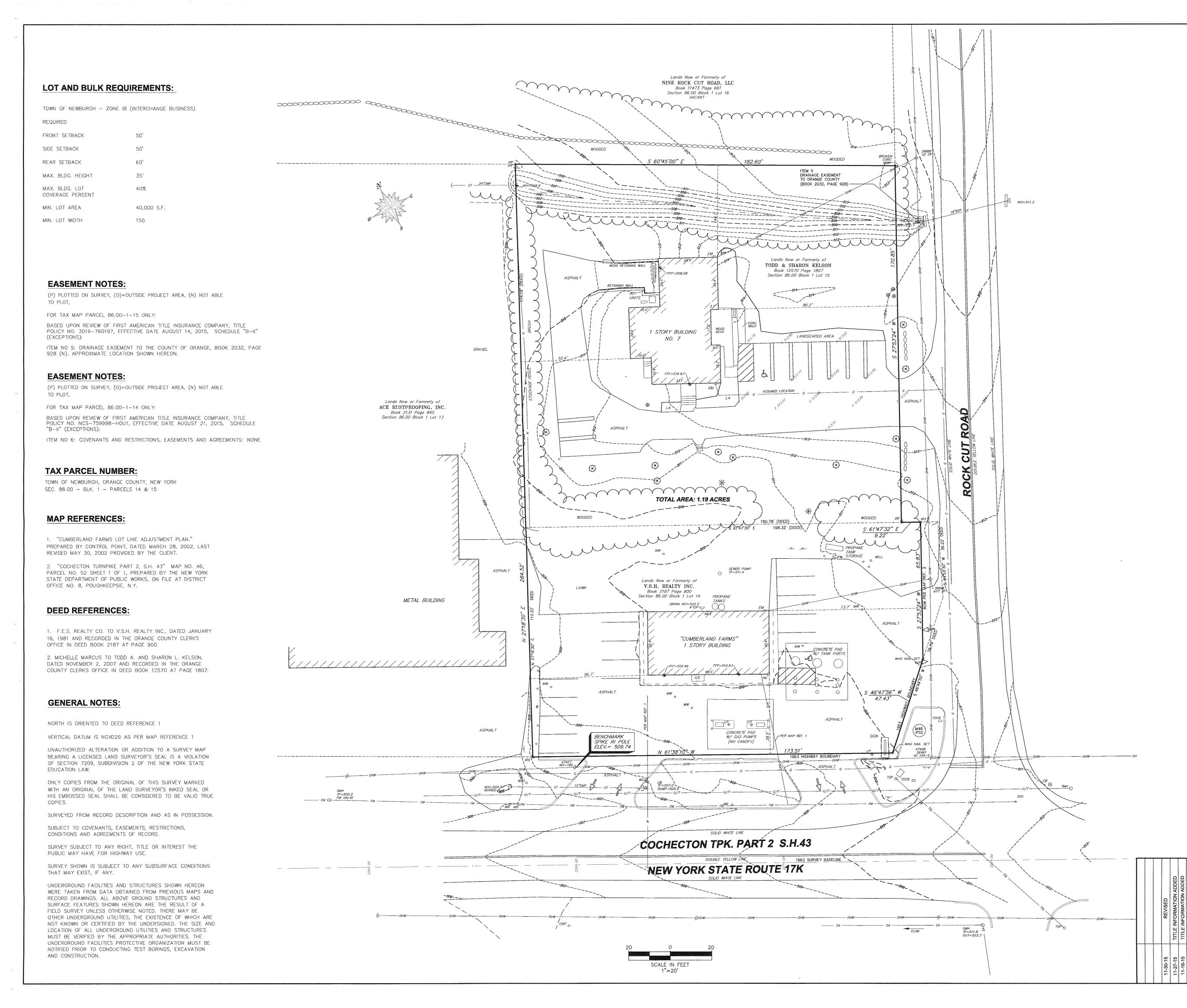
LOCATION OF SIT 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY STATE OF NEW YORK

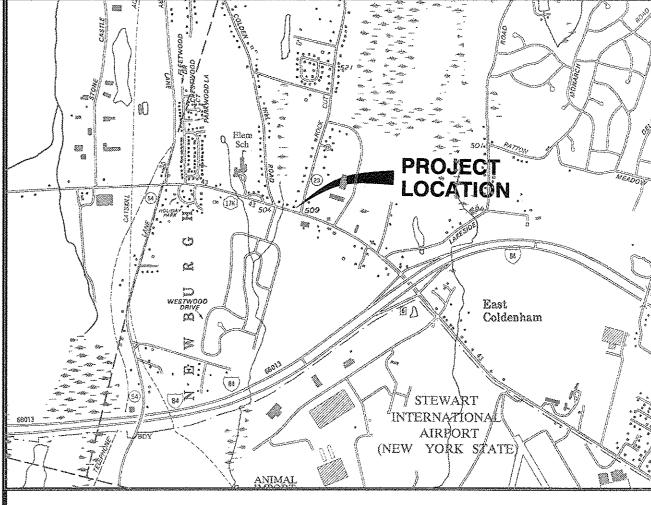
COMPUTER DRIVE WEST, SUITE 203 ALBANY, NY 12205 Phone: (518) 438-9900 (518) 438-0900 www.BohlerEngineering.com

W.D. GOEBEI

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GENERAL NOTES SHEE





SITE LOCATION PLAN: 1"=2000"

LEGAL DESCRIPTION:

LANDS OF V.S.H. REALTY (RECORD DESCRIPTION)

ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY LINE OF NEW YORK STATE ROUTE 17-K WITH THE WESTERLY SIDE OF ROCK CUT ROAD: RUNNING THENCE ALONG THE NORTHERLY SIDE OF NEW YORK STATE ROUTE 17-K NORTH 61 DEGREES 38 MINUTES 10 SECONDS WEST A DISTANCE OF 173.51 FEET TO A HIGHWAY MONUMENT; RUNNING THENCE NORTH 27 DEGREES 18 MINUTES 30 SECONDS EAST A DISTANCE OF 110.33 FEET; RUNNING THENCE SOUTH 61 DEGREES 47 MINUTES 30 SECONDS EAST A DISTANCE OF 198.32 FEET TO THE WESTERLY LINE OF ROCK CUT ROAD; RUNNING THENCE ALONG THE WESTERLY LINE OF ROCK CUT ROAD THE FOLLOWING TWO (2) COURSES AND DISTANCES: (1) SOUTH 24 DEGREES 53 MINUTES 30 SECONDS WEST A DISTANCE OF 36.22 FEET; (2) SOUTH 46 DEGREES 49 MINUTES 50 SECONDS WEST A DISTANCE OF 78.79 FEET TO THE POINT OR PLACE OF BEGINNING

LANDS OF KELSON (DESCRIPTION OF RECORD)

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND LYING AND BEING IN, THE TOWN OF NEWBURGH, COUNTY OF ORANGE, STATE OF NEW YORK BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN THE LANDS N/F VSH REALTY (TAX LOT 86-1-14) AND THE LANDS N/F HONCH (TAX LOT 86-1-15), THE SUBJECT PREMISES. THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE NORTHWESTERLY BOUNDS OF ROCK CUT ROAD, N 37° 12' 46" E A DISTANCE OF 170.38' TO A CONCRETE MONUMENT. THENCE, N 51' 25' 38" W A DISTANCE OF 182.60' TO A POINT. THENCE, ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F ACE RUSTPROOFING, INC., S 36 37 52" W A DISTANCE OF 174.19' TO A POINT THENCE. ALONG THE DIVISION LINE BETWEEN THE SUBJECT PREMISES AND THE LANDS N/F VSH REALTY, S 52° 37' 08" E 180.78' TO THE POINT OR PLACE OF BEGINNING.

COMBINED PARCEL:

ALL THAT PIECE OR PARCEL OF LAND SITUATE IN THE TOWN OF NEWBURGH, COUNTY OF ORANGE AND THE STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS. BEGINNING AT A POINT LOCATED AT THE INTERSECTION FORMED BY THE NORTHERLY LINE OF THE COCHECTON TURNPIKE, S.H. 43 ALSO KNOWN AS N.Y.S. ROUTE 17K AND THE WESTERLY LINE OF ROCK CUT ROAD; THENCE IN A WESTERLY DIRECTION AND ALONG SAID NORTHERLY LINE OF N.Y.S. ROUTE 17K, NORTH 61°38'10" WEST, 173.51 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND ALONG THE LANDS NOW OR FORMERLY OF ACE RUSTPROOFING, INC. (BOOK 2131, PAGE 845), NORTH 27'18'30" EAST, 284.52 FEET TO A AN IRON ROD FOUND; THENCE IN AN EASTERLY DIRECTION AND ALONG THE SOUTHERLY LINE OF THE LANDS NOW OR FORMERLY OF NINE ROCK CUT ROAD, LLC (BOOK 11473, PAGE 661), SOUTH 60°45'00" EAST, 182.80 FEET TO A POINT; THENCE IN A SOUTHERLY DIRECTION AND ALONG THE AFORESAID WESTERLY LINE OF ROCK CUT ROAD, THE FOLLOWING FOUR COURSES: 1) SOUTH 27°53'24" WEST, 170.85 FEET TO A POINT; 2) SOUTH 61°47'30" EAST, 9.22 FEET TO A POINT; 3) SOUTH 27°53'24" WEST, 65.83 FEET TO A POINT AND 4) SOUTH 46°47'56"WEST, 47.43 FEET TO THE POINT OR PLACE OF BEGINNING.

CONTAINING IN ALL 1.19 ACRES OF LAND BEING MORE OR LESS

FLOOD ZONE NOTE:

PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 36071C0138E, PANEL 138 OF 630, OF THE TOWN OF NEWBURGH, ORANGE COUNTY N.Y. BEARING AN EFFECTIVE DATE OF AUGUST 3, 2009.

CERTIFICATION:

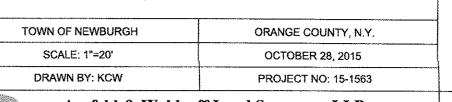
THIS IS TO CERTIFY TO CUMBERLAND FARMS, INC., AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 10 (a), 11(a), 13, 14, 16 & 18 OF TABLE A THEROF. THE FIELD WORK WAS WAS COMPLETED ON SEPTEMBER 14, 2015.

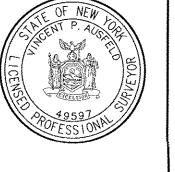
N.Y.S. REGISTRATION NO. 049597

NOVEMBER 27, 2015

270 ROUTE 17K ALTA/ACSM LAND TITLE SURVEY OF THE LANDS OF V.S.H. REALTY, INC. &

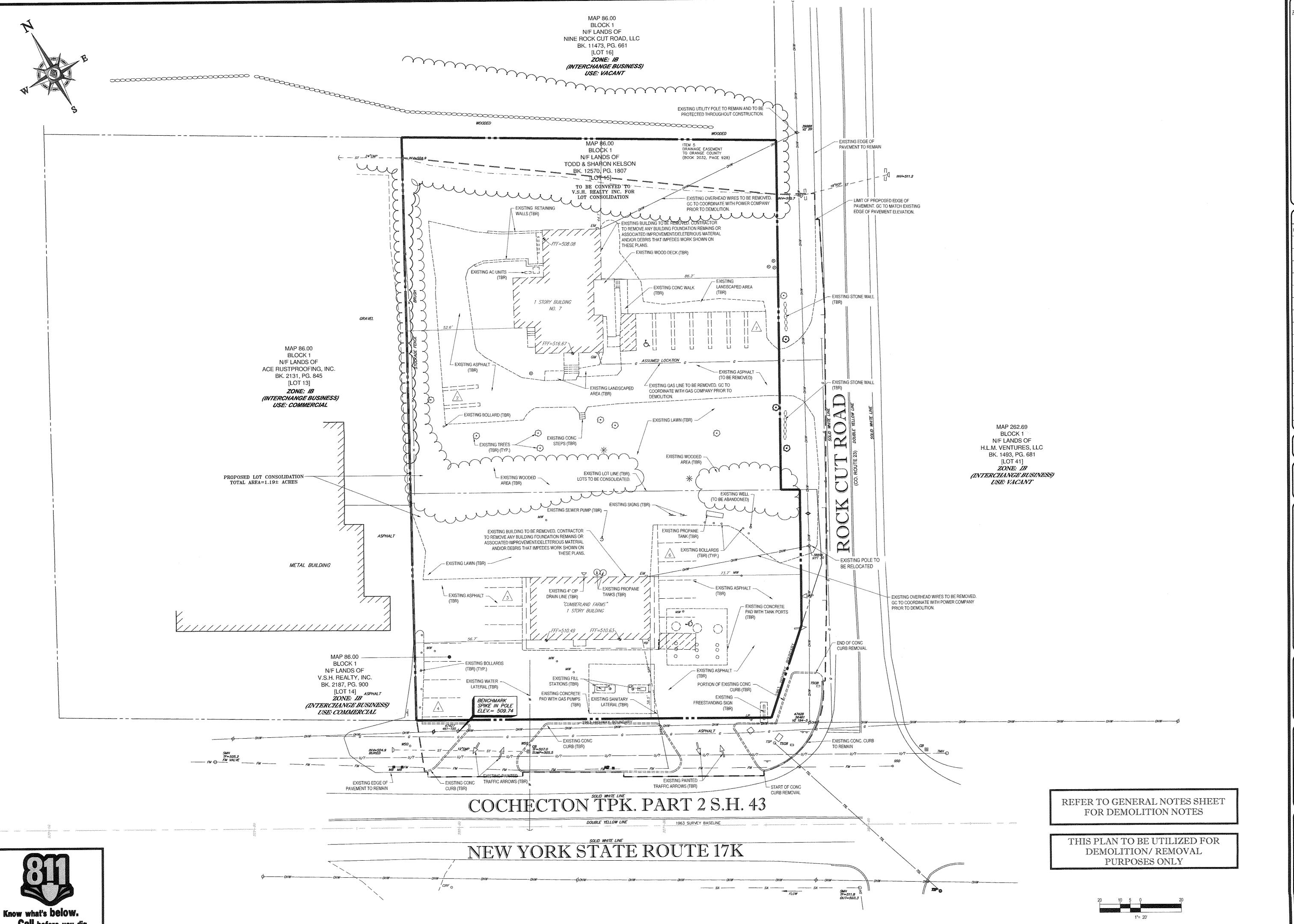
TODD AND SHARON KELSON ORANGE COUNTY, N.Y. SCALE: 1"=20' OCTOBER 28, 2015





Ausfeld & Waldruff Land Surveyors LLP 514 State Street, Schenectady N.Y. 12305 Phone: (518) 346-1595 Fax: 518-770-1655

VINCENT P. AUSFELD P.L.S. LICENSE #049597 www.awlsllp.com



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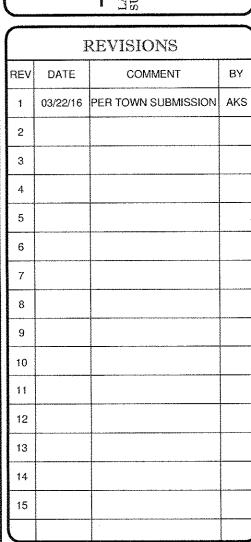
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PRELIMINARY

 PROJECT No.:
 B150208

 DRAWN BY:
 MED

 CHECKED BY:
 JRG

 DATE:
 01/12/2016

 SCALE:
 AS NOTED

 CAD I.D.:
 B150208SS04

ROJECT: SITE

DOCUMENT

PLANS

FOR

FARMS
LOCATION OF SITE
270 ROUTE 17K
TOWN OF NEWBURGH

ORANGE COUNTY STATE OF NEW YORK



17 COMPUTER DRIVE WEST, SUITE 203 ALBANY, NY 12205 Phone: (518) 438-9900 Fax: (518) 438-0900 www.BohlerEngineering.com

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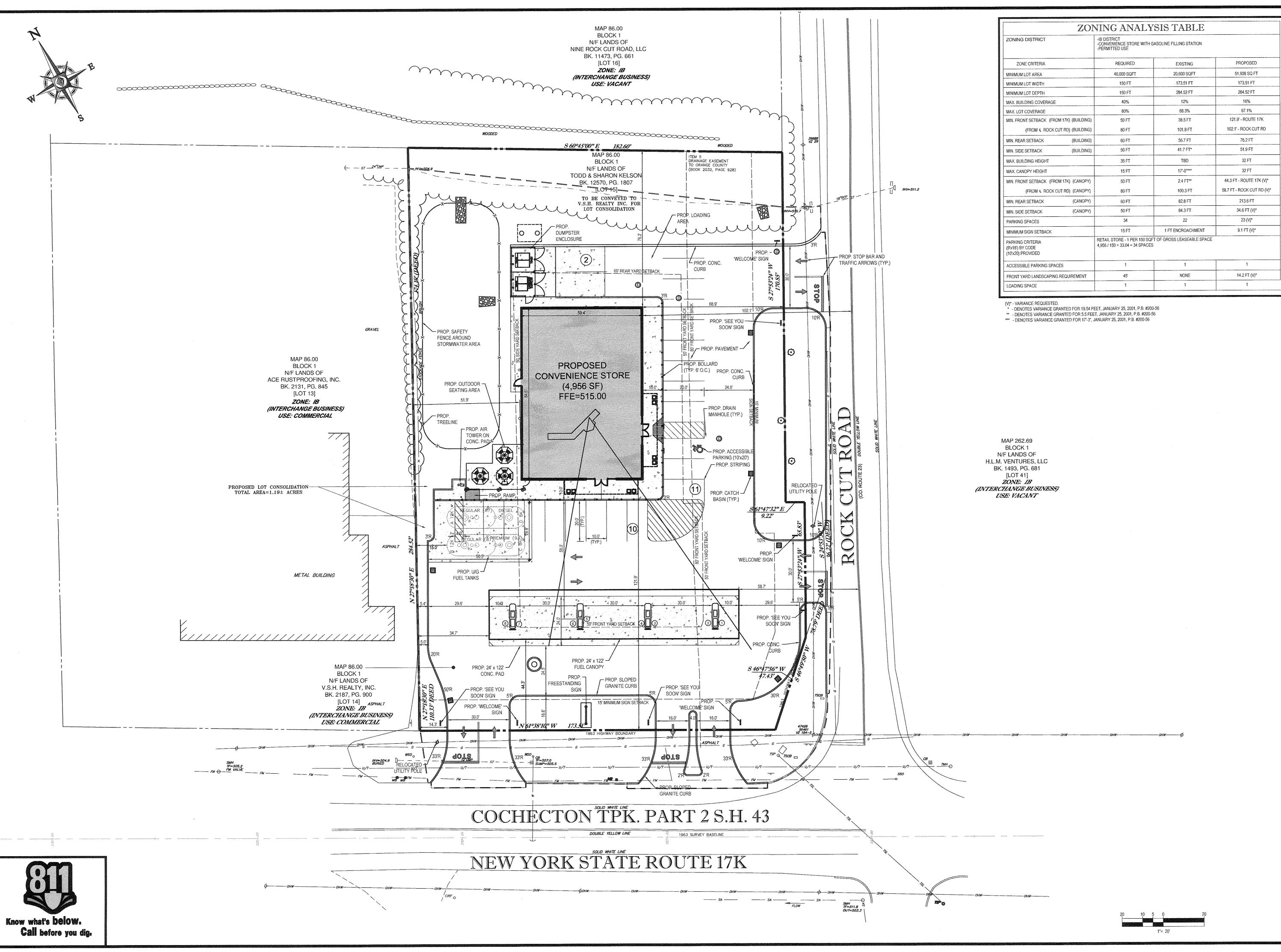
OHIO LICENSE No. E-68329

SHEET TITLE

DEMOLITION PLAN

CFG03.0

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REVISIONS
REV DATE | COMMENT | BY |
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PRELIMINARY

 PROJECT No.:
 B150208

 DRAWN BY:
 MED

 CHECKED BY:
 JRG

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 01/12/2016

 SCALE:
 AS NOTED

 CAD I.D.:
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ROJECT: SITE

DOCUMENT

PLANS

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F A R M S
LOCATION OF SITE
270 ROUTE 17K
TOWN OF NEWBURGH
ORANGE COUNTY
STATE OF NEW YORK

POHLER
ENGINEERING

7 COMPUTER DRIVE WEST, SUITE 203
ALBANY, NY 12205

Phone: (518) 438-9900 Fax: (518) 438-0900 www.BohlerEngineering.com

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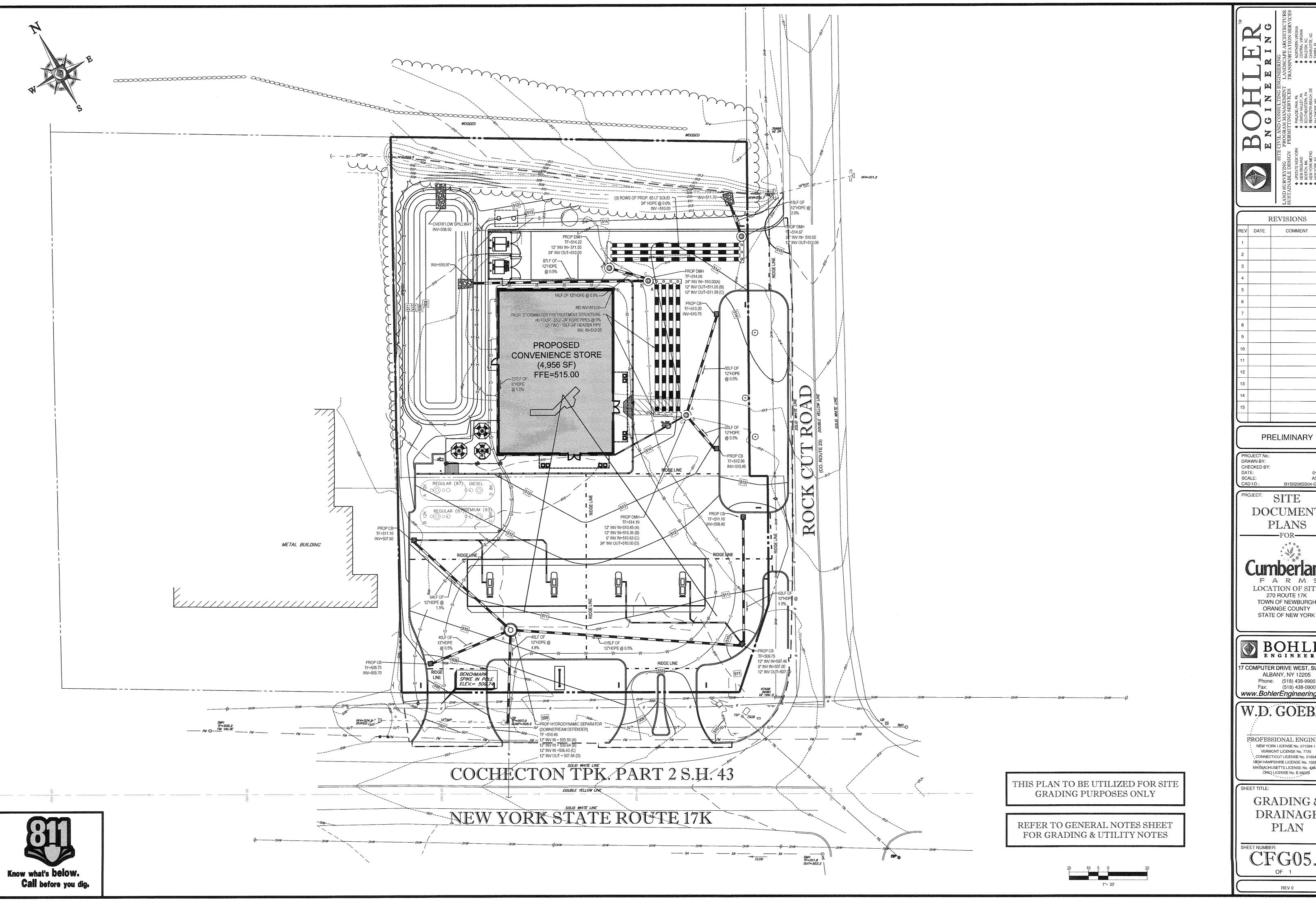
OHIO LICENSE No. E-68329

SHEET TITLE:

SITE PLAN

CFG04.0

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REVISIONS COMMENT

01/12/2016 AS NOTED B150208SS04-GRADING

SITE DOCUMENT

PLANS



LOCATION OF SITE 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY STATE OF NEW YORK



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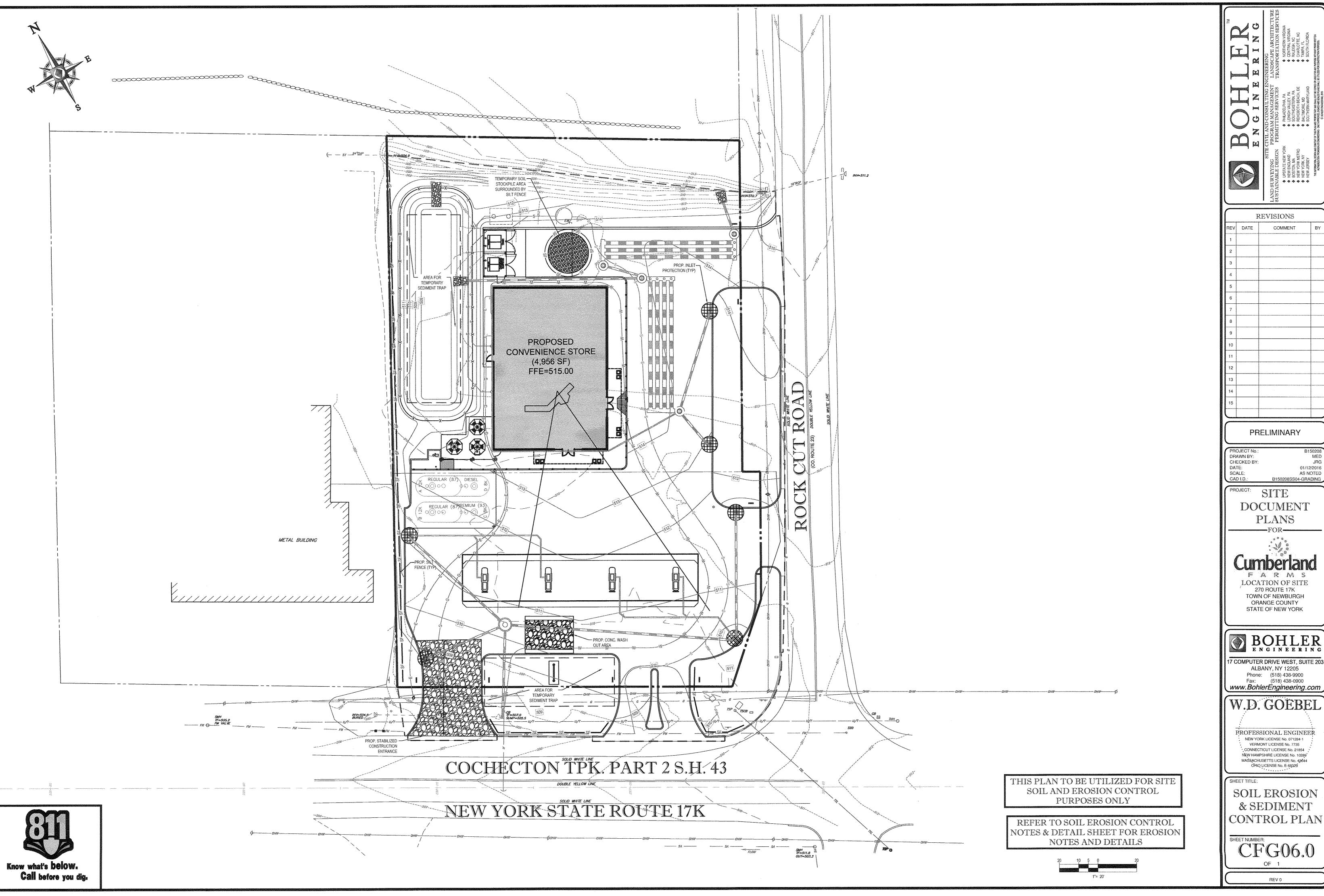
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GRADING & DRAINAGE PLAN

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REVISIONS COMMENT

PRELIMINARY

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LOCATION OF SITE 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY STATE OF NEW YORK



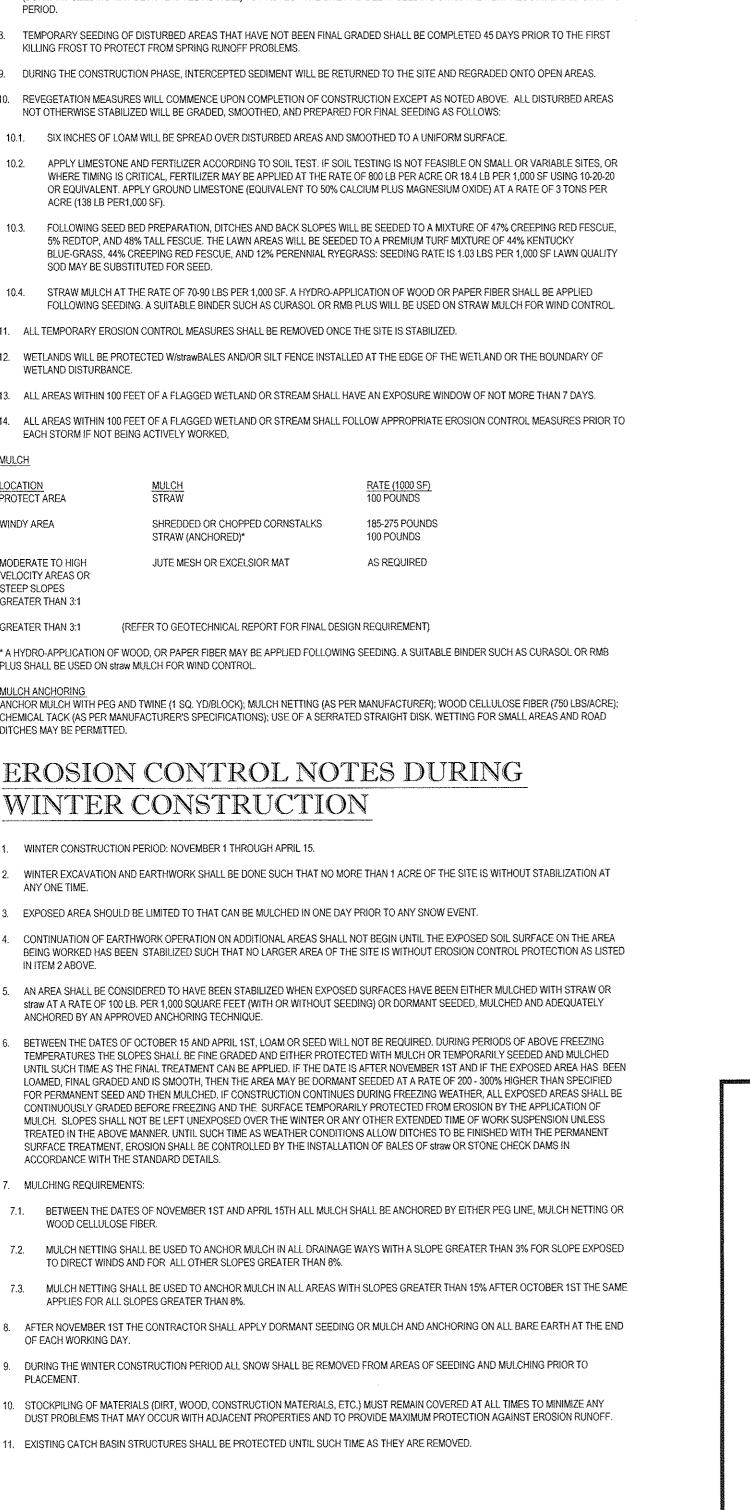
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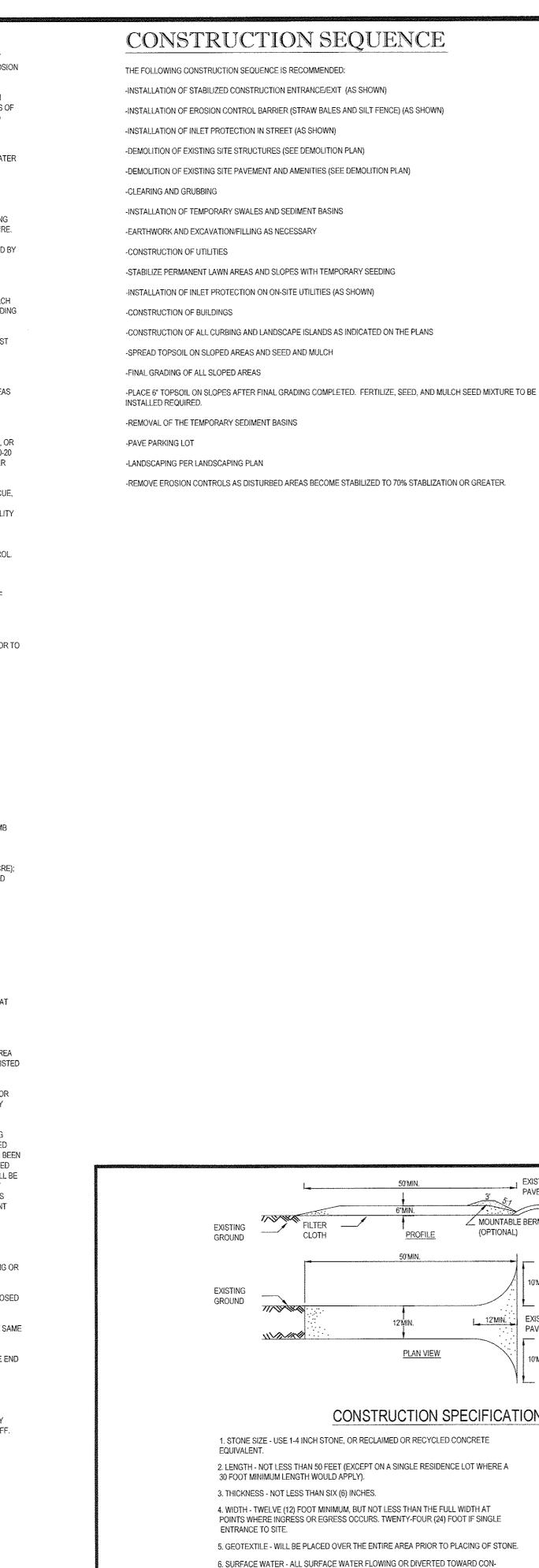
W.D. GOEBEL

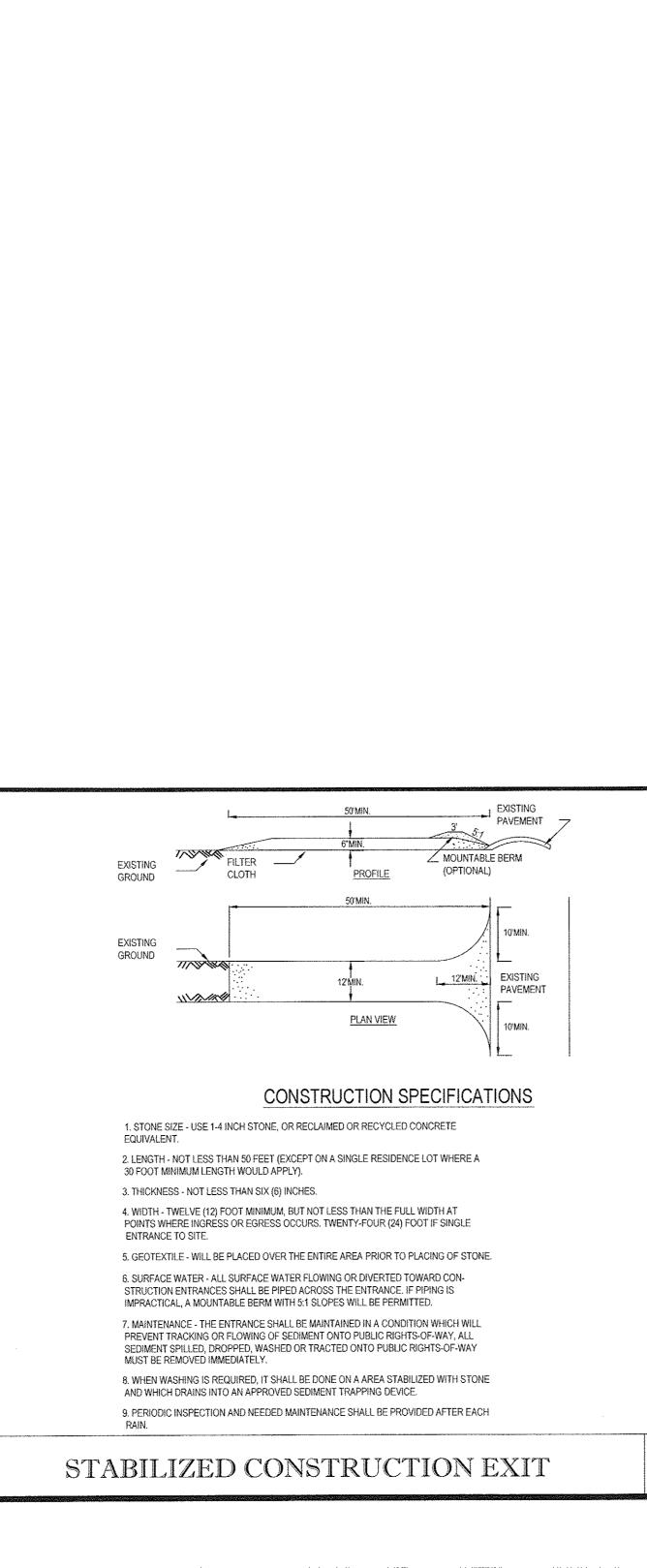
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SOIL EROSION & SEDIMENT CONTROL PLAN

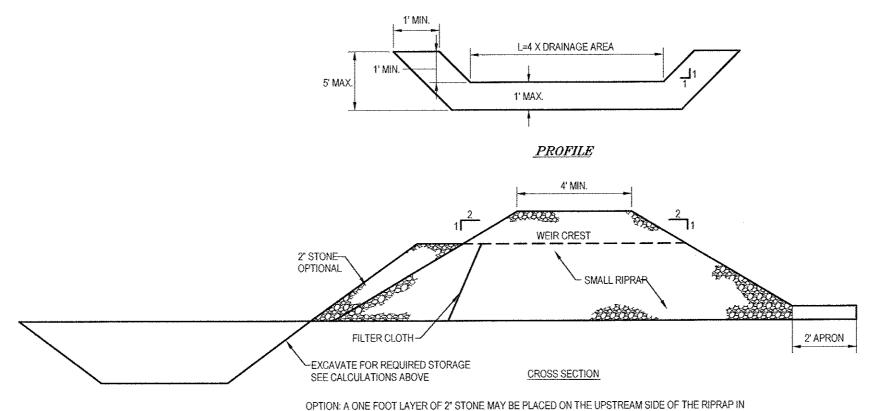
EROSION & SEDIMENT CONTROL NOTES ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS) SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF, SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSURE SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER, SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1). 7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS. 9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS. I. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS: 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER 10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF, A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL. 11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED. 2. WETLANDS WILL BE PROTECTED WIStrawBALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF 13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS. 14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED, SHREDDED OR CHOPPED CORNSTALKS 185-275 POUNDS WINDY AREA STRAW (ANCHORED)* 100 POUNDS MODERATE TO HIGH JUTE MESH OR EXCELSIOR MAT AS REQUIRED VELOCITY AREAS OR STEEP SLOPES **GREATER THAN 3:1** (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT) * A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON straw MULCH FOR WIND CONTROL. ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD EROSION CONTROL NOTES DURING WINTER CONSTRUCTION 1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15. 2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT 3. EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED . AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB, PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED, IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MUI CH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS. MULCHING REQUIREMENTS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. 7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.







N.T.S.



PLACE OF THE EMBEDDED FILTER CLOTH

TEMPORARY STOCKPILE DETAIL

SECTION A-A

CONCRETE WASHOUT DETAIL

AREA INDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS.ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACT BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER. THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1' THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE.SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP, SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO IT'S ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH TO THE TRAP. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED, CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IN MINIMIZED. THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

> REVISIONS REV DATE COMMENT 03/22/16 PER TOWN SUBMISSION A N.T.S. PRELIMINARY

AS NOTED SITE DOCUMENT PLANS

DRAWN BY: CHECKED BY:

LOCATION OF SITE 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY STATE OF NEW YORK

BOHLER 7 COMPUTER DRIVE WEST, SUITE 2

ALBANY, NY 12205 Phone: (518) 438-9900 (518) 438-0900 www.BohlerEngineering.com

W.D. GOEBEI

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SOIL EROSION CONTROL NOTES & DETAILS SHEE

REV₁

PROTECTION STRUCTURE

TEMPORARY SEDIMENT INSTALL FILTER FABRIC UNDER -GRATE (TO BE INSPECTED 2:1 SLOPE----********* - DROP INLET WITH GRATE 3" STONE "DOUGHNUT DETAIL" - TEMPORARY SEDIMENT - WIRE SCREEN — DEWATERING INSTALL FILTER FABRIC UNDER -GRATE (TO BE INSPECTED) AFTER EACH RAINFALL) STONE & BLOCK DROP CONSTRUCTION SPECIFICATIONS: 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON IT'S SIDE FOR DEWATERING. FOUNDATION

TYP. SILTATION FENCE DETAIL

SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET

2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER CLOCK OPENINGS TO SUPPORT STONE. 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER

4. FOR STONE STRUCTURES ONLY. A 1 FOOT THICK LAYER OF THE FILER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE

STONE & BLOCK DROP INLET

Call before you dig.

11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

STONE OUTLET SEDIMENT TRAP DETAIL "AMOCO SILT STOP" SILTATION FENCE OR APPROVED EQUAL WOVEN WIRE FENCE (MIN. 14 1/2 GAUGE, MAX. 6" MESH SPACING)(W/ FILTER CLOTH) 1:3 MAXIMUM SLOPE 36" MIN, FENCE POSTS (STEEL " 10' O.C. MAX SPACING DRIVEN 16 MIN. INTO GROUND) FLOW PLANTS OF THE PROPERTY OF CONSTRUCTION NOTES FOR FABRICATED SILTATION FENCE: GENERAL NOTES: 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE 1. LOCATIONS AS SHOWN ON THE PLANS. CONSTRUCT SILT FENCE AND STRAW BALES AROUND PERIMETER OF STOCKPILE -POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 2. ALL PROPOSED EROSION CONTROLS SHALL SE INSTALLED "T" OR "U" TYPE OR HARDWOOD PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE & CONSTRUCTION SHALL BE APPROVED BY THE ENGINEER. FENCE WITH TIES SPACED EVERY 24" AT TOP & MID-SECTION. 3. REMOVAL OF EROSION CONTROLS ONLY UNDER THE AUTHORIZATION FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING OF THE ENGINEER. 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER. THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT. 5. MAINTENCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

N.T.S.

N.T.S.

ALTERNATE SECTION

WASHOUT SIGN

PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS

CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.

2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE

3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN

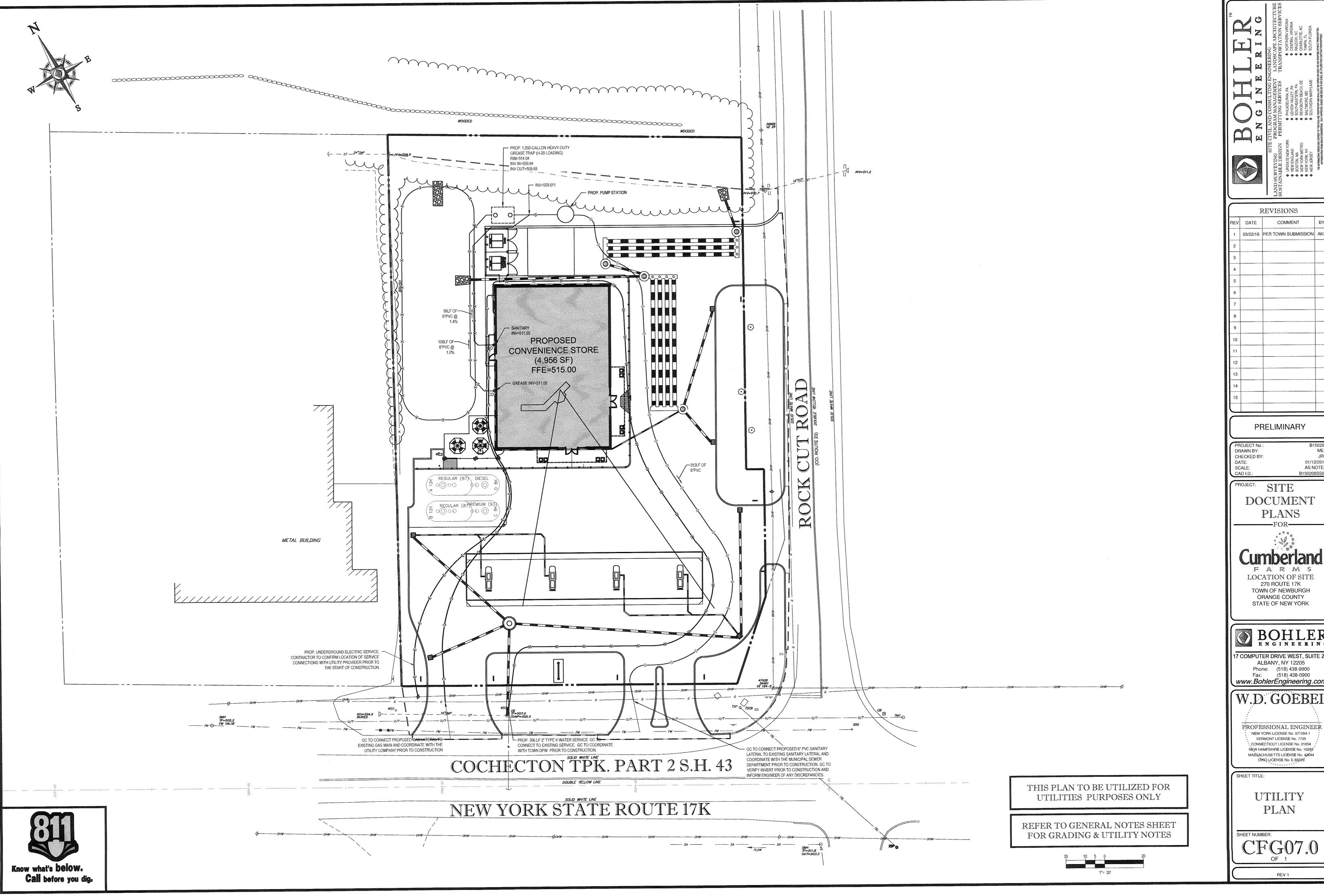
5. SAW CHT PORTLAND CEMENT CONCRETE, RESIDUE FROM

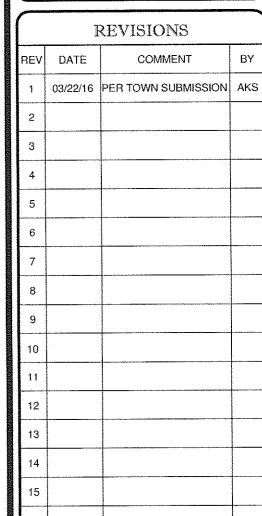
SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.

100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERS.

MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

UNLESS A NEW FACILITY IS CONSTRUCTED.





01/12/2016 AS NOTED

DOCUMENT PLANS

LOCATION OF SITE 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY STATE OF NEW YORK

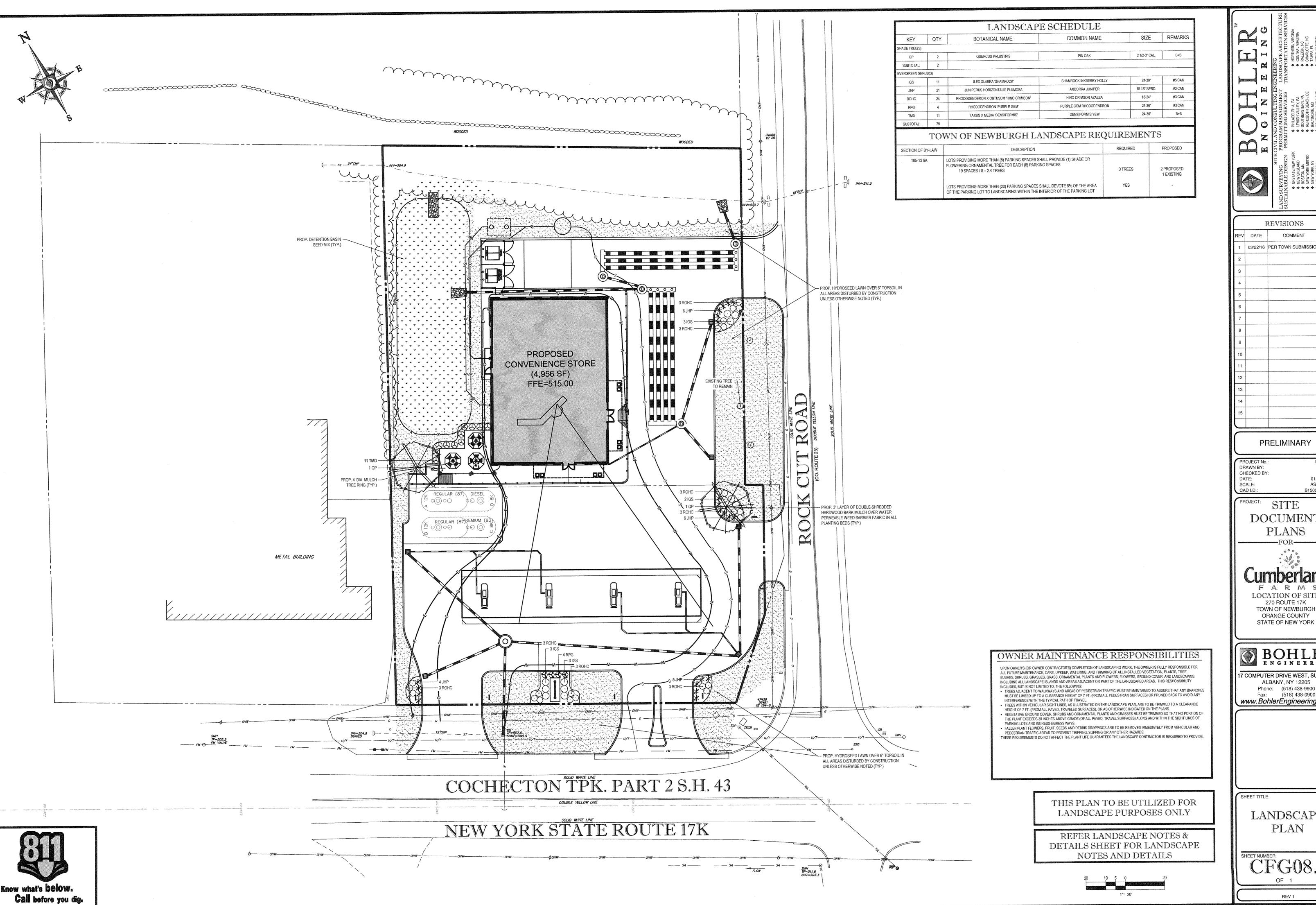
BOHLER ENGINEERING

17 COMPUTER DRIVE WEST, SUITE 20 ALBANY, NY 12205 Phone: (518) 438-9900 Fax: (518) 438-0900 www.BohlerEngineering.com

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PLAN

CFG07.0



REVISIONS COMMENT 03/22/16 PER TOWN SUBMISSION AK

PRELIMINARY

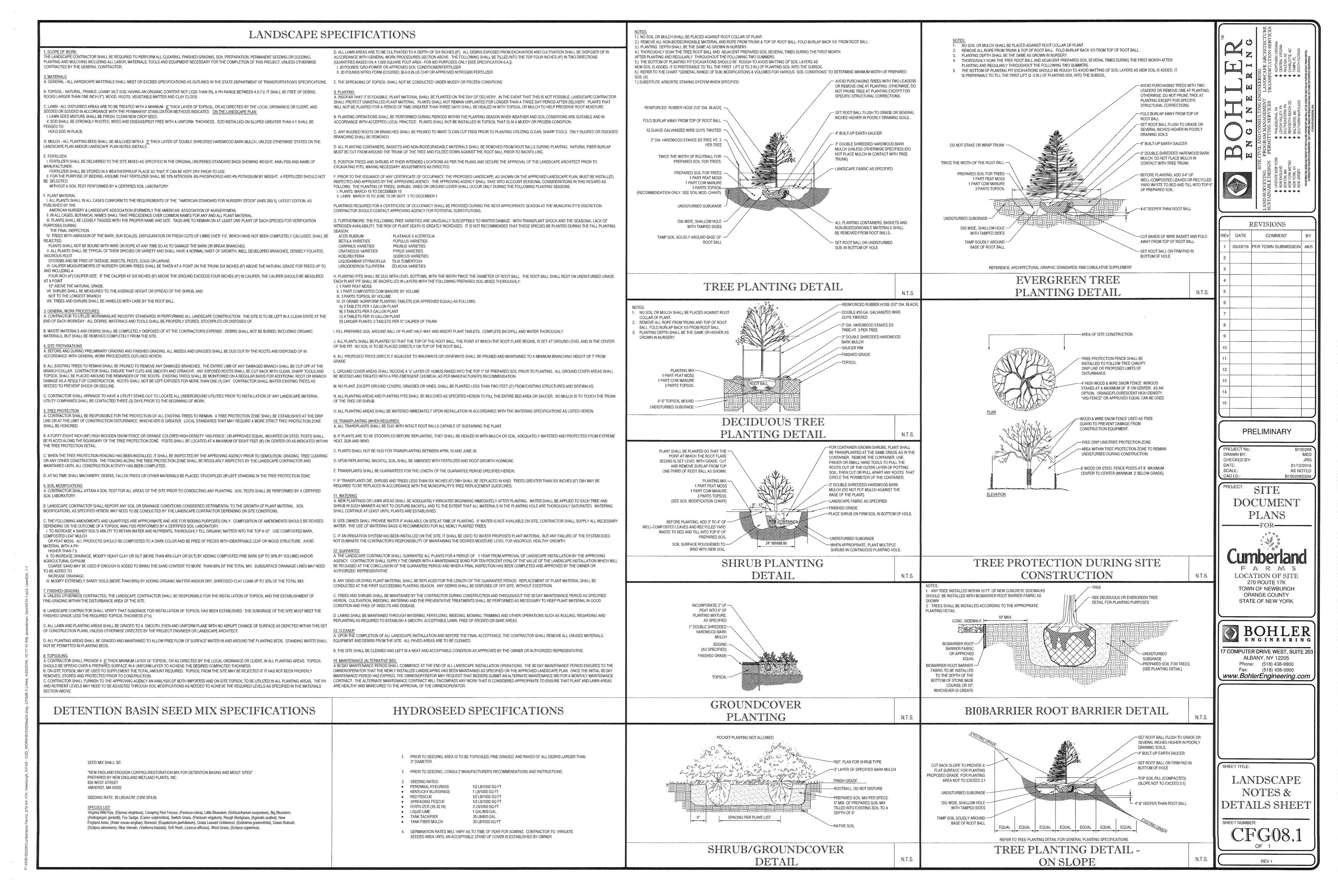
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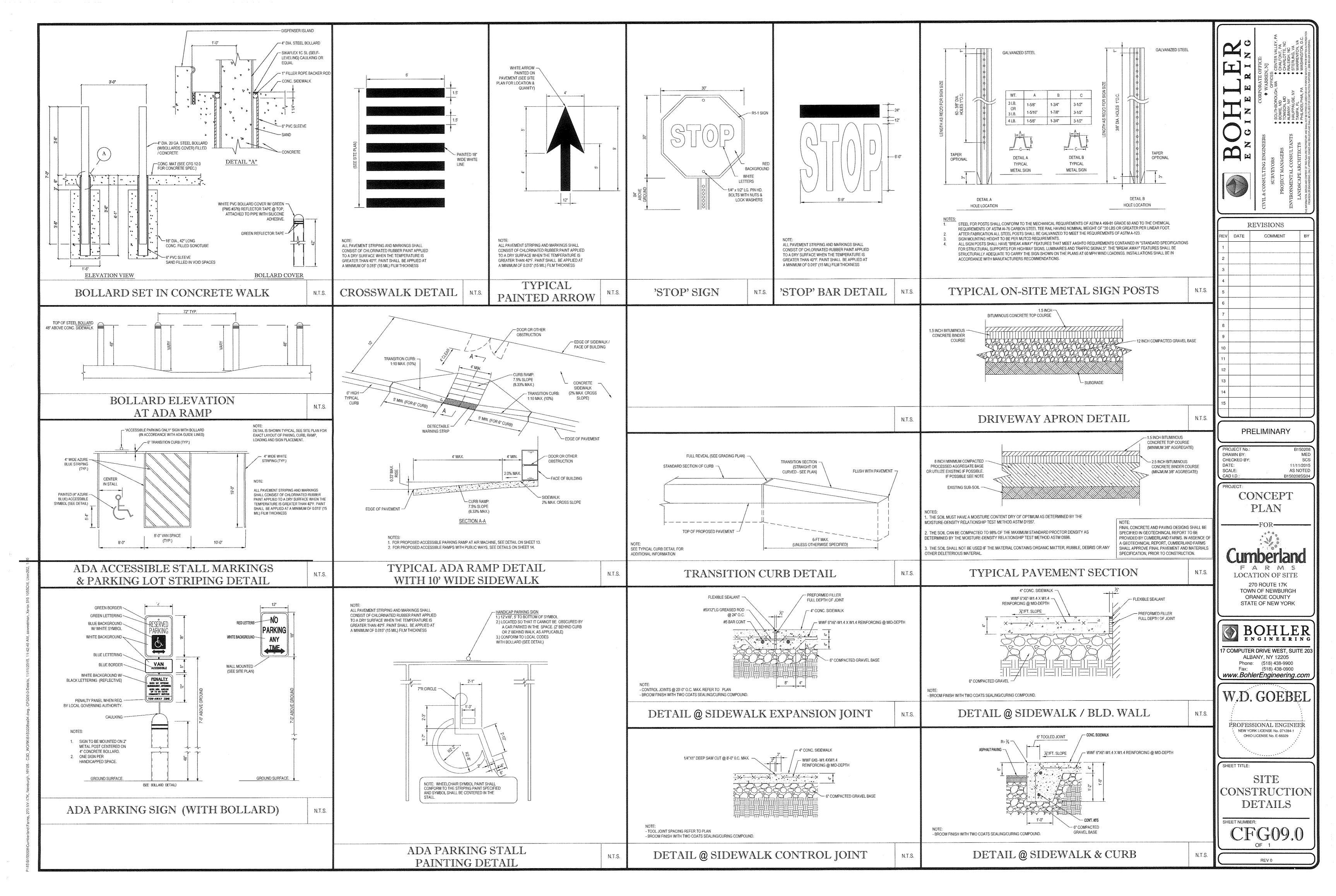
DOCUMENT PLANS

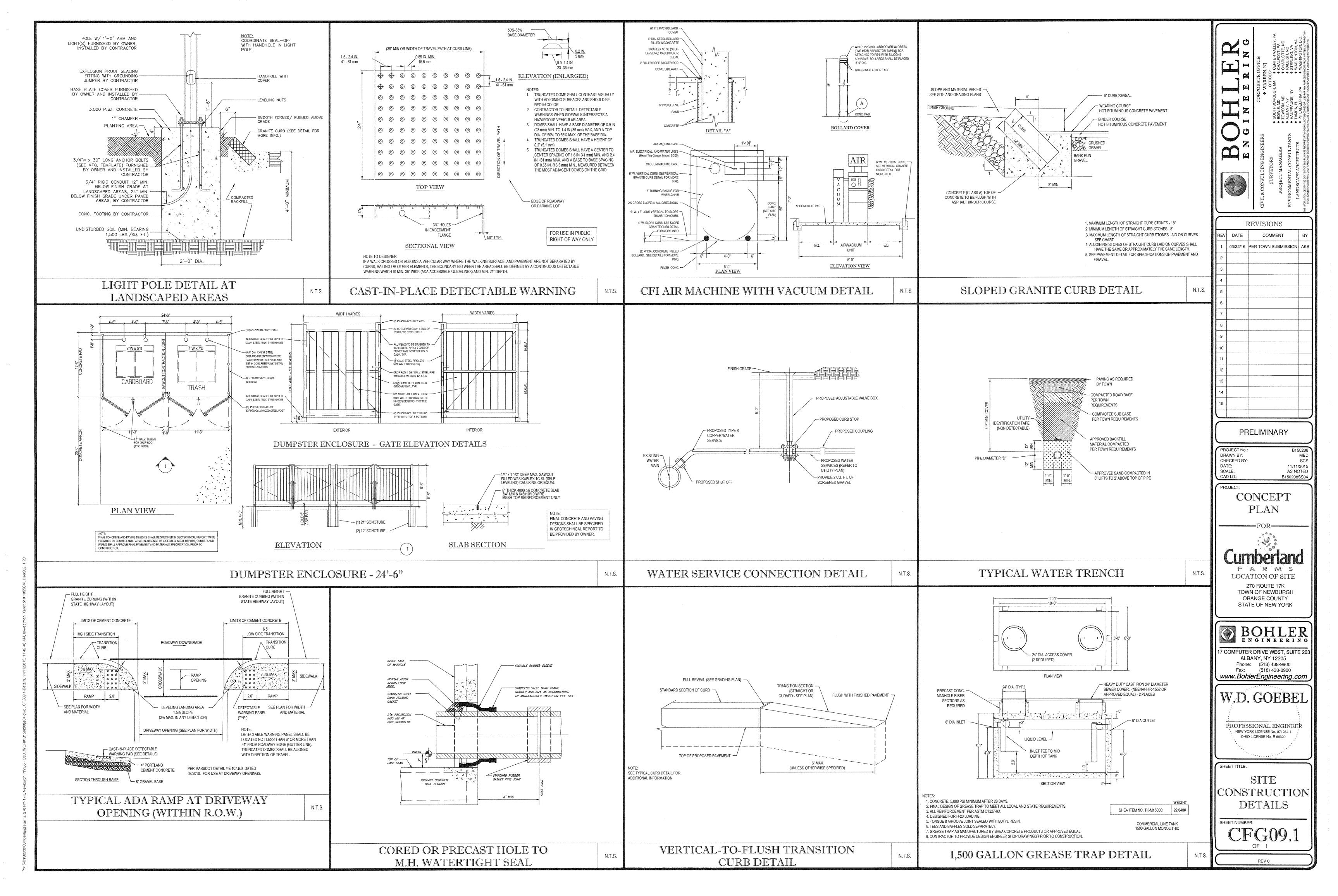
LOCATION OF SITE 270 ROUTE 17K TOWN OF NEWBURGH ORANGE COUNTY

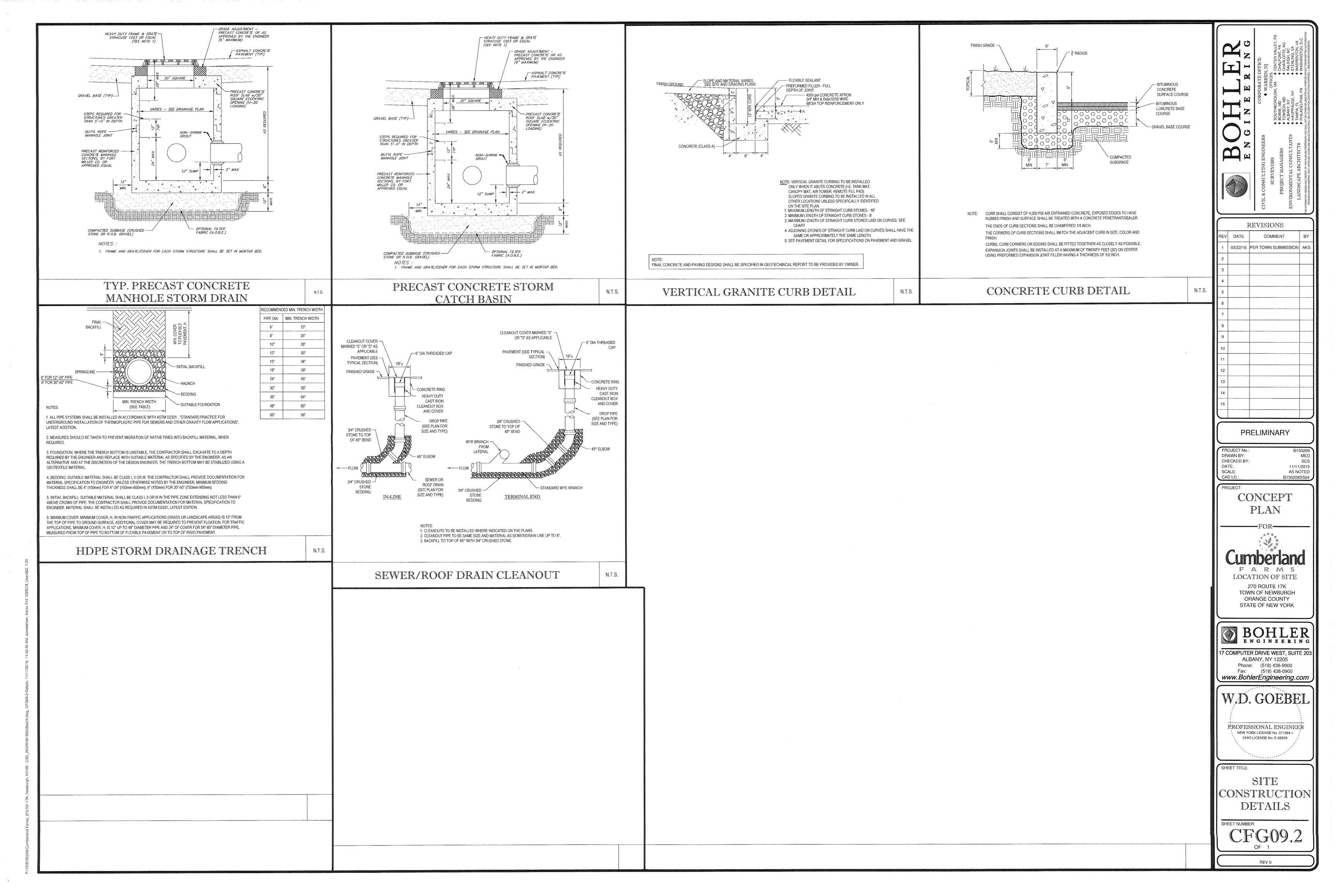
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LANDSCAPE PLAN









- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES - EXCEPT FOR TYPE "AR" FIXTURES, ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE. -TYPE "AR" FIXTURE IS MOUNTED ON AN 8 FT POLE ATOP A CONCRETE BASE FLUSH AT GRADE.

LUMINAIRE	LOCATION SUI	(100,000,000,000,000,000,000,000,000,000	LL
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4	AR	8	35
5	AR	8	36
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7	В3	16.228	3
8	С	14	3
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MINAIRE LOCATION SUMMARY

CALCULATION SUMMARY	AVG	MAX	MIN	AVG/MIN	MAX/MIN
_ABEL	37.53	53	21	1.79	2.52
CONOPY	4.34	15.9	0.2	21.70	79.50
PAVED AREA	1.29	26.6	0.0	N.A.	N.A.

IINAIRE SC	HEDULE				11.5	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
MBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS		CREE INC.	ARE-EDR-5M-R5-04-E-UL-XX-700-57K
<u> </u>	3	AR	SINGLE	7985	1.040	92	276		ARE-EDG-3M-DA-06-E-UL-XX-700-57K
	3	***	SINGLE	10706	1,040	132.5	397.5	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-700-57K
	3	A		8480	1.040	134	134	CREE INC.	
9	1	B3	SINGLE		1.040	134	1072	CREE, INC.	CAN-304-5M-RS-06-E-UL-XX-700-57K
East 1	8	C	SINGLE	12060			1072	CREE, INC.	CAN-304-PS-RS-06-E-UL-XX-700-57K
	8	C1	SINGLE	13696	1.040	134		Cree Lighting - Recessed Downlight	LR618L-40K-120V-A-DR +RC6 HOUSING
	39		SINGLE	1757	1.000	19.8	772.2	Uree Lighting - Necessed Downingth	

NEW YORK STATE ROUTE 17K

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REV BY DATE

DWG SIZE DATE: D 3/15/16 DRAWING NUMBER RL-3609-S1 CUMBERLAND FARMS NEWBURGH, NY

CFG 10.0

SCALE: LAYOUT BY:

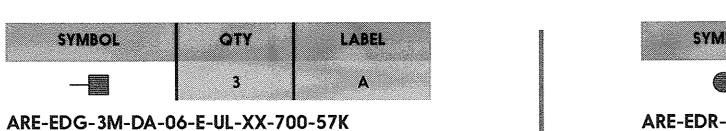




CANOPY



SOFFIT



B3

ARE-EDG-4MB-DA-06-E-UL-700-57K

Cree	Edge™	Seri	es	
LED Area/F	Flood Luminaire			
Draduct De	ecription			

The Cree Edge™ Series has a slim, low profile design, Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weathertight LED driver compartment and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, or Side Arm (details on page 2), includes a leaf/debris guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal

Performance Summary Patented NanoOptic® Product Technology Made in the U.S.A. of U.S. and imported parts CRI: Minimum 70 CRI CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard Limited Warranty*: 10 years on luminaire/10 years on Colorlast DeltaGuard* finish

Accessories	
Field-Installed	
Rird Spikes XA-880SPX Hand-Held Benute	Backlight Control Shields XA-208LS-4 - Four-pack
XA-SENSACIA For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required.	- Unpainted stainless steel

											10 18.7 (43	estata)	32 805, (1589)
										į	12 29.1*(51	Omm)	34 lbs. (15kg)
											14 22.1*(56	Omm)	37 lbs. (17kg)
											AA/SA Mount - see pag	e 21 l	for weight & dimensions
nderin	g Informa	tion								1			
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Product	Optic			Mounting*	LED Count	Series	Voltage	Color	Drive	Opti	DHS.		
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ARE-EDG	ZM Type II Medium ZMB Type II	ZMB Type III Medium w/SLS ZMP	EMP Type IV Medium w/Portial BLS	AA Adjustable Arm DA Direct Arm SA	02 04 06 08	E	UL Universal 120-277V UH Universal	BK Slack BZ Sronze SV	350 350nA 525 525mA 700	DDA	8-tQV Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive	PML	Programmable Multi-Level, 26-40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight
	tedium w/BLS 2MP Type II Medium w/ Partial BLS 3M	Type III Medium w/Partial BLS 6M Type IV Medium	5M Type V Medium 5S Type V Short	Side Arm - Available with 20-60 LEDs	14	pritte stateling in translationals, spike triplicational or	347-48GV	Säver WH White	700mA • Available with 20- 60 LEOs	F	custent Fuse - Refor to IAI, spec sheet for availability with IAI, options - Available with IAI options - Available with IAI options - When code dictates fusing, use time delay fuse	PNLI	applications at 9" Sit 2 Programmable Mutti-Level, 10- 39" Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0" Sit
	Type III Medium	4MB Type IV Medium w/BLS			S A PAR IS SERVED PROSESSES AND SERVED PROSESSES AN	Straight being department of the			and a second designation of the second	H	Hi/Low (Dual Circuit Input) - Refer to Hi, spec sheet for details - Sensor not included	R	NENA* Photocel Receptacle - Intended for downlight applications with maximum 45' till - Photocell by others
FLD-EDG	25 25' Flood	70 70' Flood	R6 NEMA*6			1		4		ML	Multi-Level - Refer to Mi, spec sheet for		 Refer to ML spec sheet for evaluations with ML options
	40' Flood	S H Sign									details - Intended for downlight applications at 0° fift	408	4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
					-			***************************************		P	Photocell - Refer to ML spec sheet for availability with ML options - Available with ML voltage only		
	<u> </u>			1	1	1	<u></u>	1					



Count (x10) Dim. 'A' Weight

12.1" (306mm) 21 Sts. (10kg)
12.1" (306mm) 24 Sts. (11kg)
14.1" (337mm) 27 Sts. (12kg)
16.1" (406mm) 28 Sts. (13kg)

Cree Edge™ LED Area/Flood Luminaire

Product Specifications

CONSTRUCTION & MATERIALS Slim, low profile, minimizing wind load requirements Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and bigh performance heat sinks BA mount utilizes convenient interlocking mounting method. Mounting is rugged die cast aluminum, mounts to 3-6" (76-152mm) square or round pole and secures to pole with 5/16-18 UNC bolts spaced on 2" (51mm) centers AA and SA mounts are rugged die cast aluminum and mount to 2* (51mm) IP, 2.375* (50mm) 0.D. tenons

 Includes leaf/debris guard Exclusive Colorfast DeltaGuard* finish features an E-Cost epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available

Weight: See Dimensions and Weight Charts on pages 1 and 21 Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers · Power Factor : > 0.9 at full load Total Harmonic Distortion: < 20% at full load DA mount designed with integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup

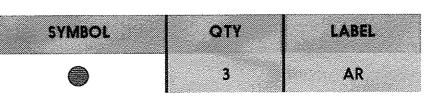
Integral 10kV surge suppression protection standard To address inrush current, slow blow fuse or type C/D breaker should be used. Maximium 169 Source Current; 20 LED (350mA): 10mA; 20 LED (525 & 780mA) and 40-80 LED: 0.15mA; 100-140 LED: 0.30mA REGULATORY & VOLUNTARY QUALIFICATIONS · Suitable for wet locations

Enclosure rated IP66 per IEC 60529 when ordered without P or R options Consult factory for CE Certified products Gertified to ANSI C136.31-2001, 3G bridge and overpass vibration standards when 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2 Meets FCC Part 15 standards for conducted and radiated emissions Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard 8 117 DLC qualified. Exceptions apply when ordered with full backlight control or 3MP optic
with 20 LEDs. Please refer to www.designlights.org/QPL for most current information Meets Buy American requirements within ARRA

(CALCON)	T	**************************************	i i	i	W 500 00 00 00	**************************************	7.823203
92	25	0,21	0.13	9.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	6.12
86	66	0.52	0.31	0.28	9.26	0.20	0.15
68	98	0.75	8.44	£,38	0.34	0,26	0.20
10	110	0.92	0,53	0,47	0.43	0.32	9.24
17	130	1,10	9.63	0.55	6.48	0.38	0.28
14	158	1,32	0.77	9.68	0.62	0.47	0.35
525mA							
02	37	0.30	0.19	0.17	8,36	6,12	0.10
04	70	8.58	0.34	9.31	0.28	0.21	0.16
06	101	9,84	0,49	8.43	0.38	0.30	6.22
63	133	1.13	8.66	0.58	0.51	0.39	9.28
10	171	1,43	0.83	0.74	0.66	0,50	0.38
12	202	1.69	0.98	0.26	0.77	0,59	8.44
14	232	1.94	1,32	0.98	0.87	0.68	6.50
700mJA							
82	50	0.41	0.25	6.22	0.28	0.15	0.12
84	93	0.78	0,46	9.40	0,36	0.27	0.28
	134	1.14	8.65	8.57	0.50	0.39	6,29

Ambient	Initial EMF	25K hr Projected? LMF	50K hr Projected ^o LMF	75K hr Caloulated ¹ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1,04	0.99	0.97	Ø.95	0.93
18°C (50°F)	1,03	0.98	0.96	6.94	0.92
15°C (59°F)	1.02	0.97	0.95	0.93	0.91
20°C (68°F)	1.01	0.96	0.94	6.92	0.90
25°C (77°F)	1.80	0.95	0.93	0.91	9.89

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ARE-EDR-5M-R5-04-E-UL-XX-700-57K

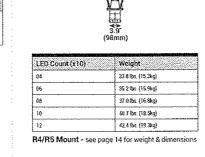
Cree Edge™ Series

The Cree Edge" Series has a slim, low profile design. Its rugged cast aluminum housing minimize wind load requirements and features an integral, weathertight LED driver compartment, spun vented cover, high performance aluminum heat sinks and leaf/debris guard.

Applications: Auto Dealerships, parking lots, campuses, facade lighting and general site lighting

Performance Summary Parented NanoOptic® Product Technology Made in the U.S.A. of U.S. and imported parts CRI: Minimum 70 CRI CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard Limited Warranty*: 10 years on luminaire/10 years on Colorfast DehaGuard^e finish "See www.coee.com/lighting/products/warranty for warranty terms

Field-Installed	
Bizd Spikes	Backlight Control Shields
XA-BROSPK	XA-206LS-4
	- Fasa -psode
	 Unpointed stainless steel



					E				
Product	Optic		Mounting	Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EUR	2M Fype # Medium 2MB Type # Medium WRIS 2MP Type # Medium WRIS 2MP Type # Medium WRIS 3M Type # Medium 3MR Type ## Medium WRIS 3MR Type ## Medium WRIS	THP Type II Medium w Partial BLS M4 Type IV Medium William MBIR Type IV Medium William MBIR Type IV Medium William MBIR Type IV Medium William Type IV Medium Type IV Medium Type IV Medium Type IV Medium Type IV Short	R3 Spider, Center Tenon, 2-US to 3" 00 R4 Spider, Center Direct, 4" Square R5 Spider, Center Direct, 5" Square R5 Spider, Center Direct, 5" Round	04* 06* 08* 10 12		UE Universal 129-237Y UH Universal 347-480Y	BK Black BZ Bronze SV Silver WH White	350 350nA 552 575nA 726nA 706nA - Available with 40-50 LEDs	DBM 0-10V Dimming Control by others Belet to bimming spec sheet for details Belet to bimming spec sheet for details Control conced specified drive current F Gue When code dictates fusing, use time delay to Assistate with Ux valtage only Ht. Hillaw (Dual Circuit Input) Belet to Hill spec sheet for details Sensor not included P britosed: Assistate with Ux valtage only 40K 4000K Colo Temperature Minimum 10 CRI Color temperature Color temperature

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Cree Edge™ LED Area Luminaire - Round

Product Specifications Slim low profile minimizing wind load requirements Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment, spun vented cover, and high performance aluminum heat sinks R3 spider mount hub slip-fits over a 2.375' (60mm) to 3' (76mm) 0.D. steet or aluminum tenon or pole and secures with eight set screws R4 spider mount fits directly inside 4" (102mm) square pole and secures to pole with

 R5 spider mount fits directly inside of a 5" (127mm) round pole to provide a clean Includes leaf/debris quard ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver, and white are available

 Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers Power Factor: > 0.9 at full load Total Harmonic Distortion: < 20% at full load 10V Source Current: 40-80 LEDs: 0.15mA; 100-120 LEDs: 0.30mA Integral TOKY surge suppression protection standard To address inrush current, slow blow fuse or type C/D breaker should be used REGULATORY & VOLUNTARY QUALIFICATIONS

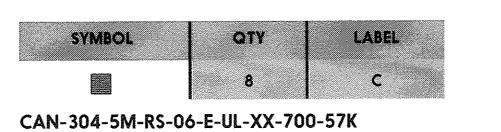
 Suitable for wet locations Meets FCC Part 15 standards for conducted and radiated emissions Enclosure rated IP66 per IEC 60529 when ordered without P option Certified to ANSI C136.31-2001, 1.5G normal vibration standards when ordered with R3, R4 and R5 mounts 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2 Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117 DLC qualified, Exceptions apply when ordered with full backlight control or 3MP optic with 20 LEDs. Please refer to www.designlights.org/QPL for most current information Meets Buy American requirements within ARRA

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	**	Total Curre	ent				
LED Count (x16)	System Watts 120-486V	120V	208V	240V	277V	347V	486V
350mA							
64	45	0.36	8.23	0.21	0.20	0.15	0.12
06	66	0.52	8.31	8.28	G.26	0.20	6.15
68	90	0.75	0.44	0.38	0.34	0.26	0,20
16	116	0.92	0.53	9.47	6.41	0.32	824
12	130	1,10	0.63	0,55	0,48	0.38	0.28
525mA							
04	76	0.58	0.34	0.31	0.28	0.21	9,16
16	101	0.84	0.49	8.43	0.38	0.30	9.22
68	133	1.13	0.66	8.58	0.51	0.39	0.28
10	171	1,43	0,83	0.74	9.56	9.50	9.38
12	202	1,69	0.98	0.86	6.77	0,59	8.44
700mA							
64	93	0.78	0.46	0.40	0,36	0.27	0.20
05	134	1,34	0.65	6,57	0.50	0,39	0.29

Ambient	Initial LMF	25K fir Projected ² LMF	SOK hr Projected ² LMF	75K br Calculated's LMF	100K hr Calculated ¹ LMF
5°C (41°F)	₹.04	0.99	0.97	0.95	0,93
10°C (50°F)	1.03	0.98	0.96	0.94	8,92
15°C (59°F)	1.02	8.97	0.95	0.93	0.91
28°C (68°F)	1.01	0.96	0,94	8.92	0.90
25°C (77°F)	3.00	8.95	0.93	6.91	0.89

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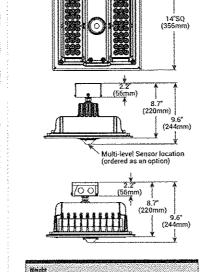
CAN-304-PS-RS-06-E-UL-XX-700-57K

304 Series™ LED Recessed Canopy Luminaire

Product Description Luminaire housing is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RD Mount). LED driver is mounted in a sealed weathertight center chamber that allows for access from below the fixture. Luminaire mounts directly to the canopy deck and is secured in place with die cast aluminum trim frame. Luminaire housing is provided with factory applied foam gasket that provides a waterlight seal between luminaire housing and canopy deck. Suitable for use in single or double skin canopies with 16" (406 mm) wide panels. Designed for canopies of 19-22 gauge (maximum 0.040" [1 mm] Applications: Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and

Performance Summary Patented NanoOptic® Product Technology Made in the U.S.A. of U.S. and imported parts CRI: Minimum 70 CRI CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard Limited Warranty*: 10 years on luminaire/10 years on Colorfast DehaGuard* finish

XA-SENSREM
- For successful implementation of the programmable multi-fevel option, a minimum of one hand-held remote is required



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ormation 04-5M-8S-04-E-UL-SV-35	eŭ									
			E						,	
Optic	Mounting	LED Count (x10)	Series	Voltage	Calor Options	Drive C	1000	Options		

Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
CAN-304	5M Yardium 1954 Yardium 5S 1956 Y Short PS Petroleum Symmetric SL Sparific Petroleum	AS Recessed Single Skin RD Recessed Double Skin	94	£	EE. Sleiverssä 120-22TV UH Universal 347-480V	EX Elsek BZ Brinnze SV Säwer WH White	356 350mA 525 525mA 789° 700mA	DDM 0-10f Dimming Control by others Refer to Dimming spec shoet for details Cont accred specified drive current When could district having uso time delay fuse Refer to Mit spec sheet for availability with MI, optio MI. Mails 4 evel Refer to Mit spec sheet for details PMI Programmable Multi-Level Refer to PMI spec sheet for details MI. Michael Control of the Mit spec sheet for details With MID CONTROL TRANSPORTED Refer to PMI spec sheet for details MI. MODIC CONTROL Transportation Minimum TO CRI Color temperature per luminaire

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 46
 e.39
 0.24
 0.22
 0.21
 0.15
 0.12

 69
 0.57
 0.34
 0.30
 0.27
 0.21
 0.16

71 0.59 0.35 0.31 0.28 0.21 0.16 101 0.84 0.49 0.43 0.38 0.30 0.22

94 0.79 0.46 0.40 0.36 0.28 0.21 1.35 1.14 0.65 0.57 0.50 0.40 0.29

25K hr 56K hr 75K hr 100K hr Projected² Projected² Calculated² Calculated³

304 Series[™] LED Recessed Canopy Luminaire

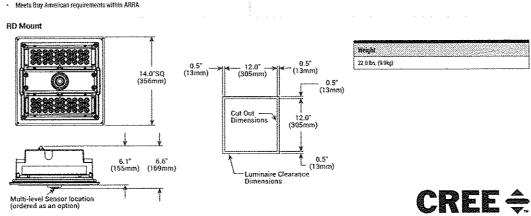
Product Specifications CONSTRUCTION & MATERIALS RS Mount luminaire housing is constructed from rugged die cast aliminum and incorporates integral, high performance heatsink fins specifically designed for LED canopy applications

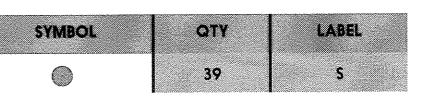
•	to more immage nousing is constituted from neglecture loss administration for Li- canopy applications
	LED driver is mounted in a sealed weathertight center chamber that allows for access from below the luminaire
•	Field adjustable drive current between 350mA, 525mA and 700mA on Non-IC rared luminaires
٠	Luminaire housing provided with factory applied foam gasket and provides for a watertight seal between luminaire housing and canopy deck
•	Mounts directly to the canopy deck and is secured in place with a die cast aluminum trim frame
•	AS mount includes integral junction box which allows ease of installation without ne to open luminaire
•	Suitable for use in single (RS Mount) or double (RD Mount) skin canopies with 16" (406mm) wide panels
	Designed for canopies of 19-22 gauge (maximum 0.040" [1mm] thickness)
•	See 228 Series" canopy luminaites for canopies using 12" (305mm) deck sections
	Exclusive Colortast DeltaGuard ⁵ finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abracion. Black, bronze, silver, and white are available
E	ECTRICAL SYSTEM
_	Samuel Malesana, 100,0770 or 247,4900 E0/60047 Clone 1 designe

 Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers Power Factor: > 0.9 at full load Total Harmonic Distortion: < 20% at full load Integral weathertight electrical box with terminal strips (12Ga-26Ga) for easy power hookup Integral 10kV surge suppression protection standard · To address inrush current, slow blow fuse or type C/D breaker should be used 10V Source Current: 0.15mA REGULATORY & VOLUNTARY QUALIFICATIONS

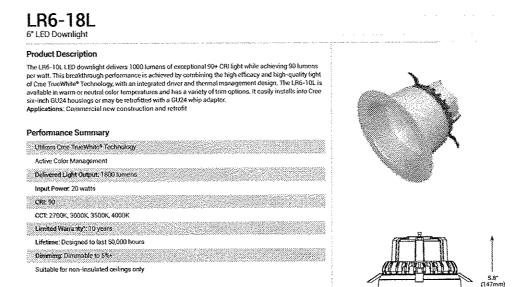
 Suitable for wet locations Meets FCC Part 16 standards for conducted and radiated emissions Enclosure rated IP66 per IEC 60529 10kV surge suppression protection tested in accordance with IEEE/ANSI C62 Luminaire and finish endurance tested to withstand S,000 hours of elevated an salt fog conditions as defined in ASTM Standard B 117 DLC qualified when ordered with PS or SL optics and 525 or 700mA drive curre Please refer to www.designlights.org/QPL for most current information RoHS Compliant. Consult factory for additional details

3	LMF	LMF	LMF	LMF	LMF
5°E (41°F)	1.04	0,99	0.97	0.95	0.93
10°C (50°F)	1.03	0.98	0 96	0,94	0.92
15°C (59°F)	1.02	0.97	0.95	0.93	0.91
20°C (68°F)	1.01	0.96	0.94	8.92	0.90
25'€(77'f)	1.00	0.95	6.93	0.91	0.89
' in accordance with ESNA LIA 60 05 to ' in accordance with	ESNA TM-21-11, Projectes tal test distation (or hours) I ESNA TM-21-11, Calculate	l Values represent interp for the device under test of Values represent time	olisted value based on te ing ((1987) i.e. the packar durations that exceed si	ne durations that are will ped t 60 chip)	
	10°C (50°T) 15°C (50°T) 20°C (50°T) 20°C (50°T) 25°C (70°T) 15°C (5°C (41°F) 1.04 10°C (50°F) 1.03 15°C (50°F) 1.02 20°C (65°F) 1.01 25°C (77°F) 1.00 125°C (77°F) 1.00 125°C (77°F) 1.00 125°C (87°F) 1.00	\$C (4)*F) 1.04 0.99 10*C (50*T) 1.03 0.98 15*C (50*F) 1.02 0.97 20*C (63*F) 1.01 0.96 25*C (77*F) 1.00 0.95 **Larren multichapter 10*C are calculated per 10*L 10*L barde for 10*L 10*L barde for 10*L 10*L 10*L 10*L 10*L 10*L 10*L 10*L	List List List	LMF





LR618L-40K-120V-A-DR +RC6 HOUSING

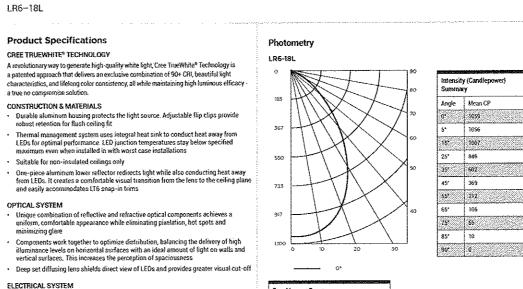


Housing & Accessories Reference Housing & Accessory document	s for more details.
Tenns	
176A-DR Diffuse anodized finish LTGMF-DR Wheat diffuse anodized finish LTGMP-DR Powder diffuse anodized finish	TGAB-DR Black anoticed finish LTGMH-DR Smooth-white LTGBB-DR Filet black finish trim and reflector
Houseing (Edisson of SU24) H6 Architectural SIGS New Construction RR6 Reboldt	SCF Cyfardrical Surface Mount SCN-CM Cyfardrical Darid Mount SCS-MM Cyfardrical Wall Mount

£86*	10K.		128¥	A	DR
Senes	Lumen Output	Color Temperature	Voltage	Verson	Options
LR6"	18L 20W 1500 fumens - 90 LPW	27X 2700 Ketrin 30X 3966 Ketrin 35K 35K Ketrin 40K	120 V 120 Volss - CU 24 Base	A Version	PR Deep Recess - 20'Shield

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CREE 🚓 Rev. Date: V2 98/14/2014



· Integral, high-efficiency driver and power supply Power Factor: > 0.9 Input Voltage: 120V, 60Hz . Dimming: Dimmable to 5% with certain incandescent dimmers REGULATORY & VOLUNTARY QUALIFICATIONS ENERGY STAR® qualified · Exceeds California Title-24 high efficacy luminaire requirements Suitable for damp locations . Reference www.cree.com/lighting for recommended dimmers

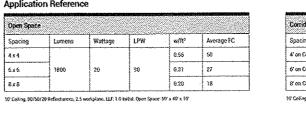
 Designed to easily install in standard 6* housings from Cree and other manufacturers* Quick install system utilizes a unique retention feature. Simply attach socket to LR6-18L. Move NOTE: Reference www.xxce.com/lighting for detailed installation ins rReference www.crce.com/lighting for a list of computible housings

Zone Lumens % Lamp % Fix

0-30 424 42.42% 42.42%

0-40 629 62.89% 62.89%

0-60 897 89.71% 89.71%

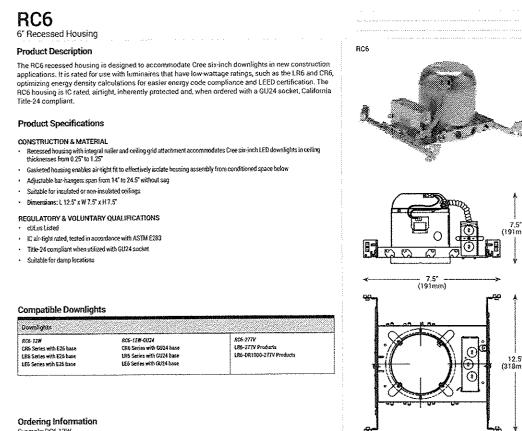


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RC6-12# 120V, Edison Socket RC6-12#-GU24 120V, GU24 Socket RC6-27TV 277V, 277V Consector

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