



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: CFB REALTY LLC
PROJECT NO.: 25-26
PROJECT LOCATION: 121 WELLS ROAD – 14 LOT SUBDIVISION
SECTION 39, BLOCK 1, LOT 19
REVIEW DATE: 25 MARCH 2026
MEETING DATE: 2 APRIL 2026
PROJECT REPRESENTATIVE: DAVID NIEMOTKO ARCHITECT, P.C.

1. The applicants have submitted a revised SWPPP based on previous comments from this office. The revised SWPPP is under review.
2. The applicants have identified Floodplain Development Permit is required. The applicant's response states that Floodplain Development Permit will be submitted in the future.
3. Project requires NYSDEC approval for sewer main extension.
4. The project requires Orange County Health Department approval for water main extension.
5. The applicant's identified DEC has signed off on the location of the jurisdictional wetlands and associated buffer. Final signed validation plans are to be submitted. Project will require a permit from DEC for encroachment into the wetland buffers.
6. Additional information must be submitted regarding tree preservation plan. These comments have not been addressed.
7. The method for long-term operation and maintenance of the stormwater facility should be addressed. Several stormwater practices are identified as being located on residential lots. Typically the project of this scope would be required to perform a drainage district with stormwater improvements being on lots owned and maintained by the drainage district.
8. An easement is proposed for the stormwater facilities on lots which front on Wells Road, showing no access to the easement appears to be provided.
9. Easements are depicted on several other residential lots. Access to these easements should be depicted. Several of the easements appear to incorporate swales which would limit access to the easements.
10. Approval for roads names is required. Proposed road name should be submitted to Town Clerk for processing to Town Board for approval.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

11. Information pertaining to the design of the individual sewer pump stations should be submitted. Operation and maintenance of the individual pump stations proposed at each lot should be addressed.
12. The specified hydrant does not comply with Town of Newburgh requirements.
13. Details of all outlet control structures should be added to the plans.
14. Town road details should be added to the plans.
15. Town sewer notes are required on the plans. (Copies Attached)
16. Check hydrant spacing. See Town Code Section 179-32B. Hydrant is located at end of cul-de-sac may require hydrant at beginning of cul-de-sac.
17. Sewer force mains must be designed in accordance with Town Code Section 148-20.

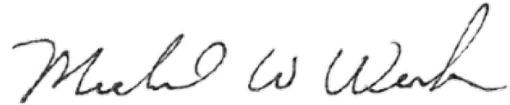
Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal

PJH/kmm



Michael W. Weeks, P.E.
Principal

TOWN SEWER SYSTEM NOTES

1. Construction of sanitary sewer facilities and connection to the Town of Newburgh sanitary sewer system requires a permit from the Town of Newburgh Sewer Department. All construction shall conform to the requirements of the NYSDEC and the Town of Newburgh.
2. All sewer pipe installation shall be subject to inspection by the Town of Newburgh Sewer Department. The Contractor shall be responsible for coordinating all inspections as required with the Town of Newburgh Sewer Department.
3. All gravity sanitary sewer service lines shall be 4 inches in diameter or larger and shall be SDR-35 PVC pipe conforming to ASTM D-3034-89. Joints shall be push-on with elastomeric ring gasket conforming ASTM D-3212. Fittings shall be as manufactured by the pipe supplier or equal and shall have a bell and spigot configuration compatible with the pipe.
4. The sewer main shall be tested in accordance with Town of Newburgh requirements. All testing shall be coordinated with the Town of Newburgh Sewer Department.
5. The final layout of the proposed water and/or sewer connection, including all materials, size and location of service and all appurtenances, is subject to the review and approval of the Town of Newburgh Water and/or Sewer Department. No permits shall be issued for a water and/or sewer connection until a final layout is approved by the respective Department.



David Niemotko Architects

DAVID NIEMOTKO ARCHITECT, P.C.

167 STAGE ROAD, MONROE, NEW YORK 10950

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www.niemotkoarchitects.com

david@niemotkoarchitects.com

March 18, 2026

John P. Ewasutyn, Chairperson
Town of Newburgh Planning Board
21 Hudson Valley Professional Plaza
Newburgh, NY 12550
via: Hand Delivery & Email

Re: 121 Wells Rd and Fostertown Road, Newburgh, NY 12550 – 14 Lot Residential Subdivision
[SBL: 39-1-19] - Site Plan Approval

Dear Board Members:

Please accept this application for the review and approval of a proposed subdivision at the subject address. The following is our response to the planning board professionals' comment letters dated 11-20-2025. The numbering below directly corresponds to their letters:

MHE Engineering Technical Review Comments (November 11, 2025):

3. The SWPPP has been revised and reviewed by MH&E. They determined it was ready for planning board submission.
4. More details to the proposed sewer system have been added to the plans for your review.
5. Force main details have been added to the plans. See sheet C-7.1.
6. Acknowledged. A flood plain development permit shall be submitted upon substantial acceptance of the site plan from all involved agencies.
7. Please see the attached email from the NYSDEC confirming the validated wetland delineation survey. Once the hard copies are received, we will submit for record.
8. The county roadway required front yard has been noted on the bulk table. See sheet C-2.
9. A note requiring the foundations be staked in the field to ensure house locations have been added to the plans. See sheet C-2.
10. Culvert sizes have been added to the plans. See sheet C-5.
11. Acknowledged, we defer to the board on any signage requirements along the road.
12. Town of Newburgh sanitary sewer notes have been added to the plans. See sheet C-4.
13. NYSDEC approval is in progress for the freshwater wetland permit. Please see attached email.
14. Utilities have been added to the roadway profile. Please see sheet C-4.1.
15. Hydrant and water system details have been added to the plans. See sheet C-7.1.
16. Snow storage easements have been added to the plans. See sheet C-2.
17. Watermain size has been revised to 8 inches.

18. Watermain extension engineering report is nearing completion, and we expect to meet the next submission date. We will coordinate with MH&E to finalize so that it can be referred to the DOH.
19. The proposed water system has been revised to utilize restrained joints. See sheet C-7.1.
20. Application to the NYSDEC for encroachment on the buffer has been made. See #13.
21. Acknowledged.
22. The City of Newburgh flow acceptance letter has not been coordinated yet.
23. The proposed 4-inch sewer laterals along Wells Rd shall be SDR 35. See utility profiles on sheet C-4.2 and tapping details on sheet C-6.1.
24. Watermain tapping details have been added to the plans. See sheet C-6.1
25. We have received substantial acceptance by the OCDPW and anticipate approval soon.
26. Trees have been added to the site plan along the proposed road. See sheet C-6.
27. The proposed street name is still to be determined.
28. The proposed cul-de-sac complies with the town code with a 100 ft right of way and 90-foot diameter cul-de-sac.
29. The project has been submitted to the code compliance department requesting input on required street lighting. No reply has been received.
30. See #26.
31. Acknowledged, requested additional information to the tree preservation plan is pending and shall be submitted.

We look forward to continuing this process towards approval. If you have any additional questions or comments, feel free to contact us at your earliest convenience.

Sincerely,



(Electronic Signature)

David Niemotko, Registered Architect

Attachments:

- (11 copies) Site Plans C-1 to C-6 dated 03/18/2026
- (1 copy) Site Plans C-1 to C-8 dated 03/18/2026
- (1 copy) Stormwater Prevention Pollution Plan revised 03/16/2026
- (12 copies) NYSDEC Email Correspondence

From: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>
Sent: Friday, February 13, 2026 9:39 AM
To: david@NIEMOTKOARCHITECTS.com
Cc: Jesse Shih
Subject: RE: 121 Wells Road Newburgh Site

Signed the maps today, kept one, and sending the rest back to you. Thanks.

Michael Fraatz

he/him/his

Biologist II, Bureau of Habitat

New York State Department of Environmental Conservation - Region 3

21 South Putt Corners Road, New Paltz, NY 12561

P: (845) 256-3057 | michael.fraatz@dec.ny.gov

dec.ny.gov | @NYSDEC on Social Media | [Podcast](#) | [2025 Regulation FAQ](#)

From: David Niemotko <david@niemotkoarchitects.com>
Sent: Wednesday, February 11, 2026 7:56 AM
To: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>
Cc: Jesse Shih <jesse@niemotkoarchitects.com>
Subject: RE: 121 Wells Road Newburgh Site

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Good morning Mike:

I realize that it has been a while.

Yet, I will be mailing 4 copies to you today. Please be on the lookout for them.

The owner's name and address are changed. This was the cause for the delay.

We are expecting 3 copies back from your email below.

Regards

David Niemotko, Registered Architect

David Niemotko Architect, P.C.

167 Stage Road

Monroe, NY 10950

Mobile (845) 401-2891

Office (845) 774-7523



David Niemotko Architects

From: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>
Sent: Thursday, September 4, 2025 2:39 PM
To: Brian Babcock <brian@ep-pccom>
Cc: david@NIEMOTKOARCHITECTS.com
Subject: RE: 121 Wells Road Newburgh Site

Hi Brian,

I need paper copies to sign, you can send them to the address in my signature below. I keep one and send the rest back to you so send however many you think you need plus one extra. Make sure they are to scale. Thanks.

Michael Fraatz

Biologist, Bureau of Ecosystem Health

New York State Department of Environmental Conservation
21 S. Putt Corners Rd, New Paltz, NY 12561
P: (845) 256-3057 | michael.fraatz@dec.ny.gov

From: Brian Babcock <Brian@ep-pc.com>
Sent: Thursday, September 4, 2025 2:21 PM
To: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>
Cc: david@NIEMOTKOARCHITECTS.com
Subject: RE: 121 Wells Road Newburgh Site

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Dear Mr. Fraatz; Attached please find the signed and sealed New York Freshwater Wetlands Delineation Plan for CFB Realty, LLC. Please return to me the Validation and Expiration dates.

Best Regards Sir;

Brian D. Babcock, L.S. Chief Surveyor
Engineering & Surveying Properties, PC
Phone (845) 457-7727
www.EngineeringPropertiesPC.com
Brian@ep-pc.com

From: David Niemotko <david@niemotkoarchitects.com>
Sent: Thursday, September 4, 2025 1:08 PM
To: Brian Babcock <Brian@ep-pccom>
Subject: FW: 121 Wells Road Newburgh Site

Brian:

Please see email below from NYSDEC.

Please sign and seal the maps and send them to Mike for signature and subsequently our use with the planning board.

Regards

David Niemotko, Registered Architect

David Niemotko Architect, P.C.

167 Stage Road

Monroe, NY 10950

Mobile (845) 401-2891

Office (845) 774-7523



David Niemotko Architects

From: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>

Sent: Thursday, September 4, 2025 12:45 PM

To: david@NIEMOTKOARCHITECTS.com

Subject: RE: 121 Wells Road Newburgh Site

David,

I checked the flags yesterday at this site and did not make any changes. You can send copies of the maps for my signature if you need them. If there is work proposed within the wetland or within 100' of the wetlands, a freshwater wetland permit would be required from DEC. Thanks.

Michael Fraatz

Biologist, Bureau of Ecosystem Health

New York State Department of Environmental Conservation

21 S. Putt Corners Rd, New Paltz, NY 12561

P: (845) 256-3057 | michael.fraatz@dec.ny.gov

From: David Niemotko <david@niemotkoarchitects.com>

Sent: Friday, August 29, 2025 9:03 AM

To: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>

Subject: 121 Wells Road Newburgh Site

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Mike:

Just an fyi.

Attached is our proposed site plan design for this project.

I hope it helps and look forward to your confirmation of the delineation.

It is a reaffirmation of the previous determination.

Regards and have a great weekend,

David Niemotko, Registered Architect
David Niemotko Architect, P.C.

167 Stage Road
Monroe, NY 10950
Mobile (845) 401-2891
Office (845) 774-7523



David Niemotko Architects

jesse@niemotkoarchitects.com

From: Romero Medina, Glennys A (DEC) <Glennys.Romeromedina@dec.ny.gov>
Sent: Thursday, December 11, 2025 11:53 AM
To: jesse@niemotkoarchitects.com; david@NIEMOTKOARCHITECTS.com
Subject: Re: Fostertown Subdivision - FWW Permit (DEC ID: 3-3346-00510)

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning,

I'm reaching out to confirm receipt the permit application materials for the above noted project. Please note, GP-0-25-006 is not in effect yet, and so we will be processing this application as an individual permit. I am the Division of Environmental Permits analyst assigned to review this application. The DEC ID assigned to your application is 3-3346-00510.

Please send all future submissions electronically to my attention and note the DEC ID number on your email. If you have any questions regarding this application, please contact me directly.

Thank you,

Glennys A. Romero Medina

Environmental Analyst, Division of Environmental Permits

New York State Department of Environmental Conservation

21 South Putt Corners Rd, New Paltz, NY 12561

845-256-2250 (p) glennys.romeromedina@dec.ny.gov

www.dec.ny.gov



From: jesse@niemotkoarchitects.com <jesse@niemotkoarchitects.com>
Sent: Wednesday, November 26, 2025 4:11 PM
To: dec.sm.DEP.R3 <DEP.R3@dec.ny.gov>
Cc: Fraatz, Michael R (DEC) <Michael.Fraatz@dec.ny.gov>; Lawrence, Victoria A (DEC) <victoria.lawrence@dec.ny.gov>; david@NIEMOTKOARCHITECTS.com
Subject: Fostertown Subdivision - FWW Permit

You don't often get email from jesse@niemotkoarchitects.com. [Learn why this is important](#)

ATTENTION: This email came from an external source. Do not open attachments or click on links from unknown senders or unexpected emails.

Good evening,

Please see the attached application for a freshwater wetlands permit for the subject project. We believe the project meets the requirements to fall under GP-0-25-006. Please let me know if any additional information, hardcopies, or fees are needed to complete your review. Thank you!

Attachments:

- Joint Application Form
- Signed Survey
- Full EAF
- Project Location of USGS map
- Site Plans C-1 to C-7

Happy Thanksgiving!

Jesse Shih, E.I.T.

David Niemotko Architect, P.C.

167 Stage Road

Monroe, NY 10950

Mobile (845) 401-2891

Office (845) 774-7523



David Niemotko Architects

NOTES:

1. LOT OWNER: CFB REALTY LLC
2. OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
3. LOT ID: 39-1-19, TOWN OF NEWBURGH
4. LOT AREA: 18 Ac.
5. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2. OF THE NEW YORK STATE EDUCATION LAW.



David Niemotko Architect

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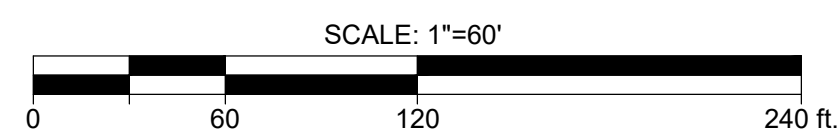
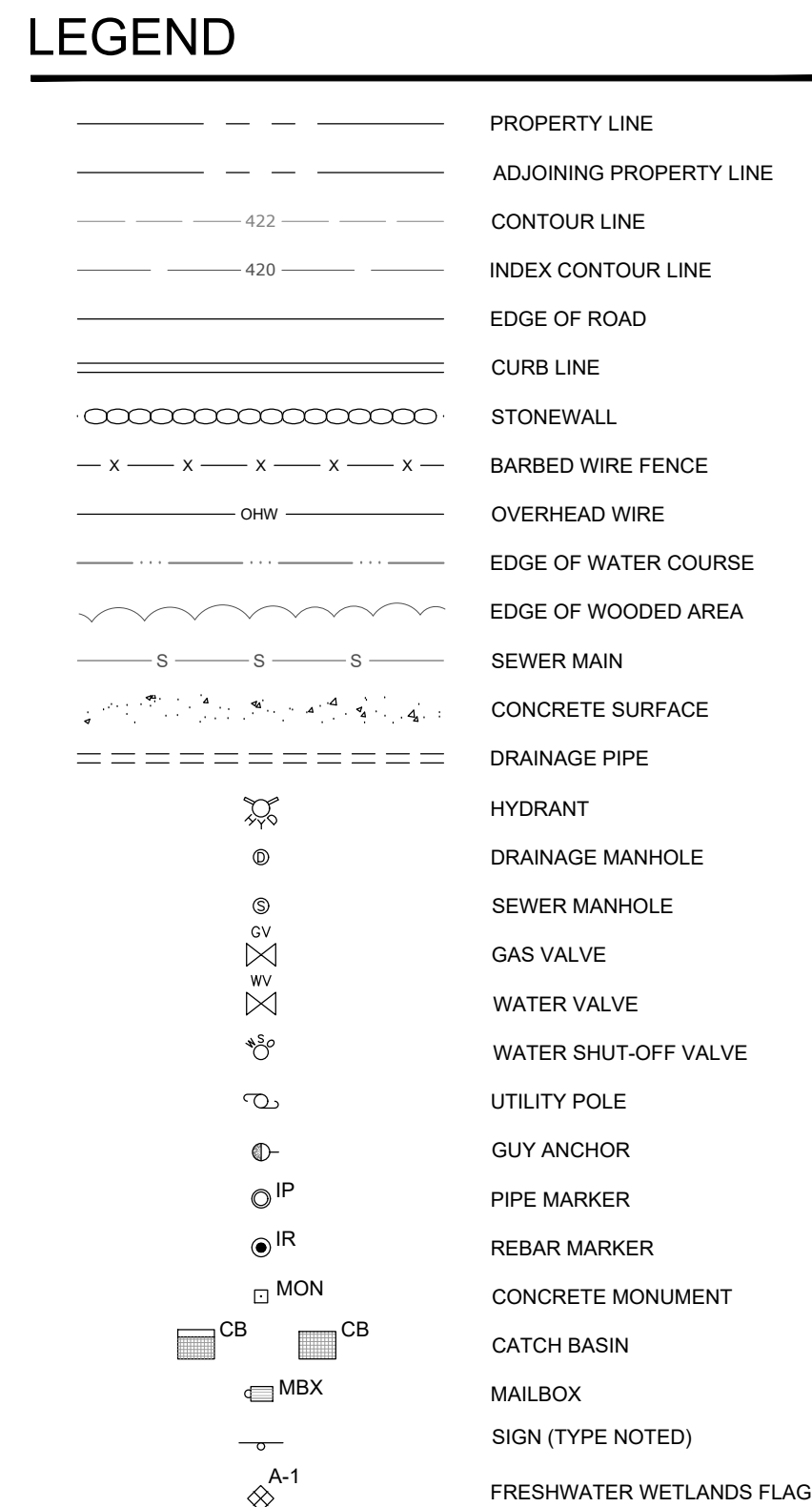
SHEET TITLE:	EXISTING CONDITIONS PLAN
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:
DRAWN BY: J.S.
CHECKED BY: D.N.
JOB #
PLOT DATE: 08/20/2025

SHEET No.

C-1

PAGE 1 OF 12



1	EXISTING CONDITIONS PLAN
C-1	SCALE: 1"=60'



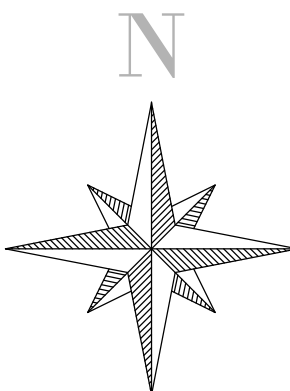
1 SITE PLAN
C-2 SCALE: 1"=50'

NOTES:

1. LOT OWNER: CFB REALTY LLC
2. OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
3. LOT ID: 39-1-19, TOWN OF NEWBURGH
4. LOT AREA: 18 Ac.
5. HOUSE FOUNDATIONS SHALL BE STAKED OUT BY A LICENSED PROFESSIONAL PRIOR TO CONSTRUCTION.
6. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
7. NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

LEGEND

- PROPERTY LINE
SETBACK LINE
2 FT CONTOUR
TREE LINE
CHAIN LINK FENCE
WETLANDS BOUNDARY
STREAM OR BROOK



SCALE: 1"=50'
0 50 100 200 ft.

ZONING TABLE		
SECTION, LOT, BLOCK:	39 - 1 - 19	
ZONE:	R-2	
PROPOSED USE:	DETACHED SINGLE-FAMILY (CENTRAL WATER & SEWER)	
MINIMUMS REQUIRED		
	REQUIRED	PROPOSED
LOT AREA (SF)	15000	>15000
LOT WIDTH (FT)	100	>100
LOT DEPTH (FT)	125	>125
FRONT SETBACK (FT)	40	>40
REAR SETBACK (FT)	40	>40
SIDE SETBACK (ONE / TOTAL FT)	15 / 30	>15 / 30
MAXIMUMS PERMITTED		
BUILDING COVERAGE (%)	15%	<15%
LOT COVERAGE (%)	30%	<30%

(E) - EXISTING NON-CONFORMITY
(V) - VARIANCE REQUESTED

REVISION	PLANNING BOARD SUBMISSION
DATE	08/20/2025
BY	10/31/2025
NO	11/25/2025
	01/21/2026
	03/17/2026



DAVID NIEMOTKO ARCHITECTS, P.C.
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FOR REVIEW

SITE PLAN

WELLS ROAD SUBDIVISION
121 WELLS ROAD
NEWBURGH NY 12550
DAVID NIEMOTKO
167 STAGE RD
MONROE NY 10950

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025

SHEET No.

C-2



NOTES:

- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST "URBAN EROSION AND SEDIMENT CONTROL GUIDEBOOK" OF THE ORANGE COUNTY SOIL AND WATER CONSERVATION DISTRICT AS WELL AS THE LATEST NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ONCE ROUGH GRADING HAS BEEN COMPLETED, A TEMPORARY COVER CONSISTING OF RYE GRASS SHALL BE SEEDED AT A RATE OF 1 LB. PER 1,000 S.F. OF AREA.
- NO CUT OR FILL SLOPE SHALL EXCEED 2:1 UNLESS RETAINING WALLS ARE BEING INSTALLED. ALL DISTURBED AREA NOT BEING WORKED ON WITHIN 14 DAYS SHALL BE TEMPORARILY SEEDED WITH RYE GRASS AT A RATE OF 1 LB. PER 1,000 S.F.
- SILTATION FENCING SHALL BE USED TO PROTECT THE EXISTING DRAINAGE SWALE AND NEIGHBORING PROPERTIES.
- ANY SILT THAT LEAVES THE SITE DESPITE PRECAUTIONS TAKEN SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE AGENCIES HAVING JURISDICTION.
- FILL MATERIAL, IF NECESSARY, SHALL BE FREE OF ALL DECOMPOSABLE MATERIAL.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS GRADED, PLANTED AND TREATED TO FINISH IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL TREE CLEARING MUST OCCUR BETWEEN OCTOBER 1 AND MARCH 31.
- NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.
- TOTAL DISTURBANCE WITHIN 100 FT WETLAND BUFFER: 42,197 SF.

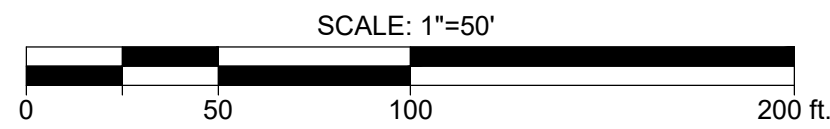
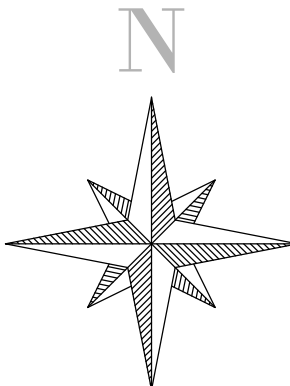
1 GRADING & EROSION CONTROL PLAN
C-3 SCALE: 1"=50'

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
CF	1.000	1.000	278960.70 Sq. Ft.	1071.28 Cu. Yd.	19902.67 Cu. Yd.	18831.39 Cu. Yd.<Fill>
CF DEC	1.000	1.000	34089.37 Sq. Ft.	39.21 Cu. Yd.	2969.16 Cu. Yd.	2929.95 Cu. Yd.<Fill>
Totals			313050.07 Sq. Ft.	1110.49 Cu. Yd.	22871.82 Cu. Yd.	21761.34 Cu. Yd.<Fill>

LEGEND

- PROPERTY LINE
- SETBACK LINE
- 2 FT CONTOUR
- TREE LINE
- CHAIN LINK FENCE
- WETLANDS BOUNDARY
- STREAM OR BROOK
- FILL AREA
- CUT AREA



REVISION	DATE	NO.
PLANNING BOARD SUBMISSION	08/20/2025	1
PLANNING BOARD SUBMISSION	10/31/2025	2
CCDP SUBMISSION	11/25/2025	3
CCDP SUBMISSION	01/21/2026	4
PLANNING BOARD SUBMISSION	03/16/2026	5



DAVID NIEMOTKO ARCHITECTS, P.C.
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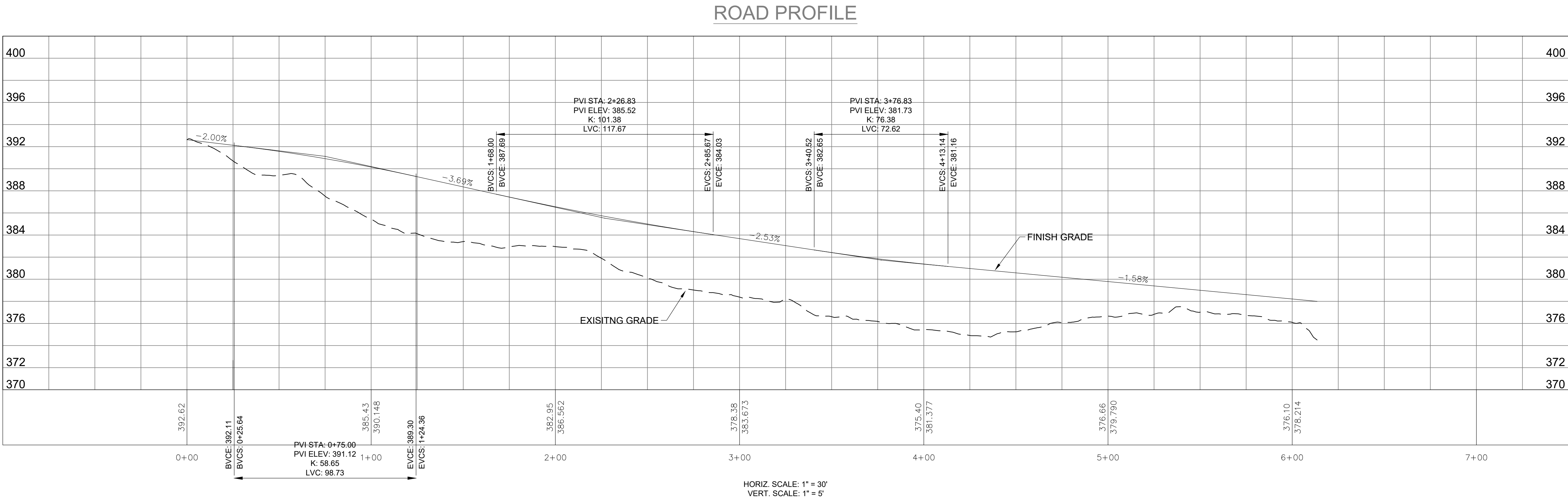
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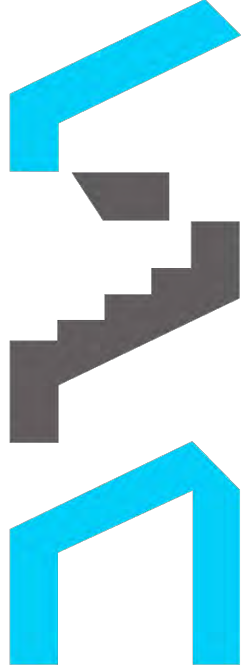
SHEET TITLE:	PROJECT:	CLIENT:
GRADING & EROSION CONTROL PLAN	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:
DRAWN BY: J.S.
CHECKED BY: D.N.
JOB #
PLOT DATE: 08/20/2025

SHEET NO.
C-3
PAGE 3 OF 12



REV	DATE	DESCRIPTION
1	08/20/2025	PLANNING BOARD SUBMISSION
2	10/31/2025	PLANNING BOARD SUBMISSION
3	11/25/2025	PLANNING BOARD SUBMISSION
4	11/25/2025	PLANNING BOARD SUBMISSION
5	01/21/2026	PLANNING BOARD SUBMISSION
6	03/16/2026	PLANNING BOARD SUBMISSION



David Niemotko Architect

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SHEET TITLE:	ROAD PROFILE
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025



1 UTILITY PLAN
C-4 SCALE: 1"=50'

PRESSURE SEWER PIPE SIZING AND BRANCH ANALYSIS																	
ZONE #	CONNECTS TO ZONE	# OF PUMPS	ACCUM PUMPS	GDP / PUMP	MAX FLOW / PUMP (GDP)	MAX SIM OPS	MAX FLOW (GPM)	PIPE SIZE (IN)	MAX VELOCITY (FPS)	LENGTH OF MAIN IN ZONE	FRICTION LOSS FACTOR (FT / 100 FT)	FRICTION LOSS THIS ZONE	ACCUM FRICTION LOSS (FT)	MAX MAIN ELEVATION	MIN PUMP ELEVATION	STATIC HEAD (FT)	TDH (FT)
1	2	3	3	440	11.00	2	22.00	2.00	2.38	72.00	1.19	0.86	12.12	392.00	374.00	18.00	28.84
2	3	6	9	440	11.00	3	33.00	2.00	3.57	379.00	2.52	9.55	11.26	392.00	378.00	14.00	23.98
3	3	1	10	440	11.00	4	44.00	3.00	2.19	263.00	0.65	1.71	1.71	392.00	392.00	0.00	0.43

TOWN OF NEWBURGH STANDARD WATER SYSTEM NOTES

- "CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH."
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBB&H IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM; TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5 1/4 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15020N FOR 1/2 AND 1 INCH, MUELLER H-15000N OR B-25000N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 1/2 AND 1 INCH AND MUELLER B-25204N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 1/2 AND 1 INCH AND MUELLER H-10310N FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.

OCDPW UTILITY INSTALLATION NOTES:

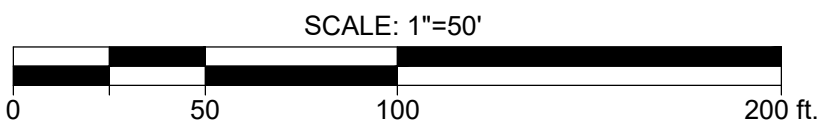
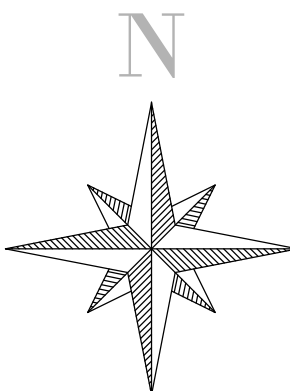
- UTILITY INSTALLATION SHALL NOT COMMENCE UNTIL ALL REQUIRED MAINTENANCE AND PROTECTION OF TRAFFIC SIGNAGE IS INSTALLED FOR A LANE CLOSURE AND FLAGGERS ARE AVAILABLE FOR EACH APPROACH TO THE WORK ZONE. FLAGGERS ARE REQUIRED TO HAVE 18" STOP/SLOW PADDLES AND TWO-WAY RADIOS.
- PRIOR TO STARTING ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY (ROW), THE PERMITTEE SHALL NOTIFY THE ORANGE COUNTY PERMIT ENGINEER, AT LEAST TWO (2) FULL BUSINESS DAYS, IN ADVANCE OF THE START OF WORK.
- A REPRESENTATIVE OF THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS – ENGINEERING DIVISION SHALL BE PRESENT FOR UTILITY WORK, INCLUDING SAW CUTTING PAVEMENT.
- PRIOR TO PERFORMING UTILITY WORK WITHIN THE COUNTY ROW, TEST PITS SHALL BE COMPLETED TO CONFIRM THE LOCATION OF EXISTING UTILITIES TO MINIMIZE THE IMPACTS TO THE COUNTY ASPHALT.
- FINAL RESTORATION, AFTER A PERIOD OF SETTLEMENT, SHALL BE ONE OVERALL ASPHALT REPAIR.
- FINAL RESTORATION ASPHALT LIMITS SHALL BE AS DIRECTED BY ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS.
- AFTER FINAL RESTORATION IS COMPLETE, STRIPING SHALL BE COMPLETED IN ACCORDANCE WITH THE COUNTY PAVEMENT MARKING REQUIREMENTS.
- THE PERMITTEE, OR THEIR CONTRACTOR, IS RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH ADJACENT PROPERTY OWNERS, RESIDENTS AND BUSINESSES TO ENSURE THAT THEY CAN SAFELY ENTER AND EXIT THEIR DRIVEWAYS DURING THE COURSE OF DAY-TO-DAY OPERATIONS.

NOTES

- PROPOSED WATER MAIN IS 8" DIP UNLESS OTHERWISE NOTED.
- PROPOSED SEWER FORCE MAIN IS SDR11 HDPE UNLESS OTHERWISE NOTED.

LEGEND

- PROPERTY LINE
SETBACK LINE
2 FT CONTOUR
TREE LINE
CHAIN LINK FENCE
WETLANDS BOUNDARY
STREAM OR BROOK



REVISION		DATE	DESCRIPTION
1	PLANNING BOARD SUBMISSION	08/20/2025	10/31/2025
2	PLANNING BOARD SUBMISSION	11/25/2025	11/25/2025
3	PLANNING BOARD SUBMISSION	01/21/2026	01/21/2026
4	PLANNING BOARD SUBMISSION	03/16/2026	03/16/2026



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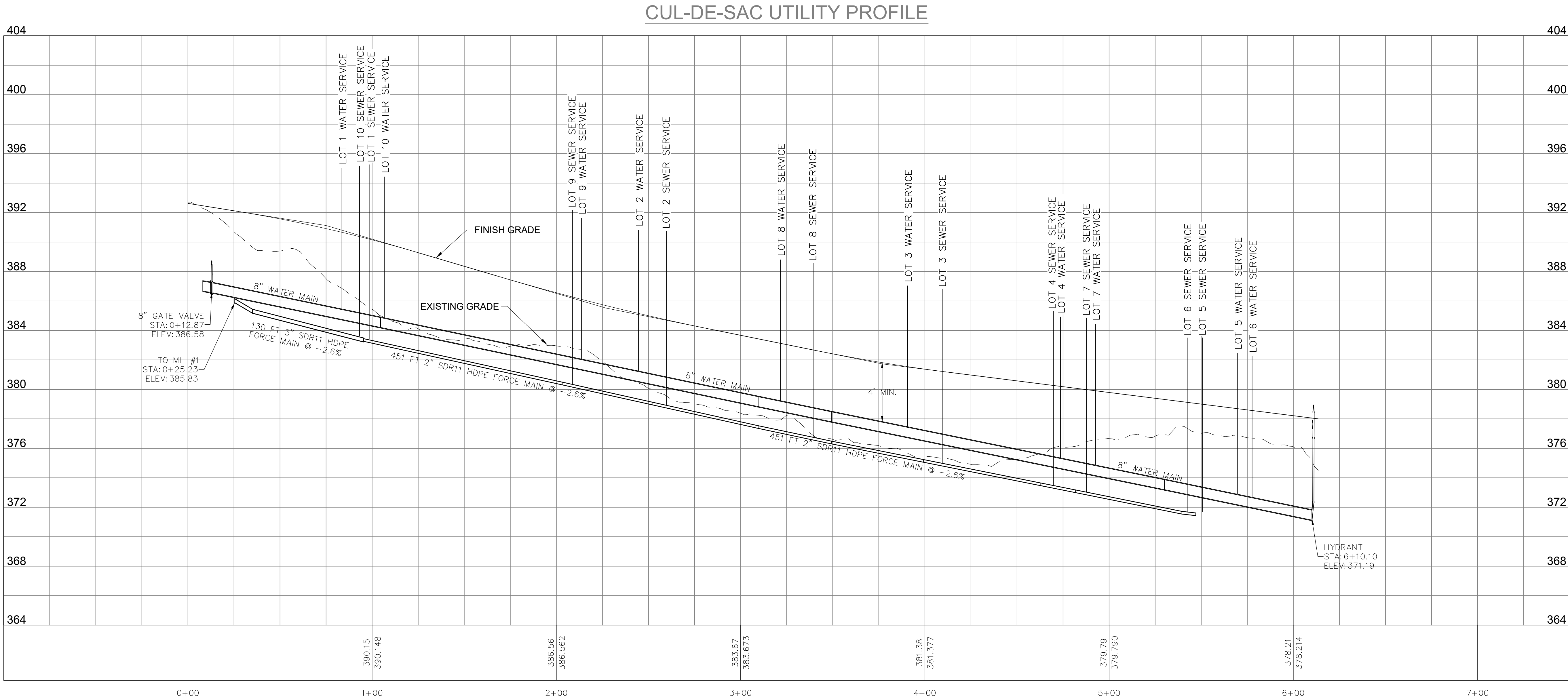
FOR REVIEW

UTILITY PLAN
WELLS ROAD SUBDIVISION
121 WELLS ROAD
NEWBURGH NY 12550
DAVID NIEMOTKO
167 STAGE RD
MONROE NY 10950

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025

SHEET No.

C-4



REVISION	DATE	NO.
PLANNING BOARD SUBMISSION	08/20/2025	1
PLANNING BOARD SUBMISSION	10/31/2025	2
PLANNING BOARD SUBMISSION	11/25/2025	3
PLANNING BOARD SUBMISSION	01/21/2026	4
PLANNING BOARD SUBMISSION	03/16/2026	5



David Niemotko Architect

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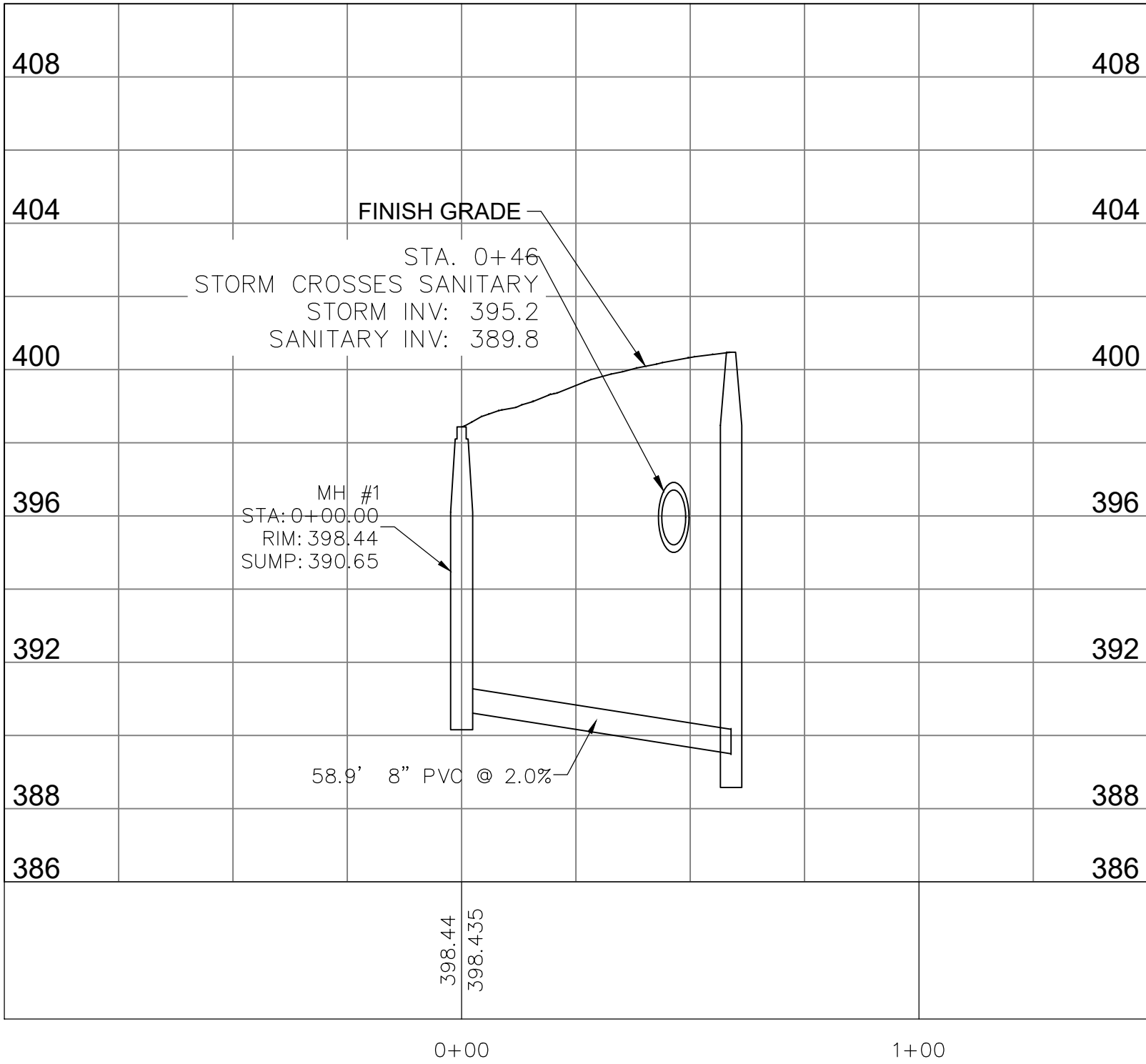
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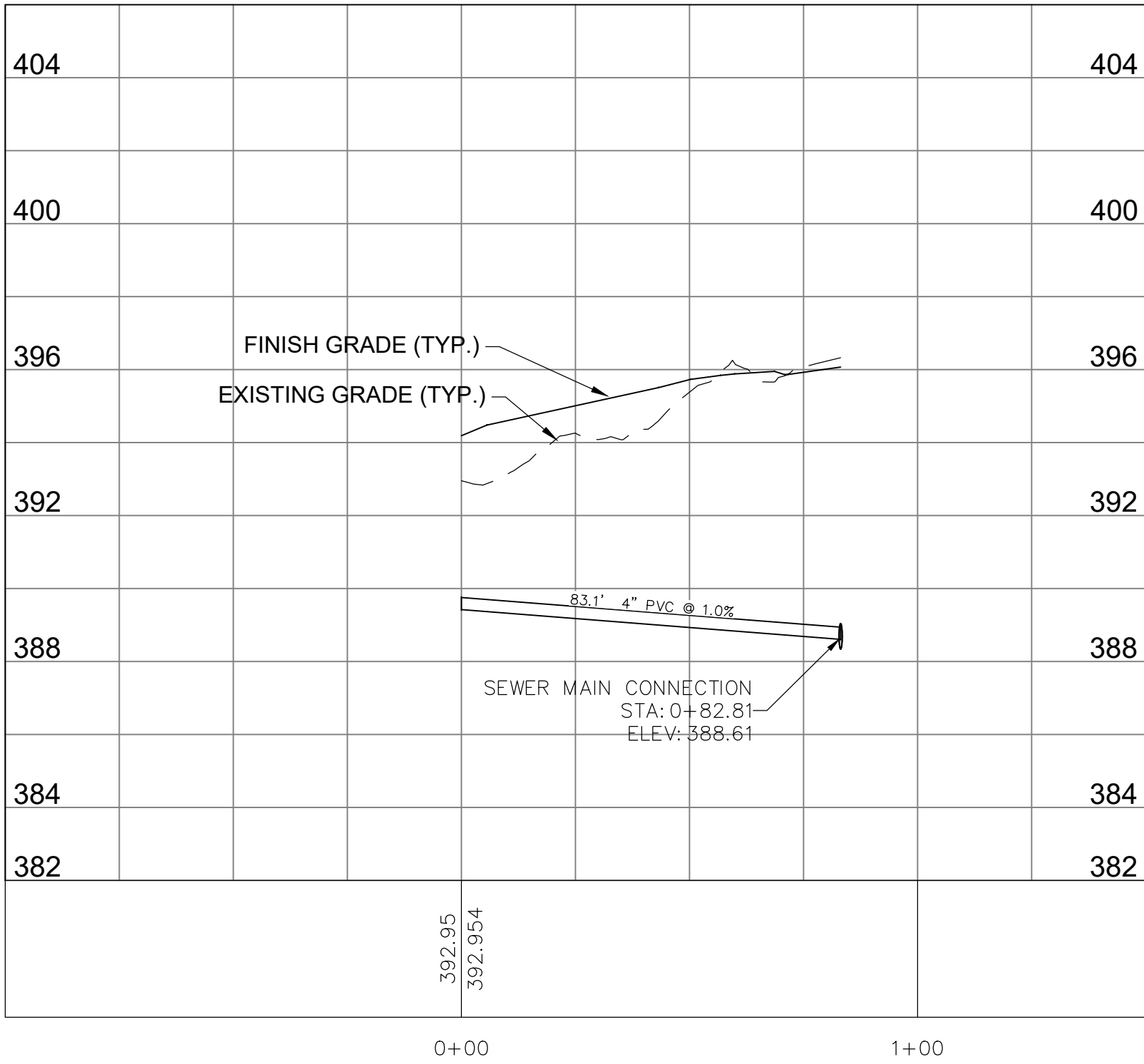
UTILITY ROAD PROFILE	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950
SHEET TITLE:	PROJECT:	CLIENT:

SCALE:	DRAWN BY: J.S.
CHECKED BY: D.N.	JOB #
PLOT DATE: 08/20/2025	

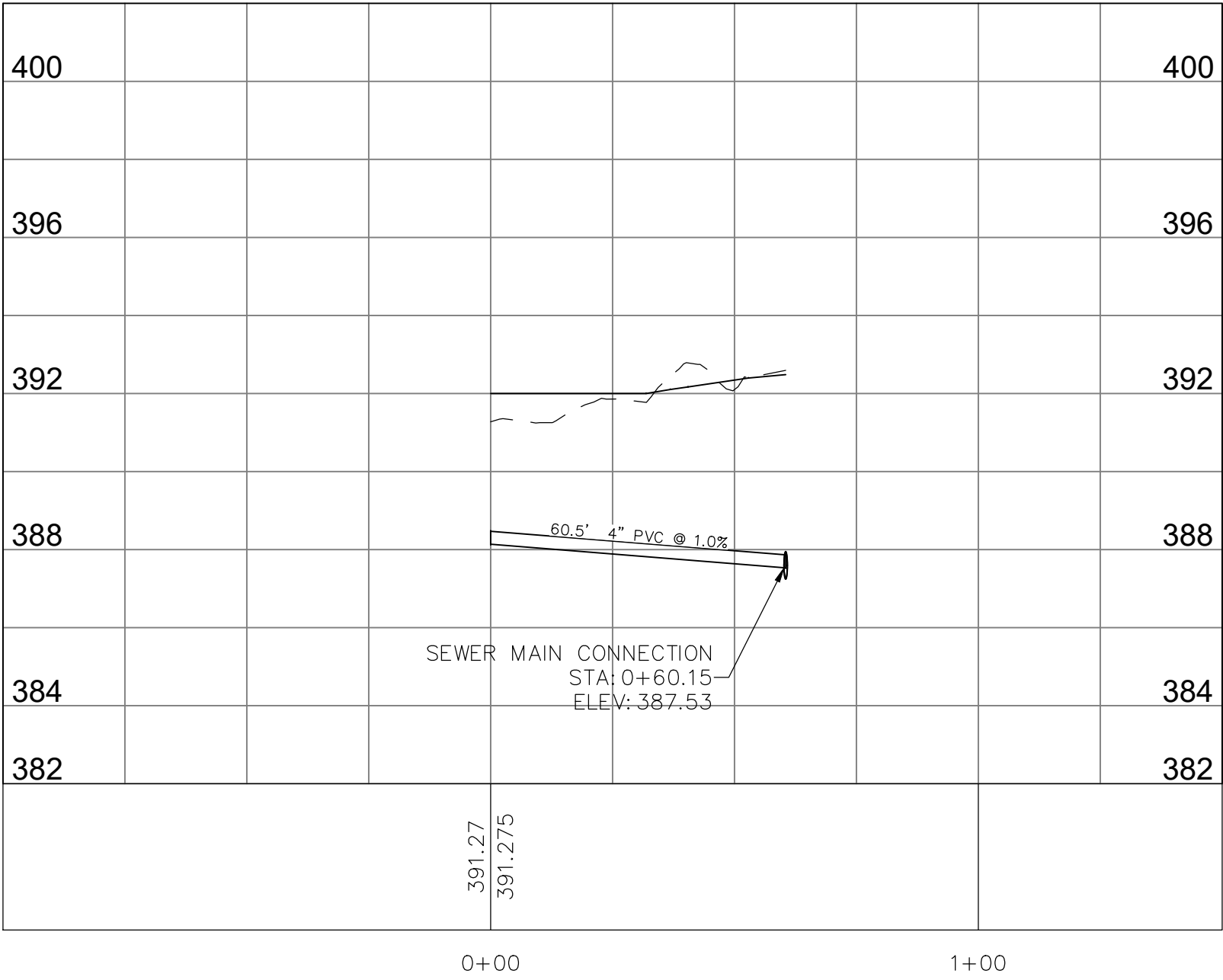
SEWER MAIN CONNECTION PROFILE



LOT 11 SEWER PROFILE



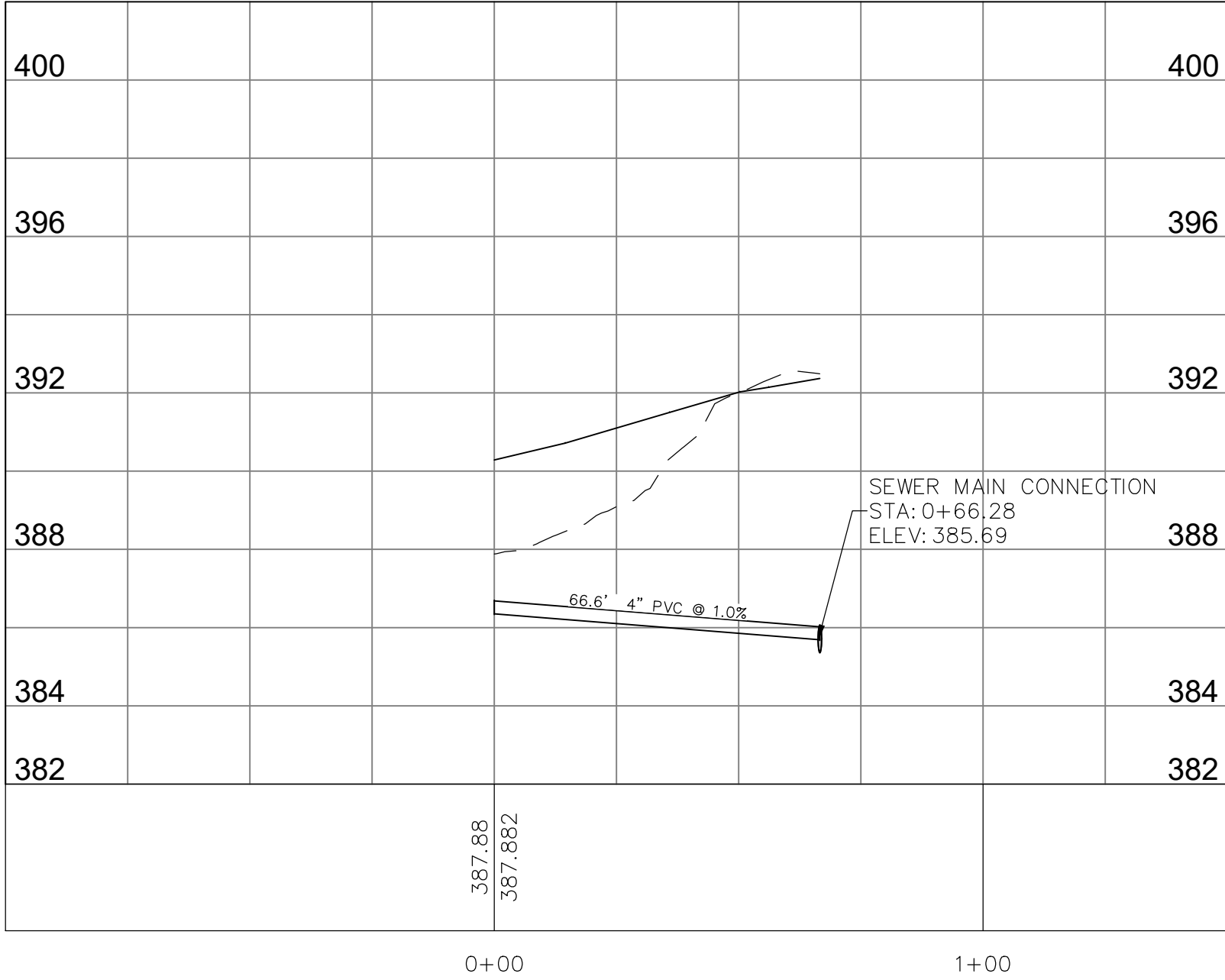
LOT 12 SEWER PROFILE



LOT 13 SEWER PROFILE



LOT 14 SEWER PROFILE



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	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550	
PROJECT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950	
CLIENT:		

SCALE:	
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JOB #	
PLOT DATE:	08/20/2025



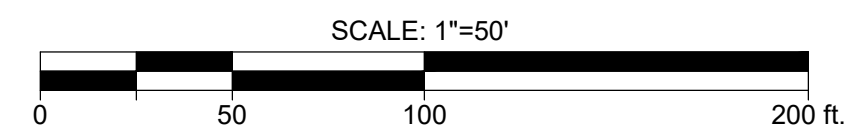
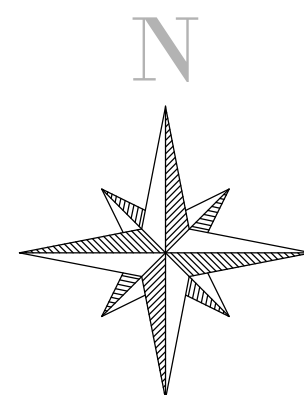
1 STORMWATER MANAGMENT PLAN
C-5 SCALE: 1"=50'

NOTES

1. PROPOSED DRIVEWAY CULVERTS SHALL BE 15" HDPE UNLESS OTHERWISE NOTED.
2. DIVERSION SWALES, FILTRATION & DETENTION BASIN AREAS SHALL BE INSPECTED MONTHLY TO ENSURE THE INLET AND OUTLET AREA IS CLEAN OF DEBRIS.

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
2 FT CONTOUR	---600---
TREE LINE	~~~~~
CHAIN LINK FENCE	-x-x-
WETLANDS BOUNDARY	-.-.-.-
STREAM OR BROOK	~~~~~



REVISION	PLANING BOARD SUBMISSION
DATE	08/20/2025
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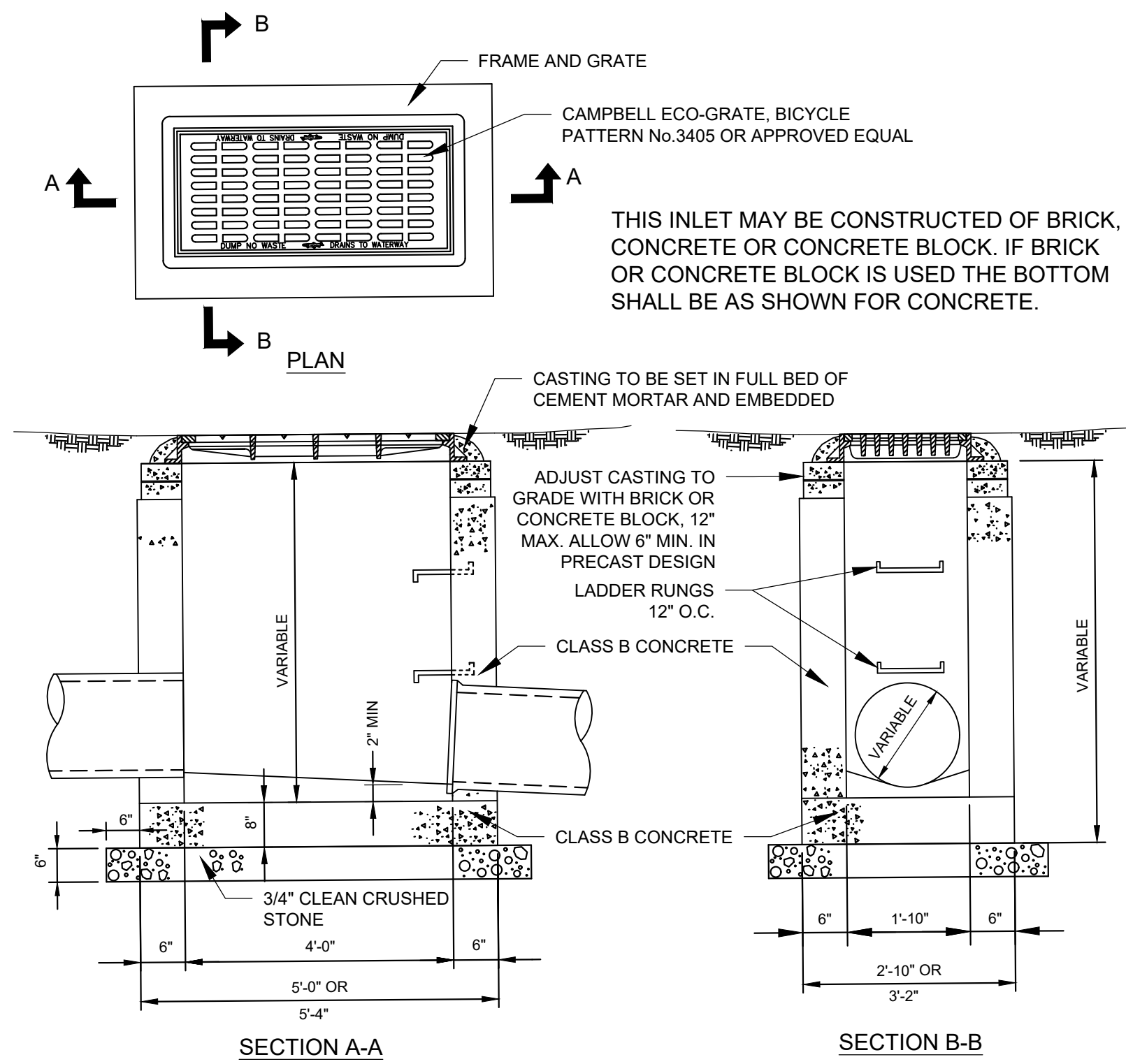
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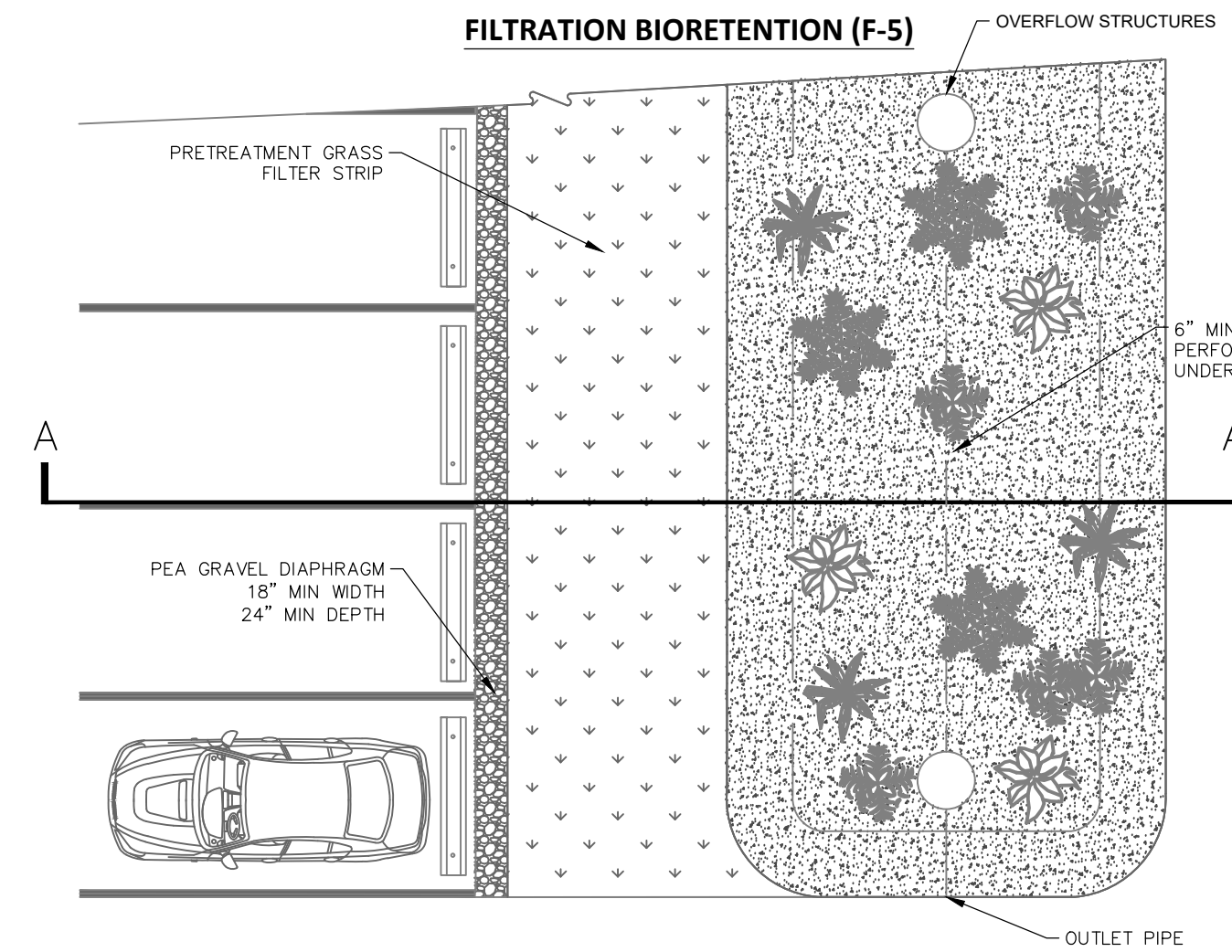
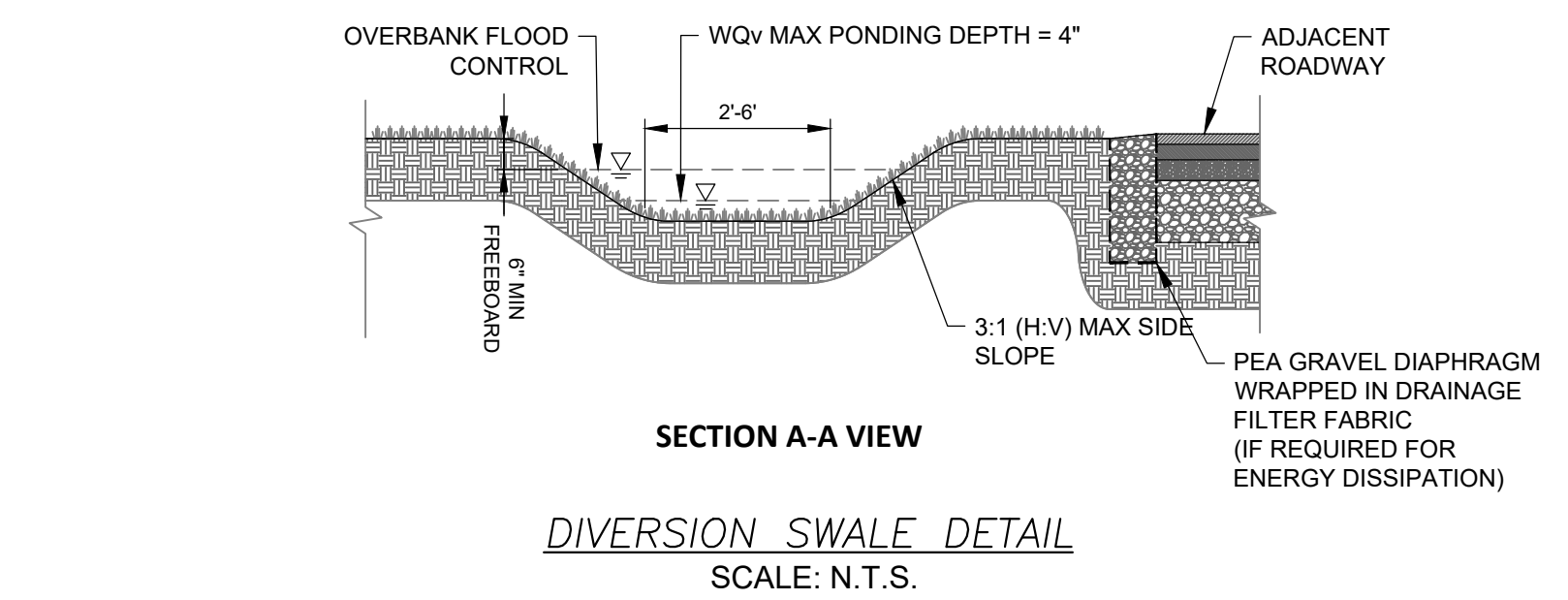
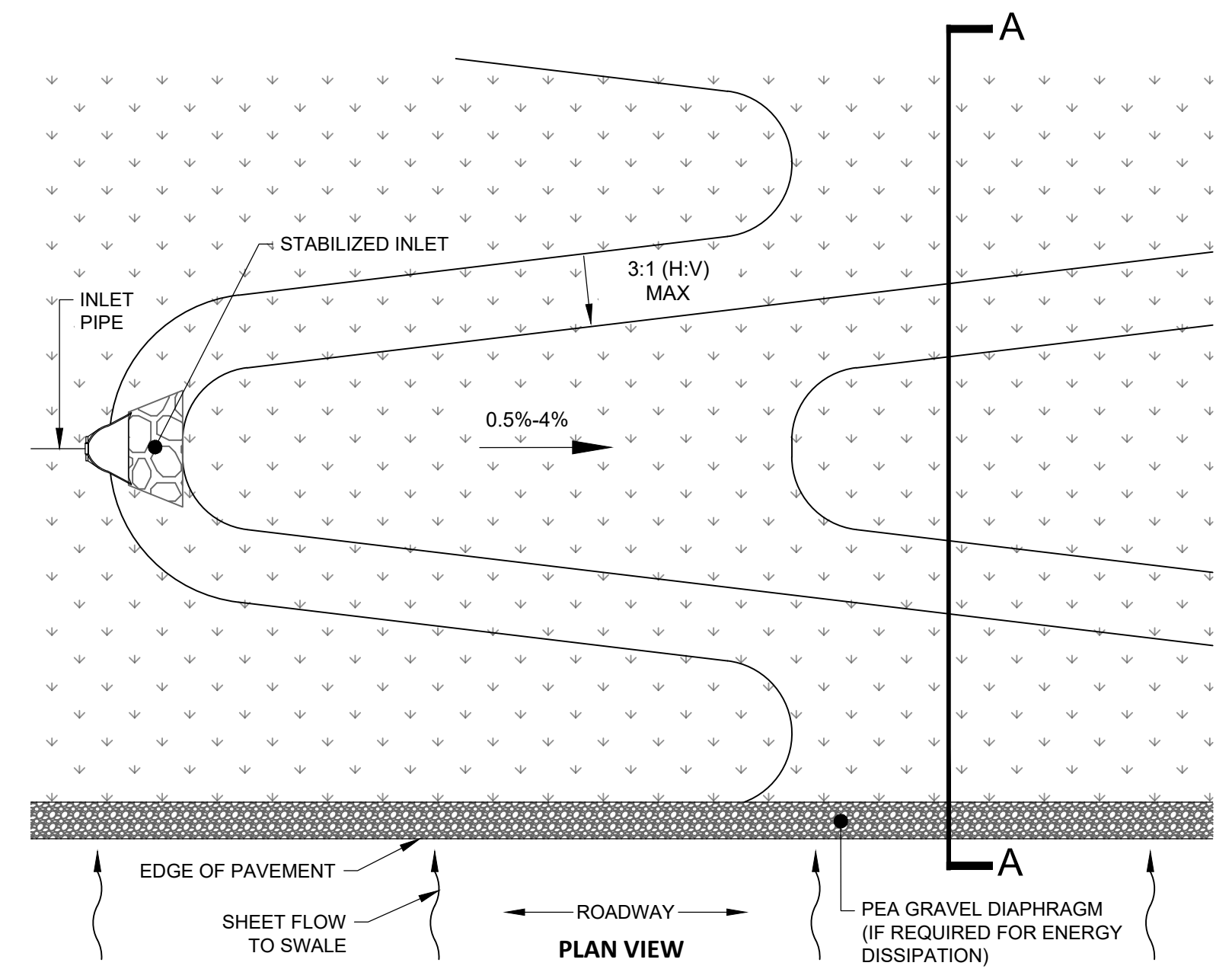
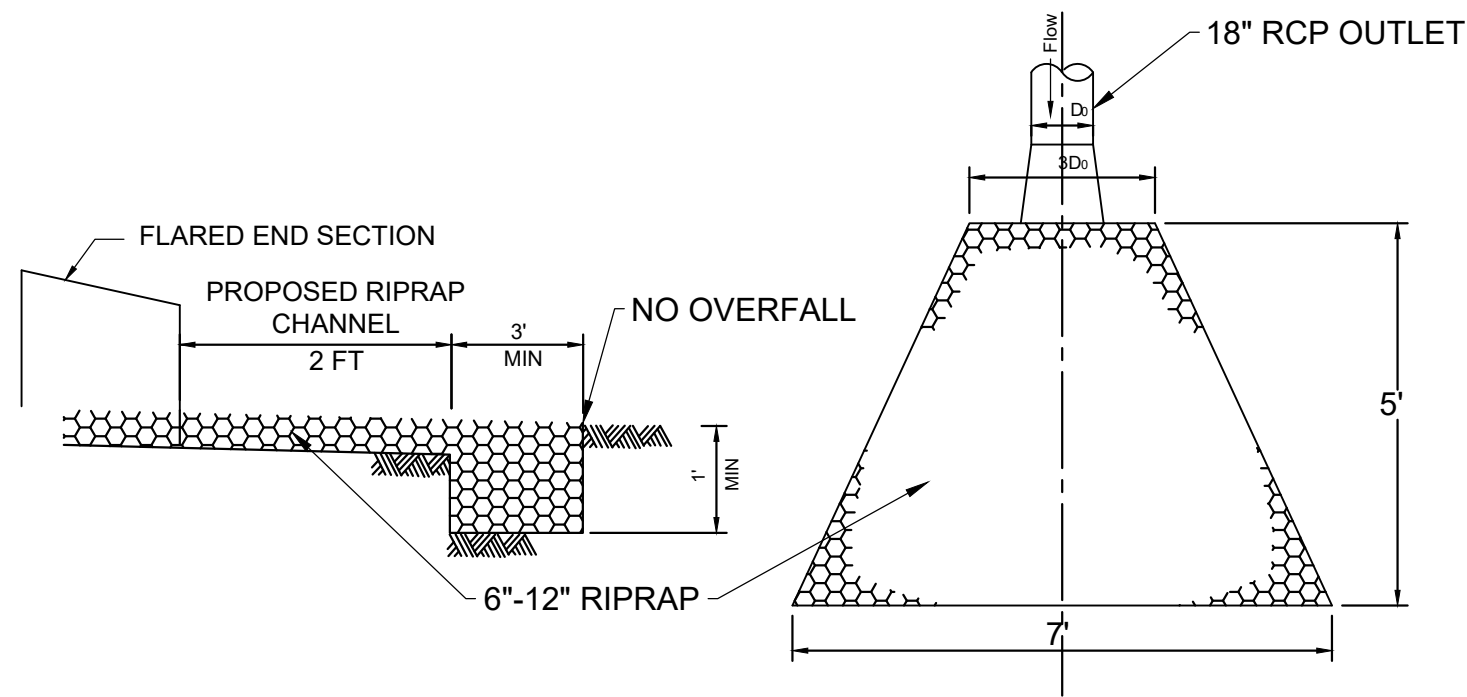
FOR REVIEW

SHEET TITLE:	STORMWATER MANAGMENT PLAN
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025



CATCH BASIN DETAIL
SCALE: N.T.S.



DIVERSION SWALE DETAIL
SCALE: N.T.S.

NOTES:

- BIORETENTION FACILITIES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH "VOLUME 5 - LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT MANUAL" AS PREPARED BY THE METROPOLITAN GOVERNMENT NASHVILLE AND DAVIDSON COUNTY (MWS).
- DRAINAGE AREA TRIBUTARY TO THE BIORETENTION MUST BE FULLY STABILIZED, PRIOR TO CONSTRUCTION OF BIORETENTION AREAS.
- BACK FILLING OF BIORETENTION FACILITY SHALL BE PLACED IN 12" LIFTS.
- PLANTING SOIL MATERIAL SHALL BE USDA SOIL TYPES LOAMY SAND, SANDY LOAM OR LOAM, CONTAINING 60% SAND, LESS THAN 30% SILT, 5 TO 10% ORGANIC MATTER AND LESS THAN 10% CLAY. FINAL MATERIAL SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING CRITERIA:

PH RANGE	5.2-7.0
ORGANIC MATTER	5-10%
MAGNESIUM	35 LB/AC
PHOSPHOROUS P ₂ O ₅	75 LB/AC
POTASSIUM K ₂ O	85 LB/AC
SOLUBLE SALTS	NOT TO EXCEED 500PPM
CEC	> 10 meq/100 mL
- PLANTING SOIL MATERIAL SHALL NOT CONTAIN THE FOLLOWING:
 - UNACCEPTABLE MATERIALS: CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, ASPHALT, BRICKS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAT, ROOFING COMPOUND, ACID, SOLID WASTE, AND OTHER EXTRANEEOUS MATERIALS THAT ARE HARMFUL TO PLANT GROWTH.
 - UNSUITABLE MATERIALS: STONES, ROOTS, PLANTS, SOD, CLAY LUMPS, AND POCKETS OF COARSE SAND THAT EXCEED A COMBINED MAXIMUM OF 5 PERCENT BY DRY WEIGHT OF THE MANUFACTURED SOIL.
 - LARGE MATERIALS: STONES, CLODS, ROOTS, CLAY LUMPS, AND POCKETS OF COARSE SAND EXCEEDING 0.187" (7.76 mm) IN ANY DIMENSION.
 - HARDWOOD MULCH SHALL BE AGED FOR A MINIMUM OF 6 MONTHS, PRIOR TO INSTALL.
 - ROTOTILL 2-3" OF SAND BASE INTO THE BASE OF THE BIORETENTION FACILITY.
 - NON-WOVEN GEOTEXTILE SHALL HAVE FLOW RATE > 100 GAL./MIN./FT SQUARE

REVISION	PLANNING BOARD SUBMISSION
DATE	08/20/2025
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SHEET TITLE:	STORMWATER DETAILS
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

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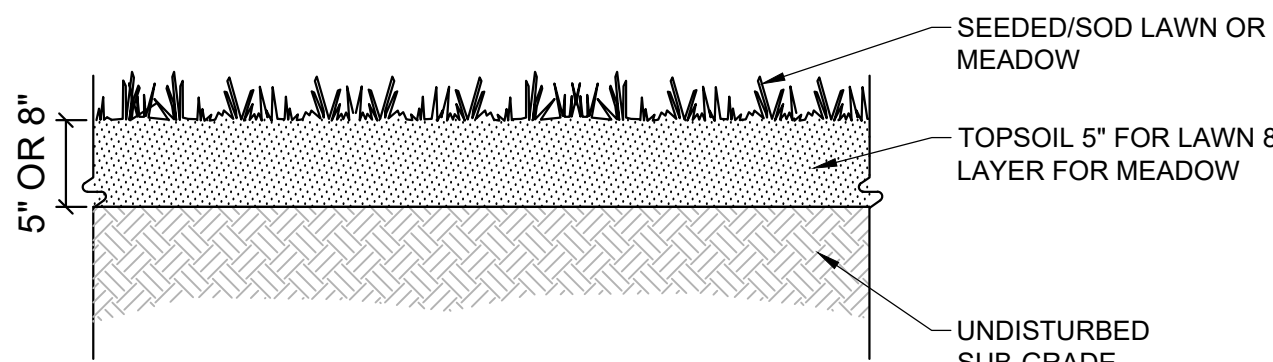
C-5.1
PAGE 9 OF 12



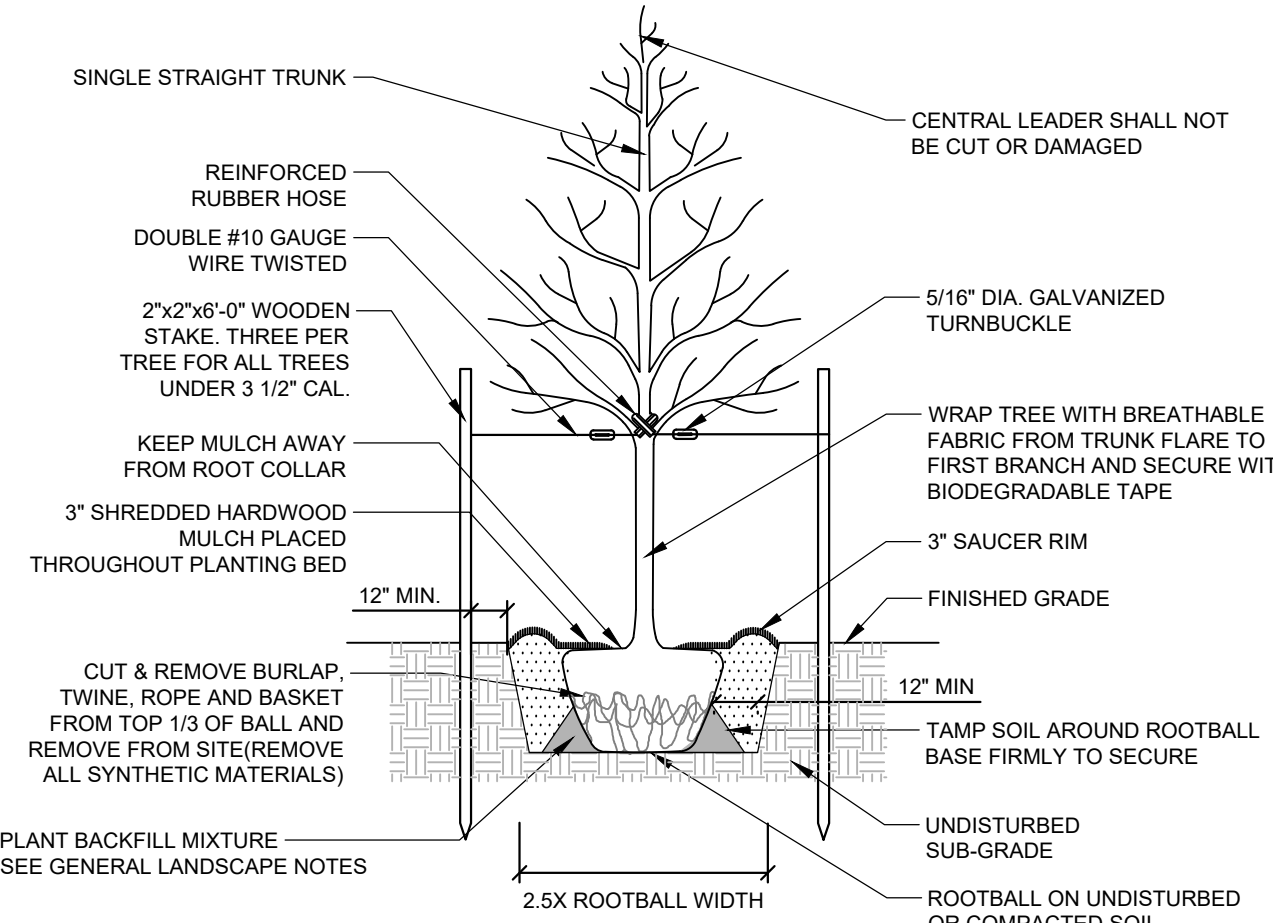
1 LANDSCAPING PLAN
C-6 SCALE: 1"=50'

PLANTING SCHEDULE						
TAG	SYMBOL	BOTANICAL NAME	MIN. SIZE AT PLANTING	MATURE HEIGHT (FT)	MATURE SPREAD (FT)	DESCRIPTION
-	○	QUERCUS PALUSTIS	2 - 2.5" CALIPER	50' - 70'	25' - 40'	15 DECIDUOUS TREE, PIN OAK

- PLANTING:**
- TREES SHALL BE BALLED AND BURLAPPED AND SHALL NOT BE LESS THAN 2 1/2 INCHES CALIPER MEASURED 6 INCHES ABOVE THE TOP OF THE BALL NOR LESS THAN 10 FEET HIGH (IN EXCEPTION TO BLACK TUPELO AND RIVER BIRCH). TREES SHOULD BE NURSERY GROWN AND NURSERY INSPECTION CERTIFICATE SHOULD BE AVAILABLE COVERING ALL TREES.
 - AT THE END OF EACH GROWING PERIOD FOR TWO YEARS, THE CONTRACTOR SHALL REPLACE ANY TREES OR SHRUBS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY OR UNSIGHTLY CONDITION.
 - THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
 - IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
 - PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
 - ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
 - PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
 - SHRUBS AND HEDGES SHALL BE A MINIMUM OF TWO FEET IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING. HEDGES, WHERE REQUIRED, SHALL BE PLANTED AND MAINTAINED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID VISUAL SCREEN WITHIN A MAXIMUM OF ONE YEAR AFTER TIME OF PLANTING.
 - PLANTING DATES:
FALL
AUGUST 15 - DECEMBER 15: EVERGREEN TREES
OCTOBER 15 - DECEMBER 15: DECIDUOUS TREES
SPRING
MARCH 1 - MAY 15: ALL PLANTS



LAWN DETAIL

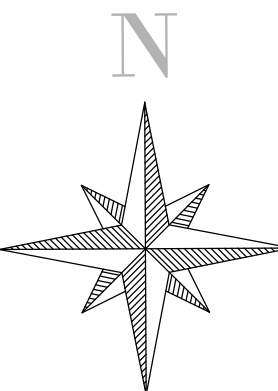


- NOTES:**
- AT PLANTING, PRUNE ONLY CROSSING LIMBS, CO-DOMINANT LEADERS, BROKEN OR DEAD BRANCHES WHILE MAINTAINING NORMAL TREE SHAPE.
 - WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
 - TOP OF ROOTBALL SHALL BE SET FLUSH TO GRADE. TRUNK FLARE SHALL BE VISIBLE AT TOP OF ROOTBALL. DO NOT COVER TOP OF ROOTBALL WITH SOIL.

DECIDUOUS TREE PLANTING

LEGEND

- PROPERTY LINE
SETBACK LINE
2 FT CONTOUR
TREE LINE
CHAIN LINK FENCE
WETLANDS BOUNDARY
STREAM OR BROOK



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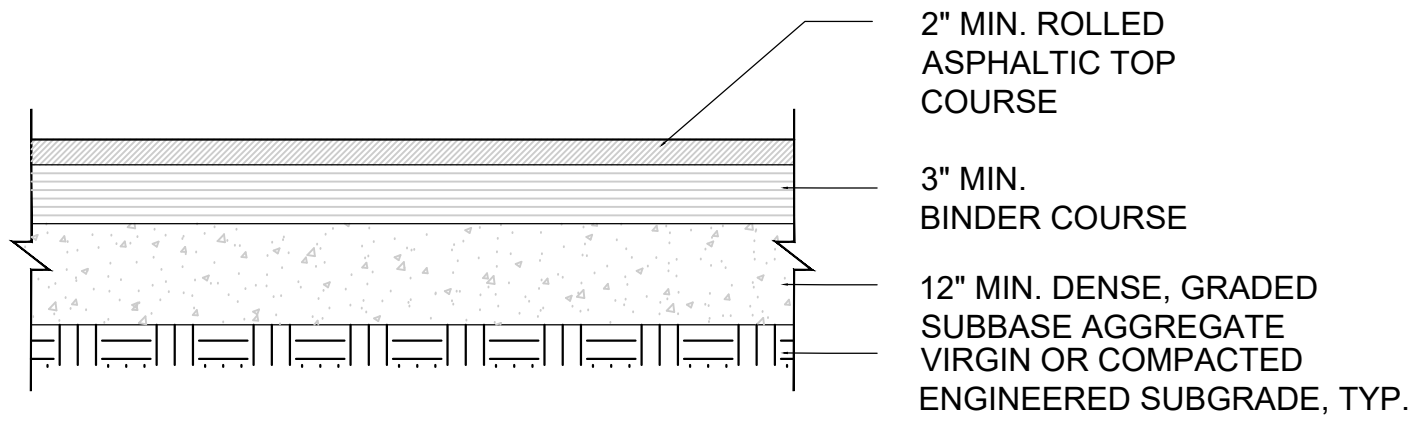
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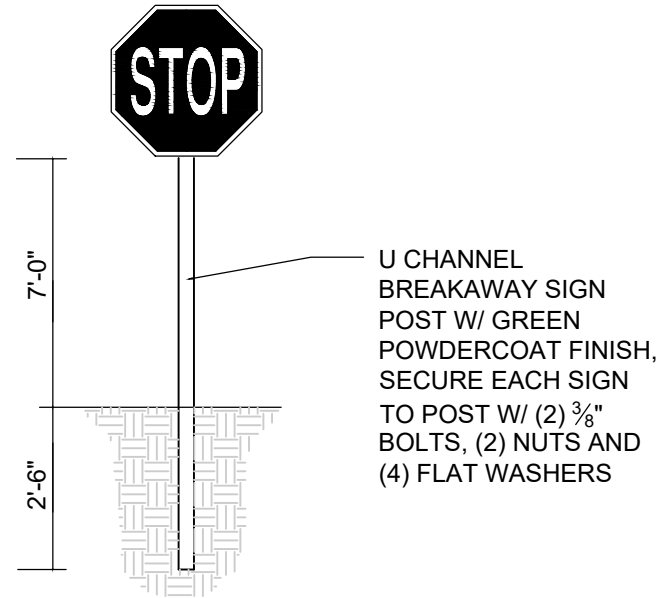
LANDSCAPING PLAN
WELLS ROAD SUBDIVISION
121 WELLS ROAD
NEWBURGH NY 12550
DAVID NIEMOTKO
167 STAGE RD
MONROE NY 10950

SHEET TITLE: LANDSCAPING PLAN
DRAWN BY: J.S.
CHECKED BY: D.N.
JOB #
PLOT DATE: 08/20/2025

SHEET No.
C-6
PAGE 10 OF 12



DRIVEWAY PAVEMENT DESIGN
SCALE: NTS



TYPICAL SIGN DETAILS
SCALE: NTS

- NOTES:
1. BOTTOM OF SIGN SHALL BE AT LEAST 6'-8" ABOVE PAVEMENT SURFACE U.O.N.
 2. ALL SIGNS TO BE MOUNTED ON NEW POSTS.
 3. SEE SHEET C-7 FOR REQUIRED OCDPW SIGNAGE AND SIGN POST DETAILS

SIGN SYMBOL	SIGN LAYOUT	SIGN COLORS	NEW SIGNS REQUIRED	NEW OR RELOCATED
(A)		WHITE ON RED	1	INSTALL 1 NEW SIGN

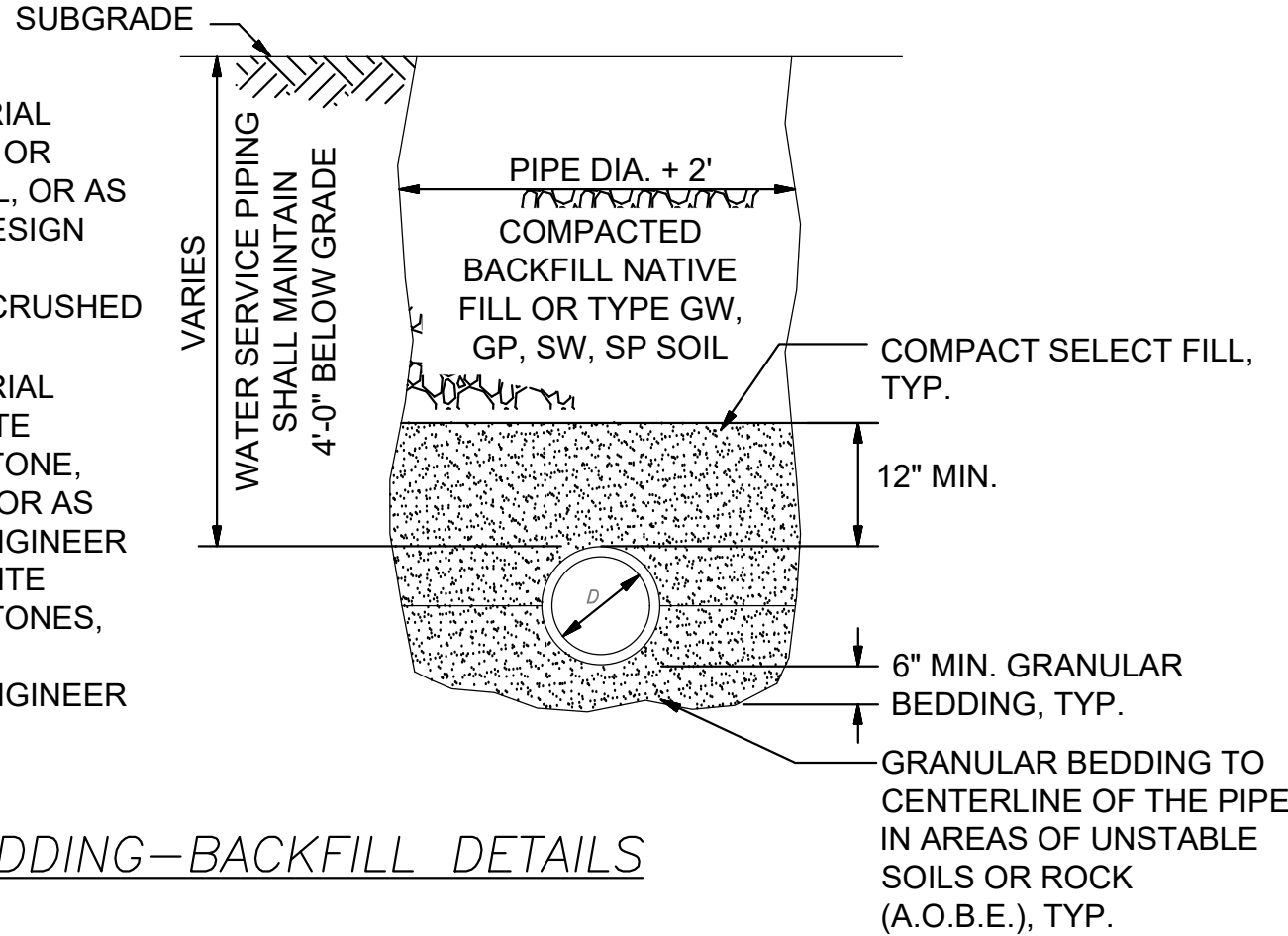
BACKFILL NOTES

PIPE ZONE BEDDING MATERIAL

1. WATER MAINS - SAND OR RUN-OF-BANK GRAVEL, OR AS APPROVED BY THE DESIGN PROFESSIONAL
2. STORM SEWER - 1/4" CRUSHED STONE

PIPE ZONE BACKFILL MATERIAL

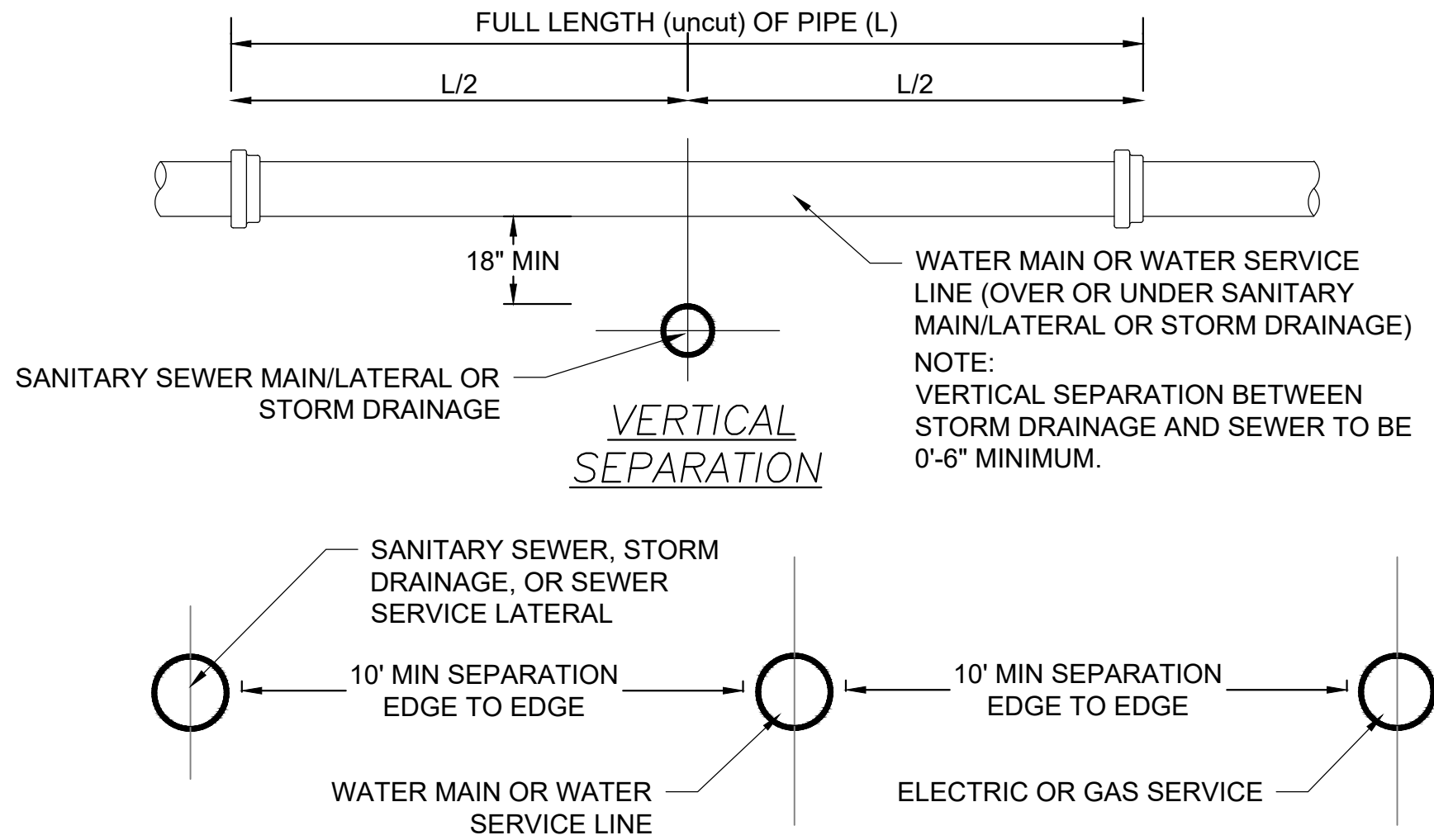
1. WATER MAINS - ON SITE MATERIAL FREE OF STONE, IMPORTED FILL SAND OR AS APPROVED BY THE ENGINEER
2. STORM SEWER - ON SITE MATERIAL FREE OF STONES, IMPORTED FILL OR AS APPROVED BY THE ENGINEER



PIPE BEDDING-BACKFILL DETAILS
SCALE: NTS

NOTES:

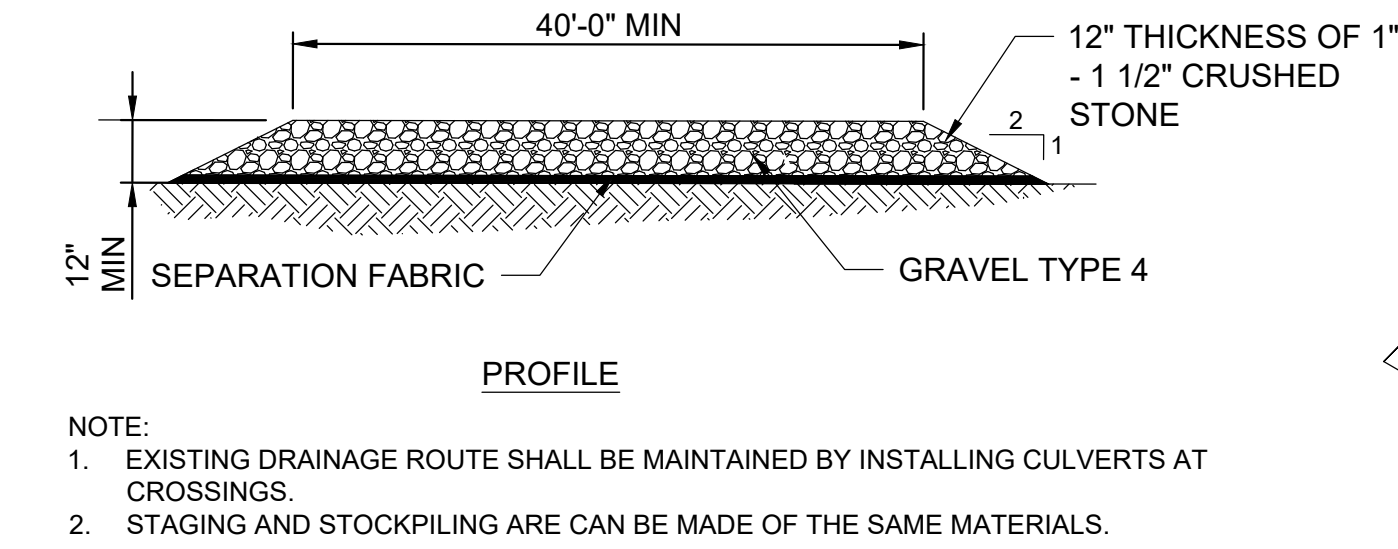
1. TRENCH SIDE SLOPE STABILIZATION AND JOB SAFETY ARE THE RESPONSIBILITY OF THE CONTRACTOR. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



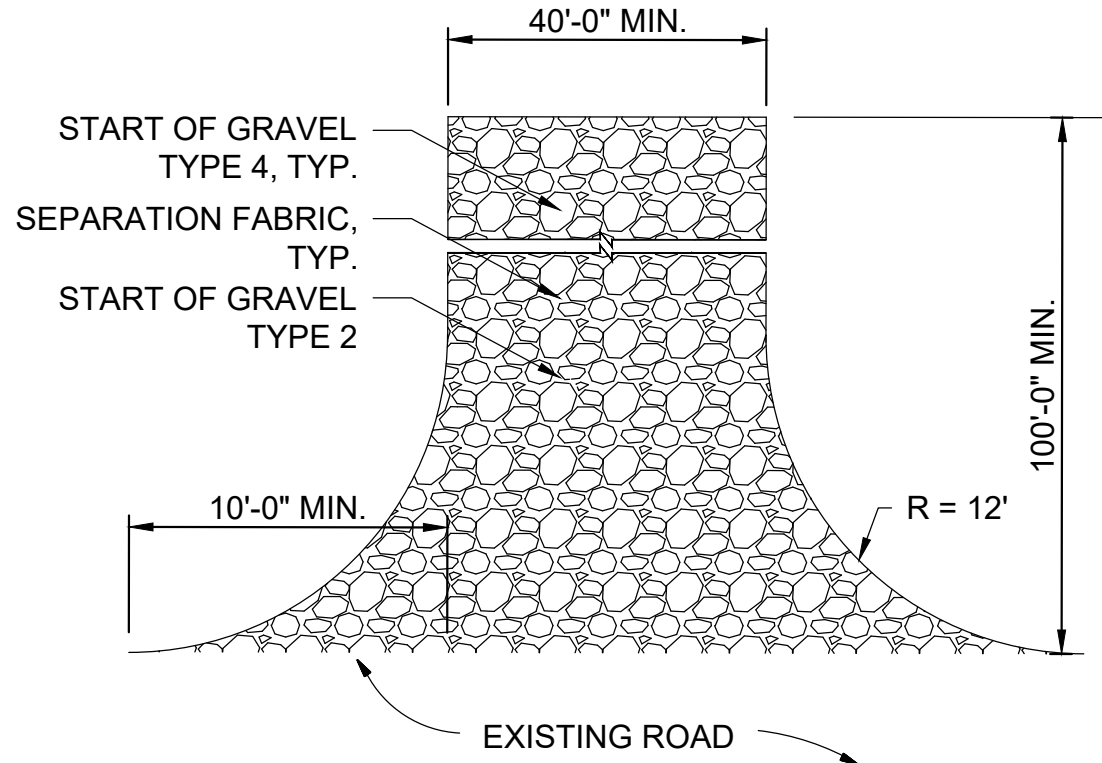
NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

SANITARY SEWER/WATER/STORM DRAINAGE SEPARATION REQUIREMENTS

SCALE: NTS



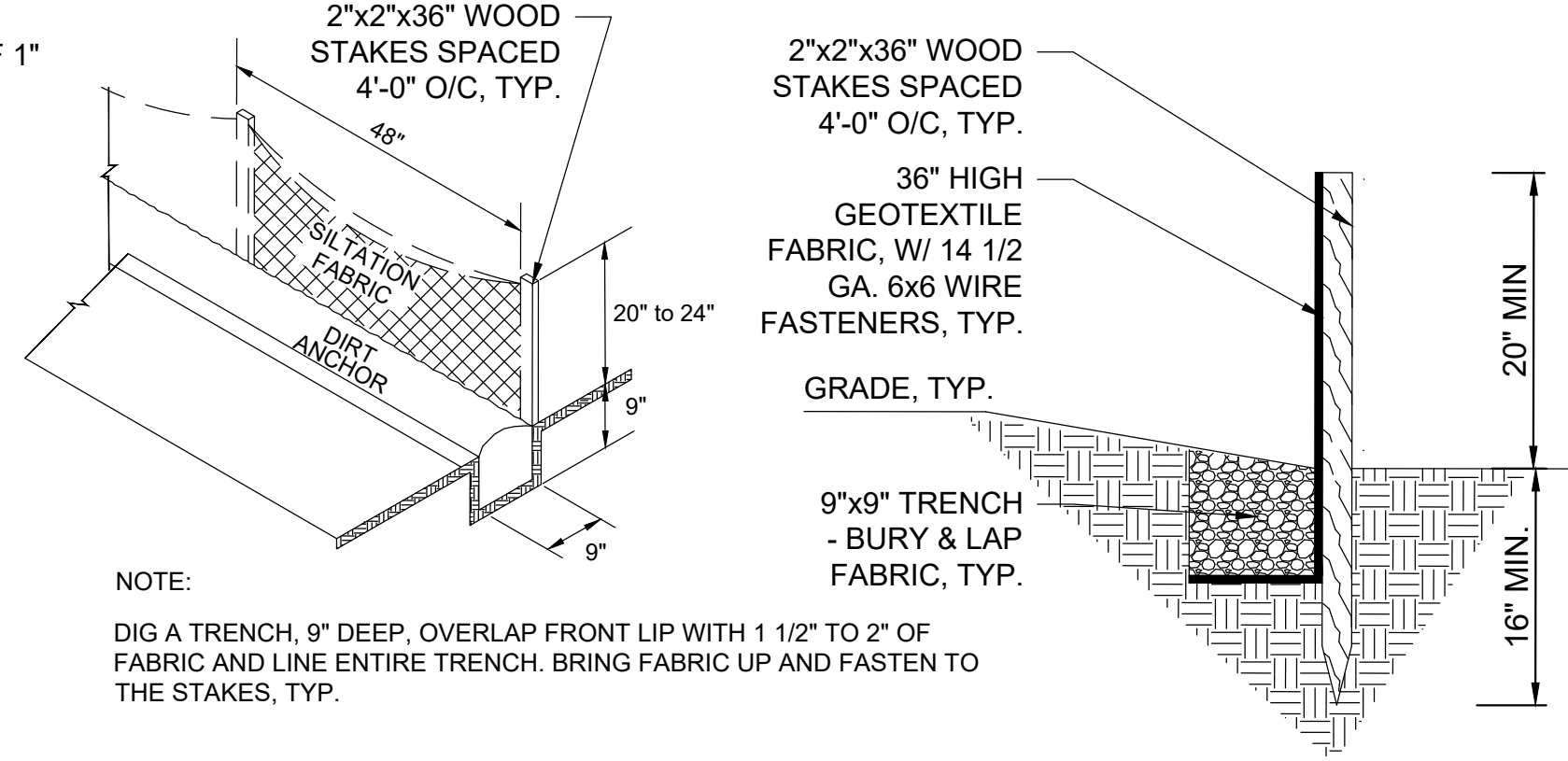
- NOTE:
1. EXISTING DRAINAGE ROUTE SHALL BE MAINTAINED BY INSTALLING CULVERTS AT CROSSINGS.
 2. STAGING AND STOCKPILING ARE CAN BE MADE OF THE SAME MATERIALS.



STABILIZED CONSTRUCTION ENTRANCE & STAGING AREA
SCALE: NTS

NOTES

1. ENTRANCE TO BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO THE PUBLIC ROAD OR R.O.W.
2. SPILLED OR DROPPED SEDIMENT TO BE REMOVED IMMEDIATELY.
3. A CRUSHED STONE, VEHICLE WHEEL CLEANING AREA SHALL BE INSTALLED WHERE THE CONSTRUCTION ACCESS ROAD INTERSECTS A PUBLIC ROAD. THE AREA SHALL BE COMPOSED OF CRUSHED STONE WITH A FILTER FABRIC UNDERNEATH THE ENTIRE AREA. SEE PLAN FOR DIMENSIONS.
4. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL PIPED UNDERNEATH WITH MOUNTABLE BERMS ALONGSIDE.

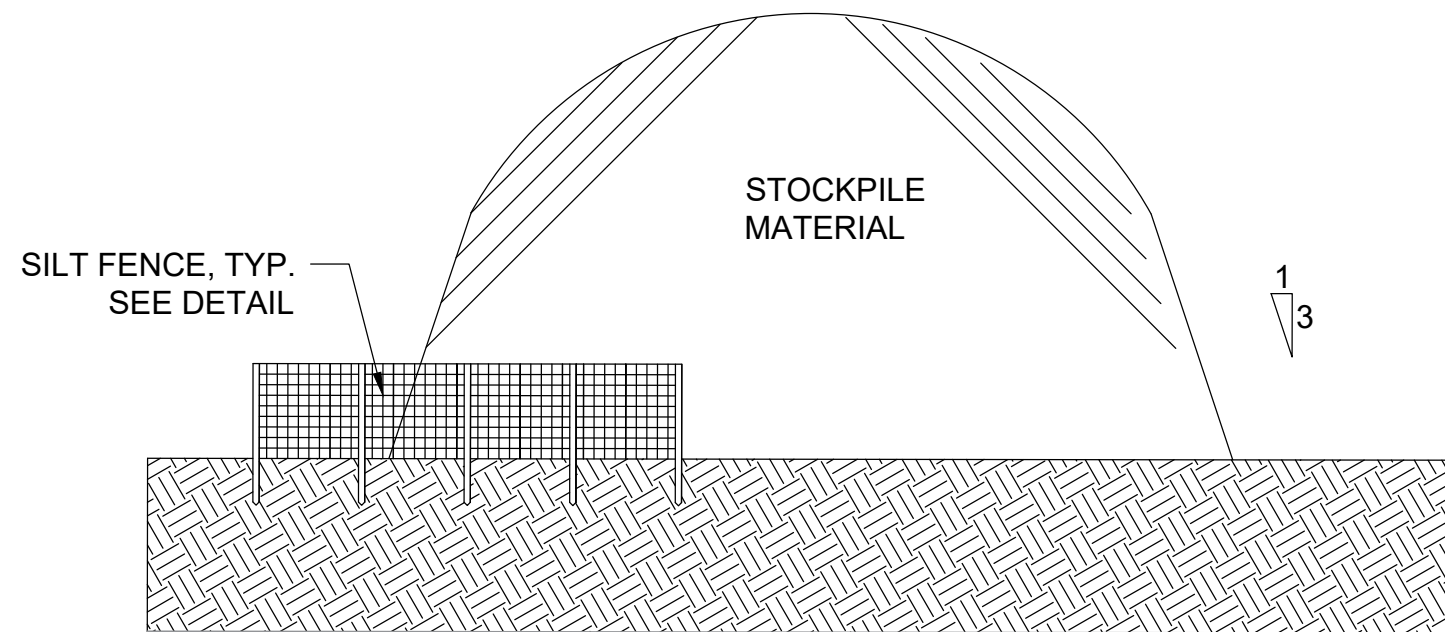


NOTE:
DIG A TRENCH, 9" DEEP. OVERLAP FRONT LIP WITH 1 1/2" TO 2" OF FABRIC AND LINE ENTIRE TRENCH. BRING FABRIC UP AND FASTEN TO THE STAKES, TYP.

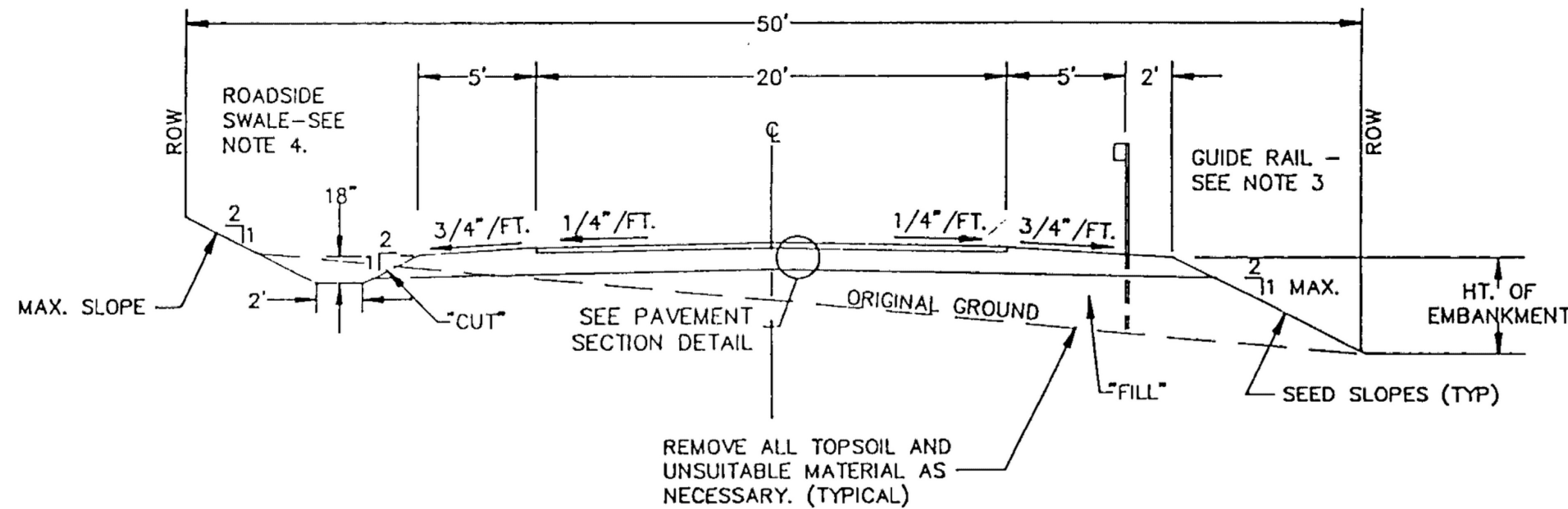
SILT FENCE DETAIL
SCALE: NTS

NOTES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 12" O/C AT TOP AND MID SECTION.
3. ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
4. ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND/OR MUNICIPAL ENGINEER.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP ALONG THE SILT FENCE.
6. THE MAXIMUM TRIBUTARY DRAINAGE AREA FOR THE OVER FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 L.F. OF FENCE.
7. MIRAFI 100X OR APPROVED EQUAL.

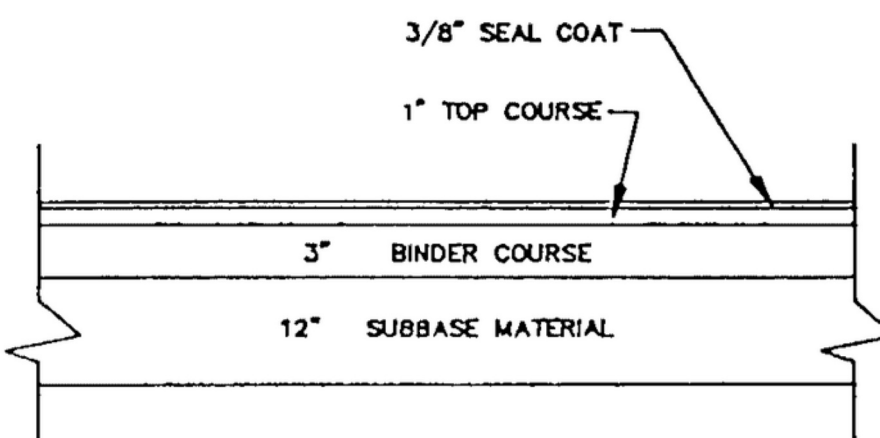


TYPICAL STOCKPILE DETAIL
SCALE: NTS



NOTES:

1. REFER TO SECTION 14 "CONSTRUCTION SPECIFICATIONS" FOR ALL PAVEMENT AND SUBBASE REQUIREMENTS.
2. LIGHTPOLES, WHEN REQUIRED WILL BE LOCATED AS DIRECTED BY THE TOWN ENGINEER AND TOWN SUPERINTENDENT OF HIGHWAYS.
3. GUIDERAIL IS TO BE INSTALLED IN ACCORDANCE WITH NYSDDOT SPECIFICATIONS AND SECTION 15A OF THESE SPECIFICATIONS.
4. ALL ROADSIDE SWALES 6X OR GREATER IN SLOPE ARE TO BE PAVED WITH 3" BINDER COURSE OVER 8" SUBBASE MATERIAL



PAVEMENT SECTION DETAIL
NO SCALE

TOWN OF NEWBURGH
ROAD SPECIFICATIONS
RESIDENTIAL ROAD
LOCAL OR MINOR

SCALE: NONE
DATE:
DR.BY: AB CK.BY:
SHEET 1 OF 1



David Niemotko Architect

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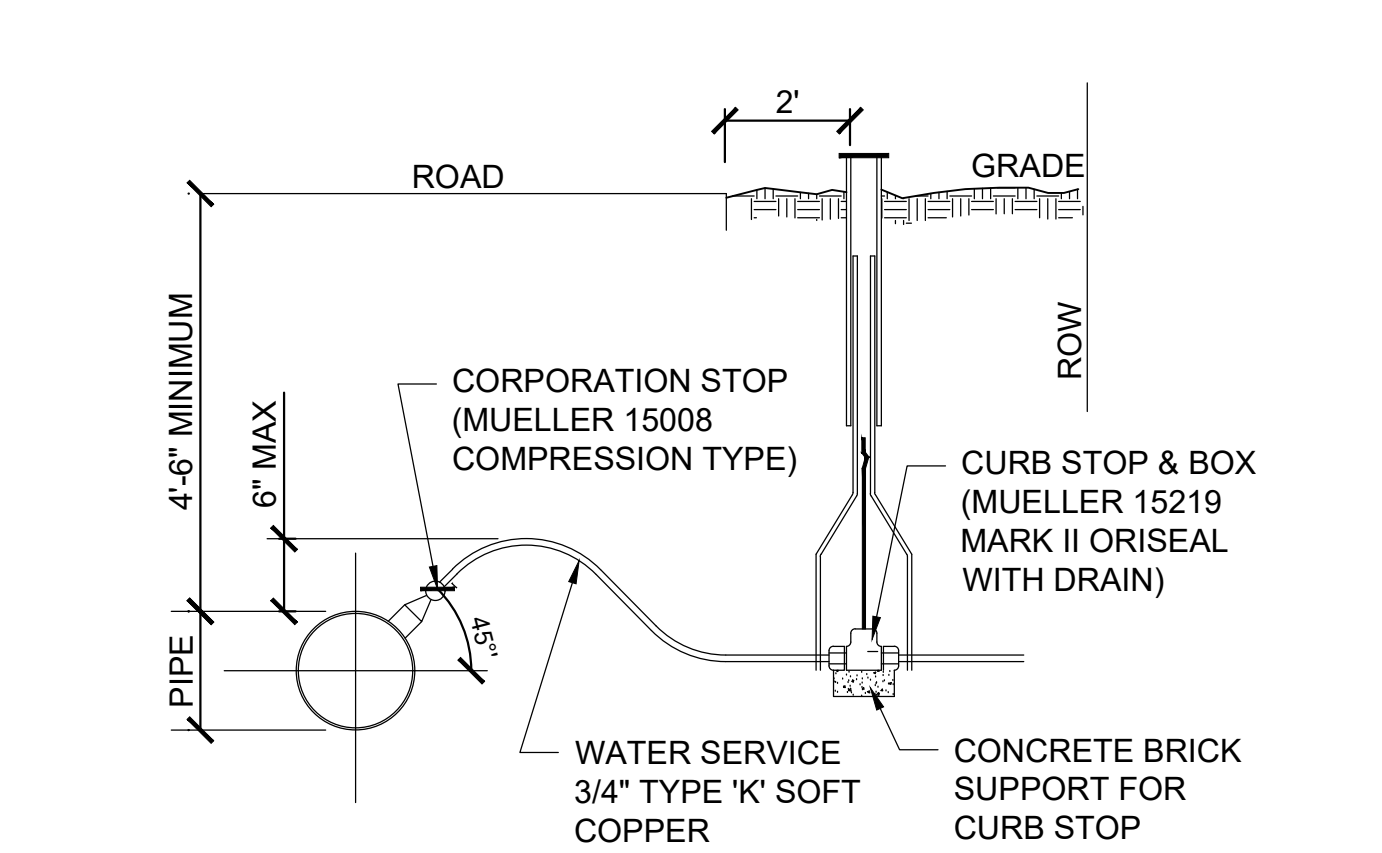
CONSTRUCTION DETAILS

WELLS ROAD SUBDIVISION
121 WELLS ROAD
NEWBURGH NY 12550
DAVID NIEMOTKO
167 STAGE RD
MONROE NY 10950

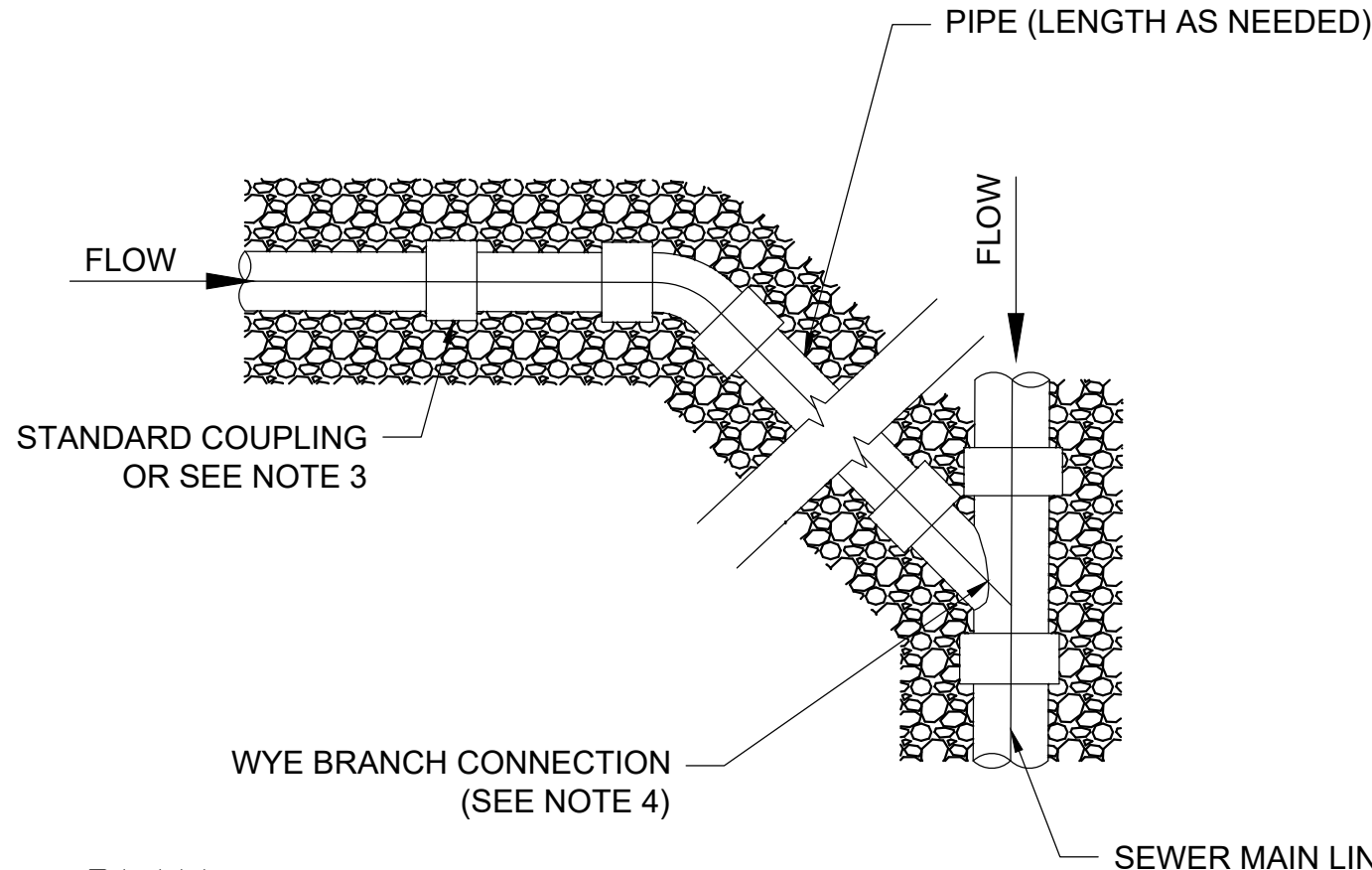
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DRAWN BY: J.S.
CHECKED BY: D.N.
JOB #
PLOT DATE: 08/20/2025

SHEET No.

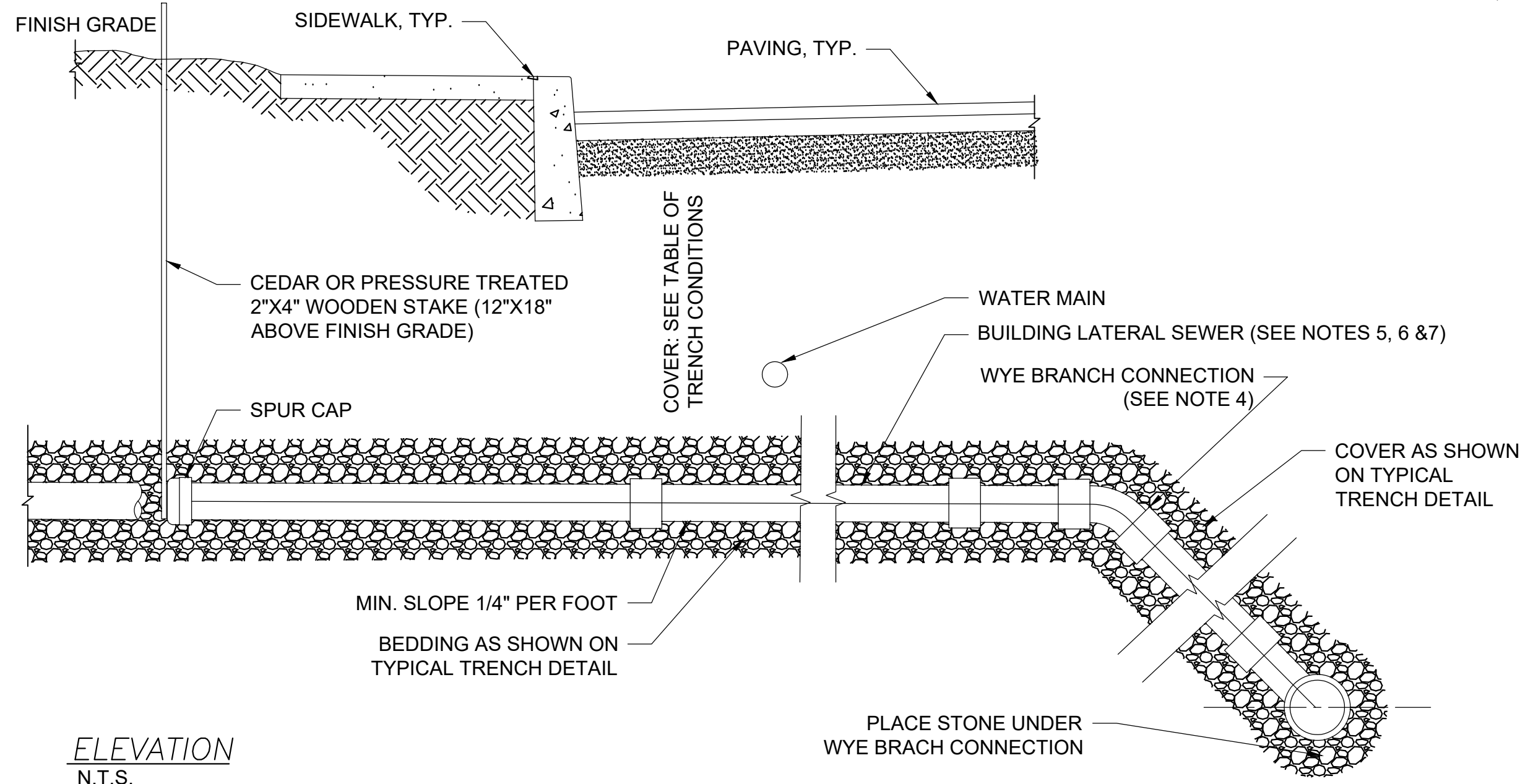
C-7



TYPICAL WATER SERVICE DETAIL
SCALE N.T.S.



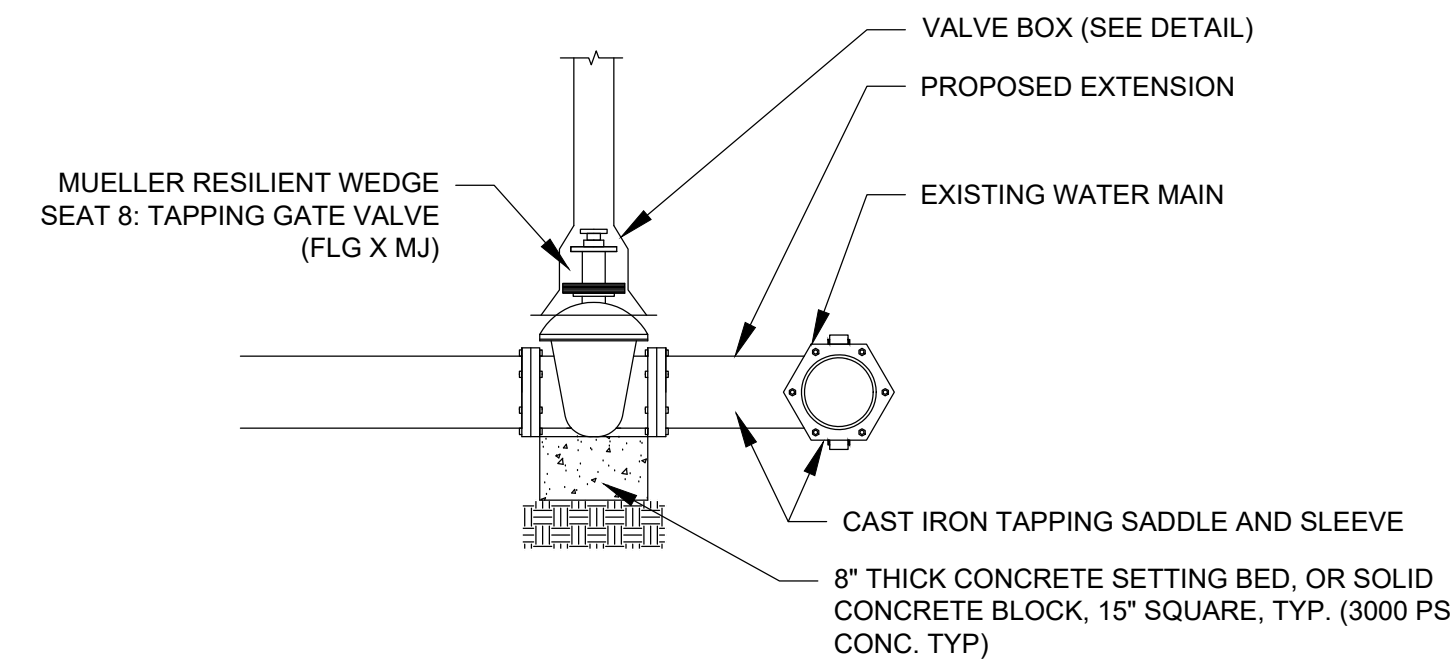
PLAN
N.T.S.



ELEVATION
N.T.S.

GRAVITY SEWER MAIN CONNECTION DETAIL

- NOTES:
1. ALL APPROVED BUILDING LATERAL SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 2. MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0". IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ONTO ALL BUILDING LOT PROPERTIES.
 3. TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).
 4. WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
 5. THE BUILDINGS LATERAL SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR ii) BUILDING LATERAL SEWER.
 6. 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.

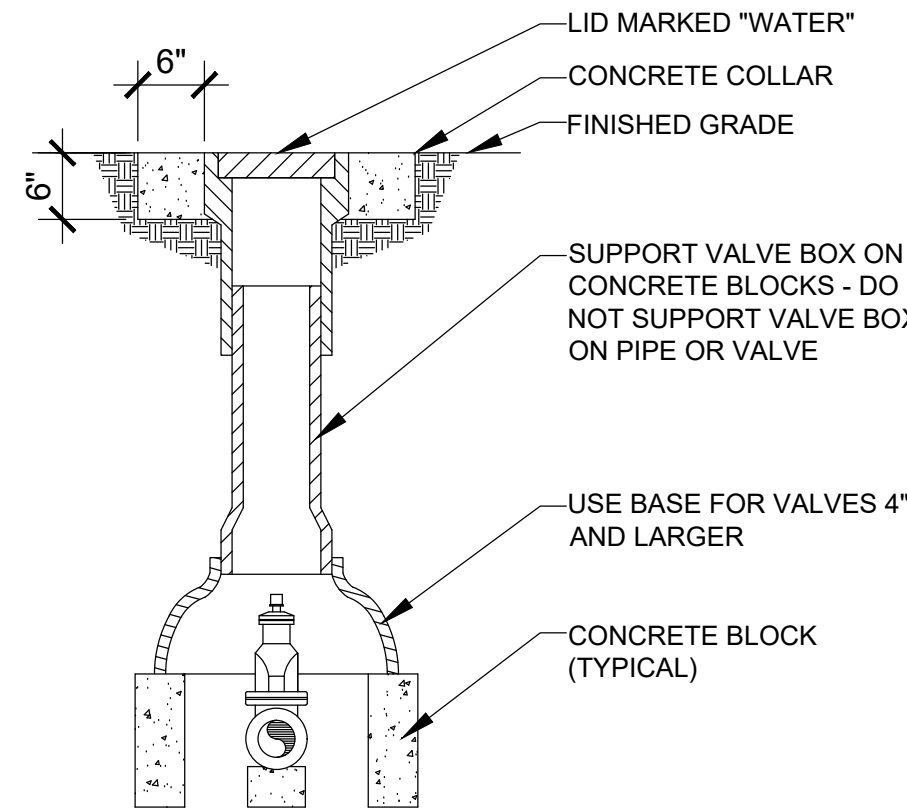


- NOTES:
1. ALL PIPE AND FITTINGS SHALL BE DUCTILE IRON CLASS 52, WITH MECHANICAL JOINTS OR A JOINT ACCEPTABLE TO THE TOWN OF CORNWALL. SILICON BRONZE-SERRATED WEDGES ARE TO BE INSTALLED BETWEEN THE LIP OF THE BELL AND THE PLAIN END OF TYTON JOINT PIPE AT ALL JOINTS.
 2. FIRE HYDRANTS SHALL BE FROM MUELLER SUPER CENTURION, SAFETY TYPE, WITH BREAKABLE RINGS AND DRAIN, AND HAVE ONE FOUR-AND-ONE-HALF-INCH PUMPER CONNECTION AND TWO TWO-AND-ONE-HALF-INCH HOLE CONNECTIONS, OPEN LEFT-CLOSE RIGHT, AND EACH ONE FITTED WITH FIGURE 672X VALVE (FIVE-INCH VALVE OPENING).
 3. ALL VALVES SHALL BE MUELLER AWWA RESILIENT 250 WEDGE SEAT GATE VALVES WITH O-RING SEALS.
 4. CONCRETE BLOCKING SHALL BE INSTALLED AT ALL FIRE HYDRANTS, BENDS AND DEAD ENDS OR RETAINING RODS.

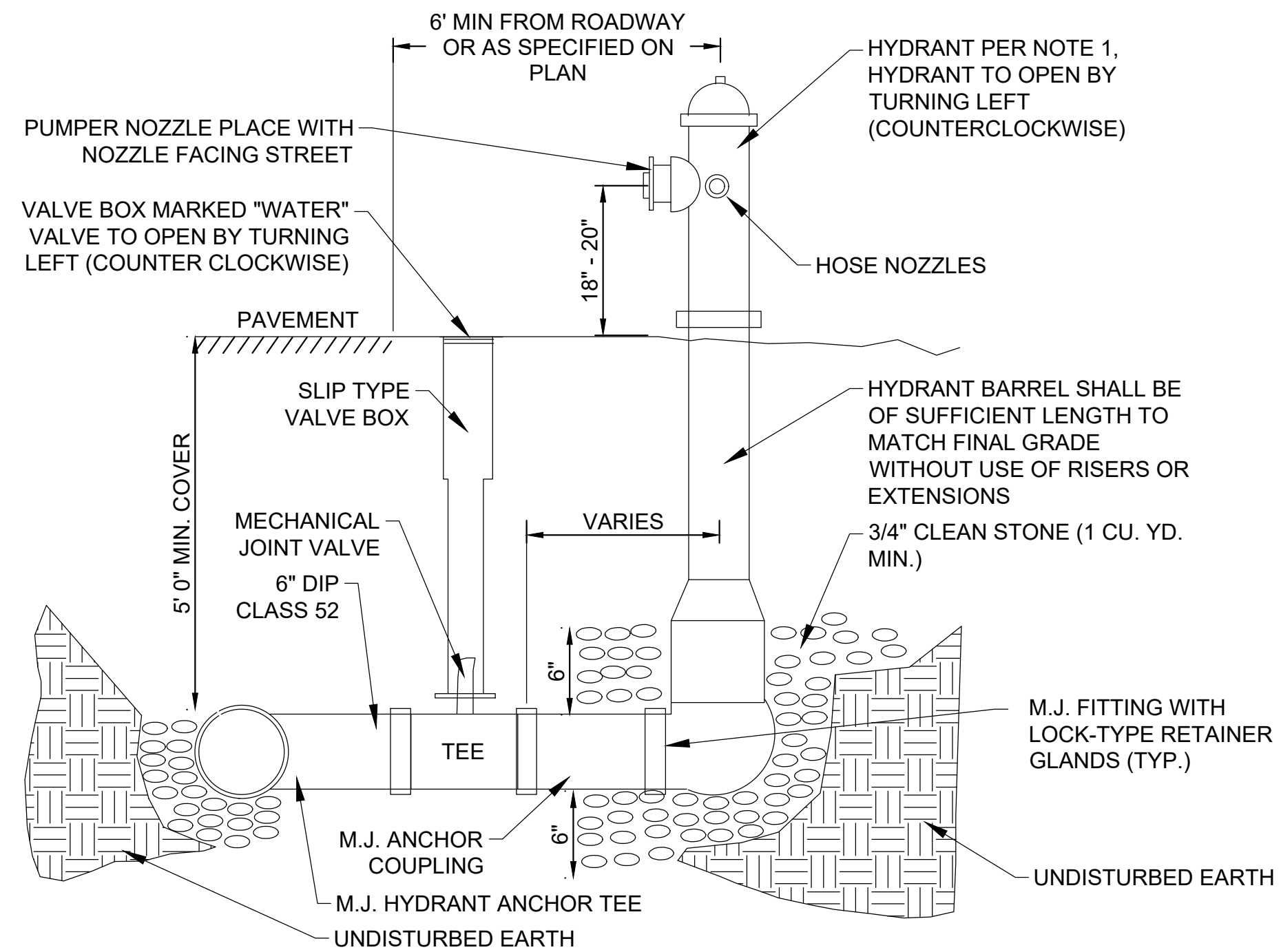
MAIN WET TAP DETAIL
SCALE: NTS

MINIMUM LENGTHS OF REQUIRED PIPE RESTRAINT (FT)												
PIPE SIZE (IN)	HORIZONTAL BENDS				VERTICAL BENDS				VALVES AND CAPS	REDUCERS		TEES
	90°	45°	22 1/2°	11 1/4°	90°	45°	22 1/2°	11 1/4°		SIZE	LENGTH	
6	10	6	4	2	14	10	6	4	20	8X6	9	0
8	10	6	4	2	14	10	6	4	20	8X4	15	0
										8X6	9	
12	16	10	5	3	21	15	10	5	31	8X4	15	0
										12X8	17	
										12X6	23	0

- NOTES:
1. THE REQUIRED LENGTHS OF REQUIRED PIPE RESTRAINT ARE BASED UPON THE FOLLOWING ASSUMPTIONS:
 - 1.A. AVERAGE SOIL CONDITIONS (SAND.)
 - 1.B. DEPTH TO TOP OF PIPE 5' MINIMUM
 - 1.C. TEST PRESSURE OF 150 PSI.
 2. THE RESTRAINT REQUIREMENTS FOR 8" DIAMETER PIPE SHALL ALSO APPLY TO PIPE DIAMETERS LESS THAN 8".
 3. THE LENGTH OF NEW PIPE TO BE RESTRAINED IS THE LENGTH FOR EACH SIDE OF THE FITTING.
 4. FOR BELL AND SPIGOT "PUSH ON" STYLE DUCTILE IRON PIPE, ALL JOINTS ARE TO BE RESTRAINED USING FIELD LOCK GASKETS.
 5. FOR MECHANICAL JOINT DUCTILE IRON FITTINGS, ALL JOINTS ARE TO BE RESTRAINED USING "WEDGE ACTION" RESTRAINING GLANDS.

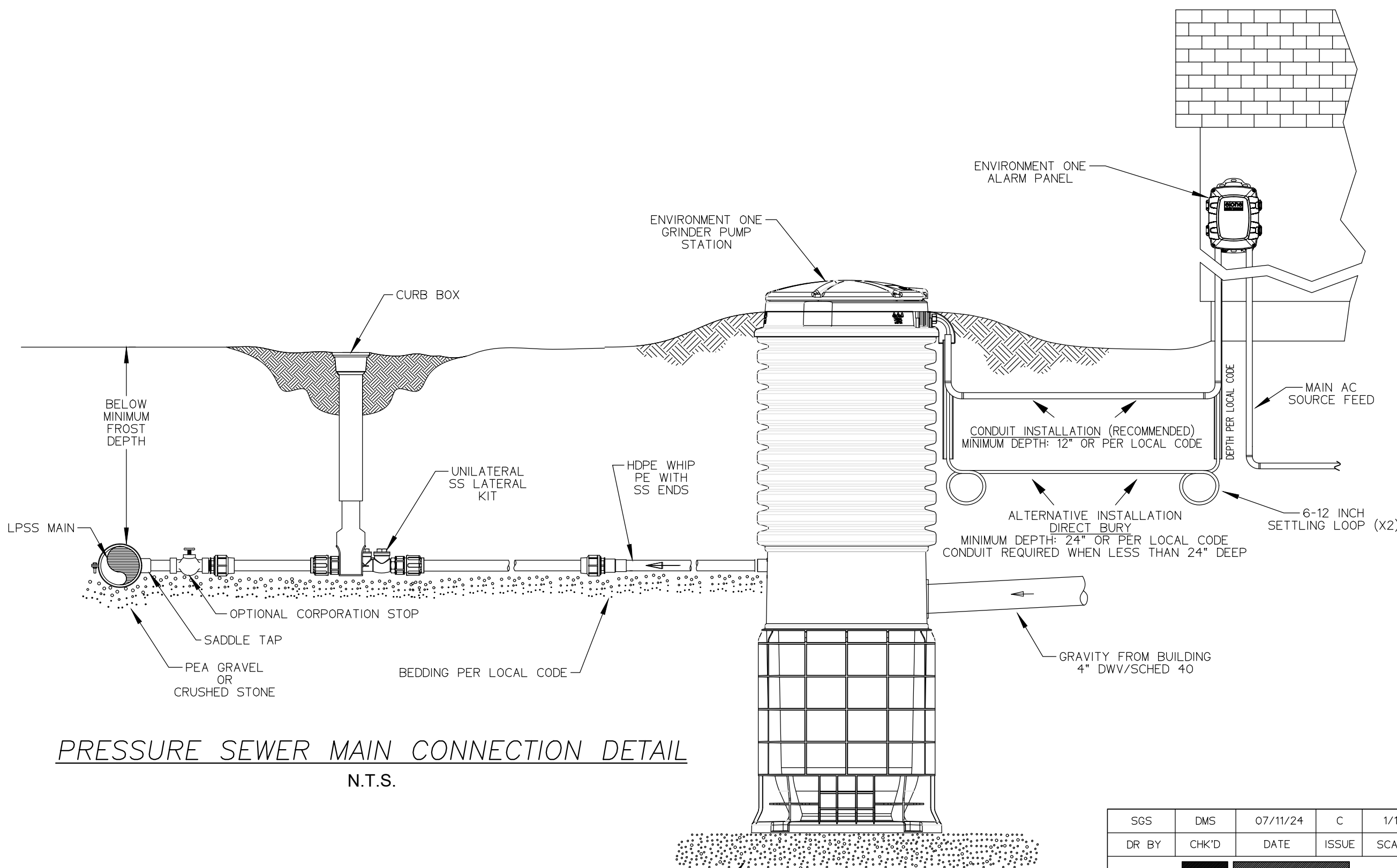


VALVE BOX DETAIL
SCALE: NTS



TYPICAL HYDRANT DETAIL
SCALE: NTS

- NOTES:
1. THE HYDRANT SHALL BE AMERICAN DARLING HYDRANT MODEL NO. 8-62-B-5 OR AS SPECIFIED BY TOWN WITH NATIONAL STANDARD THREAD HOSE NOZZLES AND ONE 4-1/2" NATIONAL STANDARD THREAD PUMPER NOZZLE. NOZZLES SHALL BE FIELD REPLACEABLE. THE HYDRANT SHALL HAVE A MINIMUM VALVE OPENING OF 5-1/4" AND HAVE A MECHANICAL JOINT INLET. HYDRANT SHALL OPEN COUNTERCLOCKWISE (LEFT) AND SHALL BE SO MARKED ON THE HYDRANT BONNET. HYDRANT SHALL BE RATED FOR 250 PSIG WORKING PRESSURE.
 2. RESTRAINING GLANDS AND/OR TIE RODS SHALL BE USED AT ALL LOCATIONS WHERE RESTRAINTS ARE REQUIRED.
 3. IF EVIDENCE OF GROUND WATER IS ENCOUNTERED, HYDRANT DRAIN HOLES SHALL BE PLUGGED.
 4. ALL FIRE HYDRANTS WITH PLUGGED DRAIN HOLE ARE TO BE CONSPICUOUSLY MARKED INDICATING THAT THEY MUST BE PUMPED AFTER USE.
 5. VALVES TO BE SINGLE WEDGE, RESILIENT SEAT TYPE WITH MECHANICAL JOINT FITTINGS. VALVES TO HAVE DUCTILE IRON BODY, BRONZE TRIM NON-RISING STEM WITH 2" SQUARE NUT, VALVE TO OPEN BY TURNING LEFT (COUNTERCLOCKWISE). VALVES TO COMPLY WITH AWWA C-509. VALVES SHALL BE MANUFACTURED BY IS PIPE OR APPROVED EQUAL.



PRESSURE SEWER MAIN CONNECTION DETAIL
N.T.S.

SGS	DMS	07/11/24	C	1/16
DR BY	CHK'D	DATE	ISSUE	SCALE
eone				
SEWER SYSTEMS				
TYPICAL INSTALLATION				
LM000114				

REVISION	DATE	DESCRIPTION
1	08/20/2025	PLANNING BOARD SUBMISSION
2	10/31/2025	PLANNING BOARD SUBMISSION
3	11/25/2025	CCPW SUBMISSION
4	01/21/2026	CCPW SUBMISSION
5	03/16/2026	PLANNING BOARD SUBMISSION



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SHEET TITLE:	CONSTRUCTION DETAILS
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

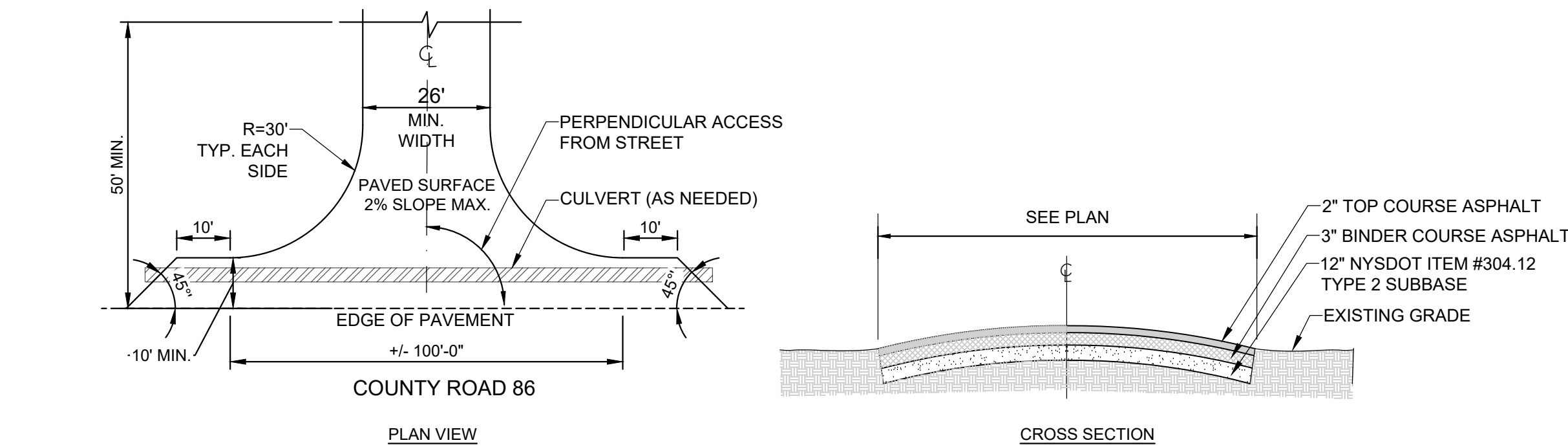
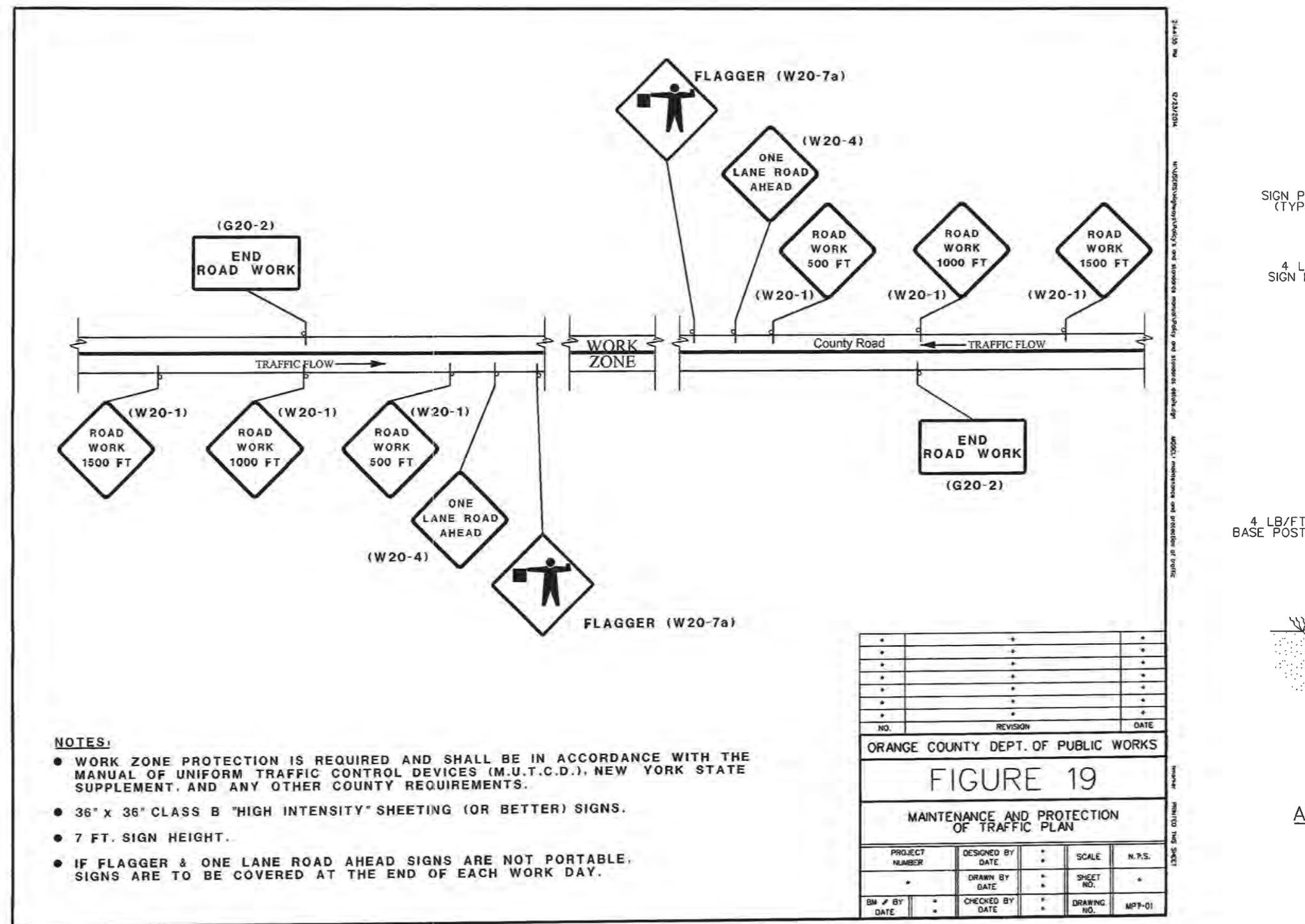
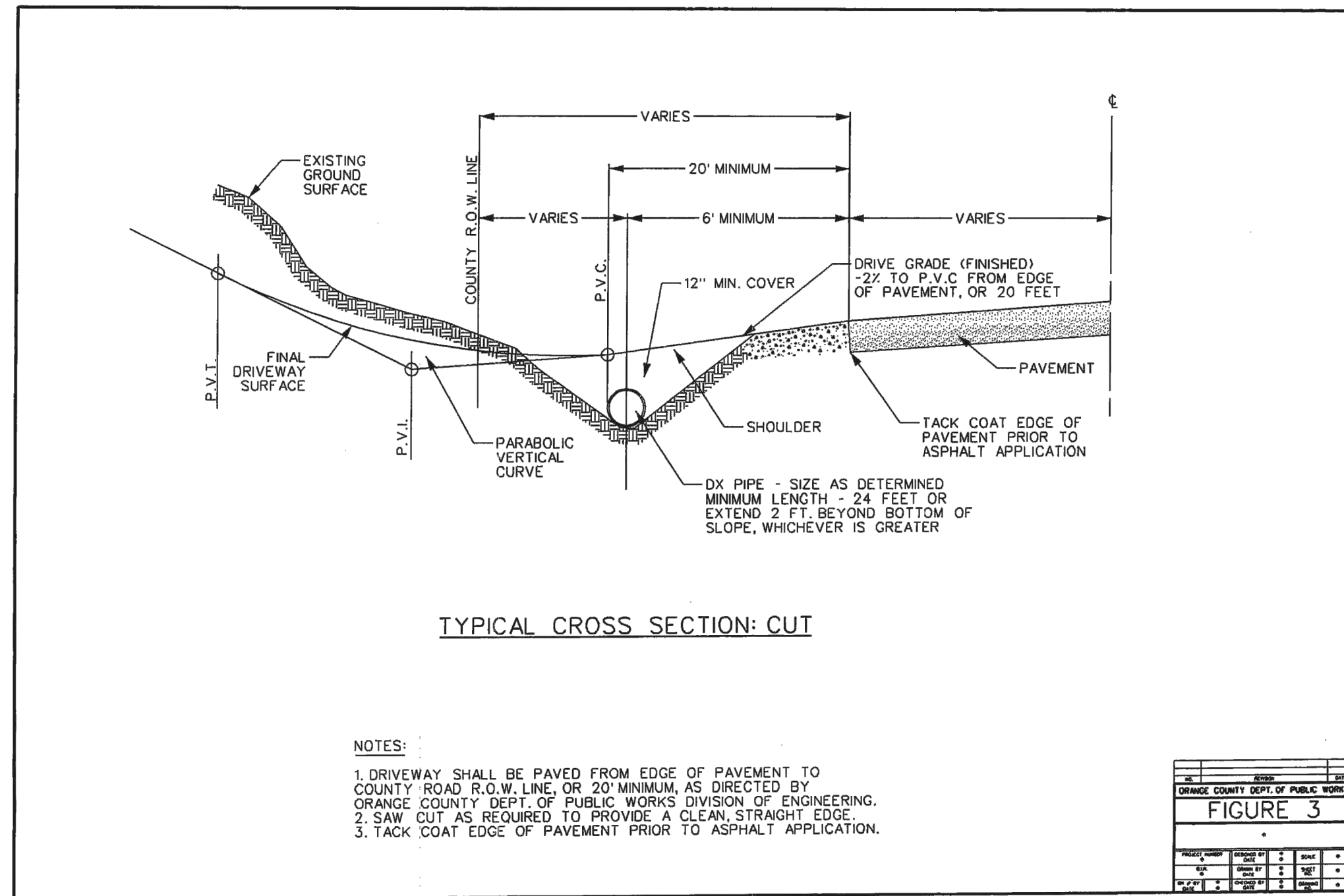
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CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025

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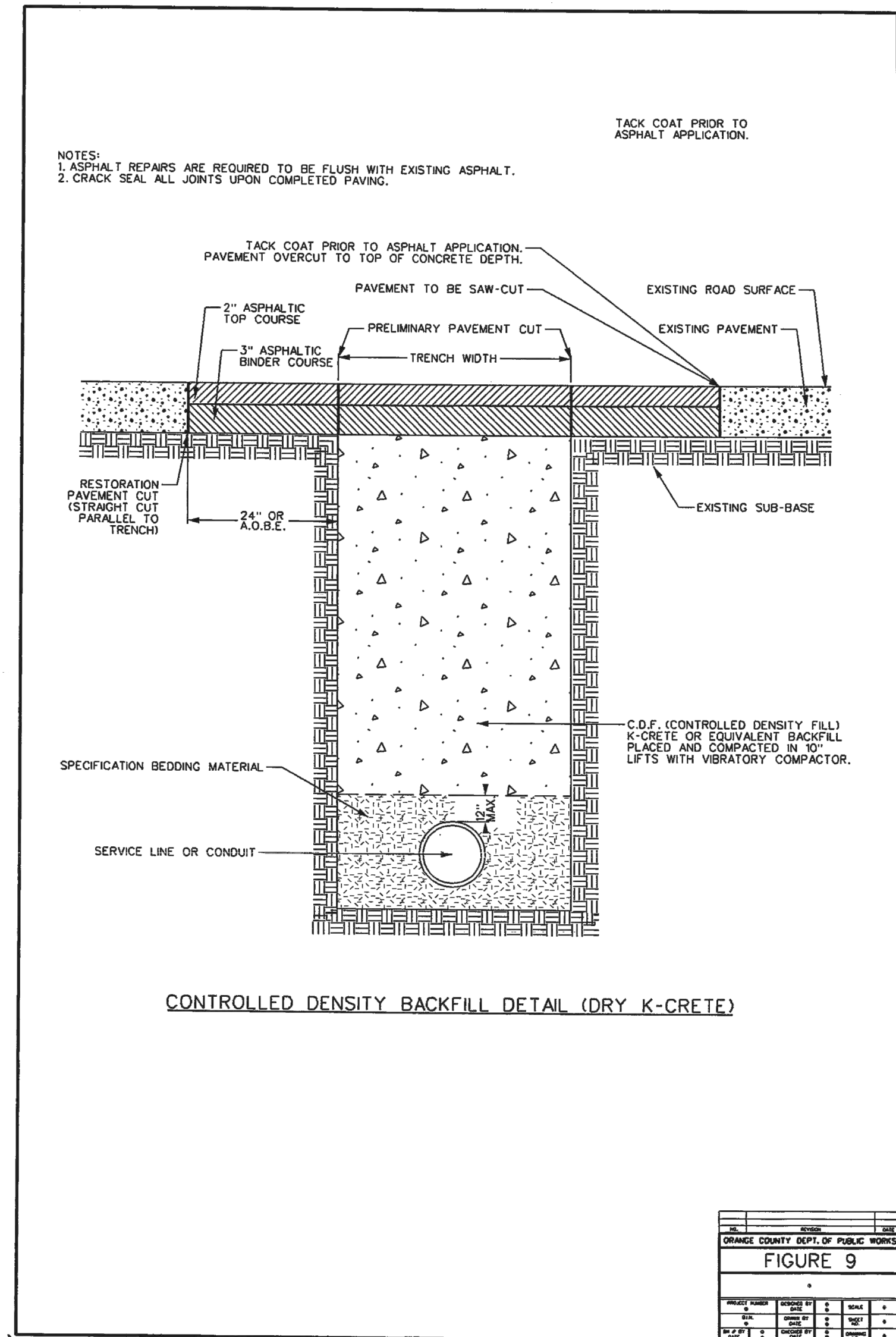
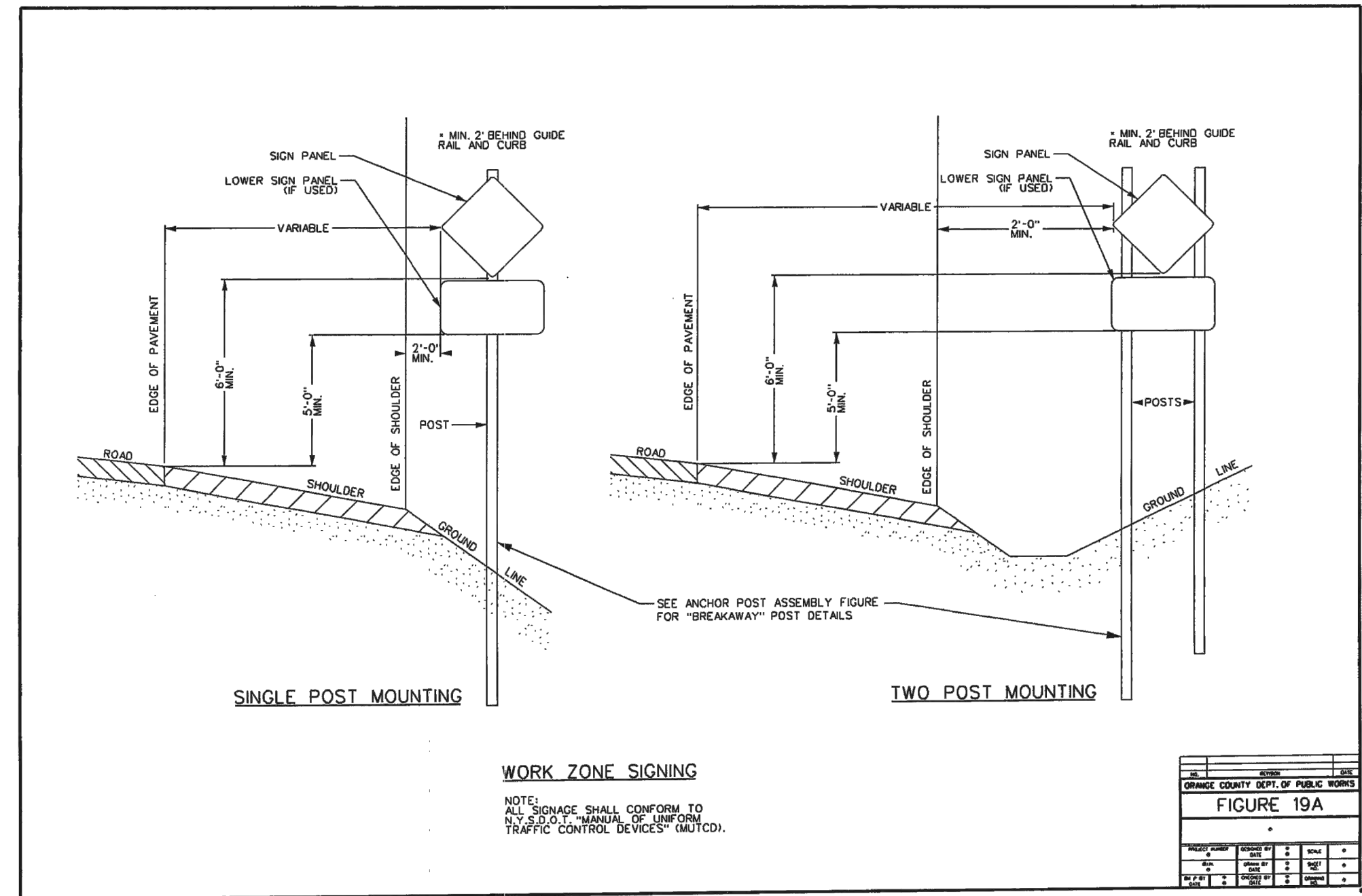
C-7.1

ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD NOTES:

1. NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.
2. NO UTILITY WORK (WATER, SEWER, STORM DRAINAGE) IS ALLOWED TO BE PERFORMED WITHIN THE COUNTY RIGHT-OF-WAY BETWEEN NOVEMBER 15 AND MARCH 15.
3. NO LANE CLOSURES WILL BE PERMITTED BETWEEN 12:00 NOON ON THE DAY PRIOR TO A HOLIDAY AND 10:00 AM ON THE DAY AFTER A HOLIDAY. NO WORK IS PERMITTED ON HOLIDAYS AS PER ORANGE COUNTY'S APPROVED HOLIDAY SCHEDULE.
4. ORANGE COUNTY RESERVES THE RIGHT TO PRECLUDE ALL WORK AND LANE CLOSURES DURING ANY INCLEMENT WEATHER OR OTHER UNFORESEEN CIRCUMSTANCES (I.E. WET, ICY CONDITIONS, REDUCED VISIBILITY, TRAFFIC ACCIDENTS ON STATE, COUNTY, TOWN OR VILLAGE ROADS) OR DURING ANY OTHER EMERGENCIES.
5. NO TRACK EQUIPMENT IS ALLOWED ON THE COUNTY ROAD WITHOUT PLACING MATS, PLYWOOD, TIRES, ETC., TO PROTECT THE ASPHALT ROAD.
6. NO OPEN TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT WITHIN THE COUNTY RIGHT-OF-WAY. ALL TRENCHES ARE REQUIRED TO BE BACKFILLED ON A DAILY BASIS.
7. NO ROAD PLATES ARE ALLOWED TO BE USED OVERNIGHT. ROAD PLATES ARE ONLY ALLOWED TO BE USED DURING DAILY OPERATIONS TO MAINTAIN TRAFFIC THROUGH THE WORK ZONE.
8. OSHA REQUIREMENTS (29 CFR 1926) MUST BE ADHERED TO AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ANY TRENCH OR EXCAVATION THAT IS GREATER THAN FIVE (5) FEET OR WHICH, IN THE OPINION OF THE OCDPW INSPECTOR IN THE FIELD, POSES A DANGER TO THE CONTRACTOR'S PERSONNEL ON THE JOB. THE CONTRACTOR HAS THE OPTION OF USING A PREFABRICATED SHORING SYSTEM, INSTALLING A TIMBER-CONSTRUCTED SYSTEM AS PER OSHA SPECIFICATIONS, OR A TIMBER SYSTEM DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER. NO OTHER SHORING SYSTEM WILL BE APPROVED FOR USE.
9. ALL BACKFILL IS REQUIRED TO BE PLACED AND COMPACTED IN TWELVE (12) INCH LIFTS, MAXIMUM.
10. A MECHANICAL SWEEPER MUST BE AVAILABLE AT ALL TIMES TO SWEEP AND MAINTAIN SAFE ROAD CONDITIONS ON THE COUNTY ROAD. THE ROADWAY SHALL BE SWEEP DAILY OR AS OTHERWISE REQUIRED BY THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS.
11. FOR EXCAVATION WORK, THE FOLLOWING EQUIPMENT IS REQUIRED TO BE ON-SITE AND FULLY OPERATIONAL:
 - A. VIBRATORY TRENCH ROLLER - PRIMARY COMPACTION EQUIPMENT.
 - B. JUMPING JACK COMPACTOR - SECONDARY COMPACTION EQUIPMENT FOR USE IN TIGHT AREAS WHERE THE VIBRATORY TRENCH ROLLER CANNOT BE USED.
 - C. MECHANICAL SWEEPER
 - D. SIDE DUMP LOADER OR SKID STEER (I.E. BOBCAT)
 - E. ASPHALT ROLLERIF ANY OF THE ABOVE EQUIPMENT IS NOT OPERATION, NO EXCAVATION SHALL BE PERFORMED UNTIL ALL EQUIPMENT IS FUNCTIONING PROPERLY.
12. ALL ASPHALT SHALL BE SAW-CUT PRIOR TO REMOVAL. CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE TRENCH OR TO THE EXISTING ASPHALT. RAGGED EDGES ARE NOT ACCEPTABLE AND MUST BE CUT OR RE-CUT PRIOR TO PLACING THE TOP COURSE OR FINAL ASPHALT WILL NOT BE ACCEPTED.
13. ALL DISTURBED PAVEMENT IS REQUIRED TO BE RESTORED ON A DAILY BASIS. ALL TEMPORARY ASPHALT IS REQUIRED TO BE FIVE (5) INCHES THICK AND PLACED IN TWO (2) LIFTS OF TWO AND A HALF (2 1/2) INCHES.
14. THE PERMITTEE, OR THEIR CONTRACTOR, IS RESPONSIBLE FOR MAINTAINING THE TEMPORARY ASPHALT FLUSH WITH THE SURROUNDING EXISTING PAVEMENT SURFACE THROUGHOUT THE DURATION OF THE PROJECT. MAINTENANCE SHALL BE COMPLETED DAILY OR AS OTHERWISE NECESSARY. FINAL ASPHALT RESTORATION IS TO BE COMPLETED AT THE END OF THE PROJECT.
15. ALL EDGES OF EXISTING ASPHALT ARE REQUIRED TO BE SWEEPED AND TACK COATED PRIOR TO PAVING.
16. ALL ASPHALT JOINTS ARE REQUIRED TO BE CRACK SEALED UPON COMPLETING FINAL PAVING.
17. NO PLANTINGS, SIGNS, OR LANDSCAPING FEATURES (TREES, SHRUBS, GATES, FENCES, STONE WALLS, STONE PILLARS, SIGNS, ETC.) SHALL BE PLACED WITHIN ANY COUNTY RIGHT-OF-WAY. NO STONES OR BOULDERS SHALL BE PLACED OR INSTALLED WITHIN ANY COUNTY RIGHT-OF-WAY FOR ANY PURPOSE (I.E. LANDSCAPING FEATURES, RETAINING STRUCTURES, OR TO CREATE A FLARE AT THE END OF A CULVERT).
18. ALL PROPOSED SIGNS, EXCEPT FOR HIGHWAY TRAFFIC SIGNS, ARE REQUIRED TO BE OFFSET FROM THE RIGHT-OF-WAY/FRONT PROPERTY BOUNDARY BY FOUR (4) FEET AND MUST BE FULLY CONTAINED ON PRIVATE PROPERTY. ALL PROPOSED FENCES, WALLS, GATES, AND LANDSCAPING FEATURES ARE REQUIRED TO BE OFFSET BY FIVE (5) FEET FROM THE PROPERTY BOUNDARY AND MUST BE FULLY CONTAINED ON, AND MAINTAINABLE FROM, PRIVATE PROPERTY.
19. ALL REQUIRED RIGHT-OF-WAY MONUMENTATION SHALL BE INSTALLED BY A PROFESSIONAL LAND SURVEYOR LICENSED TO PRACTICE IN THE STATE OF NEW YORK.
20. THE PERMITTEE, OR THEIR CONTRACTOR, IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL SIGNS, GUIDE RAILS, GUIDE POSTS, CULVERT PIPES, MAILBOXES, HEADWALLS, ETC. WHICH MUST BE REMOVED TO FACILITATE CONSTRUCTION. ALL ITEMS REMOVED SHALL BE REINSTALLED ON A DAILY BASIS. ANY ITEMS DAMAGED BY REMOVAL OR REPLACEMENT SHALL BE REPLACED WITH NEW AND REINSTALLED BY THE PERMITTEE.
21. THE PERMITTEE, OR THEIR CONTRACTOR, IS RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH ADJACENT PROPERTY OWNERS, RESIDENTS, AND BUSINESSES TO ENSURE THAT THEY CAN SAFELY ENTER AND EXIT THEIR DRIVEWAYS DURING THE COURSE OF DAY TO DAY OPERATIONS.
22. MAINTENANCE AND PROTECTION OF TRAFFIC IS REQUIRED TO BE PERFORMED IN ACCORDANCE WITH ORANGE COUNTY REQUIREMENTS. THE MORE STRINGENT SIGN REQUIREMENTS OF ORANGE COUNTY ARE IN ADDITION TO THE REQUIREMENTS DESCRIBED IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE NEW YORK STATE SUPPLEMENT, LATEST EDITIONS AND REVISIONS.
23. ALL CONSTRUCTION SIGNS FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN PLACE AND INSTALLED PRIOR TO STATING ANY WORK. SIGNS SHALL BE INSTALLED ON BREAKAWAY POSTS OR "WIND-MASTER" SUPPORTS AND SHALL BE COVERED AND UNCOVERED ON A DAILY BASIS. IF A LANE HAS TO BE CLOSED TO PERFORM WORK, ALL NECESSARY SIGNS (SUCH AS "ONE LANE ROAD AHEAD" AND "FLAGGER" SYMBOL) FOR THE LANE CLOSURE MUST BE INSTALLED IN ADDITION TO THOSE SOWN ON THE APPROVED MPT PLAN.
24. ALL CONSTRUCTION SIGNS ARE REQUIRED TO BE FABRICATED WITH ASTM TYPE III (CLASS B), HIGH INTENSITY, REFLECTIVE SHEETING CONFORMING TO SECTION 730-5.02 OF THE NYS DOT STANDARD SPECIFICATIONS.
25. FLAGGERS SHALL NOT CONTROL MORE THAN ONE APPROACH TO OR THROUGH A WORK ZONE AT ANY TIME. ONE FLAGGER FOR EACH TRAFFIC APPROACH IS REQUIRED AT ALL TIMES.
26. EIGHTEEN (18) INCH STOP/SLOW PADDLES ARE REQUIRED TO DIRECT TRAFFIC.
27. TWO-WAY RADIOS ARE REQUIRED FOR FLAGGERS TO COMMUNICATE WITH EACH OTHER.
28. NO TRACK EQUIPMENT IS ALLOWED ON THE COUNTY ROAD WITHOUT PLACING MATS, PLYWOOD, TIRES, ETC., TO PROTECT THE ASPHALT ROAD.
29. DELIVERY AND UNLOADING OF PROJECT EQUIPMENT AND MATERIALS SHALL TAKE PLACE WITHIN THE SITE. NO UNLOADING OF EQUIPMENT OR MATERIALS SHALL TAKE PLACE ON THE COUNTY ROAD OR WITHIN THE COUNTY RIGHT-OF-WAY. NO QUEUEING OF TRUCKS OR OTHER EQUIPMENT IS PERMITTED ON THE COUNTY ROAD OR WITHIN THE COUNTY RIGHT-OF-WAY.
30. TRACKING MUD AND SEDIMENT INTO THE COUNTY RIGHT-OF-WAY IS STRICTLY PROHIBITED.
31. A MECHANICAL SWEEPER MUST BE AVAILABLE AT ALL TIMES TO SWEEP AND MAINTAIN SAFE ROAD CONDITIONS ON THE COUNTY ROAD. THE ROADWAY SHALL BE SWEEP DAILY OR AS REQUIRED BY THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS.



- NOTES:
1. DRIVEWAY SHALL BE PAVED FROM EDGE OF TRAVEL LANE (WHITE LINE) FOR 20 FEET MINIMUM.
 2. AT THE TIME OF CONSTRUCTION, THE NEW DRIVEWAY PAVEMENT IS TO BE KEED INTO THE COUNTY ROAD SHOULDER ASPHALT AS DIRECTED BY THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS - DIVISION OF ENGINEERING.
 3. THE FINAL LOCATION OF THE DRIVEWAY LOW POINT, ALONG THE COUNTY ROAD, SHALL BE AS DIRECTED BY THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS - DIVISION OF ENGINEERING.
 4. PRIOR TO PAVING THE DRIVEWAY APRON, THE PREPARED SUBBASE AND FINAL GRADES SHALL BE INSPECTED BY THE ORANGE COUNTY DPW PERMIT ENGINEER.
 5. MAINTENANCE AND REPAIR OF CURBING AND OTHER ENTRANCE RELATED IMPROVEMENTS, FOR THE ACCESS AT THE COUNTY ROAD, SHALL BE THE PROPERTY OWNER'S RESPONSIBILITY.



REVISION	DATE	DESCRIPTION
1	08/20/2025	PLANNING BOARD SUBMISSION
2	10/31/2025	PLANNING BOARD SUBMISSION
3	11/25/2025	OCDPW SUBMISSION
4	11/25/2025	OCDPW SUBMISSION
5	01/21/2026	OCDPW SUBMISSION
6	03/16/2026	PLANNING BOARD SUBMISSION

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NOTE
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SHEET TITLE:	PROJECT:	CLIENT:

SCALE:	
DRAWN BY:	J.S.
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JOB #	
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