

**TOWN OF NEWBURGH  
APPLICATION FOR  
SUBDIVISION/SITE PLAN REVIEW**

**RETURN TO: Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, New York 12550**

**DATE RECEIVED:** \_\_\_\_\_ **TOWN FILE NO:** \_\_\_\_\_  
(Application fee returnable with this application)

**1. Title of Subdivision/Site Plan (Project name):**

121 Wells Rd 14 Lot Subdivision

**2. Owner of Lands to be reviewed:**

**Name** CFB Realty LLC

**Address** 1000 University Ave Ste 500  
Rochester NY 14607

**Phone** \_\_\_\_\_

**Email** \_\_\_\_\_

**3. Applicant Information (If different than owner):**

**Name** David Niemotko Architect, P.C.

**Address** 167 Stage Rd Monroe, NY 10950

**Representative** David Niemotko

**Phone** (845) 774-7523

**Email** David@NiemotkoArchitects.com

**4. Subdivision/Site Plan prepared by:**

**Name** Same as applicant

**Address** \_\_\_\_\_

**Phone** \_\_\_\_\_

**Email** \_\_\_\_\_

**5. Location of lands to be reviewed:**

121 Wells Rd Newburgh, NY 12550

**6. Zone** R-2

**Acreage** 17.52

**Fire District** Cronomer Valley Fire District

**School District** 331100

**7. Tax Map: Section** 39 **Block** 1 **Lot** 19

**8. Project Description and Purpose of Review:**

Number of existing lots 1 Number of proposed lots 14

Lot line change \_\_\_\_\_

Site plan review \_\_\_\_\_

Clearing and grading \_\_\_\_\_

Other \_\_\_\_\_

**PROVIDE A WRITTEN SINGLE PAGE DESCRIPTION OR NARRATIVE OF THE PROJECT**

**9. Easements or other restrictions on property:**

(Describe generally) \_\_\_\_\_

**10. The undersigned hereby requests approval by the Planning Board of the above identified application and scheduling for an appearance on an agenda:**

Signature:  Title Architect

Print Name: David Niemoth Architect, P.C.

Date: 08-19-2025

**NOTE:** If property abuts and has its access to a County or State Highway or road, the following information must be placed on the subdivision map or site plan: entrance location, entrance profile, sizing of pipe (minimum length of pipe to be 24 feet).

The applicant will also be required to submit an additional set of plans, narrative letter and EAF if referral to the Orange County Planning Department is required under General Municipal Law Section 239.

## **TOWN OF NEWBURGH PLANNING BOARD**

**PROJECT NAME:** 121 Wells Rd 14 Lot Subdivision

### **CHECKLIST FOR MAJOR/MINOR SUBDIVISION AND/OR SITE PLAN**

**I. The following items shall be submitted with a COMPLETED Planning Board Application Form.**

1. ☒ Environmental Assessment Form As Required
2. ☒ Proxy Statement
3. ☒ Application Fees
4. ☒ Completed Checklist (Automatic rejection of application without checklist)

**II. The following checklist items shall be incorporated on the Subdivision Plat or Site Plan prior to consideration of being placed on the Planning Board Agenda.**

**Non-submittal of the checklist will result in rejection of the application.**

1. ☒ Name and address of applicant
2. ☒ Name and address of owner (if different from applicant)
3. ☒ Subdivision or Site Plan and Location
4. ☒ Tax Map Data (Section-Block-Lot)
5. ☒ Location map at a scale of 1" = 2,000 ft. or less on a tax map or USCGS map base only with property outlined
6. ☒ Zoning table showing what is required in the particular zone and what applicant is proposing. A table is to be provided for each proposed lot
7. ☒ Show zoning boundary if any portion of proposed site is within or adjacent to a different zone
8. ☒ Date of plan preparation and/or plan revisions
9. ☒ Scale the plan is drawn to (Max 1" = 100')
10. ☒ North Arrow pointing generally up

11. ☒ Surveyor's Certification
12. ☒ Surveyor's seal and signature
13. ☒ Name of adjoining owners
14. ☒ Wetlands and buffer zones with an appropriate note regarding D.E.C. or A.C.O.E. requirements
15. ☒ Flood plain boundaries
16. ☐ NA Certified sewerage system design and placement by a Licensed Professional Engineer must be shown on plans in accordance with Local Law #1 1989
17. ☒ Metes and bounds of all lots
18. ☒ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street
19. ☒ Show existing or proposed easements (note restrictions)
20. ☒ Right-of-way width and Rights of Access and Utility Placement
21. ☒ Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 18 ft. wide)
22. ☒ Lot area (in sq. ft. for each lot less than 2 acres)
23. ☒ Number of lots including residual lot
24. ☒ Show any existing waterways
25. ☒ A note stating a road maintenance agreement is to be filed in the County Clerk's Office where applicable
26. ☒ Applicable note pertaining to owners review and concurrence with plat together with owner's signature
27. ☒ Show any improvements, i.e. drainage systems, water lines, sewer lines, etc.
28. ☒ Show all existing houses, accessory structures, wells and septic systems on and within 200 ft. of the parcel to be subdivided
29. ☒ Show topographical data with 2 ft. contours on initial submission

30. NA Compliance with the Tree Preservation Ordinance Code Section
31. ☒ Indicate any reference to a previous subdivision, i.e. filed map number, date and previous lot number
32. NA If a private road, Town Board approval of name is required, and notes on the plan that no town services will be provided and a street sign (per town specs) is to be furnished and installed
33. ☒ Number of acres to be cleared or timber harvested
34. NA Estimated or known cubic yards of material to be excavated and removed from the site
35. NA Estimated or known cubic yards of fill required
36. ☒ The amount of grading expected or known to be required to bring the site to readiness
37. ☒ Type and amount of site preparation which falls within the buffer strip of wetlands or within the Critical Environmental Area. Please explain in sq. ft. or cubic yards.  
0.1 Acres / grading
38. \_\_\_\_\_ Any amount of site preparation within a 100 year floodplain or any water course on the site. Please explain in sq. ft. or cubic yards.
39. \_\_\_\_\_ List of property owners within 500 feet of all parcels to be developed (see attached statement).

The plan for the proposed subdivision or site has been prepared in accordance with this checklist.

By: David Niemotko  
Licensed Professional -Signature

Print Name: David Niemotko Architect, P.C.

Date: 08-19-2025

This list is designed to be a guide ONLY. The Town of Newburgh Planning Board may require additional notes or revisions prior to granting approval.

Date Prepared: 08-19-2025

## **STATEMENT TO APPLICANTS**

### **RE: TOWN OF NEWBURGH CLEARING AND GRADING LAW**

The Town of Newburgh Clearing and Grading Control Law Chapter 83 requires a separate permit for most site preparation activities, including clearing, grading, tree cutting, excavating and filling. Site preparation activities performed following site plan or subdivision approval by the Planning Board may be exempt from the permit application, public hearing, fee and bonding requirements of the law provided the subdivision or site plan application has been reviewed for conformance with the clearing and grading law and the approval conditioned on compliance with the standards set forth in the law.

Completion of the attached form will enable the Planning Board to review your application for conformance with the law's requirements. In the event it is not completed you may be required to apply for a separated permit for your site preparation activities. A sediment and erosion control plan, SWPPP, and a plan showing the areas to be cleared, filled, graded or subjected to tree cutting, the types of vegetation affected and the proposed disposition of the destroyed vegetation must accompany the form. A SEQRA long form or full EAF should be utilized to discuss any environmental impacts and must accompany the application.

**TOWN OF NEWBURGH**  
**APPLICATION FOR CLEARING AND GRADING**

**Name of applicant:** David Niemotko Architect, P.C.

**Name of owner on premises:** CFB Realty LLC

**Address of owner:** 1000 University Ave Ste 500 Rochester NY 14607

**Telephone number of owner:** \_\_\_\_\_

**Telephone number of applicant:** (845) 774-7523

**State whether applicant is owner, lessee, agent, architect, engineer or contractor:**  
Architect

**Location of land on which proposed work will be done:** \_\_\_\_\_

121 Wells Rd Newburgh, NY 12550

**Section:** 39      **Block:** 1      **Lot:** 19      **Sub. Div.:** \_\_\_\_\_

**Zoning District of Property:** R-2      **Size of Lot:** 17.52 acres

**Area of lot to be cleared or graded:** 5.13 Acres

**Proposed completion of date:** 2026

**EAF: Time of year limitations exist for Threatened and Endangered Species-**

**Identify Species & dates if applicable:**

NA

**Name of contractor/agent, if different than owner:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Telephone number:** \_\_\_\_\_

**Date of Planning Board Approval:** \_\_\_\_\_ (if required)

**I hereby agree to hold the Town of Newburgh harmless from any claims arising from the proposed activity.**

**Signature of owner:**       **Date:** 08-19-2025

**Signature of applicant (if different than owner):** \_\_\_\_\_

**TOWN ACTION:**

**Examined:** \_\_\_\_\_ **20** \_\_\_\_\_

**Approved:** \_\_\_\_\_ **20** \_\_\_\_\_

**Disapproved:** \_\_\_\_\_ **20** \_\_\_\_\_

## **FEE LAW SUMMARY**

### **PENDING APPLICATIONS**

All applicants with matters pending before the Planning Board as of the effective date of this local law shall be required to post as escrow in the manner and upon the terms and conditions set forth below:

- (a) The Planning Board, in consultation with the applicant, shall compute the amount of the escrow to be posted with the Town. Such amount shall be reasonably related to the costs attendant to the Town's review of the application as of the effective date of this local law. Under no circumstances shall the escrow include amounts attributable to any costs incurred by the Town prior to the effective date of this local law.
- (b) Once computed and established by Resolution of the Planning Board, the applicant shall, within fifteen (15) days of said resolution, post escrow fees with the Secretary of the Planning Board. Failure to deliver the said escrow fees may result in delay of the further processing of the application.

### **SEVERABILITY**

In the event a court of law determined that any provision of this chapter is unenforceable, then only that provision shall be affected and all other provisions shall be fully enforceable.

### **EFFECTIVE DATE:**

This local law shall take effect immediately upon filing in the Office of the Secretary of State.

## **FEE ACKNOWLEDGEMENT**

The Town of Newburgh Municipal Code sets forth the schedule of fees for applications to the Planning Board. The signing of this application indicates your acknowledgement of responsibility for payment of these fees to the Planning Board for review of this application, including, but not limited to escrow fees for professional services (planner/consultant, engineering, legal, landscape consultant, traffic consultant), public hearing and site inspection.

Applicant's submissions and resubmissions are not complete and will not be considered by the planning board or placed upon its agenda unless all outstanding fees have been paid. Fees incurred after the stamping of plans will remain the responsibility of the applicant prior to approval of a building permit or certificate of occupancy. Fee schedules are available from the Planning Board Secretary and are on the Town's website.

Town of Newburgh Code Chapter 104-2. Planning, Zoning and Building fees, Section E(2)(e) states: If the escrow account falls below 40% of the initial deposit, the Planning Board may, if recommended by the consulting engineer, planner or attorney, require that the applicant pay additional funds into the escrow account up to 75% of the initial deposit.



\_\_\_\_\_  
**APPLICANT'S SIGNATURE**

\_\_\_\_\_  
David Niemotko Architect, P.C.

\_\_\_\_\_  
**APPLICANT'S NAME-- PRINTED**

\_\_\_\_\_  
08-19-2025

\_\_\_\_\_  
**DATE**

PROXY

(OWNER) CFB Realty, LLC, DEPOSES AND SAYS THAT HE/SHE  
RESIDES AT 1000 University Ave. Rochester, NY 14607  
IN THE COUNTY OF Monroe  
AND STATE OF New York  
AND THAT HE/SHE IS THE OWNER IN FEE OF 17.52 acres located at the  
corner of Wells Rd. and Fostertown Rd. in the Town of Newburgh, NY  
WHICH IS THE PREMISES DESCRIBED IN THE FOREGOING  
APPLICATION AS DESCRIBED THEREIN TO THE TOWN OF NEWBURGH  
PLANNING BOARD AND David Niemotko Architect, P.C. IS AUTHORIZED  
TO REPRESENT THEM AT MEETINGS OF SAID BOARD.

DATED: 8/20/2025

  
OWNERS SIGNATURE

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Griffin Wiegel  
OWNERS NAME (printed)

NAMES OF ADDITIONAL  
REPRESENTATIVES

  
WITNESS' SIGNATURE

Andrea DeCastro  
WITNESS' NAME (printed)

**PLANNING BOARD DISCLAIMER STATEMENT**  
**TO APPLICANTS**

The applicant is advised that the Town of Newburgh Municipal Code, which contains the Town's Zoning Law, is subject to amendment. Submission of an application to this Board does not grant the applicant any right to continued review under the Code's current standards and requirements. It is possible that the applicant will be required to meet changed standards or new Code requirements made while the application is pending.

An approval by this Board does not constitute permission, nor grant any right to connect to or use municipal services such as sewer, water or roads. It is the applicant's responsibility to apply for and obtain the Town of Newburgh and other agency approvals not within this Board's authority to grant.

The applicant hereby acknowledges, consents, and agrees to the above.

08-19-2025

**DATED**



**APPLICANT'S SIGNATURE**

David Niemotko Architect, P.C.

**APPLICANT'S NAME - PRINTED**

**DISCLOSURE ADDENDUM STATEMENT TO APPLICATION,  
PETITION AND REQUEST**

Mindful of the provisions of Section 809 of the General Municipal Law of the State of New York, and of the Penal provisions thereof as well, the undersigned applicant states that no State Officer, Officer or Employee of the Town of Newburgh, or Orange County, has any interest, financial or otherwise, in this application or with, or in the applicant as defined in said Statute, except the following person or persons who is or are represented to have only the following type of interest, in the nature and to the extent hereinafter indicated:

✓ **NONE**

                     **NAME, ADDRESS, RELATIONSHIP OR INTEREST**  
(financial or otherwise)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

This disclosure addendum statement is annexed to and made a part of the petition, application and request made by the undersigned applicant to the following Board or Officer of the Town of Newburgh.

                     **TOWN BOARD**  
                     **PLANNING BOARD**  
                     **ZONING BOARD OF APPEALS**  
                     **ZONING ENFORCEMENT OFFICER**  
                     **BUILDING INSPECTOR**  
                     **OTHER**

08-19-2025  
**DATED**

  
**INDIVIDUAL APPLICANT**

**CORPORATE OR PARTNERSHIP APPLICANT**

**BY:** \_\_\_\_\_

**TITLE:** Architect

**PRINT:** David Niemotko Architect, P.C.

### **AGRICULTURAL NOTE**

**(Required to be placed on all plans where property lies within 500 feet of land in active agricultural production or operation)**

Property adjacent to lots ( ) is in active agricultural operation and production and residents must be aware that such property is protected by New York State “Right to Farm Laws” as regulated by the Department of Agriculture and Markets. From time to time during and prior to the normal growing season land and crops may be sprayed from the ground or by air, manure may be applied, and periodic noise may occur from machinery operation at various times throughout the day. Residents should be aware of this action by the adjacent property owners.

( ) Specific lots adjacent to the active farming area which are impacted shall be inserted in this space.

## **AGRICULTURAL DATA STATEMENT**

(Required pursuant to Agricultural and Markets Law §305-a for applications for site plan approvals, use variances and subdivision approvals that will occur on property within a County Agricultural District containing an active farm operation or on property with boundaries within five hundred feet of an active farm operation located in a County Agricultural District)


**Name and address of the applicant:** David Niemotko Architect, P.C.  
167 Stage Rd Monroe, NY 10950

**Description of the proposed project:** 14 lot residential subdivision

**Location of the proposed project:** 121 Wells Rd Newburgh, NY 12550

**Name(s) and address(es) of any owner(s) of land within a County Agricultural District containing active farming operations and located within five hundred feet of the boundary of the project property:** \_\_\_\_\_

**A tax map or other map showing the site of the proposed project relative to the location of the identified farm operations must be attached to this form.**



**APPLICANT'S SIGNATURE**

David Niemotko Architect, P.C.  
**APPLICANT'S NAME - PRINTED**

08-19-2025

**DATE**

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

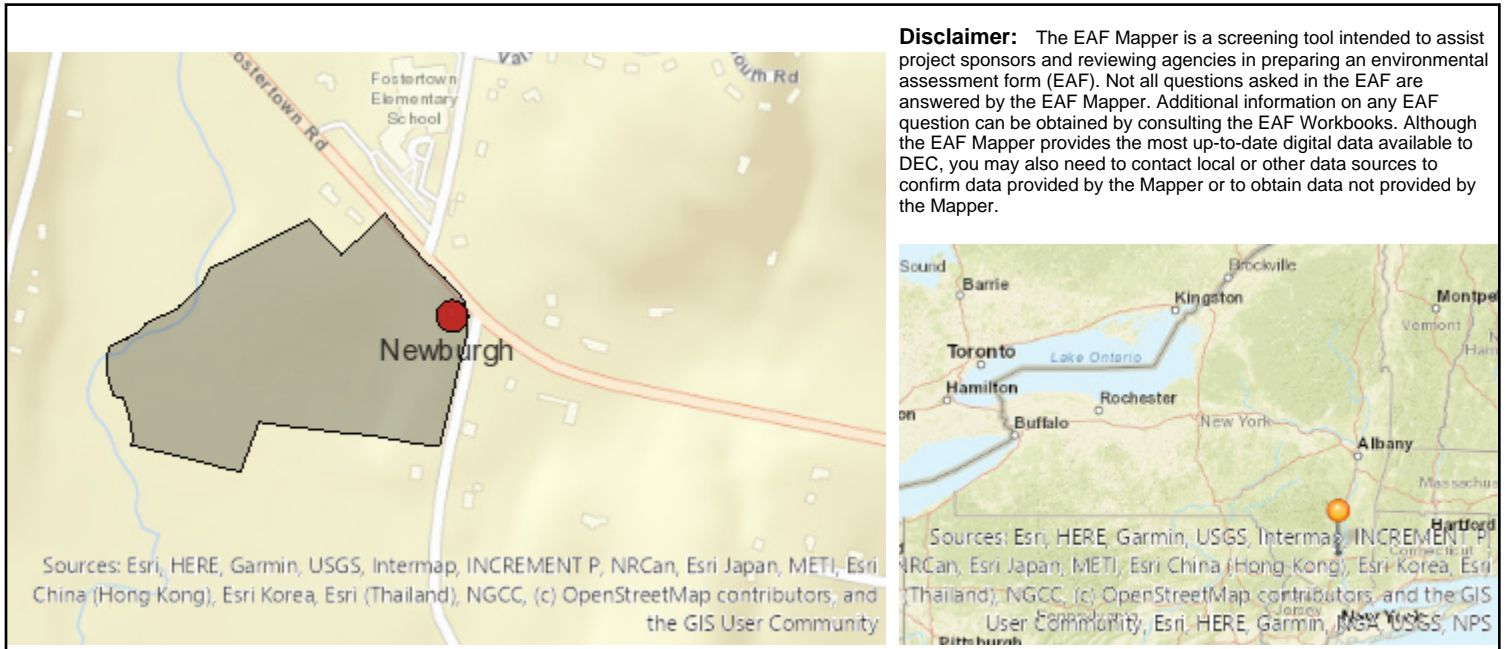
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3.   a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor?				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5.     Urban       Rural (non-agriculture)       Industrial       Commercial       Residential (suburban) <input type="checkbox"/> Forest     Agriculture                   Aquatic       Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

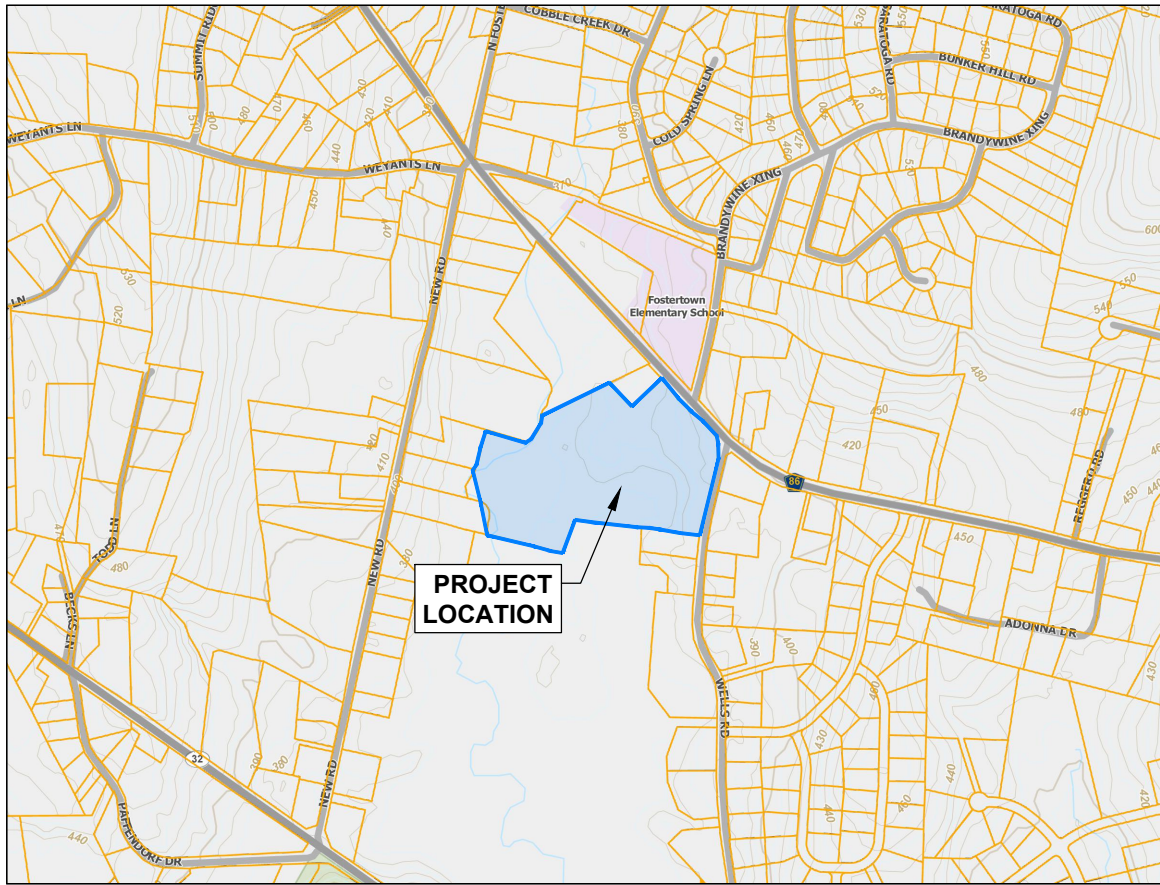




Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



LIST OF SHEETS	
SHEET NO.	TITLE
C-1	EXISTING CONDITIONS PLAN
C-2	SITE PLAN
C-3	GRADING & EROSION CONTROL PLAN
C-3.1	ROAD PROFILE
C-4	CONSTRUCTION DETAILS
C-4.1	CONSTRUCTION DETAILS



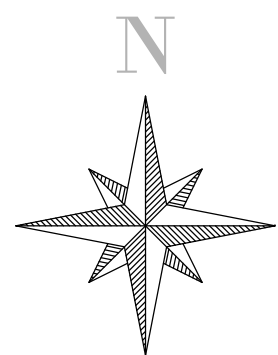
2 VICINITY MAP  
C-1 SCALE: 1"=1000'

- NOTES:**
- LOT OWNER: CFB REALTY LLC
  - OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
  - LOT ID: 39-1-19, TOWN OF NEWBURGH
  - LOT AREA: 17.5 Ac.
  - UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

- REFERENCES:**
- VICINITY MAP TAKEN FROM ORANGE COUNTY GIS SERVICES, TOWN OF NEWBURGH, 2025.
  - PLAN BASED ON SURVEY BY ENGINEERING & SURVEYING PROPERTIES, DATED AUGUST 5TH, 2025.

### LEGEND

---	PROPERTY LINE
---	ADJOINING PROPERTY LINE
---	CONTOUR LINE
---	INDEX CONTOUR LINE
---	EDGE OF ROAD
---	CURB LINE
---	STONEWALL
---	BARBED WIRE FENCE
---	OVERHEAD WIRE
---	EDGE OF WATER COURSE
---	EDGE OF WOODED AREA
---	SEWER MAIN
---	CONCRETE SURFACE
---	DRAINAGE PIPE
---	HYDRANT
---	DRAINAGE MANHOLE
---	SEWER MANHOLE
---	GAS VALVE
---	WATER VALVE
---	WATER SHUT-OFF VALVE
---	UTILITY POLE
---	GUY ANCHOR
---	PIPE MARKER
---	REBAR MARKER
---	CONCRETE MONUMENT
---	CATCH BASIN
---	MAILBOX
---	SIGN (TYPE NOTED)
---	FRESHWATER WETLANDS FLAG



SCALE: 1"=60'  
0 60 120 240 ft.

1 EXISTING CONDITIONS PLAN  
C-1 SCALE: 1"=60'

REVISION  
DATE  
08/20/2025  
NO  
1



DAVID NIEMOTKO ARCHITECTS, P.C.  
167 STAGE ROAD  
MONROE, NEW YORK 10950  
Ph: (845) 774-7523  
www.niemotkoarchitects.com

**NOTE**  
FOR AUTHENTICITY  
SEAL MUST BE ORIGINAL AND  
SIGNATURE MUST  
BE IN COLOR. BOTH CANNOT BE  
COPIED

FOR REVIEW

EXISTING CONDITIONS PLAN

WELLS ROAD SUBDIVISION  
121 WELLS ROAD  
NEWBURGH NY 12550

DAVID NIEMOTKO  
167 STAGE RD  
MONROE NY 10950

SCALE:  
DRAWN BY: J.S.  
CHECKED BY: D.N.  
JOB #  
PLOT DATE: 08/20/2025

SHEET NO.

C-1  
PAGE 1 OF 6



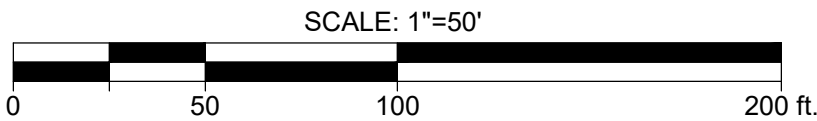
1 SITE PLAN  
C-2 SCALE: 1"=50'

NOTES:

1. LOT OWNER: CFB REALTY LLC
2. OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
3. LOT ID: 39-1-19, TOWN OF NEWBURGH
4. LOT AREA: 17.5 Ac.
5. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
2 FT CONTOUR	---
TREE LINE	---
CHAIN LINK FENCE	---
WETLANDS BOUNDARY	---
STREAM OR BROOK	---



ZONING TABLE		
SECTION, LOT, BLOCK:	39 - 1 - 19	
ZONE:	R-2	
PROPOSED USE:	DETACHED SINGLE-FAMILY (CENTRAL WATER & SEWER)	
MINIMUMS REQUIRED		
	REQUIRED	PROPOSED
LOT AREA (SF)	15000	>15000
LOT WIDTH (FT)	100	>100
LOT DEPTH (FT)	125	>125
FRONT SETBACK (FT)	40	>40
REAR SETBACK (FT)	40	>40
SIDE SETBACK (ONE / TOTAL FT)	15 / 30	>15 / 30
MAXIMUMS PERMITTED		
BUILDING COVERAGE (%)	15%	<15%
LOT COVERAGE (%)	30%	<30%

(E) - EXISTING NON-CONFORMITY  
(V) - VARIANCE REQUESTED

REVISION

PLANNING BOARD SUBMISSION

DATE

08/20/2025

NO.

1



DAVID NIEMOTKO ARCHITECTS, P.C.  
167 STAGE ROAD  
MONROE, NEW YORK 10950  
Ph: (845) 774-7523  
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NOTE  
FOR AUTHENTICITY  
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SIGNATURE MUST  
BE IN COLOR. BOTH CANNOT BE  
COPIED

FOR REVIEW

SITE PLAN

WELLS ROAD SUBDIVISION  
121 WELLS ROAD  
NEWBURGH NY 12550

PROJECT:

DAVID NIEMOTKO  
167 STAGE RD  
MONROE NY 10950

CLIENT:

SCALE:

DRAWN BY: J.S.

CHECKED BY: D.N.

JOB #

PLOT DATE: 08/20/2025

SHEET No.

C-2

PAGE 2 OF 6



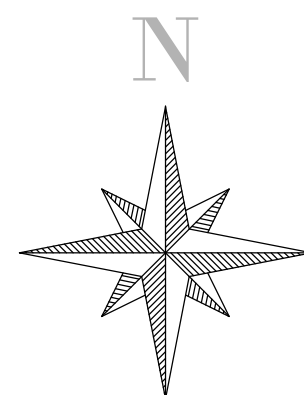
1 GRADING & EROSION CONTROL PLAN  
C-3 SCALE: 1"=50'

NOTES:

- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST "URBAN EROSION AND SEDIMENT CONTROL GUIDEBOOK" OF THE ORANGE COUNTY SOIL AND WATER CONSERVATION DISTRICT AS WELL AS THE LATEST NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ONCE ROUGH GRADING HAS BEEN COMPLETED, A TEMPORARY COVER CONSISTING OF RYE GRASS SHALL BE SEEDED AT A RATE OF  $\frac{1}{2}$  LB. PER 1,000 S.F. OF AREA.
- NO CUT OR FILL SLOPE SHALL EXCEED 2:1 UNLESS RETAINING WALLS ARE BEING INSTALLED. ALL DISTURBED AREA NOT BEING WORKED ON WITHIN 14 DAYS SHALL BE TEMPORARILY SEEDED WITH RYE GRASS AT A RATE OF  $\frac{1}{2}$  LB. PER 1,000 S.F.
- SILTATION FENCING SHALL BE USED TO PROTECT THE EXISTING DRAINAGE SWALE AND NEIGHBORING PROPERTIES.
- ANY SILT THAT LEAVES THE SITE DESPITE PRECAUTIONS TAKEN SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE AGENCIES HAVING JURISDICTION.
- FILL MATERIAL, IF NECESSARY, SHALL BE FREE OF ALL DECOMPOSABLE MATERIAL.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS GRADED, PLANTED AND TREATED TO FINISH IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL TREE CLEARING MUST OCCUR BETWEEN OCTOBER 1 AND MARCH 31.
- NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

LEGEND

- PROPERTY LINE  
SETBACK LINE  
2 FT CONTOUR  
TREE LINE  
CHAIN LINK FENCE  
WETLANDS BOUNDARY  
STREAM OR BROOK



SCALE: 1"=50'  
0 50 100 200 ft.

GRADING & EROSION CONTROL PLAN

WELLS ROAD SUBDIVISION  
121 WELLS ROAD  
NEWBURGH NY 12550

DAVID NIEMOTKO  
167 STAGE RD  
MONROE NY 10950

SCALE:

DRAWN BY: J.S.

CHECKED BY: D.N.

JOB #

PLOT DATE: 08/20/2025

SHEET No.

C-3

PAGE 3 OF 6



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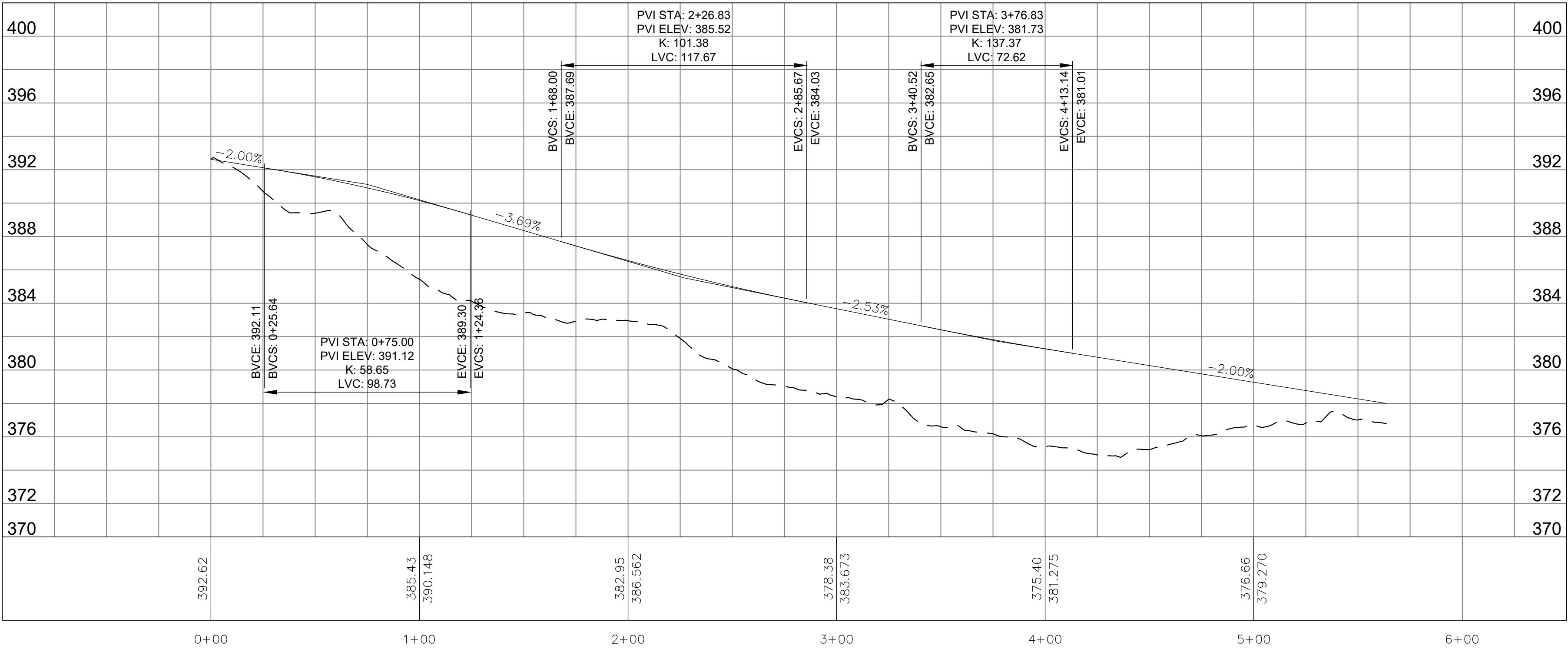
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PLANNING BOARD SUBMISSION

ROAD PROFILE



REVISION	PLANNING BOARD SUBMISSION
DATE	08/20/2025
NO.	1



David Niemotko Architect

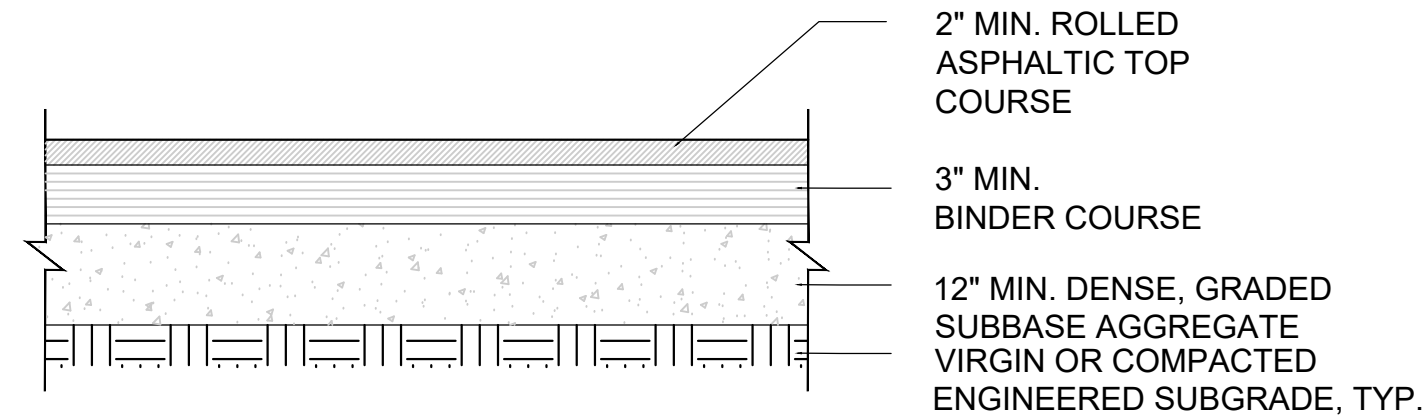
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SHEET TITLE:	ROAD PROFILE
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:	
DRAWN BY:	J.S.
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JOB #	
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PAVEMENT DESIGN  
SCALE: NTS

BACKFILL NOTES

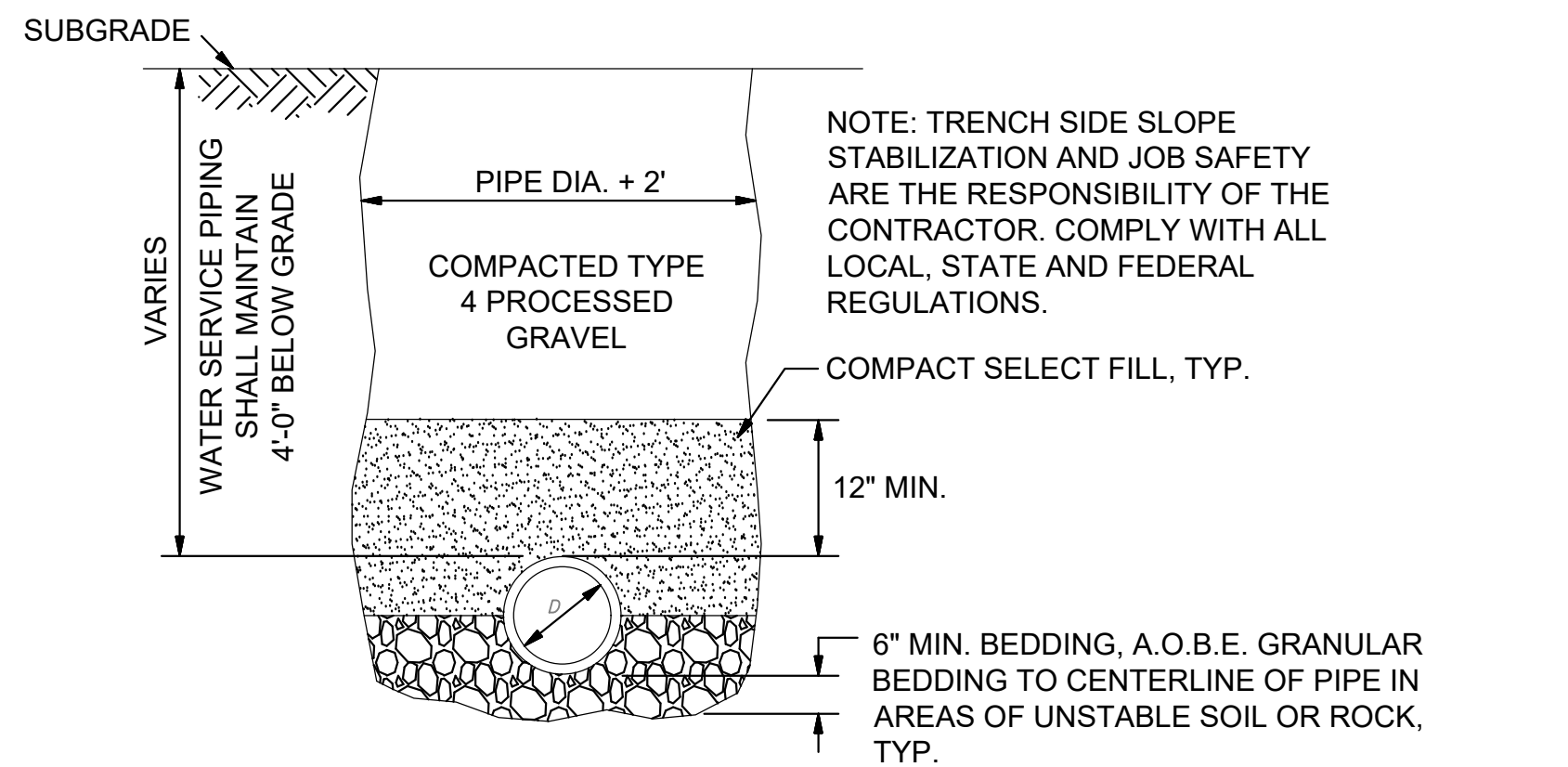
- PIPE ZONE BEDDING MATERIAL
1. WATER MAINS - SAND OR RUN-OF-BANK GRAVEL, OR AS APPROVED BY THE DESIGN PROFESSIONAL
  2. STORM SEWER - 1/4" CRUSHED STONE

- PIPE ZONE BACKFILL MATERIAL
1. WATER MAINS - ON SITE MATERIAL FREE OF STONE, IMPORTED FILL SAND OR AS APPROVED BY THE ENGINEER
  2. STORM SEWER - ON SITE MATERIAL FREE OF STONES, IMPORTED FILL OR AS APPROVED BY THE ENGINEER

UNPAVED AREAS PIPE BEDDING-BACKFILL DETAILS  
SCALE: NTS

NOTES:

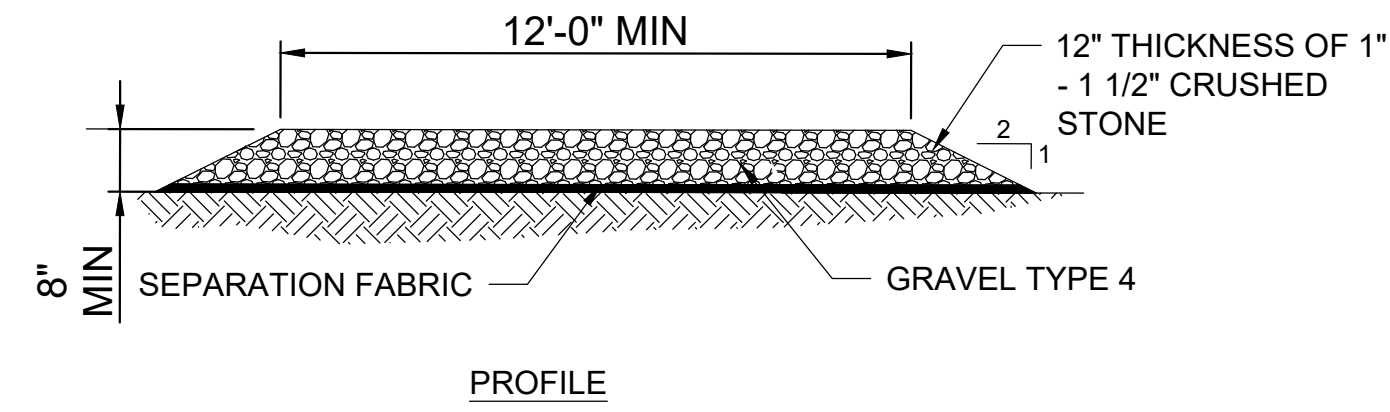
1. TRENCH SIDE SLOPE STABILIZATION AND JOB SAFETY ARE THE RESPONSIBILITY OF THE CONTRACTOR. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



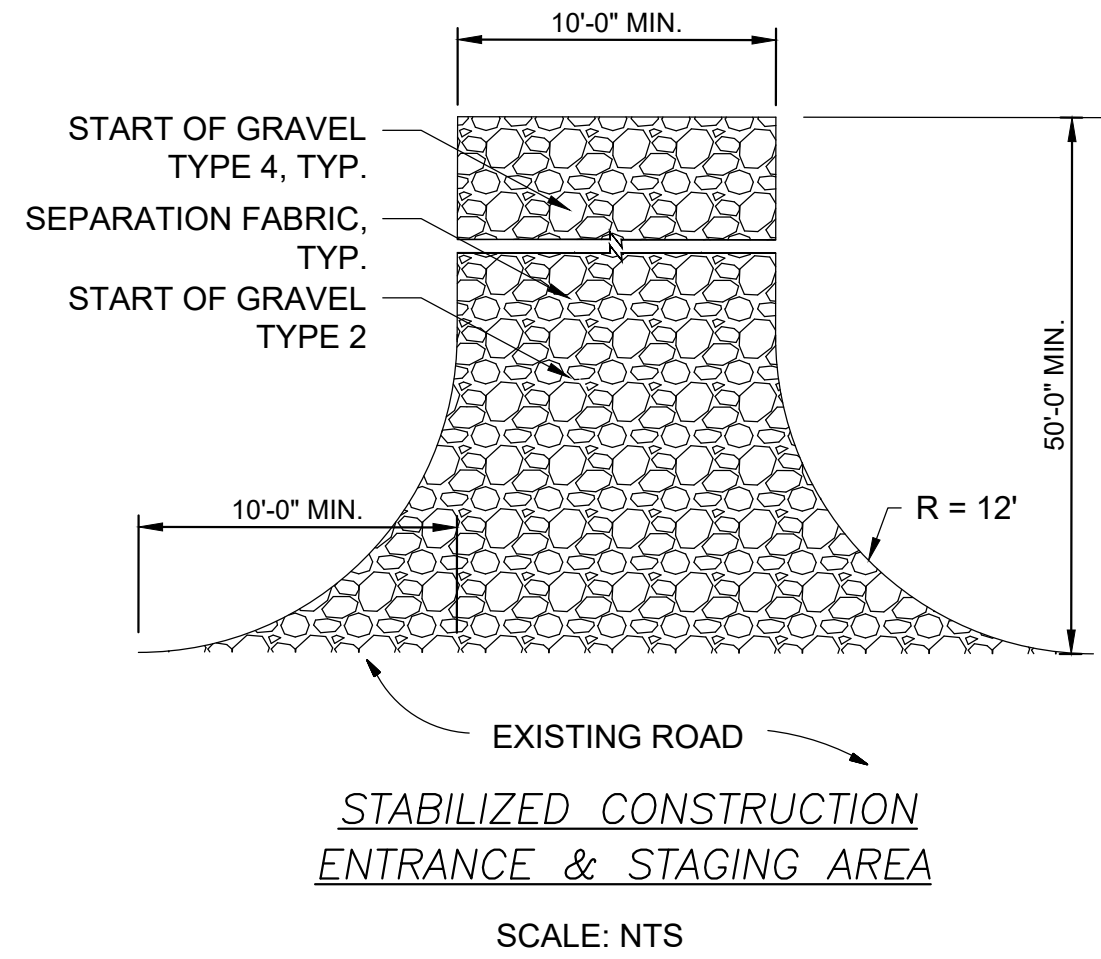
PIPE BEDDING-BACKFILL DETAILS — PAVED AREAS  
SCALE: NTS

NOTES:

- PIPE ZONE BEDDING MATERIAL
1. WATER MAINS - SAND OR RUN-OF-BANK GRAVEL, OR AS APPROVED BY THE ENGINEER
  2. STORM SEWER - 1/4" CRUSHED STONE

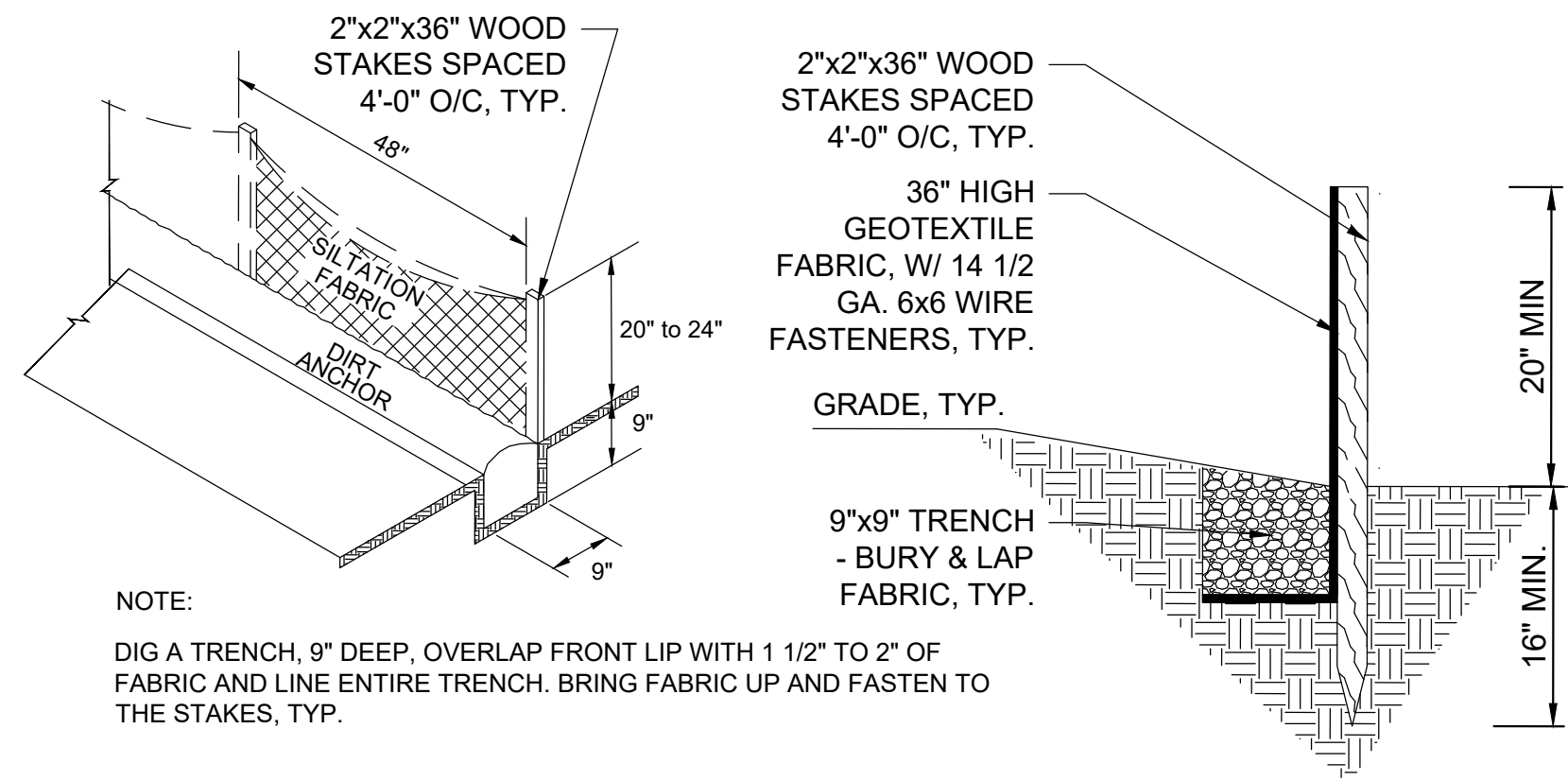


- NOTE:
1. EXISTING DRAINAGE ROUTE SHALL BE MAINTAINED BY INSTALLING CULVERTS AT CROSSINGS.
  2. STAGING AND STOCKPILING ARE CAN BE MADE OF THE SAME MATERIALS.



NOTES

1. ENTRANCE TO BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO THE PUBLIC ROAD OR R.O.W.
2. SPILLED OR DROPPED SEDIMENT TO BE REMOVED IMMEDIATELY.
3. A CRUSHED STONE, VEHICLE WHEEL CLEANING AREA SHALL BE INSTALLED WHERE THE CONSTRUCTION ACCESS ROAD INTERSECTS A PUBLIC ROAD. THE AREA SHALL BE COMPOSED OF CRUSHED STONE WITH A FILTER FABRIC UNDERNEATH THE ENTIRE AREA. SEE PLAN FOR DIMENSIONS.
4. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL PIPED UNDERNEATH WITH MOUNTABLE BERMS ALONGSIDE.



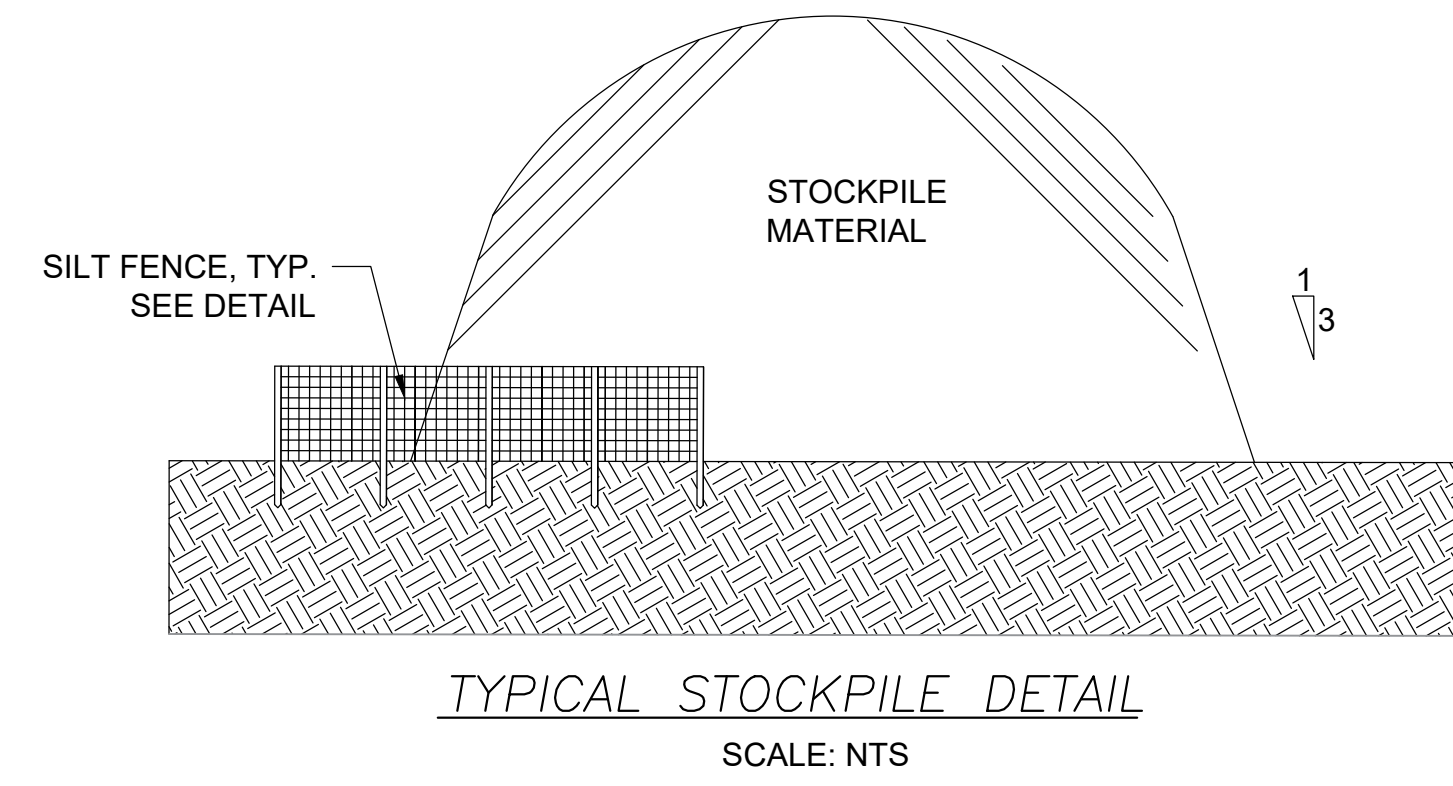
NOTE:

DIG A TRENCH, 9" DEEP, OVERLAP FRONT LIP WITH 1 1/2" TO 2" OF FABRIC AND LINE ENTIRE TRENCH. BRING FABRIC UP AND FASTEN TO THE STAKES, TYP.

SILT FENCE DETAIL  
SCALE: NTS

NOTES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 12" O/C AT TOP AND MID SECTION.
3. ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
4. ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND/OR MUNICIPAL ENGINEER.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP ALONG THE SILT FENCE.
6. THE MAXIMUM TRIBUTARY DRAINAGE AREA FOR THE OVER FLOW TO A SILT FENCE SHALL NOT EXCEED 1/2 ACRE PER 100 L.F. OF FENCE.
7. MIRAFI 100X OR APPROVED EQUAL.



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121 WELLS ROAD

NEWBURGH NY 12550

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DAVID NIEMOTKO

167 STAGE RD

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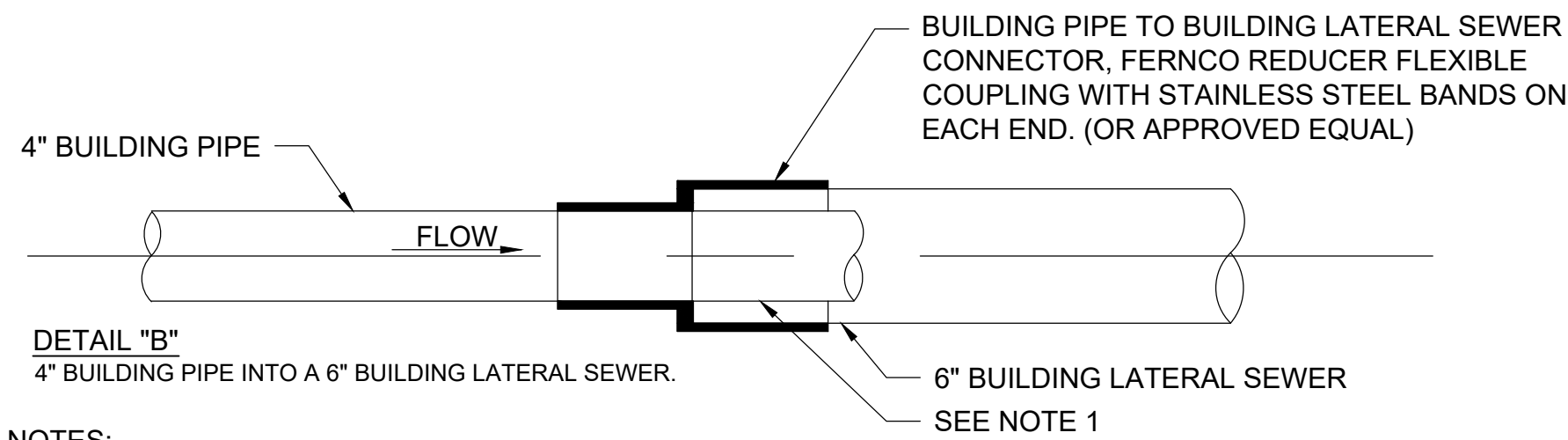
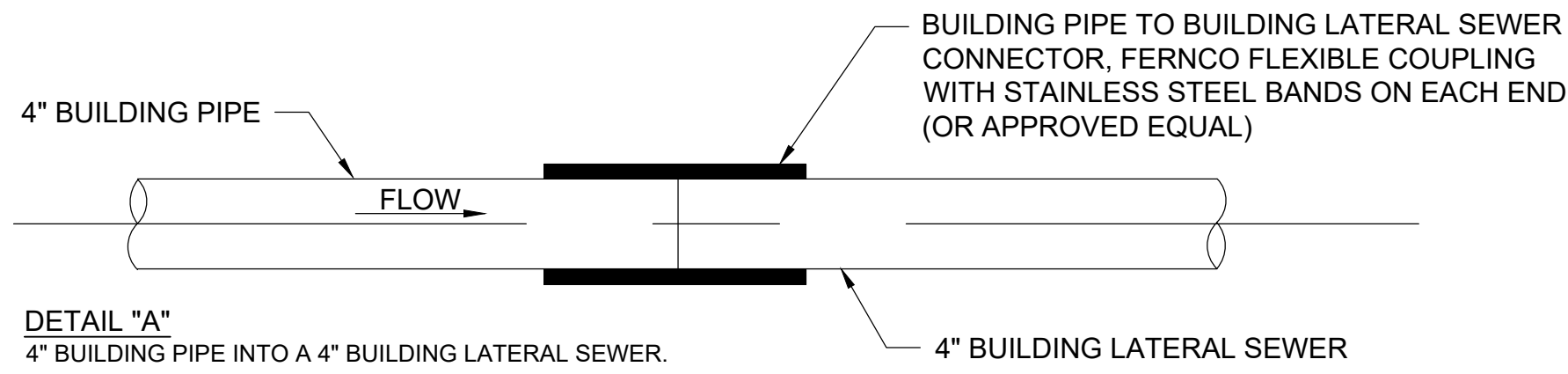
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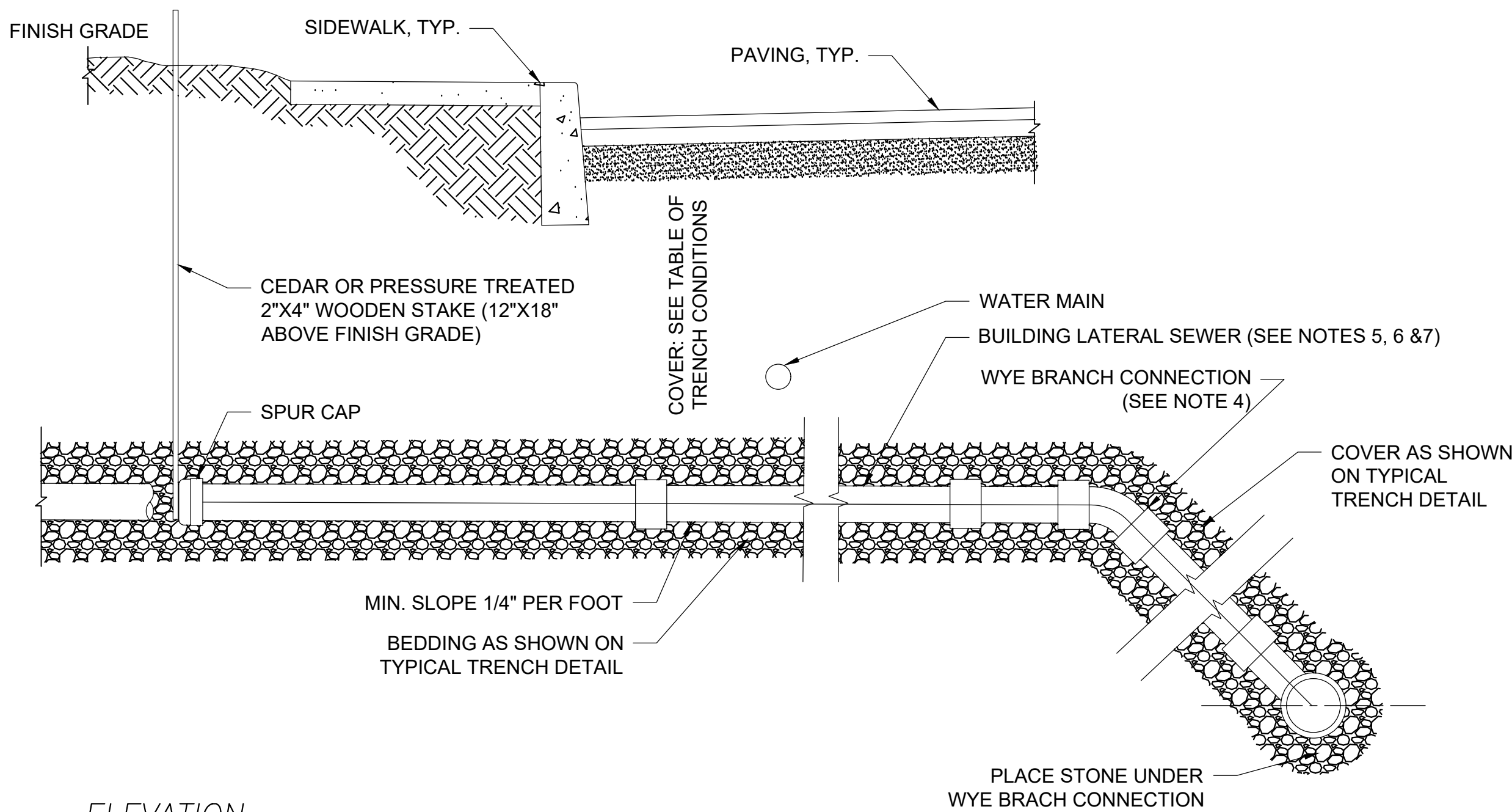
OF 6



- NOTES:
- 4" BUILDING PIPE TO STUB APPROX. 6" INTO 6" BUILDING LATERAL SEWER.
  - EACH 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE AND TWO FAMILY DWELLINGS ONLY.
  - EACH 6" BUILDING LATERAL SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SERVE NO MORE THAN 12 EQUIVALENT LIVING UNITS
  - BUILDING PIPE SHALL NOT EXCEED MORE THAN 10 FEET FROM THE EXTERIOR OF THE FOUNDATION.
  - 6" BUILDING PIPE TO 6" BUILDING LATERAL SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).

### BUILDING PIPE TO BUILDING LATERAL SEWER CONNECTION

SCALE: NTS

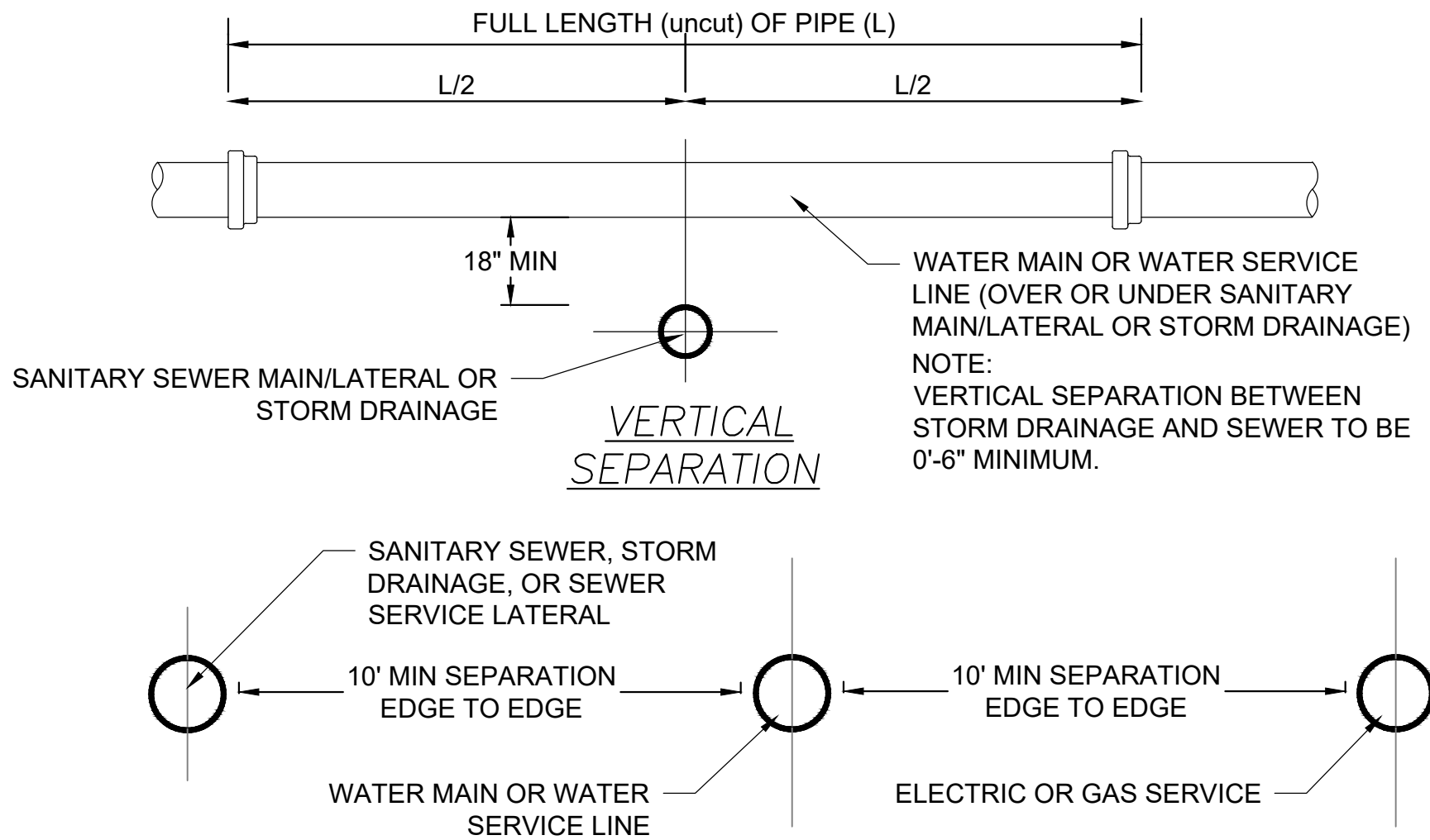


### ELEVATION N.T.S.

### BUILDING LATERAL SEWER CONNECTION

SANITARY SEWER SPECIFICATIONS (FOR BUILDING LATERAL SEWERS AND SEWER MAINLINE)

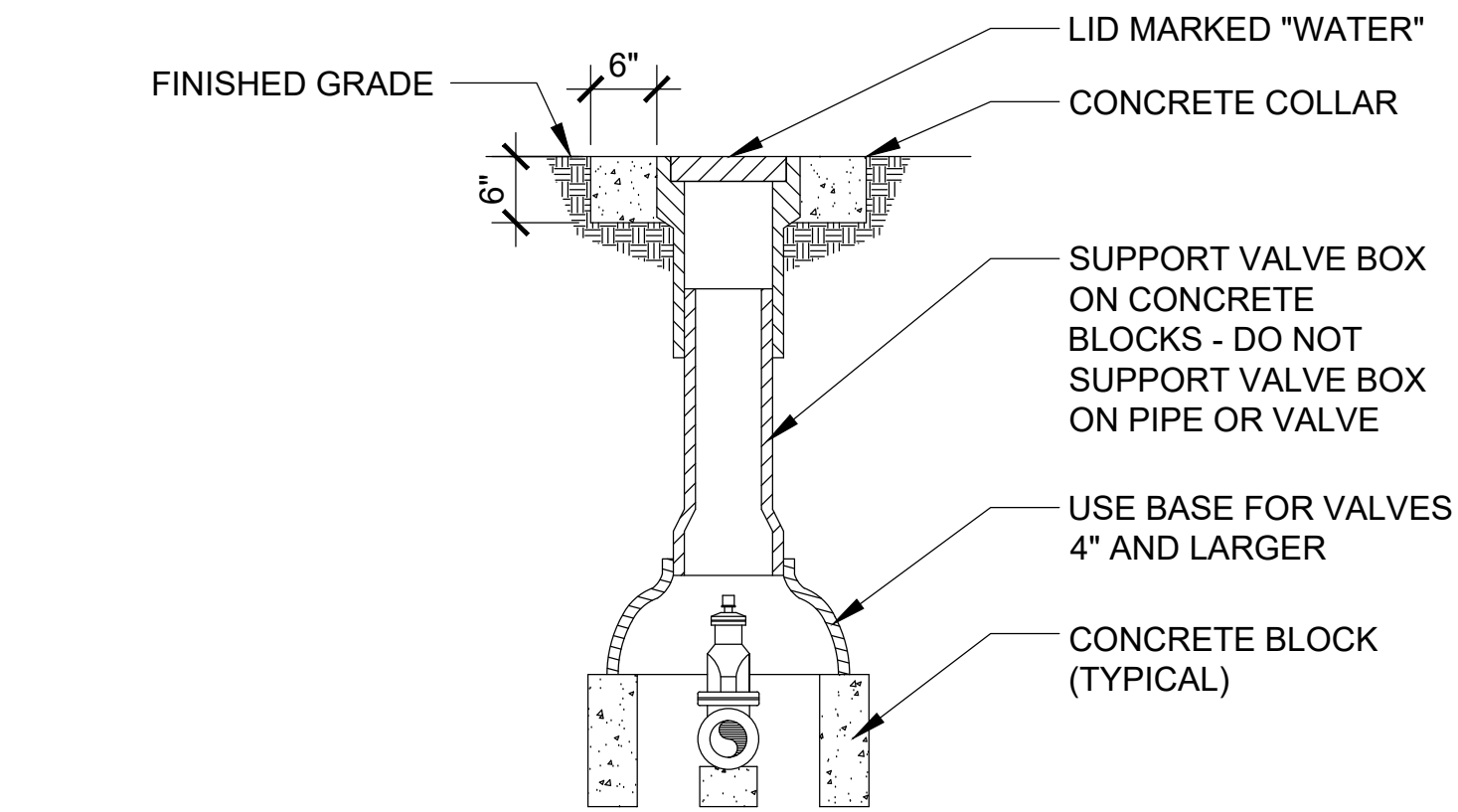
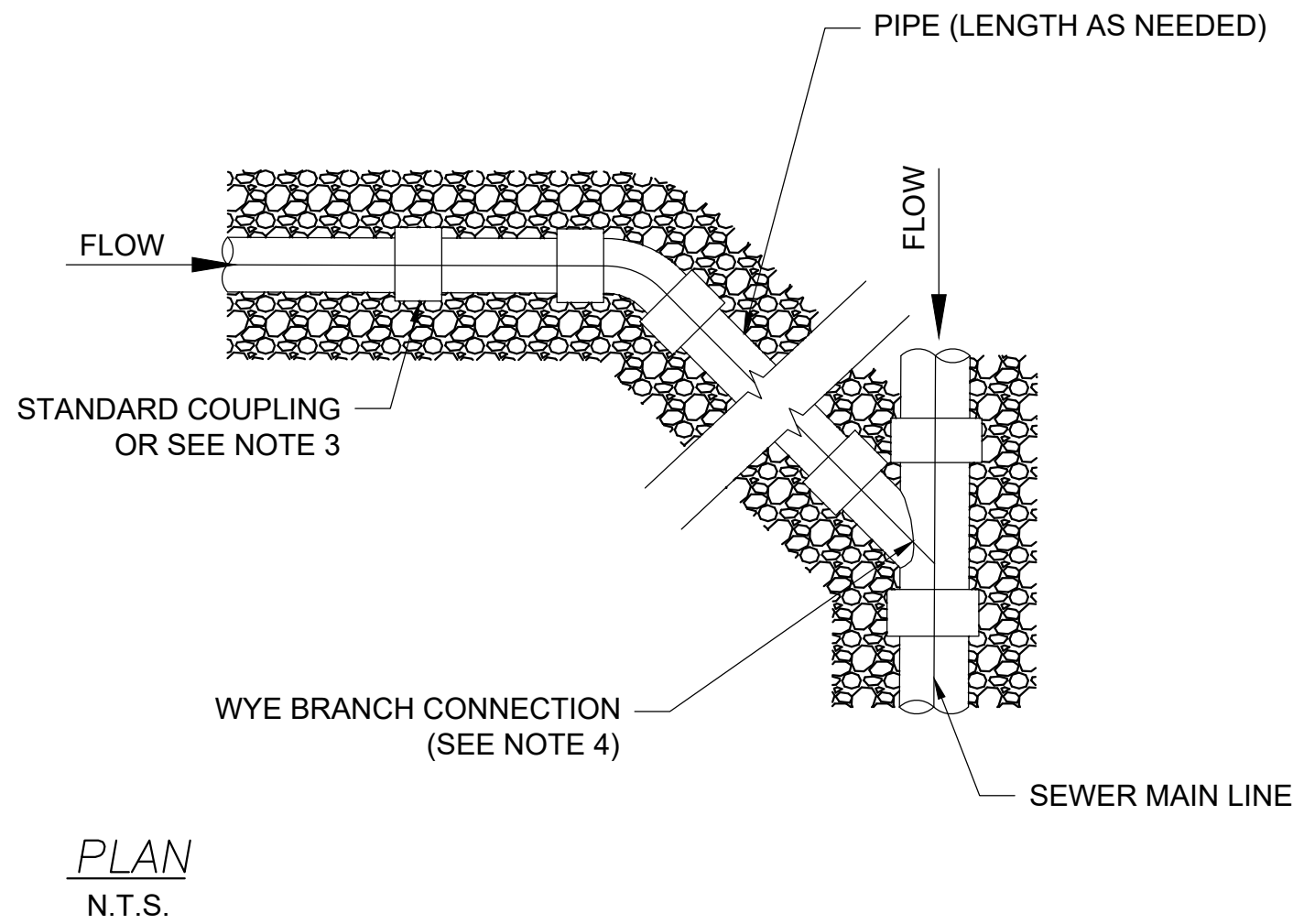
- NOTES:
- ALL APPROVED BUILDING LATERAL SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
  - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0" IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ONTO ALL BUILDING LOT PROPERTIES.
  - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).
  - WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
  - THE BUILDINGS LATERAL SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR ii) BUILDING LATERAL SEWER.
  - 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.



NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

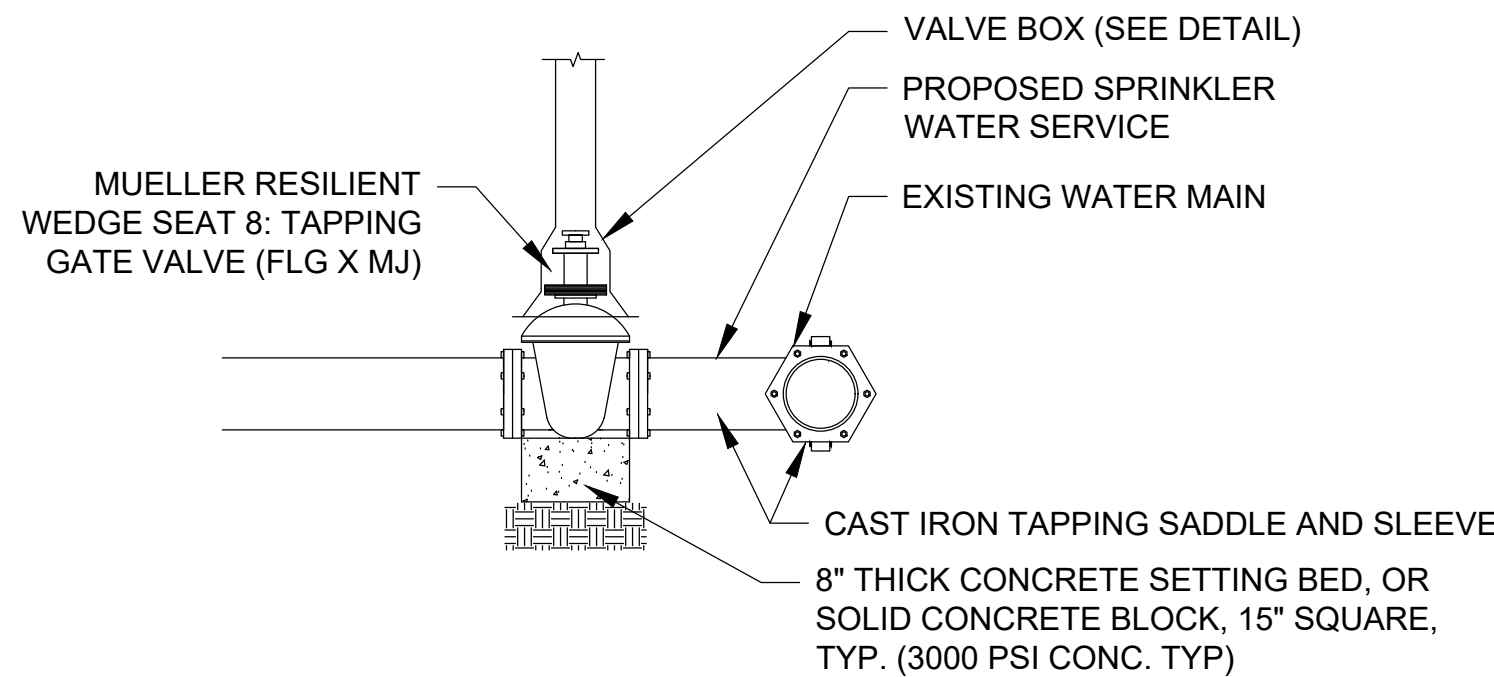
### SANITARY SEWER/WATER/STORM DRAINAGE SEPARATION REQUIREMENTS

SCALE: NTS



### VALVE BOX DETAIL

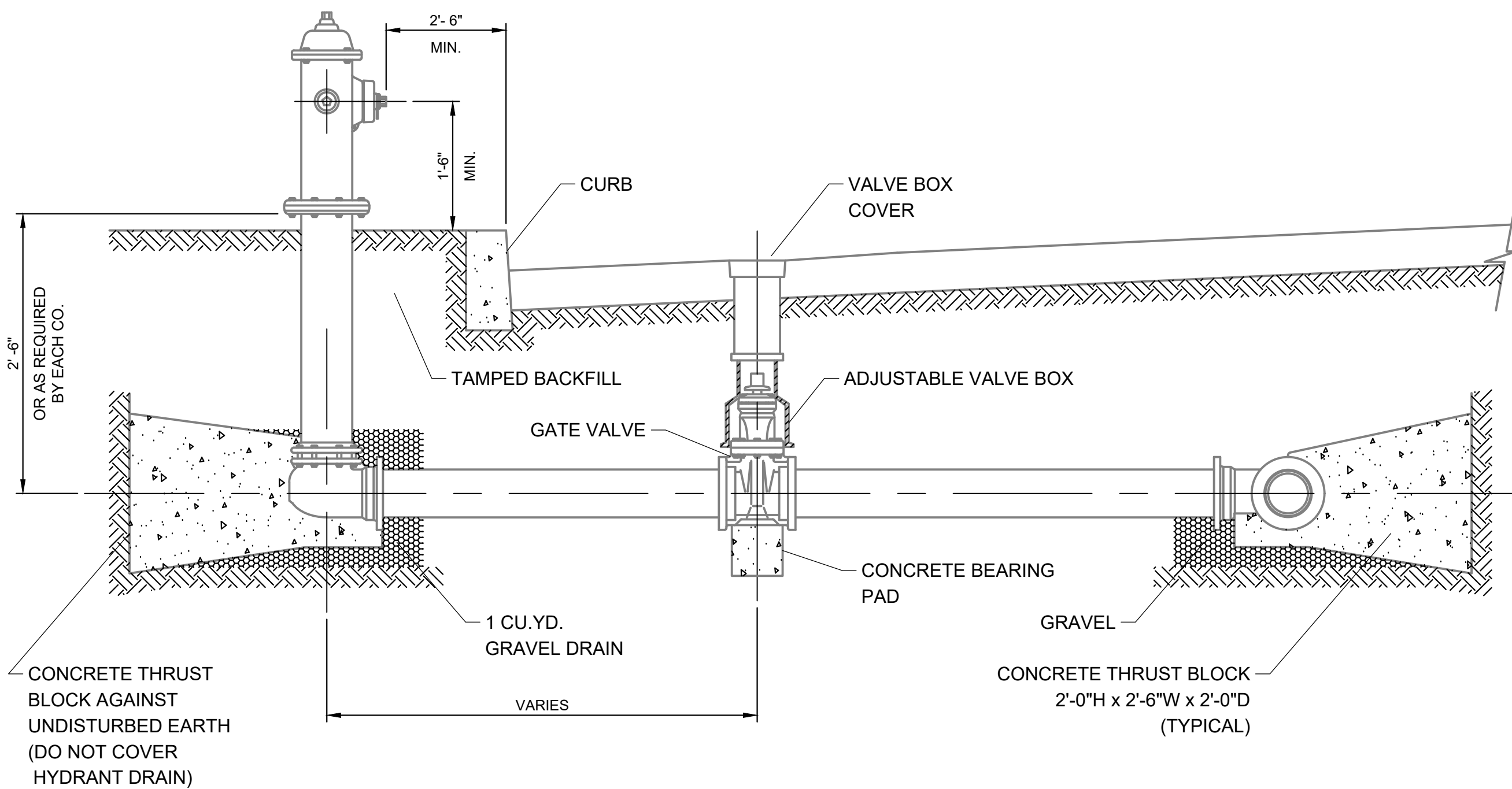
SCALE: NTS



- NOTES:
- ALL PIPE AND FITTINGS SHALL BE DUCTILE IRON CLASS 52, WITH MECHANICAL JOINTS OR A JOINT ACCEPTABLE TO THE TOWN OF CORNWALL. SILICON BRONZE-SERRATED WEDGES ARE TO BE INSTALLED BETWEEN THE LIP OF THE BELL AND THE PLAIN END OF TYTON JOINT PIPE AT ALL JOINTS.
  - FIRE HYDRANTS SHALL BE FROM MUELLER SUPER CENTURION, SAFETY TYPE, WITH BREAKABLE RINGS AND DRAIN, AND HAVE ONE FOUR-AND-ONE-HALF-INCH PUMPER CONNECTION AND TWO TWO-AND-ONE-HALF-INCH HOLE CONNECTIONS, OPEN LEFT-CLOSE RIGHT, AND EACH ONE FITTED WITH FIGURE 572X VALVE (FIVE-INCH VALVE OPENING).
  - ALL VALVES SHALL BE MUELLER AWWA RESILIENT 250 WEDGE SEAT GATE VALVES WITH O-RING SEALS.
  - CONCRETE BLOCKING SHALL BE INSTALLED AT ALL FIRE HYDRANTS, BENDS AND DEAD ENDS OR RETAINING RODS.

### WET TAP DETAIL

SCALE: NTS



### TYPICAL HYDRANT DETAIL

SCALE: NTS

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