



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: CFB REALTY LLC
PROJECT NO.: 25-26
PROJECT LOCATION: 121 WELLS ROAD – 14 LOT SUBDIVISION
SECTION 39, BLOCK 1, LOT 19
REVIEW DATE: 11 NOVEMBER 2025
MEETING DATE: 20 NOVEMBER 2025
PROJECT REPRESENTATIVE: DAVID NIEMOTKO ARCHITECT, P.C.

1. The Planning Board declared its intent for lead agency on 4 September 2025. A lead agency circulation was transmitted to involved and interested agencies on 12 September 2025. The Planning Board would be in a position to declare itself lead agency for review of the Unlisted Action.
2. The discrepancy in lot area has been revised to identify the lot as an 18.01 acre parcel.
3. A SWPPP has been prepared for the project. The SWPPP is under review by this office. It is noted infiltration practices are proposed. Infiltration testing and compliance with NYSDEC Design Guidelines is required. The location of all infiltration testing should be identified on the plans. One of the lots is now dedicated to a stormwater drainage district lot. Creation of the drainage district requires Town Board approval after review of all documents by the Town Attorney .
4. The response letter and plans have been updated to depict each of the residential lots along the proposed Town roadway to discharge to a sanitary sewer force main. The location of each of the individual lot pump stations must be depicted on the plans. Design for the collection system utilizing individual pump stations must be provided including system flows and pressures. Confirmation that scouring velocity is obtained in the force main. Pump station details are required.
5. Details of force main discharge to the Town collection system must be added to the plans. All details depict gravity sewer. Specific details for the pumps, laterals and force main must be added to the plans. NYSDEC/Health Department will require long-term contracts for maintenance of the individual pump stations. The Town of Newburgh will not assume maintenance for the private pump stations. Force main clean out manholes must be provided. Design report for the system must be prepared for submission to the Town of Newburgh, Orange County Health Department and NYSDEC for sewer main extension.
6. A Flood Plain Development Permit will be required for any grading activities within the flood plain. Flood plain development permit should be submitted at this time. Compensating storage for any fill placed within the flood plain is a requirement. See Town Code Section 109.

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7. The NYSDEC Freshwater Wetland Boundary Validation must be signed by NYSDEC.
8. It is noted that the zoning bulk table should be revised with an additional front yard setback for lots fronting on the County roadway.
9. Many of the house locations are identified at or near bulk setback requirements. A note should be placed on the plans that plot plans shall be submitted to the Building Department prior to issuance of a building permit and that foundations will be staked in the field to ensure house locations do not conflict with bulk setbacks.
10. Driveway culverts should have inverts depicted. Driveway should depict a 2% slope from the roadway. Fifteen-inch driveway culverts are minimum permitted.
11. The 20-foot-wide Town Road Specification is identified on the plans. No parking along this road will be permitted.
12. Town of Newburgh sanitary sewer notes should be added to the plans. Appropriate check valves must be included in the individual sanitary sewer pump stations.
13. NYSDEC approval for sanitary sewer extension is required.
14. Roadway profile should contain all utilities depicted to identify any potential conflicts.
15. Hydrant details and water system details must be added to the plans.
16. The hydrant location should be addressed with the Town of Newburgh Highway Superintendent with regard to snow plowing within the cul-de-sac. Snow storage easements should be identified on the plans in the vicinity of the drainage district lot.
17. Minimum watermain size should be 8 inches.
18. Watermain Extension Engineering Report and specifications meeting Town of Newburgh and Health Department standards should be submitted.
19. Thrust blocks are not permitted to be utilized within the Town of Newburgh system. Restrained joint pipe chart must be added to the water plans.
20. Revised grading depicts extensive grading within the NYSDEC adjacent area. A permit from New York State Environmental Conservation for encroachment on wetland buffer must be received.
21. The project is subject to ARB as it has more than 10 residential lots.
22. The City of Newburgh flow acceptance letter will be required. Applicants should identify the hydraulic loading from the residential structures and provide a narrative report for coordination

with the City of Newburgh for flow acceptance.

23. All 4-inch sanitary laterals for houses on Wells Road should be SDR35. Tapping details should be added to sanitary sewer details.
24. Watermain tapping details should be added to the plans.
25. Orange County Department of Public Works approval for roadway and utilities is required. Orange County DPW standard plans and details must be added to the plan set.
26. Street trees are required along town roadways.
27. Street name must receive approval by the Town of Newburgh Town Board. Applicant should submit 3 proposed names for the street to the Town Clerk for processing with the Town Board.
28. The applicants are requested to confirm the proposed cul-de-sac should comply with Code Section 161-36 E dead end roads or cul-de-sacs (2) requiring a 100-foot minimum right of way and a 70-foot cul-de-sac.
29. Street lighting should be addressed on the plans. The applicant should approach the Town Board to determine whether street lighting is required.
30. Trees in compliance with Town Code should be depicted along the right-of-way line of the individual lots. Trees should be placed on the individual lots.
31. The project is subject to the Town of Newburgh's Tree Preservation Ordinance, Chapter 172. The applicants have had the site analyzed by a forester. The forester utilized sample plots which appear to be representative of the site. The information from the sample plots are to be extrapolated on the entire site in order to identify the number of trees to be removed. A calculation as to the number of each of the three tree types in the ordinance must be provided in order to determine whether reforestation or payment of a fee is required. Additional information required in the tree protection plan.

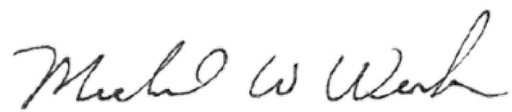
Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Principal

PJH/kmm



Michael W. Weeks, P.E.
Principal

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

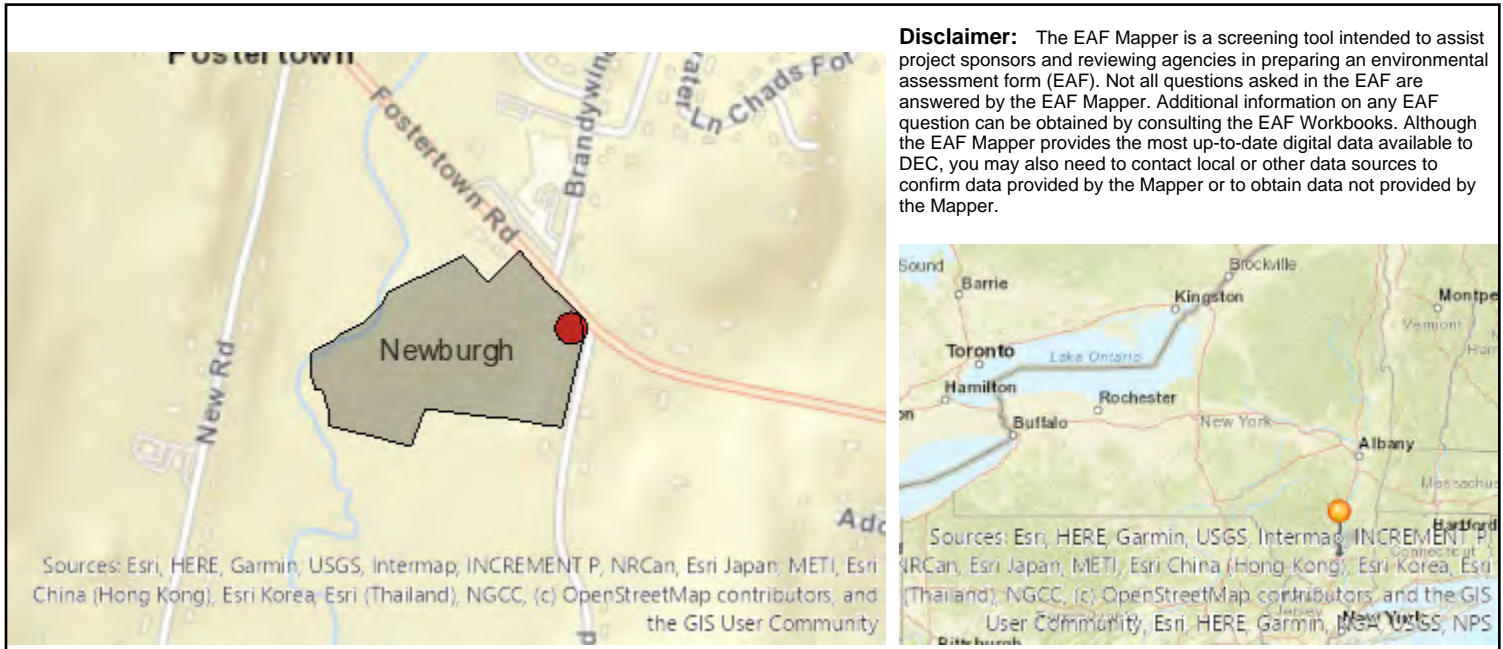
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature  _____ Title _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.ii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	862-215
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No

E.2.i. [Floodway]	Yes
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

TO: CFB Realty LLC
FROM: Kelly Nywening, Sawtooth Lands and Forestry
Date: 10/8/2025
Subject: Tree Survey- "Wells Road Subdivision"



Sawtooth Lands
and Forestry
- Chester, NY -

(845) 913-6280
sawtoothforestry@gmail.com

The tree data required for the tree survey requested for the CFB Realty LLC property on Wells Rd in the Town of Newburgh is presented on the following pages. The tree data provided meets the specifications of the Code of the Town of Newburgh, Local Law, Chapter 172 "Tree Preservation and Protection" and the proposed amendment of such code specified in a memo from Planning Board Chairman John P. Ewasutyn to the Town of Newburgh Zoning Appeals, dated May 22, 2023.

The tree inventory covers 17.5± acres which comprises parcel 39-1-19.

A one hundred percent tally was made for specimen trees throughout the property. Specimen trees are indicated on the ground by a blue paint mark on 3 sides of each specimen tree and a tree tag indicating the tree number. The specimen tree tally can be found in the table on the following page.

Four half-acre sample plots were located throughout the parcel and marked on the ground with pink flagging. All significant, specimen and protected trees within each sample plot were tallied. Each tree tallied within the sample plot was marked with a number painted on the tree with orange tree paint. The tree tally for each plot can be found on page 3 of this report.

A map titled "CFB Realty LLC Tree Survey" can be found on page 4 of this report. The map shows the location and number of each specimen tree and the location of each sample plot.

Table 1. Specimen Tree Data

Tree Number	Species	DBH	Class
1	Black Walnut	38.2	Specimen
2	Norway Spruce	30.6	Protected
3	Black walnut	27.0	Specimen
4	Sugar Maple	28.8	Specimen
5	White pine	32.0	Protected
6	Red maple	29.5	Specimen
7	Black locust	25.2	Specimen
8	Pin oak	26.4	Specimen
9	Pin oak	29.5	Protected
10	Pin oak	24.7	Specimen
11	Red maple	24.4	Specimen
12	Red maple	24.0	Specimen
13	Red maple	25.3	Specimen
14	Red maple	27.5	Specimen

Table 2. Plot 1

Tree #	Species	DBH	Classification	Note
1	Black Oak	16.1	Significant	
2	Scarlet Oak	16.2	Significant	Dead
3	Red Oak	15.7	Significant	
4	Scarlet Oak	15.7	Significant	

Table 3. Plot 2

Tree #	Species	DBH	Classification	Note
1	Red Oak	16.0	Significant	
2	Scarlet Oak	18.7	Significant	
3	Scarlet Oak	14.8	Significant	
4	Pin Oak	19.8	Significant	
5	Scarlet Oak	18.1	Significant	
6	Scarlet Oak	18.9	Significant	
7	Pin Oak	15.2	Significant	
8	Scarlet Oak	14.0	Significant	
9	Scarlet Oak	14.3	Significant	
10	Pin Oak	26.4	Specimen	

Table 4. Plot 3

Tree #	Species	DBH	Classification	Note
1	Black locust	15.9	Significant	
2	Black locust	25.2	Specimen	
3	Norway spruce	15.5	Significant	

Table 5. Plot 4

Tree #	Species	DBH	Classification	Note
1	Black walnut	14.3	Significant	
2	Black walnut	15.8	Significant	
3	Black walnut	14.4	Significant	
4	Black walnut	14.9	Significant	
5	Black walnut	14.7	Significant	

CFB Realty LLC Tree Survey

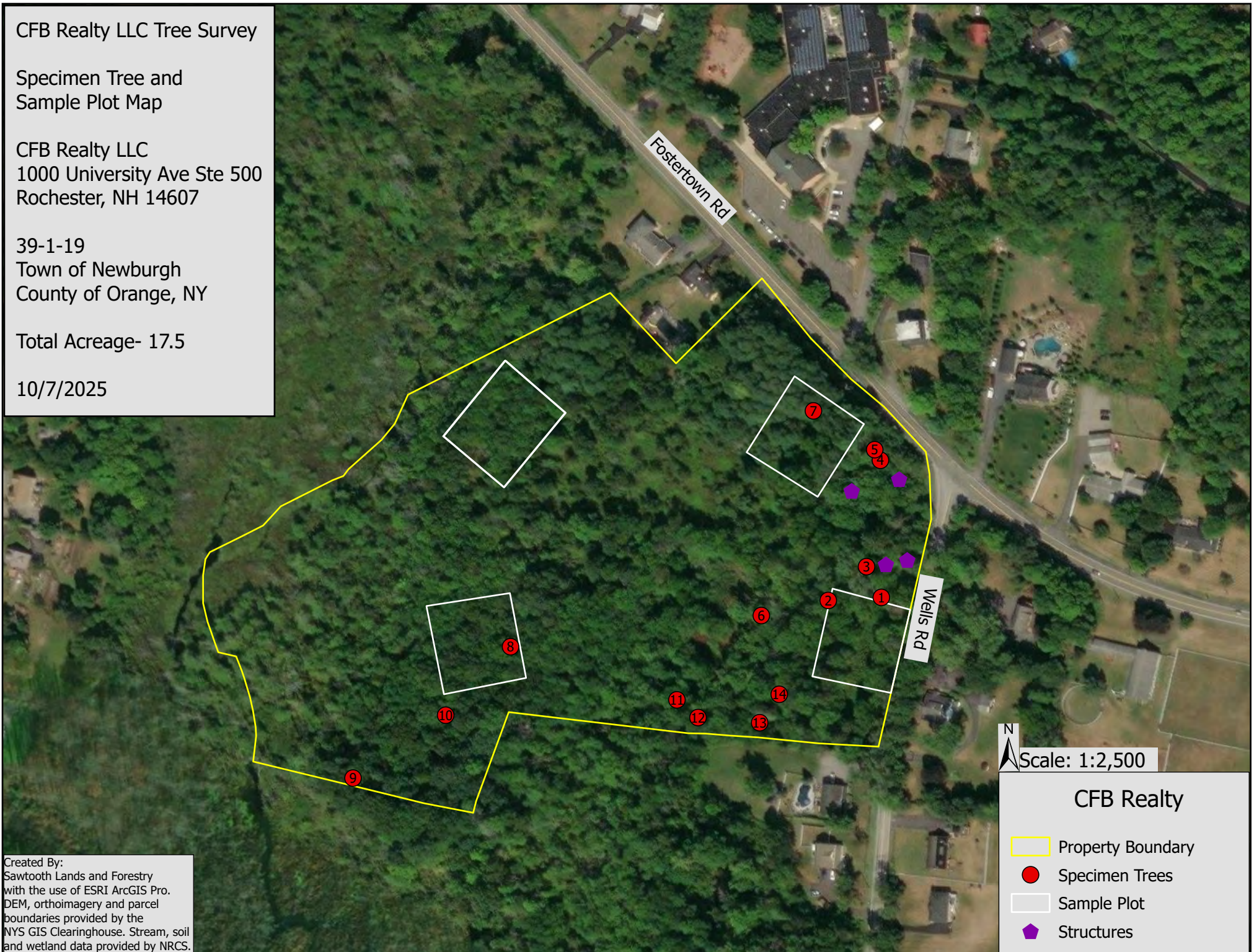
Specimen Tree and
Sample Plot Map

CFB Realty LLC
1000 University Ave Ste 500
Rochester, NH 14607

39-1-19
Town of Newburgh
County of Orange, NY

Total Acreage- 17.5

10/7/2025



Created By:
Sawtooth Lands and Forestry
with the use of ESRI ArcGIS Pro.
DEM, orthoimagery and parcel
boundaries provided by the
NYS GIS Clearinghouse. Stream, soil
and wetland data provided by NRCS.

CFB Realty LLC Tree Survey

Specimen Tree and Sample Plot Map

CFB Realty LLC
1000 University Ave Ste 500
Rochester, NH 14607

39-1-19
Town of Newburgh
County of Orange, NY

Total Acreage- 17.5

10/7/2025

LIST OF SHEETS	
SHEET NO.	TITLE
C-1	EXISTING CONDITIONS PLAN
C-2	SITE PLAN
C-3	GRADING & EROSION CONTROL PLAN
C-3.1	ROAD PROFILE
C-4	CONSTRUCTION DETAILS
C-4.1	CONSTRUCTION DETAILS



2 VICINITY MAP
C-1 SCALE: 1"=1000'

NOTES:

1. LOT OWNER: CFB REALTY LLC
2. OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
3. LOT ID: 39-1-19, TOWN OF NEWBURGH
4. LIST AREA: 17.5 Ac.
5. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7206, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

REFERENCES:

1. VICINITY MAP TAKEN FROM ORANGE COUNTY GIS SERVICES: TOWN OF NEWBURGH, 2020
2. PLAN BASED ON SURVEY BY ENGINEERING & SURVEYING PROPERTIES, INC. AUGUST 5TH, 2025

LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	CONTOUR LINE
	INDEX CONTOUR LINE
	EDGE OF ROAD
	CURB LINE
	STONEWALL
	BARBED WIRE FENCE
	OVERHEAD WIRE
	EDGE OF WATER COURSE
	EDGE OF WOODED AREA
	SEWER MAIN
	CONCRETE SURFACE
	DRAINAGE PIPE
	HYDRANT
	URBANIZED MANHOLE
	SEWER MANHOLE
	RAIN VALVE
	WATER VALVE
	WATER SHUT-OFF VALVE
	UTILITY POLE
	BUY AND/OR
	PIPE MARKER

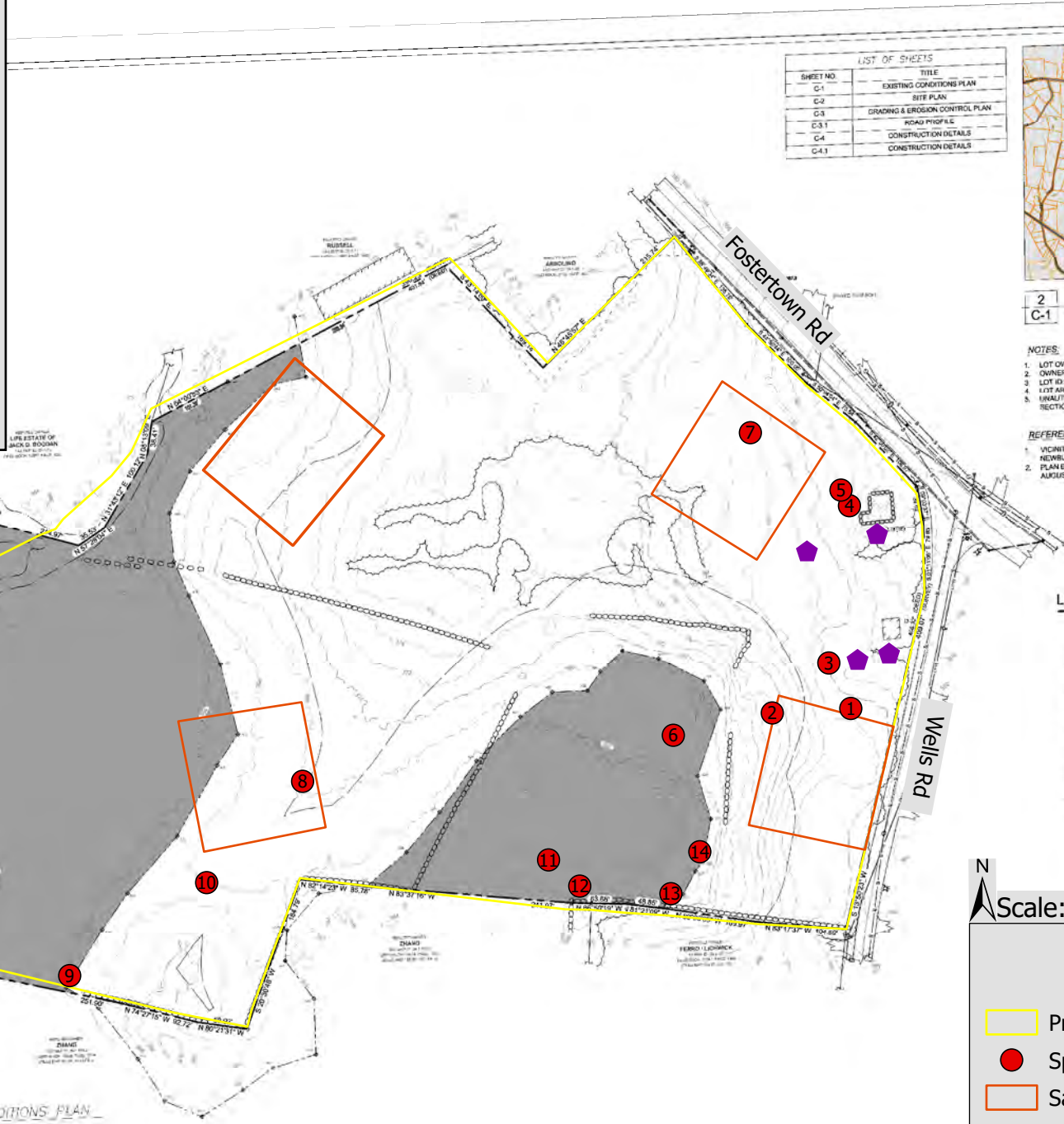
N
Scale: 1:2,250

CFB Realty

- Property Boundary
- Specimen Trees
- Sample Plot
- Structures

Created By:
Sawtooth Lands and Forestry
with the use of ESRI ArcGIS Pro.
DEM, orthoimagery and parcel
boundaries provided by the
NYS GIS Clearinghouse. Stream, soil
and wetland data provided by NRCS.

EXISTING CONDITIONS PLAN
SCALE: 1"=80'



TREE PRESERVATION PLAN



Legend

- SAMPLE PLOT
- SPECIMEN TREE TO REMAIN
- SPECIMEN TREE TO BE REMOVED

TREE PLAN NOTES

1. TREE IDENTIFICATION BY KELLY NYWENING, FORESTER OF SAWTOOTH LANDS AND FORESTRY.
2. TREE LOCATIONS SHOWN ON PLAN WERE LOCATED BY SAWTOOTH LANDS AND FORESTRY ON OCTOBER 8, 2025.
3. AREA INTERPOLATION CALCULATION:
 TOTAL AREA OF SITE: 17.5 ACRES (4 SAMPLE PLOTS REQUIRED)
 TOTAL AREA TO BE DISTURBED: 5.1 ACRES
 TOTAL AREA OF SAMPLE PLOTS: 2.00 ACRES
 INTERPOLATION FACTOR OF TREES ON SITE = $17.5/2.0 = 8.75$
 INTERPOLATION FACTOR OF TREES TO BE DISTURBED = $5.1/2.0 = 2.55$



TREE CRITERIA

- PROTECTED: ((CIRCUMFERENCE, HEIGHT, AND SPREAD) EQUAL TO OR GREATER THAN 50% OF THE SIZE IDENTIFIED ON THE NEW YORK BIG TREE CHAMPIONS LIST)
- SPECIMEN: (TRUNK DIAMETER OF 24 INCHES OR LARGER AT DBH)
- SIGNIFICANT: (TRUNK DIAMETER OF 14 INCHES OR LARGER AT DBH)

- LANDS OF -

David Niemotko Architects

Tax ID: 39-1-19

121 Wells Road
 Town of Newburgh
 Orange County, New York



Sawtooth Lands
 and Forestry
 - Chester, NY -

(845) 913-6250
 sawtoothforestry@gmail.com

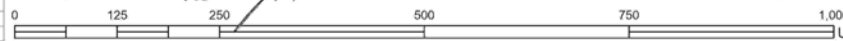
[Signature]
 DEC Approved Forester
 10/15/21025


Page 1 of 3

US Feet

TREE CLASSIFICATION (TOTAL NUMBER OF TREES)	TOTAL DBH WITHIN SAMPLE PLOTS	INTERPOLATION FACTOR (SITE/DISTURBANCE)	TOTAL INTERPOLATED DBH	TOTAL MEASURED DBH	TOTAL DBH INCHES ON SITE	DISTURBANCE THRESHOLD	TOTAL DBH INCHES DISTURBED	OVER THRESHOLD	DBH INCHES REPLANTING REQUIRED
SPECIMEN	N/A			301.0	301.0	50%	63.4	NO	0
SIGNIFICANT	330.1	8.75 / 2.55	2,888.4	N/A	2888.4	50%	841.8	NO	0
PROTECTED	N/A			92.1	92.1	75%	0.0	NO	0

ALL LANDLINES ARE APPROXIMATE





Kelly Nywening, Contractor
Sawtooth Lands and Forestry LLC



Sawtooth Lands
and Forestry
- Chester, NY -

(845) 913-6280
sawtoothforestry@gmail.com



1 EXISTING CONDITIONS PLAN
C-1 SCALE: 1"=60'



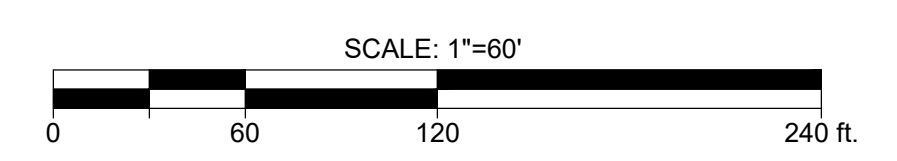
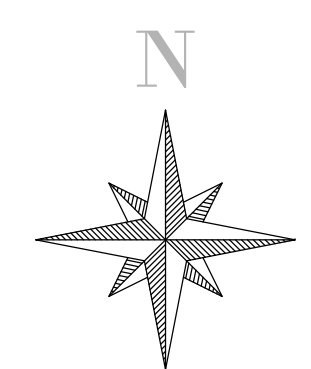
2 VICINITY MAP
C-1 SCALE: 1"=1000'

- NOTES:**
1. LOT OWNER: CFB REALTY LLC
 2. OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
 3. LOT ID: 39-1-19, TOWN OF NEWBURGH
 4. LOT AREA: 18 AC.
 5. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

- REFERENCES:**
1. VICINITY MAP TAKEN FROM ORANGE COUNTY GIS SERVICES, TOWN OF NEWBURGH, 2025.
 2. PLAN BASED ON SURVEY BY ENGINEERING & SURVEYING PROPERTIES, DATED AUGUST 5TH, 2025.

LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	CONTOUR LINE
	INDEX CONTOUR LINE
	EDGE OF ROAD
	CURB LINE
	STONEWALL
	BARBED WIRE FENCE
	OVERHEAD WIRE
	EDGE OF WATER COURSE
	EDGE OF WOODED AREA
	SEWER MAIN
	CONCRETE SURFACE
	DRAINAGE PIPE
	HYDRANT
	DRAINAGE MANHOLE
	SEWER MANHOLE
	GAS VALVE
	WATER VALVE
	WATER SHUT-OFF VALVE
	UTILITY POLE
	GUY ANCHOR
	PIPE MARKER
	REBAR MARKER
	CONCRETE MONUMENT
	CATCH BASIN
	MAILBOX
	SIGN (TYPE NOTED)
	FRESHWATER WETLANDS FLAG



REVISION	PLANNING BOARD SUBMISSION
DATE	08/20/2025
	10/31/2025
NO.	2

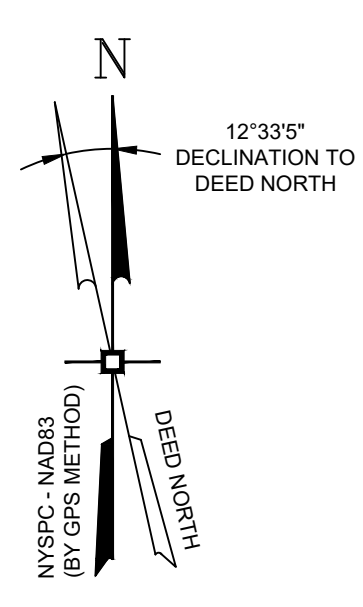
DAVID NIEMOTKO ARCHITECTS, P.C.
 167 STAGE ROAD
 MONROE, NEW YORK 10950
 Ph: (845) 774-7523
 www.niemotkoarchitects.com

NOTE
 FOR AUTHENTICITY
 SEAL MUST BE ORIGINAL AND
 SIGNATURE MUST
 BE IN COLOR - BOTH CANNOT BE
 COPIED

FOR REVIEW

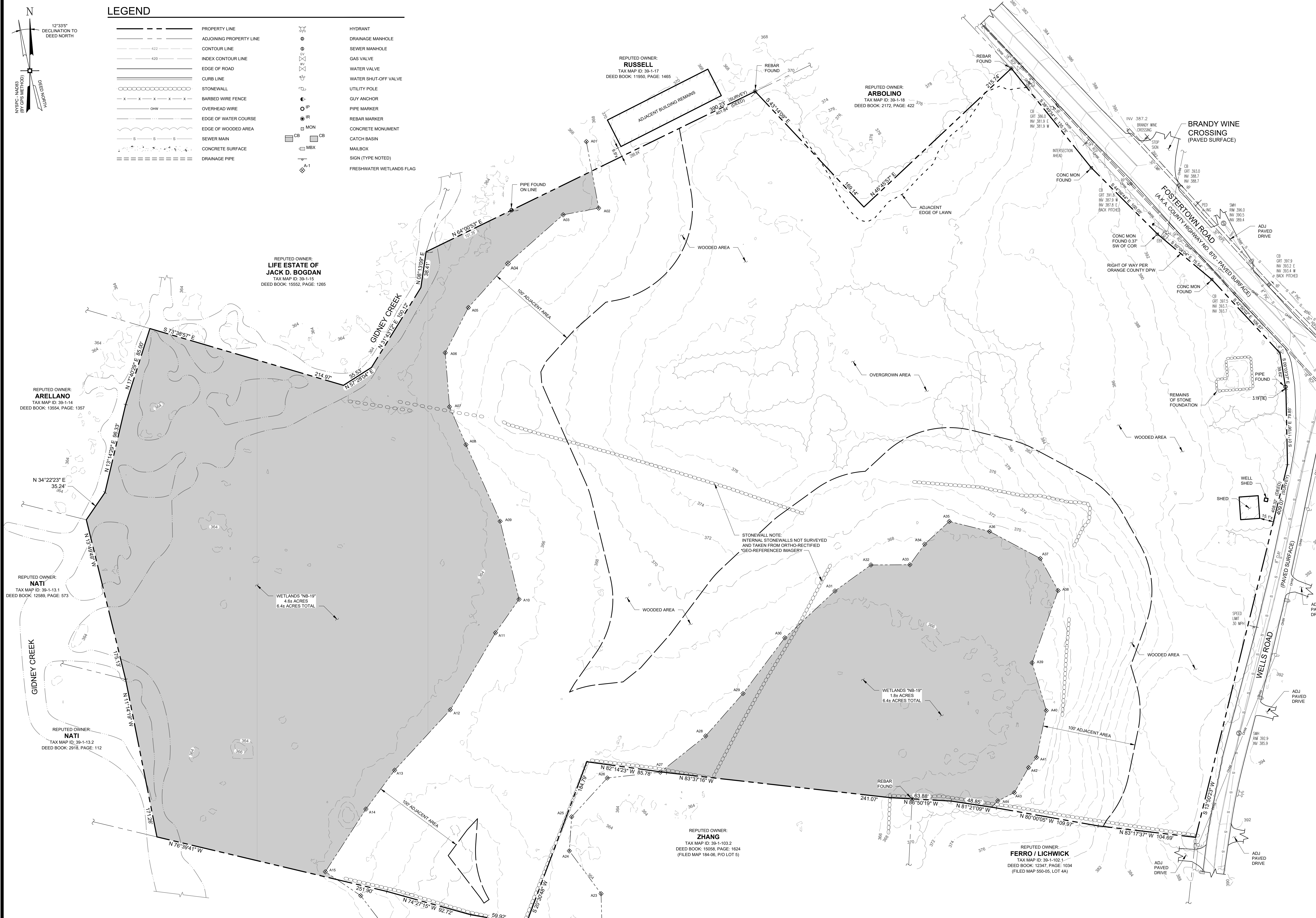
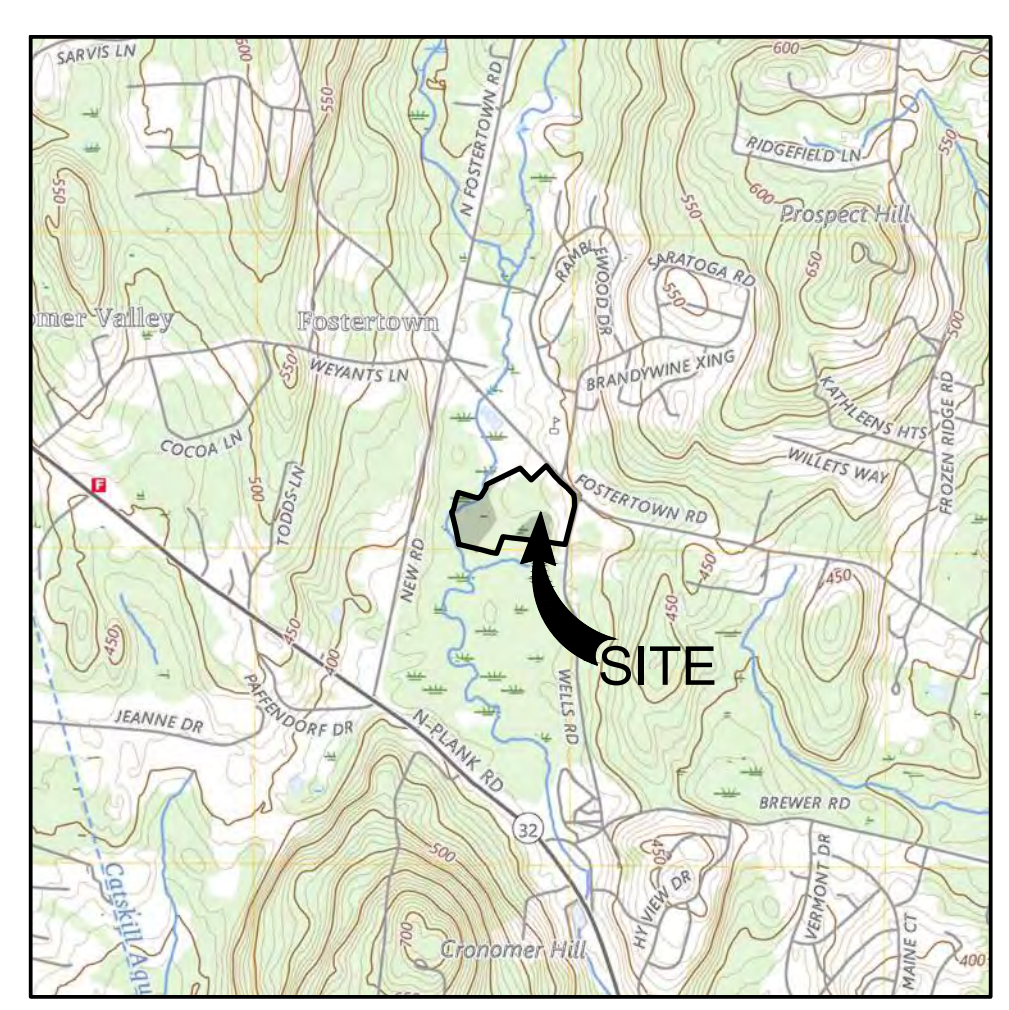
SHEET TITLE:	EXISTING CONDITIONS PLAN
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025



LEGEND

- PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- CONTOUR LINE
- INDEX CONTOUR LINE
- EDGE OF ROAD
- CURB LINE
- STONEWALL
- BARBED WIRE FENCE
- OVERHEAD WIRE
- EDGE OF WATER COURSE
- EDGE OF WOODED AREA
- SEWER MAIN
- CONCRETE SURFACE
- DRAINAGE PIPE
- HYDRANT
- DRAINAGE MANHOLE
- SEWER MANHOLE
- GAS VALVE
- WATER VALVE
- WATER SHUT-OFF VALVE
- UTILITY POLE
- GUY ANCHOR
- PIPE MARKER
- REBAR MARKER
- CONCRETE MONUMENT
- CATCH BASIN
- MAILBOX
- SIGN (TYPE NOTED)
- FRESHWATER WETLANDS FLAG
- MON
- CB
- MBX
- A-1



GENERAL NOTES:

1. TAX MAP IDENTIFICATION NUMBER: SECTION 39, BLOCK 1, LOT 19
2. TOTAL AREA OF SUBJECT PARCEL: 18.017± ACRES
3. DEED REFERENCE: DEED LIBER 12702, PAGE 1318
4. MAP REFERENCES:
 - A. A MAP ENTITLED, "MINOR SUBDIVISION FOR R&K REAL ESTATE MANAGEMENT, INC. BY JUSTICE & HOROWITZ, P.C. DATED NOVEMBER 2004 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON JULY 14, 2005 AS MAP NUMBER 550-05.
 - B. A MAP ENTITLED, "SUBDIVISION OF LAND FOR NEW YORK BUILD, LLC" BY BENO HENNESSY OLSON LLP DATED NOVEMBER 2004 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON MARCH 9, 2006 AS MAP NUMBER 184-06.
 - C. A MAP ENTITLED, "PLANS FOR THE CONSTRUCTION OF COUNTY ROAD 86, FOSTERTOWN ROAD" DATED 1983 AS ON FILE WITH THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS.
5. THIS SURVEY IS BASED ON NEW YORK STATE PLANE NAD 83 (2011), ZONE 3101 DATUM (USFT) DERIVED FROM GPS OBSERVATIONS.
6. THE TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A LIDAR COLLECTION "SOUTHEAST 4 COUNTY 2022" A YEAR 2022 1M DIGITAL ELEVATION MODEL (DEM) BY THE STATE OF NEW YORK TO MEET THE MINIMUM STANDARD SET FORTH BY THE AMERICAN SOCIETY FOR PHOTOGRAMMETRY AND REMOTE SENSING (ASPRS), FOR USE AS 2FT CONTOURS. THE DEM WAS ACQUIRED FROM ORTHOSDHSES.NY.GOV. THE CONTOURS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE OR DOCUMENTS FROM A TITLE SEARCH AND IS THEREFORE SUBJECT TO WHATEVER STATEMENT OF FACTS THAT MAY BE REVEALED IN SUCH REPORTS.
8. SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS OF RECORD.
9. OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES OR IMPROVEMENTS ARE SHOWN FOR THE SPECIFIC PURPOSES OF INTERPRETATION OF COMPLIANCE WITH ZONING AND ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES OR ANY OTHER IMPROVEMENTS TO THE LAND.
10. CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE (CEM) AND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO THE PERSONS FOR WHOM THE BOUNDARY SURVEY MAP IS PREPARED, TO THE TITLE COMPANY, TO THE GOVERNMENTAL AGENCY, AND TO THE LENDING INSTITUTION LISTED ON THIS BOUNDARY SURVEY MAP.
11. CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.
12. ISSUING OF A NEW TITLE POLICY OR REDATING OF AN EXISTING POLICY REFERENCING THIS SURVEY WITHOUT THE BENEFIT OF AN UPDATE OF THIS SURVEY BY ENGINEERING & SURVEYING PROPERTIES, P.C. SHALL TERMINATE ANY LIABILITY EXPRESSED OR IMPLIED HEREON.
13. UNAUTHORIZED COPIES MAY CONTAIN FRAUDULENT, INCORRECT, ERRONEOUS, OR MISLEADING INFORMATION OR OMIT IMPORTANT AND RELEVANT INFORMATION. DO NOT RELY ON UNAUTHORIZED COPIES. THE SEAL, SIGNATURE, AND CERTIFICATION ARE HEREBY REVOKED OR OTHERWISE VOID ON ALL UNAUTHORIZED COPIES. ALL ORIGINAL DOCUMENTS BEAR AN ORIGINAL IMPRESSION AND INK SIGNATURE.
14. ALL UNDERGROUND UTILITIES AND/OR IMPROVEMENTS OR THE ENCROACHMENT OF SUCH IMPROVEMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF THE ENCROACHMENT OF SUCH UNDERGROUND UTILITIES AND/OR IMPROVEMENTS EXIST OR ARE SHOWN HEREON, THE ENCROACHMENTS OF SUCH UNDERGROUND UTILITIES AND/OR IMPROVEMENTS ARE NOT COVERED BY THIS CERTIFICATE.
15. WETLANDS DELINEATED BY PETER TORGERSOHN ON JUNE 2, 2025 AND LOCATED BY GPS METHOD BY ENGINEERING & SURVEYING PROPERTIES, PC ON JULY 28, 2025.

NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY DEPICTS THE LIMITS OF FRESHWATER WETLAND NB-19 (P0) AS DELINEATED BY PETER TORGERSOHN ON JULY 28, 2025.

DEC STAFF: _____ SURVEYOR/ENGINEER: BRIAN D. BARCOCK, L.S.

DATE VALID: _____ EXPIRATION DATE: _____ BY: N.Y.S. LIC. NO. 050939

N.Y.S. LICENSED SURVEYOR/ENGINEER

WETLAND BOUNDARY DELINEATIONS AS VALIDATED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REMAIN VALID FOR FIVE (5) YEARS UNLESS EXISTING ACTIVITIES, AREA HYDROLOGY, OR LAND USE PRACTICES CHANGE (e.g. AGRICULTURAL TO RESIDENTIAL). AFTER FIVE (5) YEARS THE BOUNDARY MUST BE REVALIDATED BY DEC STAFF. REVALIDATION MAY INCLUDE A NEW DELINEATION AND SURVEY FOR THE WETLAND BOUNDARY.

ANY PROPOSED CONSTRUCTION, GRADING, FILLING, EXCAVATING, CLEARING, OR OTHER REGULATED ACTIVITY IN THE FRESHWATER WETLAND OR WITHIN 100 FEET OF THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN REQUIRES A PERMIT FROM THE N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNDER ARTICLE 24 OF THE ENVIRONMENTAL CONSERVATION LAW (FRESHWATER WETLANDS ACT) PRIOR TO COMMENCEMENT OF WORK.

No.	DATE	DESCRIPTION
0	08/05/25	LR/BD6

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		08/05/25
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input type="checkbox"/> PLANNING BOARD APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCCDH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> OCCDH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> LICENSE APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYS DOT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> OTHER: SURVEY	1	OF 1
<input type="checkbox"/> FOR BID / CONTRACT METHOD	N/A	OF N/A

A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE LICENSED PROFESSIONAL LAND SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

BRIAN D. BARCOCK, L.S.
NEW YORK STATE LICENSE # 050930

1 inch = 40 ft.

ENGINEERING & SURVEYING PROPERTIES, P.C.
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71 CLINTON STREET
MONTGOMERY, NY 12549
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NEW YORK STATE FRESHWATER WETLANDS DELINEATION PLAN

CFB REALTY, LLC.
121 WELLS ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

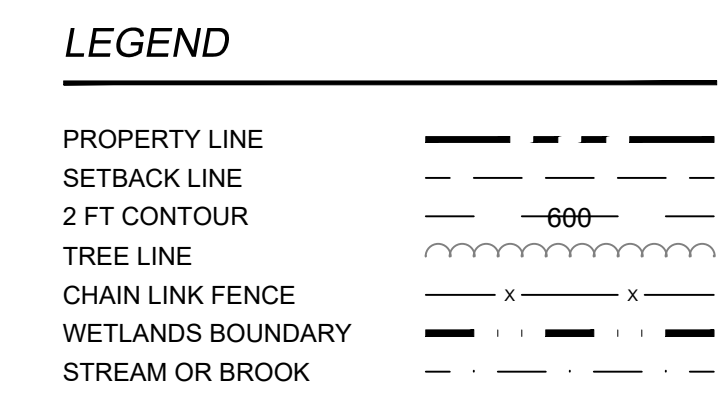
JOB #: 2212.01 | DRAWN BY: BDB
DATE: 08/05/25 | SCALE: 1"=40'
REVISION: 0 | TAX LOT: 39-1-19

S-1



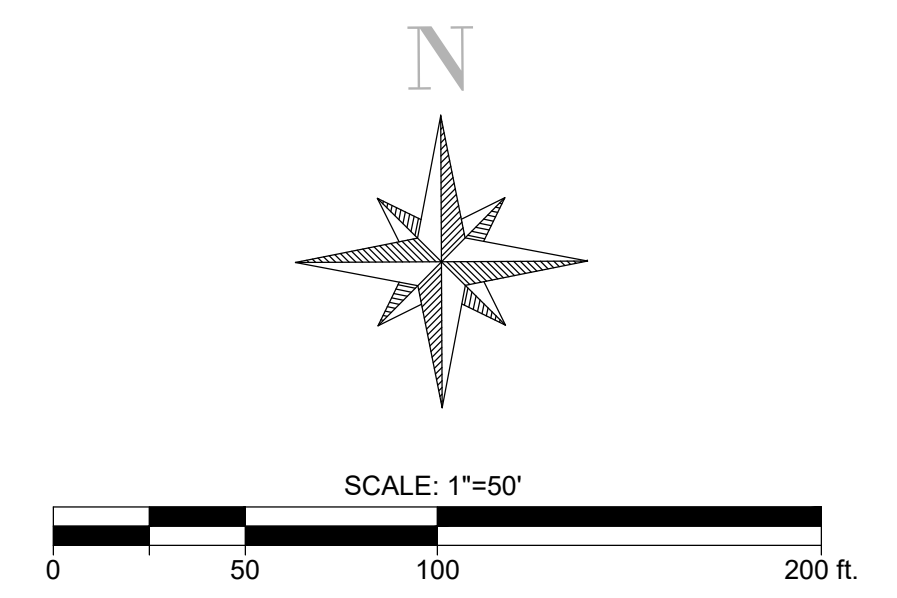
1 SITE PLAN
C-2 SCALE: 1"=50'

- NOTES:**
1. LOT OWNER: CFB REALTY LLC
 2. OWNER ADDRESS: 1000 UNIVERSITY AVE STE 500 ROCHESTER NY 14607
 3. LOT ID: 39-1-19, TOWN OF NEWBURGH
 4. LOT AREA: 18 Ac.
 5. HOUSE FOUNDATIONS SHALL BE STAKED OUT BY A LICENSED PROFESSIONAL PRIOR TO CONSTRUCTION.
 6. UNAUTHORIZED ALTERATION OR ADDITION TO THESE PLANS IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.



ZONING TABLE		
SECTION, LOT, BLOCK:	39 - 1 - 19	
ZONE:	R-2	
PROPOSED USE:	DETACHED SINGLE-FAMILY (CENTRAL WATER & SEWER)	
MINIMUMS REQUIRED		
	REQUIRED	PROPOSED
LOT AREA (SF)	15000	>15000
LOT WIDTH (FT)	100	>100
LOT DEPTH (FT)	125	>125
FRONT SETBACK (FT)	40	>40
REAR SETBACK (FT)	40	>40
SIDE SETBACK (ONE / TOTAL FT)	15 / 30	>15 / 30
MAXIMUMS PERMITTED		
BUILDING COVERAGE (%)	15%	<15%
LOT COVERAGE (%)	30%	<30%

(E) - EXISTING NON-CONFORMITY
 (V) - VARIANCE REQUESTED



REVISION
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 DATE: 08.20.2025
 10.31.2025
 No. 1
 2

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 MONROE, NEW YORK 10950
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SITE PLAN
 WELLS ROAD SUBDIVISION
 121 WELLS ROAD
 NEWBURGH NY 12550
 PROJECT:
 DAVID NIEMOTKO
 167 STAGE RD
 MONROE NY 10950
 CLIENT:

SCALE:
 DRAWN BY: J.S.
 CHECKED BY: D.N.
 JOB #
 PLOT DATE: 08/20/2025

SHEET No.
C-2
 PAGE 2 OF 9



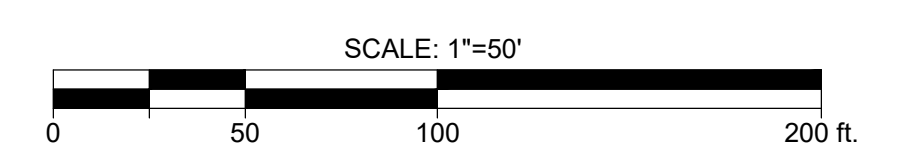
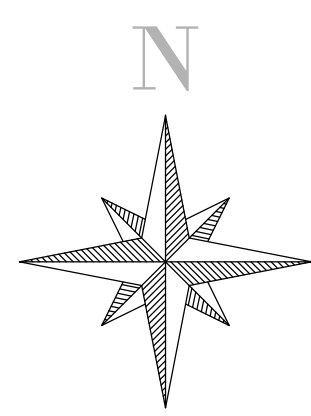
1 GRADING & EROSION CONTROL PLAN
C-3 SCALE: 1"=50'

NOTES:

- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST "URBAN EROSION AND SEDIMENT CONTROL GUIDEBOOK" OF THE ORANGE COUNTY SOIL AND WATER CONSERVATION DISTRICT AS WELL AS THE LATEST NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- ONCE ROUGH GRADING HAS BEEN COMPLETED, A TEMPORARY COVER CONSISTING OF RYE GRASS SHALL BE SEED AT A RATE OF 1/2 LB. PER 1,000 S.F. OF AREA.
- NO CUT OR FILL SLOPE SHALL EXCEED 2:1 UNLESS RETAINING WALLS ARE BEING INSTALLED. ALL DISTURBED AREA NOT BEING WORKED ON WITHIN 14 DAYS SHALL BE TEMPORARILY SEED WITH RYE GRASS AT A RATE OF 1/2 LB. PER 1,000 S.F.
- SILTATION FENCING SHALL BE USED TO PROTECT THE EXISTING DRAINAGE SWALE AND NEIGHBORING PROPERTIES.
- ANY SILT THAT LEAVES THE SITE DESPITE PRECAUTIONS TAKEN SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE AGENCIES HAVING JURISDICTION.
- FILL MATERIAL, IF NECESSARY, SHALL BE FREE OF ALL DECOMPOSABLE MATERIAL.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS GRADED, PLANTED AND TREATED TO FINISH IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL TREE CLEARING MUST OCCUR BETWEEN OCTOBER 1 AND MARCH 31.
- NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID HIGHWAY WORK PERMIT HAS BEEN SECURED FROM THE ORANGE COUNTY DEPARTMENT OF PUBLIC WORKS UNDER SECTION 136 OF THE HIGHWAY LAW.

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
2 FT CONTOUR	---600---
TREE LINE	~~~~~
CHAIN LINK FENCE	x x x x
WETLANDS BOUNDARY	---
STREAM OR BROOK	---



REVISION	PLANNING BOARD SUBMISSION
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NO.	2

David Niemotko Architect

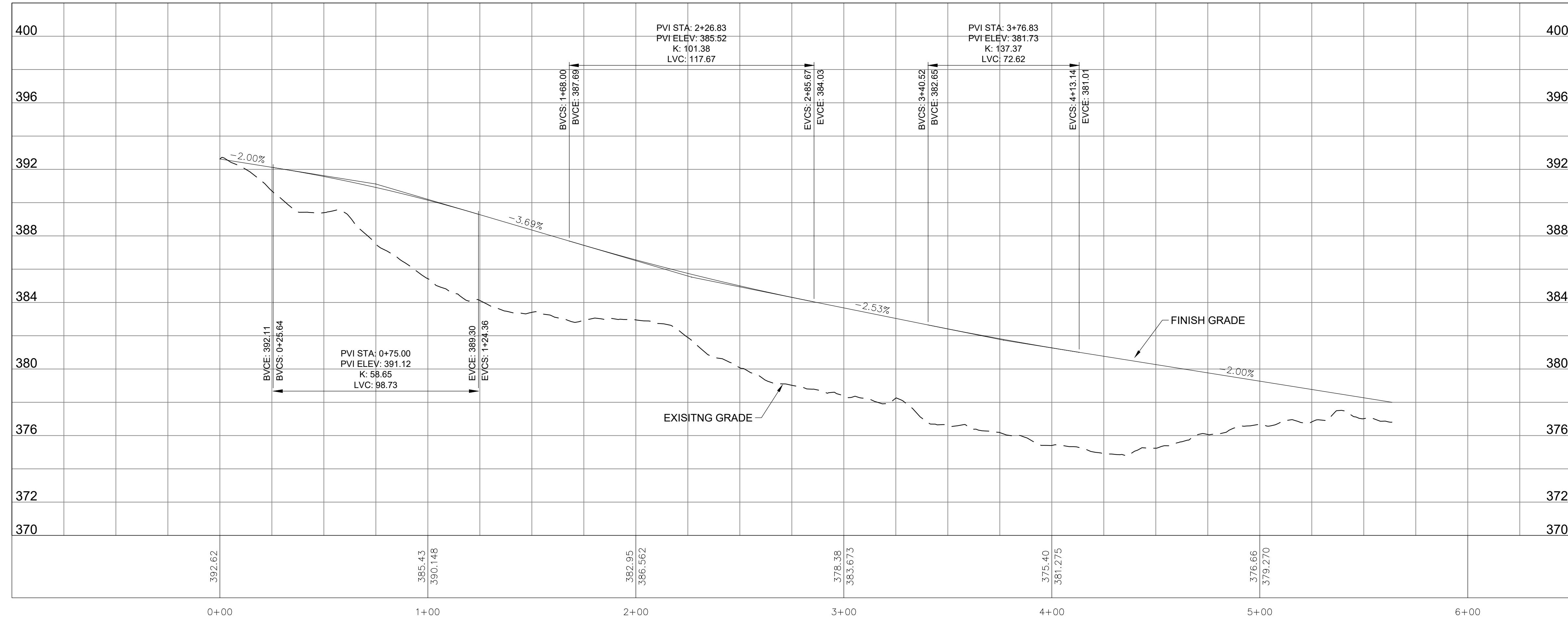
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SHEET TITLE:	GRADING & EROSION CONTROL PLAN
PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950
SCALE:	
DRAWN BY:	J.S.
CHECKED BY:	D.N.
JOB #:	
PLOT DATE:	08/20/2025

ROAD PROFILE



REVISION
 DATE: 08/20/2025
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SHEET TITLE: ROAD PROFILE
 PROJECT: WELLS ROAD SUBDIVISION
 121 WELLS ROAD
 NEWBURGH NY 12550
 CLIENT: DAVID NIEMOTKO
 167 STAGE RD
 MONROE NY 10950

SCALE:
 DRAWN BY: J.S.
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 JOB #
 PLOT DATE: 08/20/2025

SHEET No.
C-3.1
 PAGE 4 OF 9

TOWN OF NEWBURGH STANDARD WATER SYSTEM NOTES

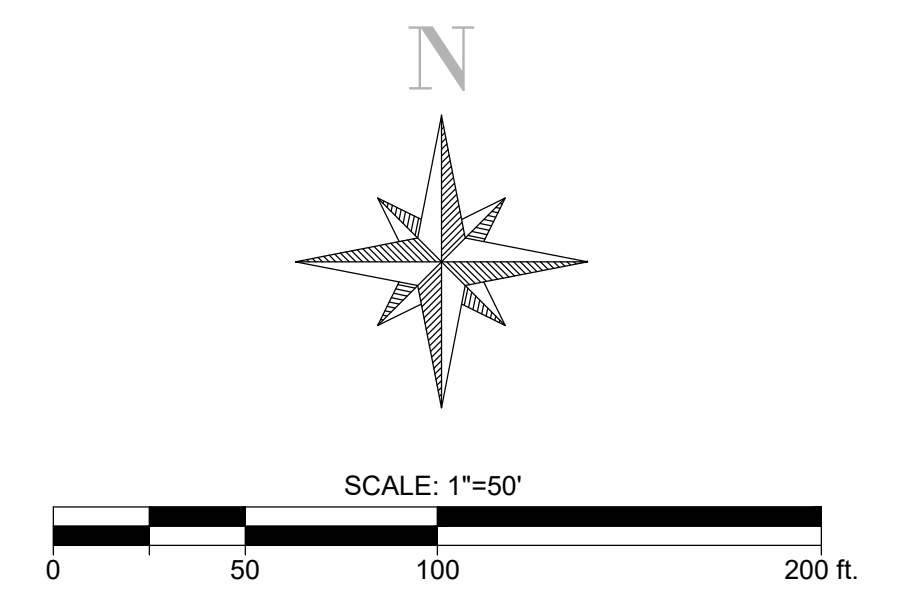
- "CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDOH AND THE TOWN OF NEWBURGH."
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED CLASS 52 DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51 FOR DUCTILE IRON PIPE, LATEST REVISION. JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBBA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10 FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53 FOR DUCTILE IRON COMPACT FITTINGS, LATEST REVISION.
- ALL VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTERCLOCKWISE).
- TAPPING SLEEVE SHALL BE MECHANICAL JOINT SUCH AS MUELLER H-615 OR EQUAL. TAPPING VALVES 4 TO 12 INCHES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C509 SUCH AS MUELLER MODEL T-2360-19 OR APPROVED EQUAL. ALL TAPPING SLEEVES AND VALVES SHALL BE TESTED TO 150 PSI MINIMUM. TESTING OF THE TAPPING SLEEVE AND VALVE MUST BE WITNESSED AND ACCEPTED BY THE TOWN OF NEWBURGH WATER DEPARTMENT PRIOR TO CUTTING INTO THE PIPE.
- ALL HYDRANTS SHALL BE CLOW-EDDY F-2640 CONFORMING TO AWWA STANDARD C-502, LATEST REVISION. ALL HYDRANTS SHALL INCLUDE A 5/8 INCH MAIN VALVE OPENING, TWO 2 1/2 INCH DIAMETER NPT HOSE NOZZLES, ONE 4 INCH NPT STEAMER NOZZLE, A 6 INCH DIAMETER INLET CONNECTION AND A 1 1/2 INCH PENTAGON OPERATING NUT. ALL HYDRANTS SHALL OPEN LEFT (COUNTER-CLOCKWISE). HYDRANTS ON MAINS TO BE DEDICATED TO THE TOWN SHALL BE EQUIPMENT YELLOW. HYDRANTS LOCATED ON PRIVATE PROPERTY SHALL BE RED.
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-1502N FOR 3/4 AND 1 INCH, MUELLER H-1500N OR B-2500N FOR 1 1/2 AND 2 INCH SIZES. CURB VALVES SHALL BE MUELLER H-1502-2N FOR 3/4 AND 1 INCH AND MUELLER B-2520N FOR 1 1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10314N FOR 3/4 AND 1 INCH AND MUELLER H-10310N FOR 1 1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTATION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THE FINAL LAYOUT OF THE PROPOSED WATER AND/OR SEWER CONNECTION, INCLUDING ALL MATERIALS, SIZE AND LOCATION OF SERVICE AND ALL APPURTENANCES, IS SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF NEWBURGH WATER AND/OR SEWER DEPARTMENT. NO PERMITS SHALL BE ISSUED FOR A WATER AND/OR SEWER CONNECTION UNTIL A FINAL LAYOUT IS APPROVED BY THE RESPECTIVE DEPARTMENT.




1 UTILITY PLAN
C-4 SCALE: 1"=50'

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
2 FT CONTOUR	---600---
TREE LINE	~~~~~
CHAIN LINK FENCE	-x-x-
WETLANDS BOUNDARY	~~~~~
STREAM OR BROOK	~~~~~



REVISION: PLANNING BOARD SUBMISSION
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UTILITY PLAN

PROJECT:	WELLS ROAD SUBDIVISION 121 WELLS ROAD NEWBURGH NY 12550
CLIENT:	DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

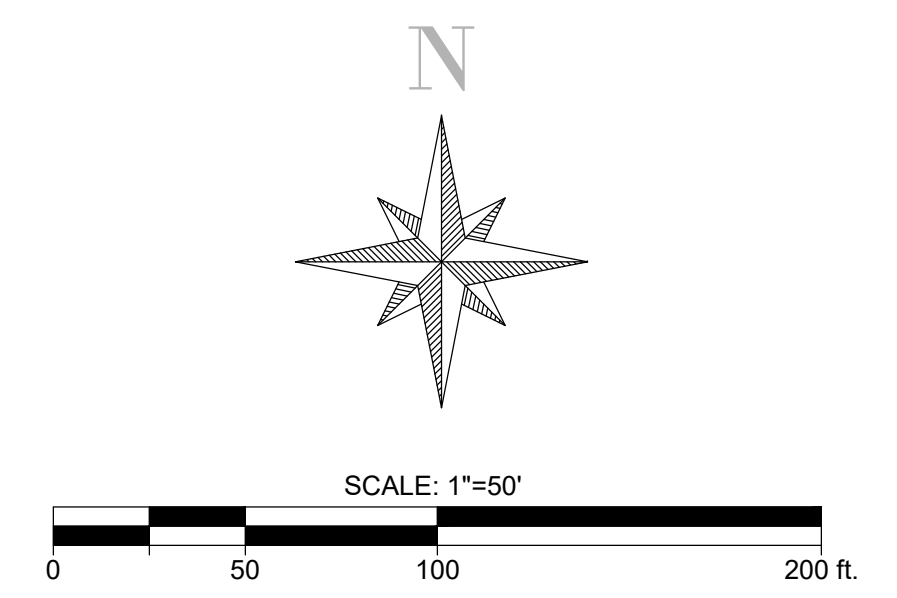
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CHECKED BY:	D.N.
JOB #	
PLOT DATE:	08/20/2025



1 STORMWATER MANAGEMENT PLAN
C-5 SCALE: 1"=50'

LEGEND

PROPERTY LINE	---
SETBACK LINE	---
2 FT CONTOUR	---600---
TREE LINE	~~~~~
CHAIN LINK FENCE	-x-x-
WETLANDS BOUNDARY	---x---
STREAM OR BROOK	~~~~~



REVISION	PLANNING BOARD SUBMISSION
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	2

David Niemotko Architect

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STORMWATER MANAGEMENT PLAN
WELLS ROAD SUBDIVISION
121 WELLS ROAD NEWBURGH NY 12550
DAVID NIEMOTKO 167 STAGE RD MONROE NY 10950

SCALE:
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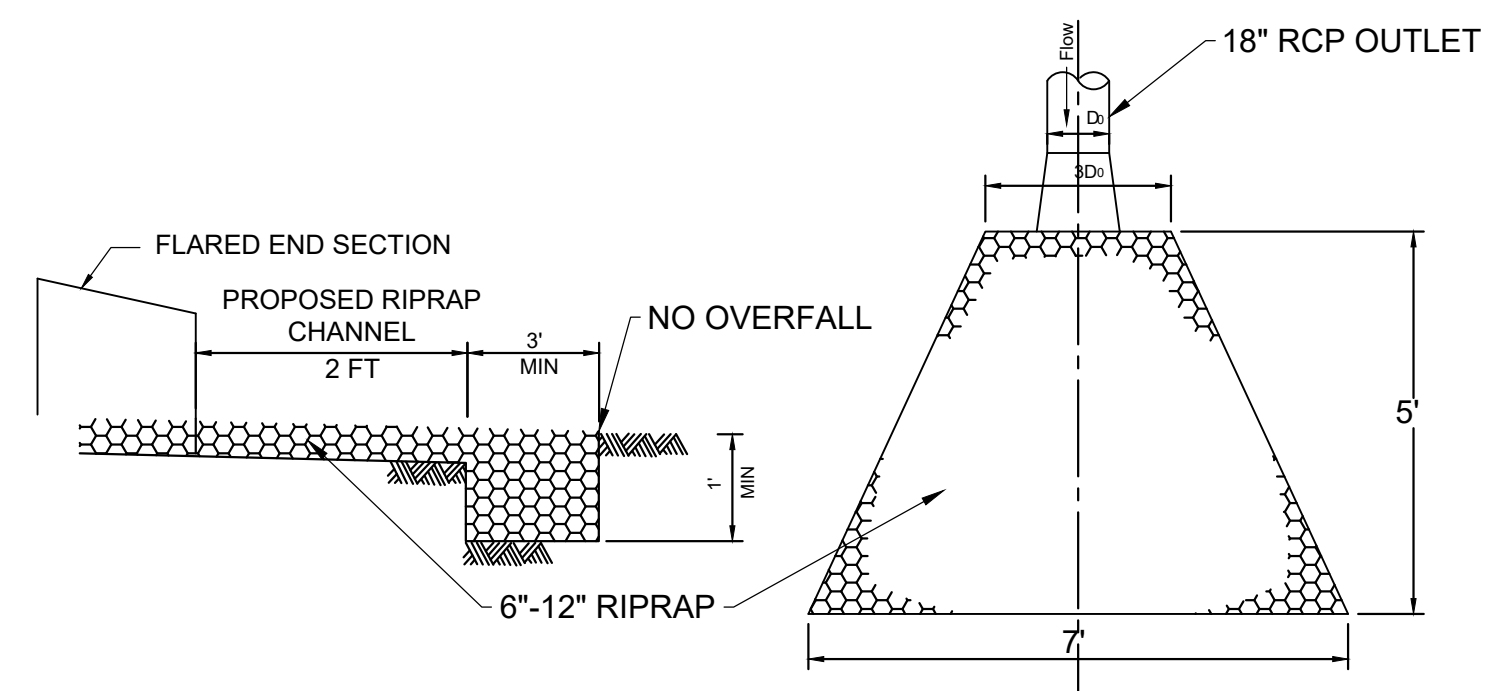
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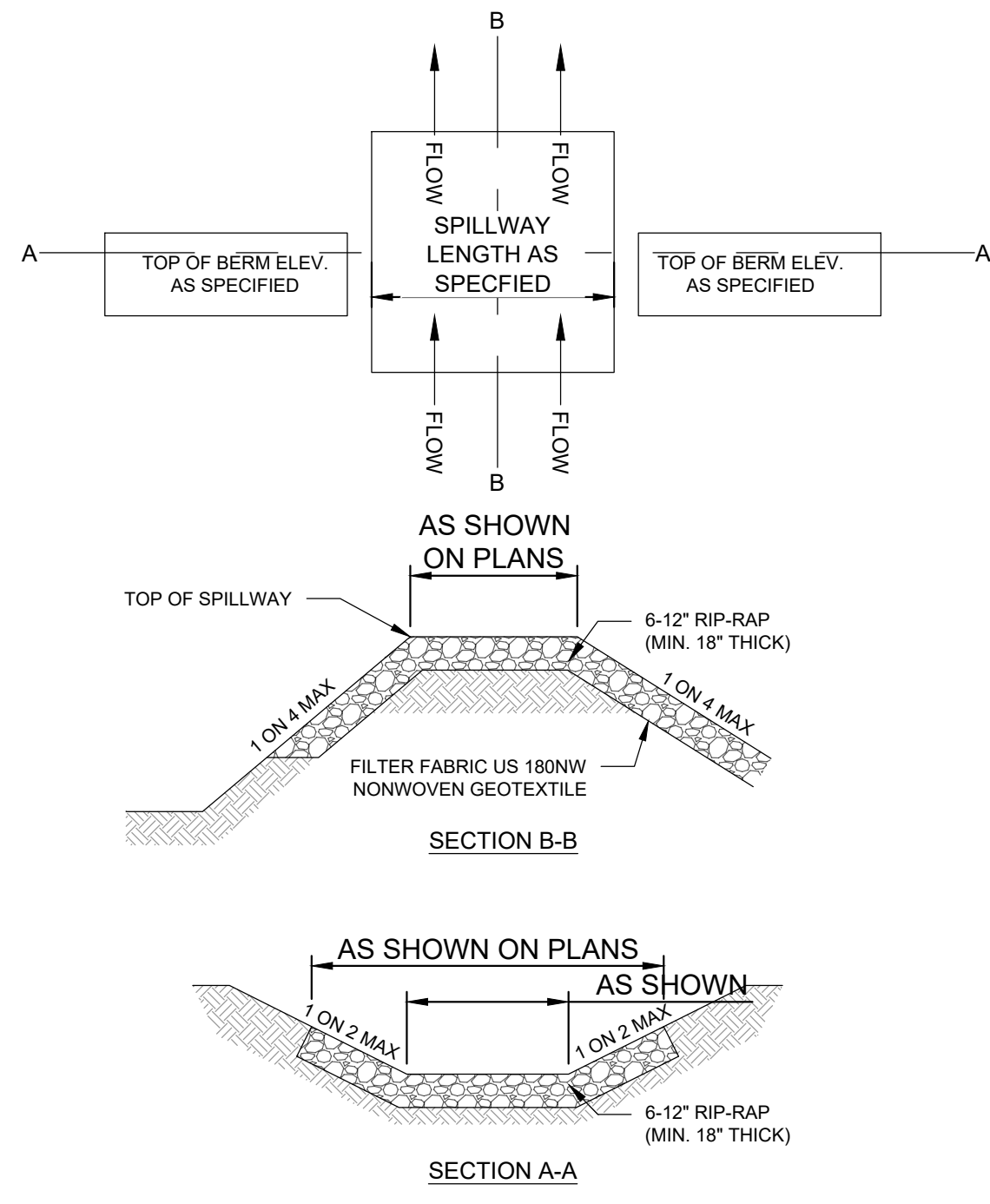
STORMWATER DETAILS
 WELLS ROAD SUBDIVISION
 121 WELLS ROAD
 NEWBURGH NY 12550
 PROJECT:
 CLIENT: DAVID NIEMOTKO
 167 STAGE RD
 MONROE NY 10950

SCALE:
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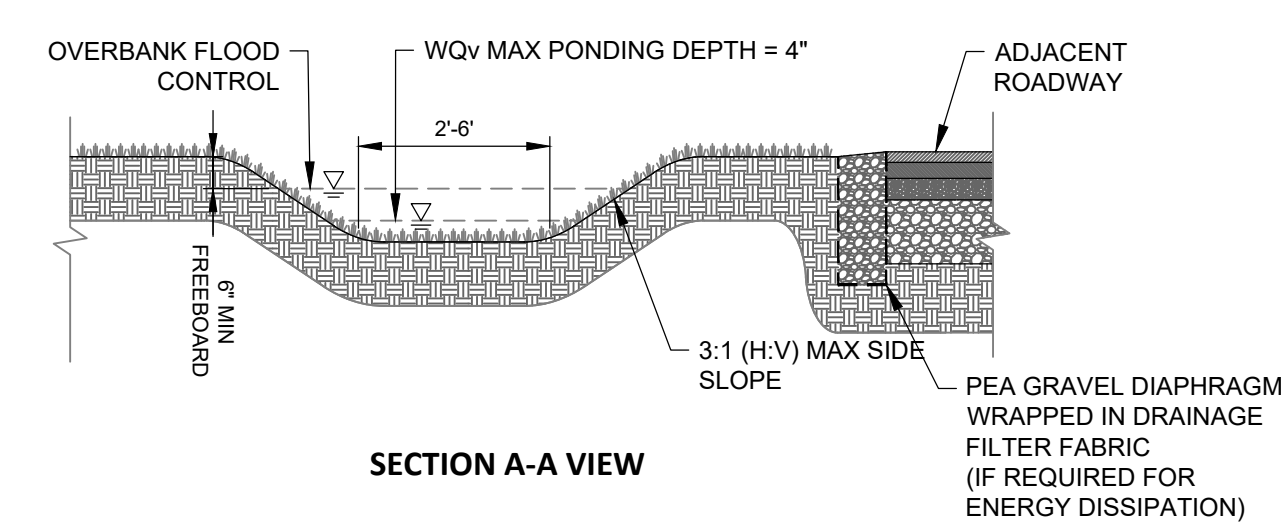
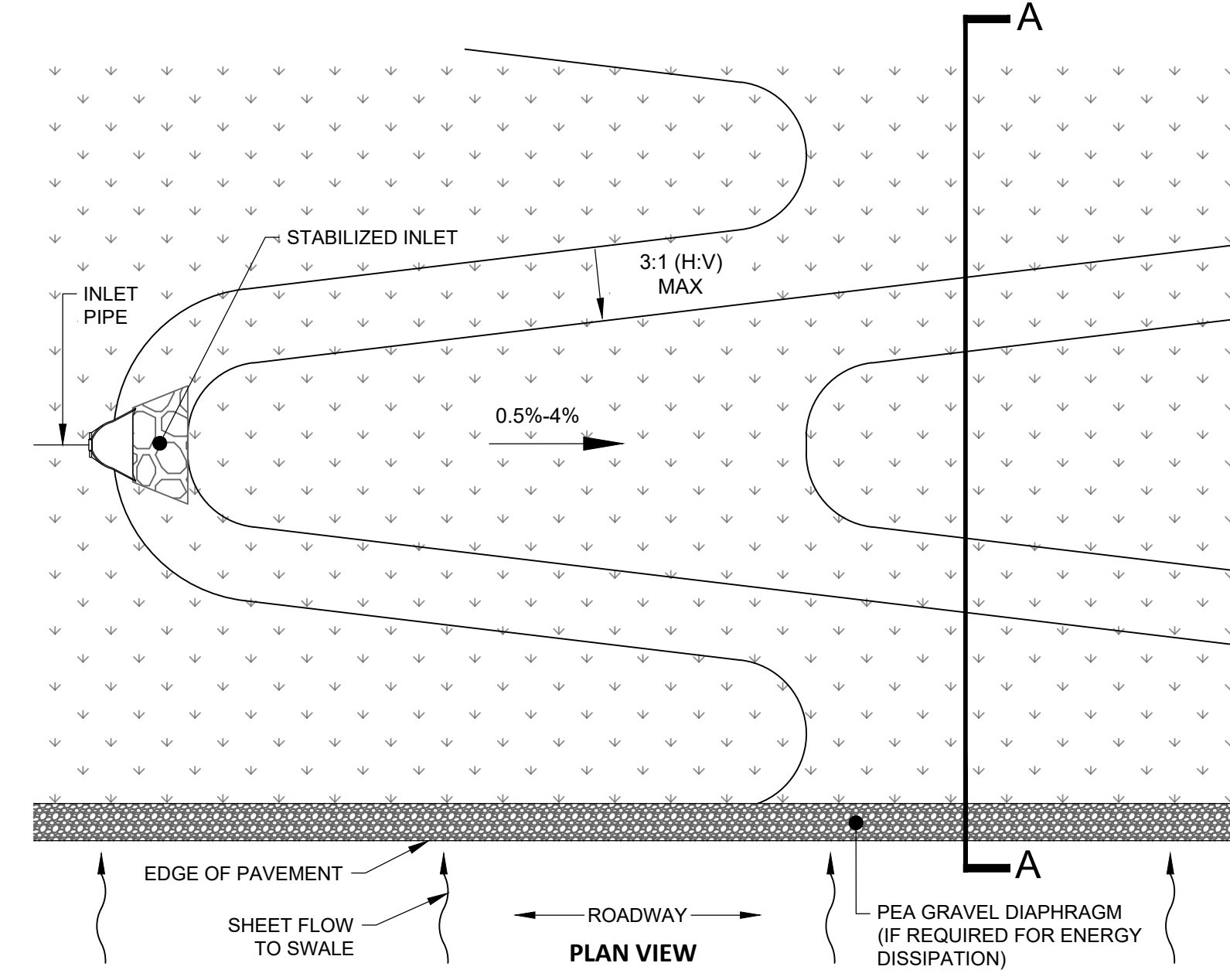
SHEET No.
C-5.1
 PAGE 7 OF 9



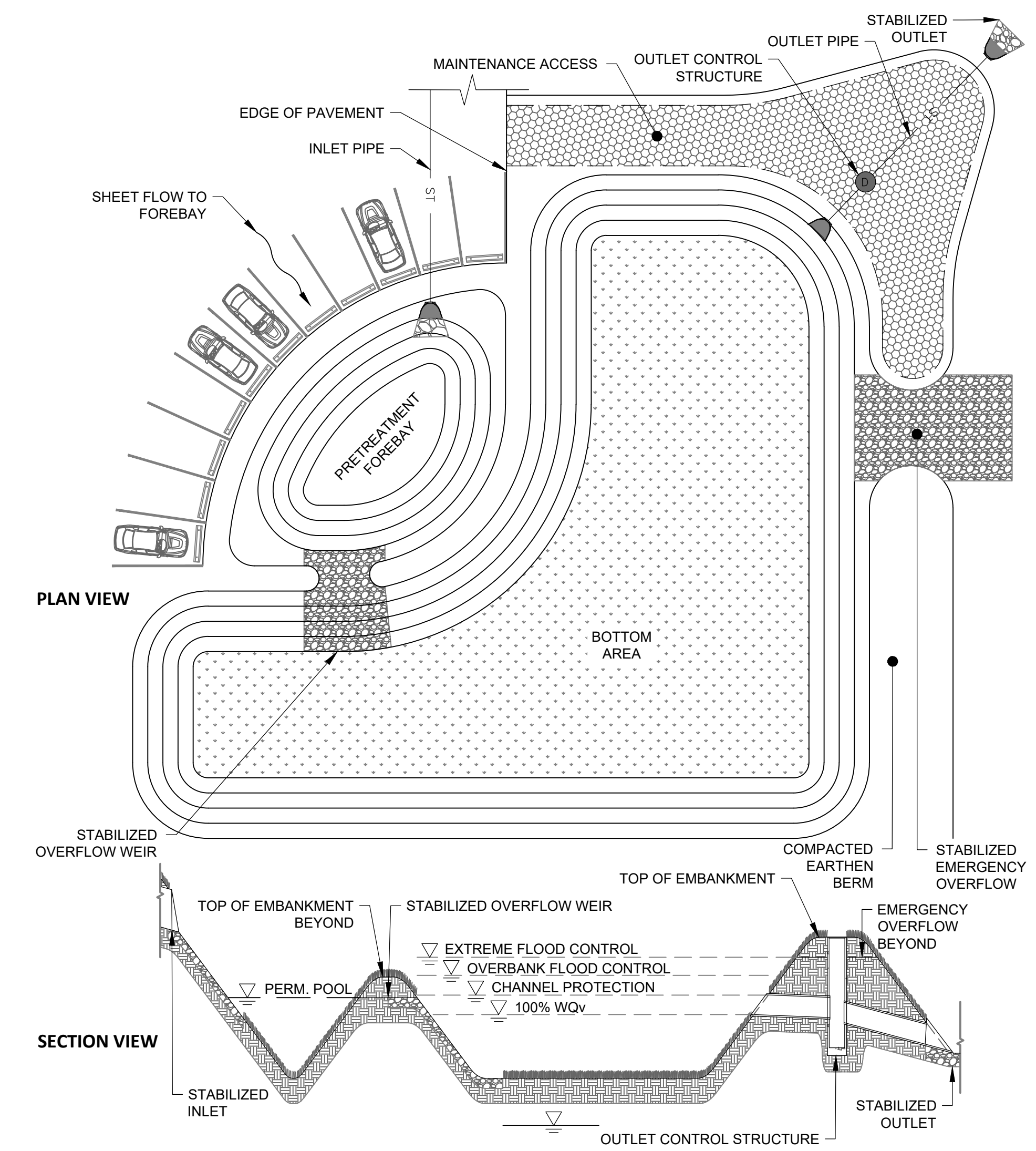
RIPRAP APRON CONDUIT OUTLET PROTECTION DETAIL
 SCALE: NTS



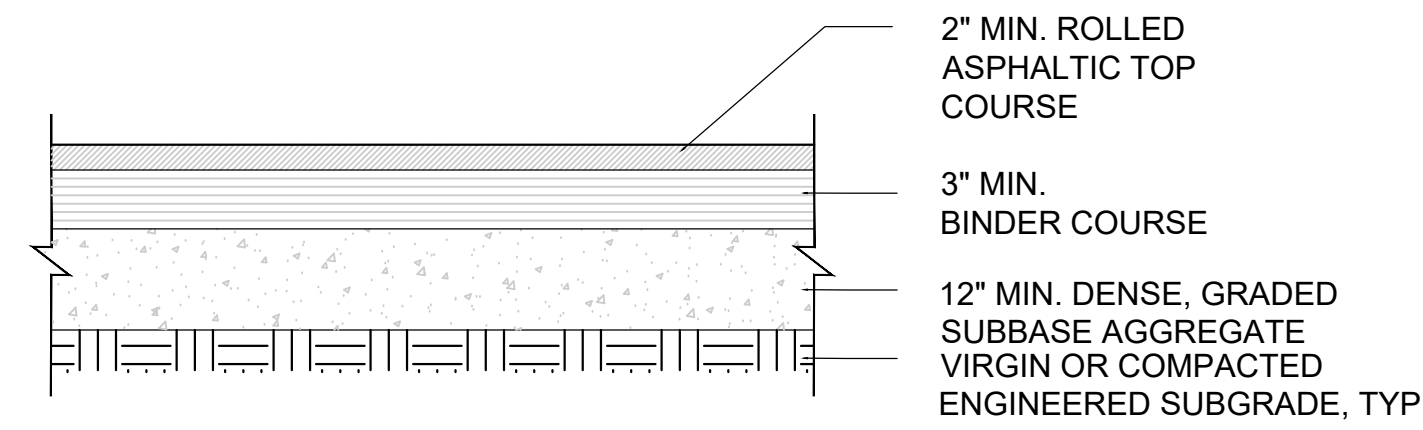
STORMWATER SPILLWAY DETAIL
 SCALE: N.T.S.



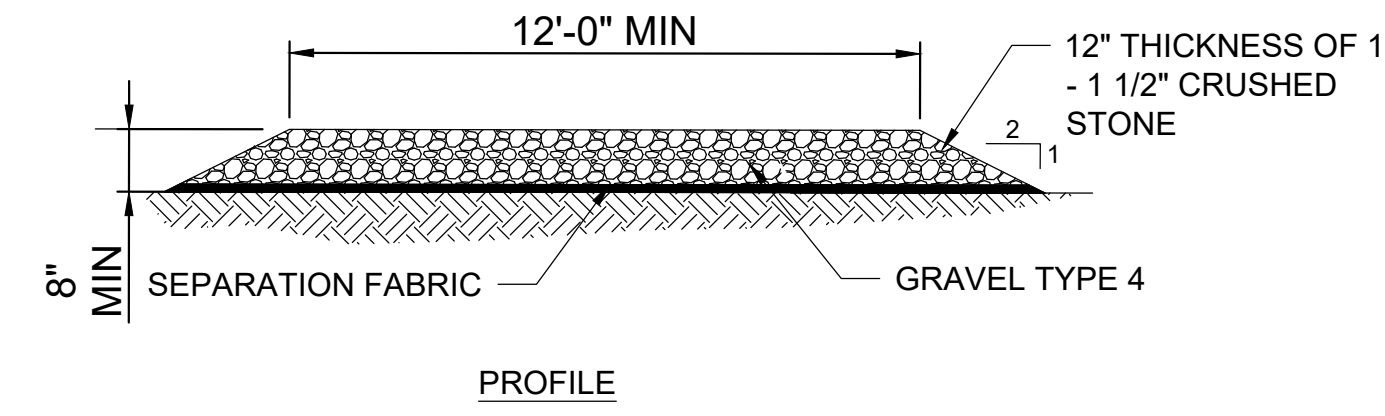
VEGETATED SWALE DETAIL
 SCALE: N.T.S.



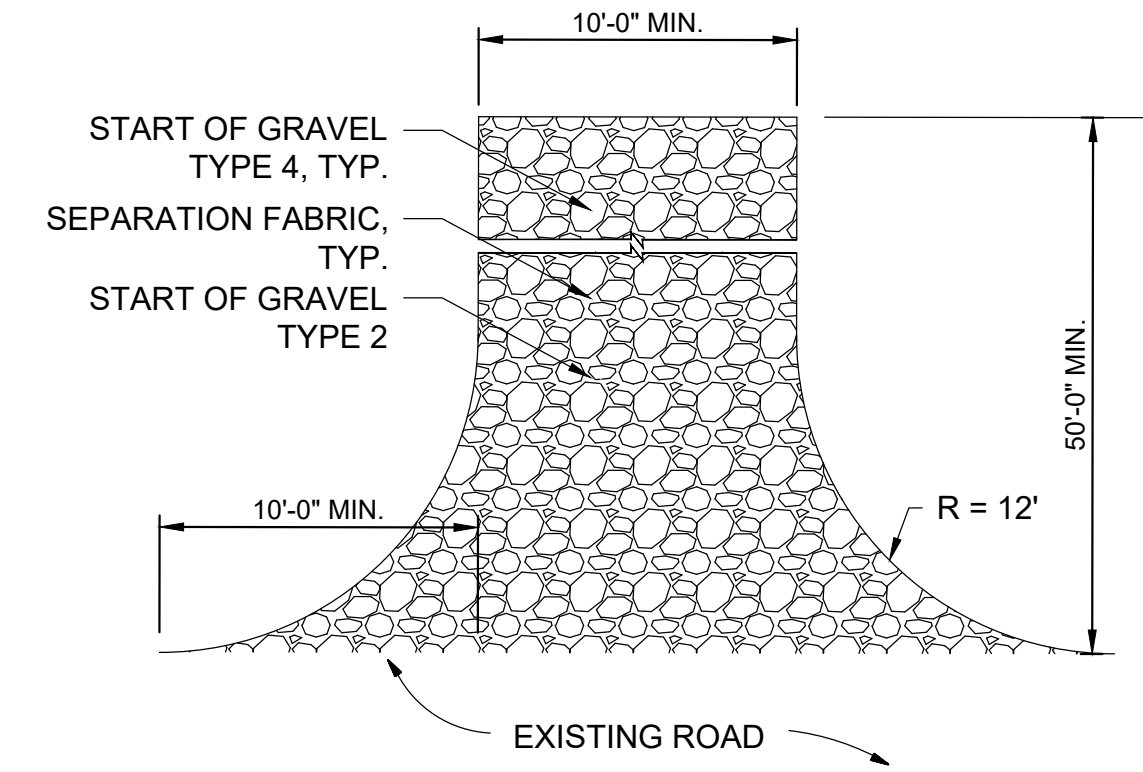
INFILTRATION BASIN DETAIL
 SCALE: N.T.S.



DRIVEWAY PAVEMENT DESIGN
SCALE: NTS

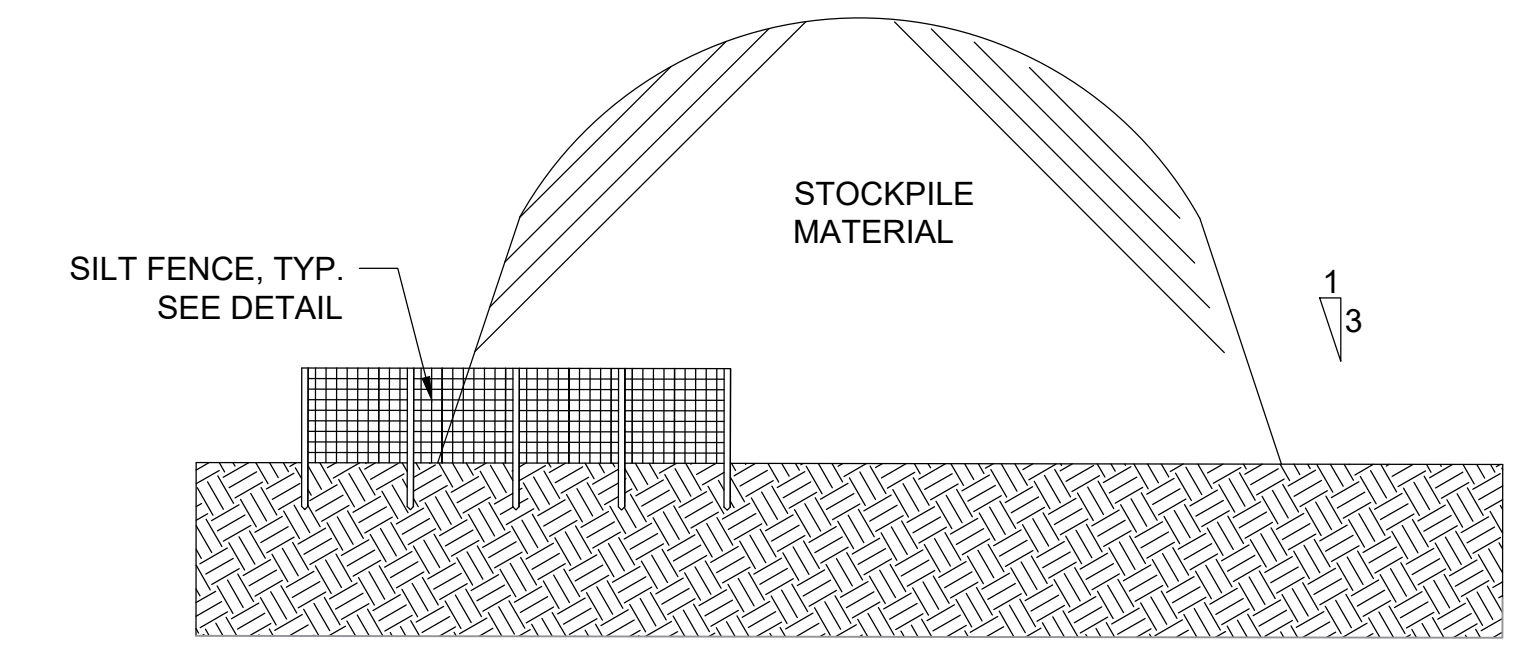


NOTE:
1. EXISTING DRAINAGE ROUTE SHALL BE MAINTAINED BY INSTALLING CULVERTS AT CROSSINGS.
2. STAGING AND STOCKPILING ARE CAN BE MADE OF THE SAME MATERIALS.

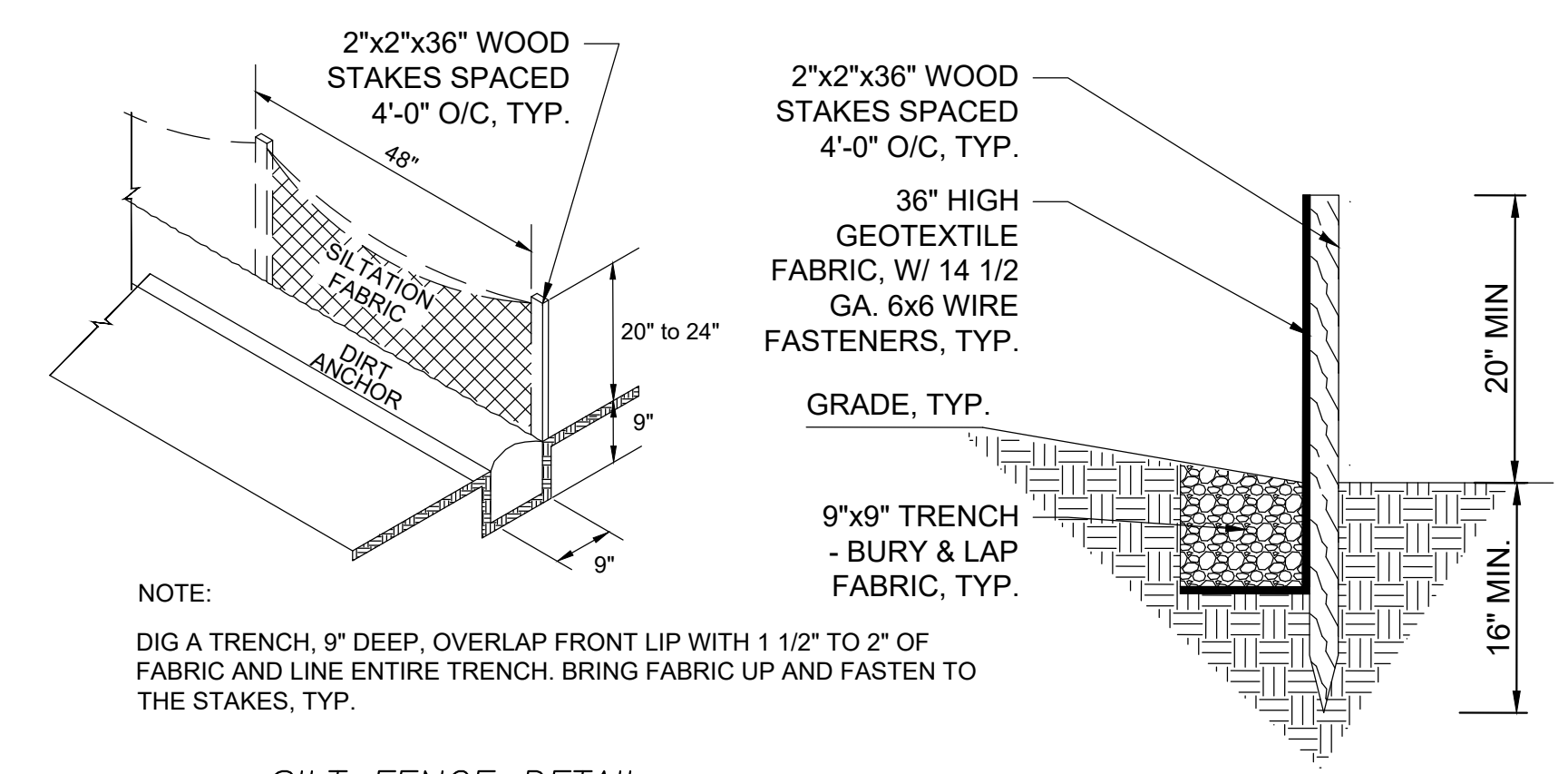


STABILIZED CONSTRUCTION ENTRANCE & STAGING AREA
SCALE: NTS

NOTES:
1. ENTRANCE TO BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO THE PUBLIC ROAD OR R.O.W.
2. SPILLED OR DROPPED SEDIMENT TO BE REMOVED IMMEDIATELY.
3. A CRUSHED STONE, VEHICLE WHEEL CLEANING AREA SHALL BE INSTALLED WHERE THE CONSTRUCTION ACCESS ROAD INTERSECTS A PUBLIC ROAD. THE AREA SHALL BE COMPOSED OF CRUSHED STONE WITH A FILTER FABRIC UNDERNEATH THE ENTIRE AREA. SEE PLAN FOR DIMENSIONS.
4. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL PIPED UNDERNEATH WITH MOUNTABLE BERMS ALONGSIDE.



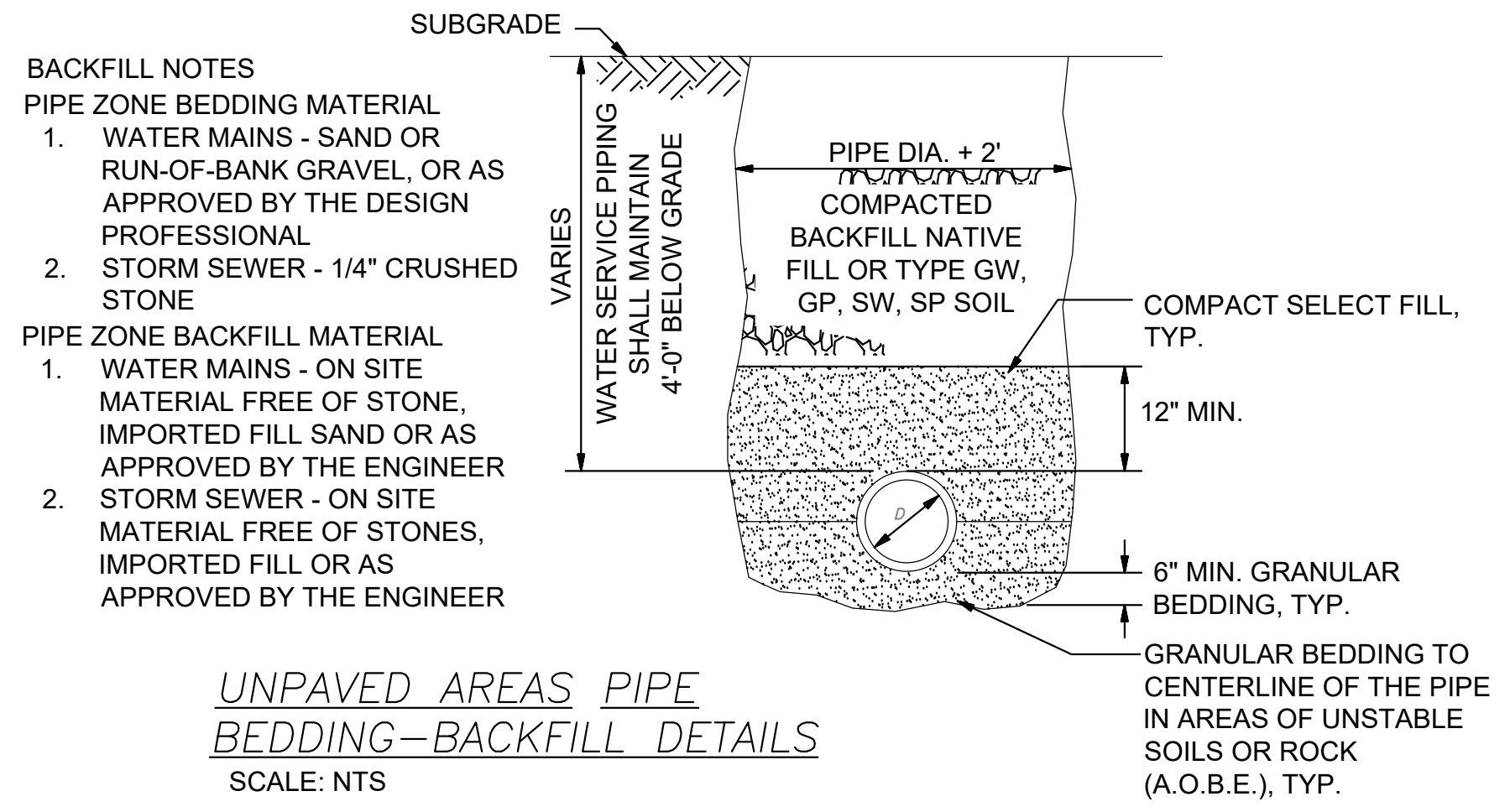
TYPICAL STOCKPILE DETAIL
SCALE: NTS



NOTE:
DIG A TRENCH, 9" DEEP, OVERLAP FRONT LIP WITH 1 1/2" TO 2" OF FABRIC AND LINE ENTIRE TRENCH. BRING FABRIC UP AND FASTEN TO THE STAKES, TYP.

SILT FENCE DETAIL
SCALE: NTS

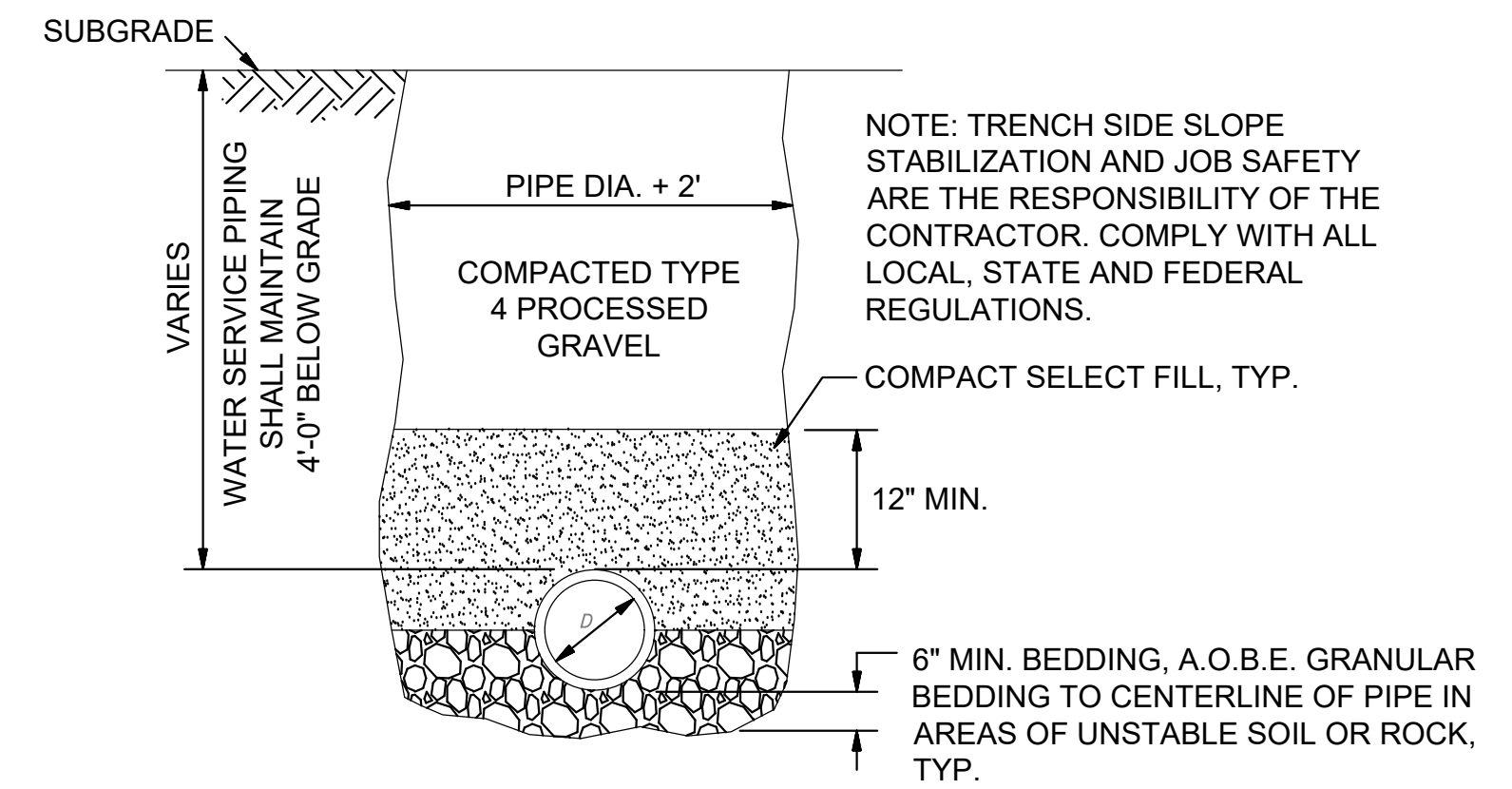
NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 12" O/C AT TOP AND MID SECTION.
3. ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
4. ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND/OR MUNICIPAL ENGINEER.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP ALONG THE SILT FENCE.
6. THE MAXIMUM TRIBUTARY DRAINAGE AREA FOR THE OVER FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 L.F. OF FENCE.
7. MIRAFI 100X OR APPROVED EQUAL.



BACKFILL NOTES
PIPE ZONE BEDDING MATERIAL
1. WATER MAINS - SAND OR RUN-OF-BANK GRAVEL, OR AS APPROVED BY THE DESIGN PROFESSIONAL
2. STORM SEWER - 1/4" CRUSHED STONE
PIPE ZONE BACKFILL MATERIAL
1. WATER MAINS - ON SITE MATERIAL FREE OF STONE, IMPORTED FILL SAND OR AS APPROVED BY THE ENGINEER
2. STORM SEWER - ON SITE MATERIAL FREE OF STONES, IMPORTED FILL OR AS APPROVED BY THE ENGINEER

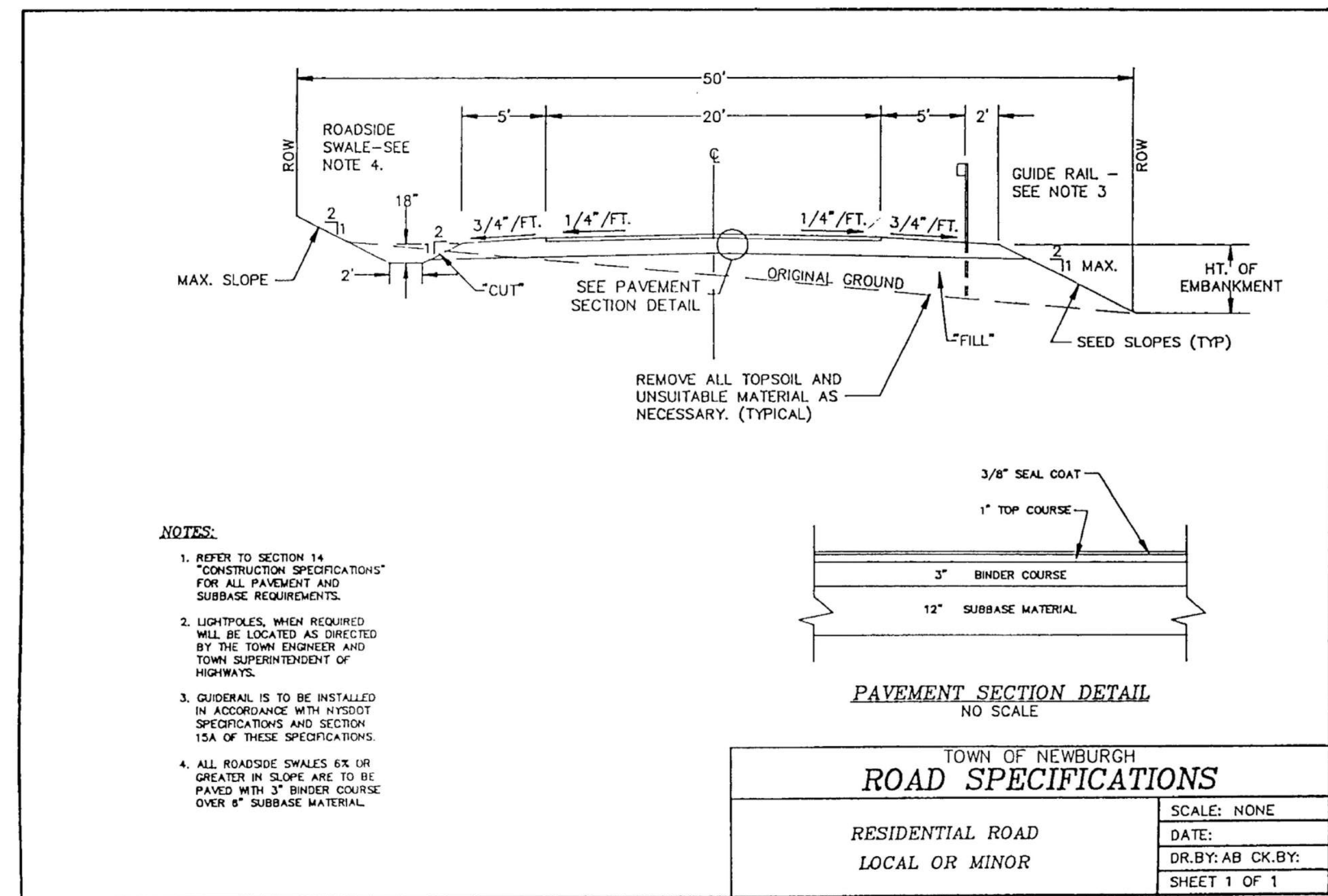
UNPAVED AREAS PIPE BEDDING-BACKFILL DETAILS
SCALE: NTS

NOTES:
1. TRENCH SIDE SLOPE STABILIZATION AND JOB SAFETY ARE THE RESPONSIBILITY OF THE CONTRACTOR. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

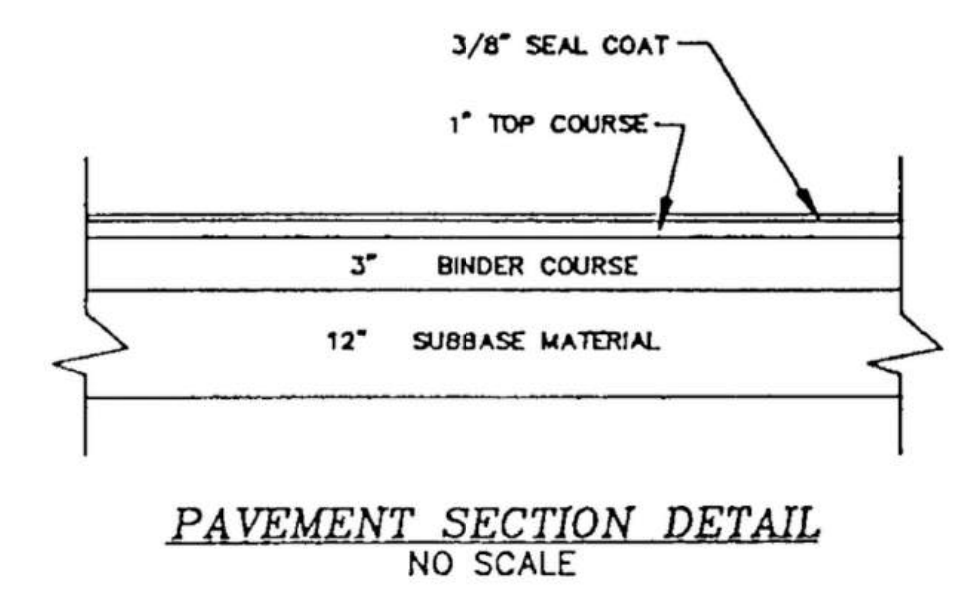


PIPE BEDDING-BACKFILL DETAILS - PAVED AREAS
SCALE: NTS

NOTES:
PIPE ZONE BEDDING MATERIAL
1. WATER MAINS - SAND OR RUN-OF-BANK GRAVEL, OR AS APPROVED BY THE ENGINEER
2. STORM SEWER - 1/4" CRUSHED STONE



NOTES:
1. REFER TO SECTION 14 "CONSTRUCTION SPECIFICATIONS" FOR ALL PAVEMENT AND SUBBASE REQUIREMENTS.
2. LIGHTPOLES, WHEN REQUIRED WILL BE LOCATED AS DIRECTED BY THE TOWN ENGINEER AND TOWN SUPERINTENDENT OF HIGHWAYS.
3. GUIDERAIL IS TO BE INSTALLED IN ACCORDANCE WITH NYS DOT SPECIFICATIONS AND SECTION 15A OF THESE SPECIFICATIONS.
4. ALL ROADSIDE SWALES 6% OR GREATER IN SLOPE ARE TO BE PAVED WITH 3" BINDER COURSE OVER 6" SUBBASE MATERIAL.



PAVEMENT SECTION DETAIL
NO SCALE

TOWN OF NEWBURGH ROAD SPECIFICATIONS	
RESIDENTIAL ROAD LOCAL OR MINOR	SCALE: NONE
	DATE:
	DR. BY: AB CK. BY:
	SHEET 1 OF 1

REGION
 PLANNING BOARD SUBMISSION
 PLANNING BOARD SUBMISSION
 DATE
 08.20.2025
 10.31.2025
 No.
 1
 2

 David Niemotko Architect
 DAVID NIEMOTKO ARCHITECTS, P.C.
 167 STAGE ROAD
 MONROE, NEW YORK 10950
 PH: (845) 774-7523
 WWW.NIEMOTKOARCHITECTS.COM

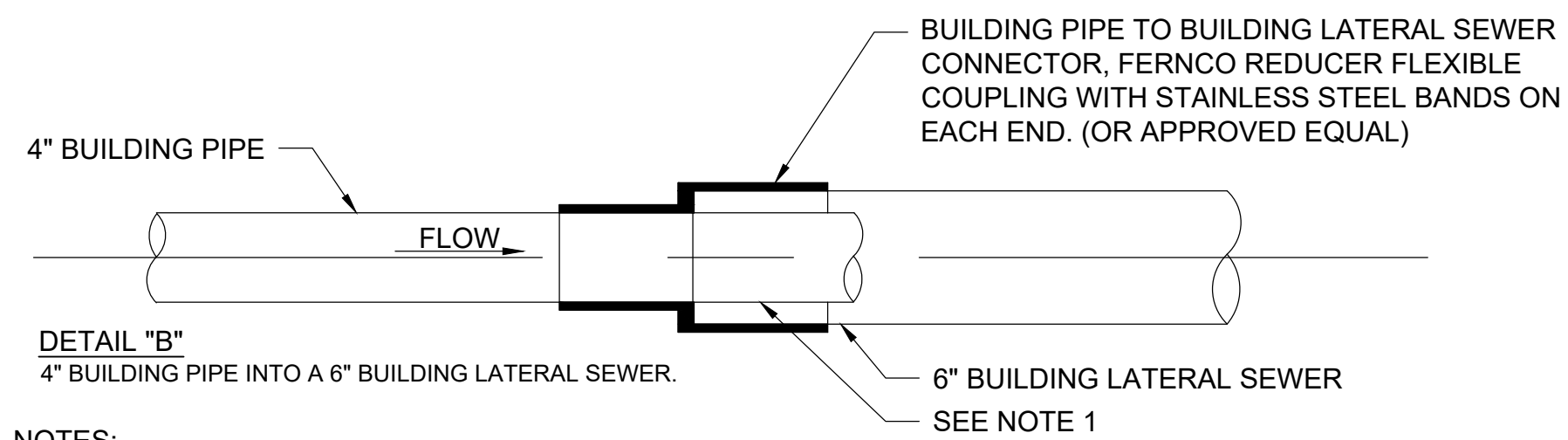
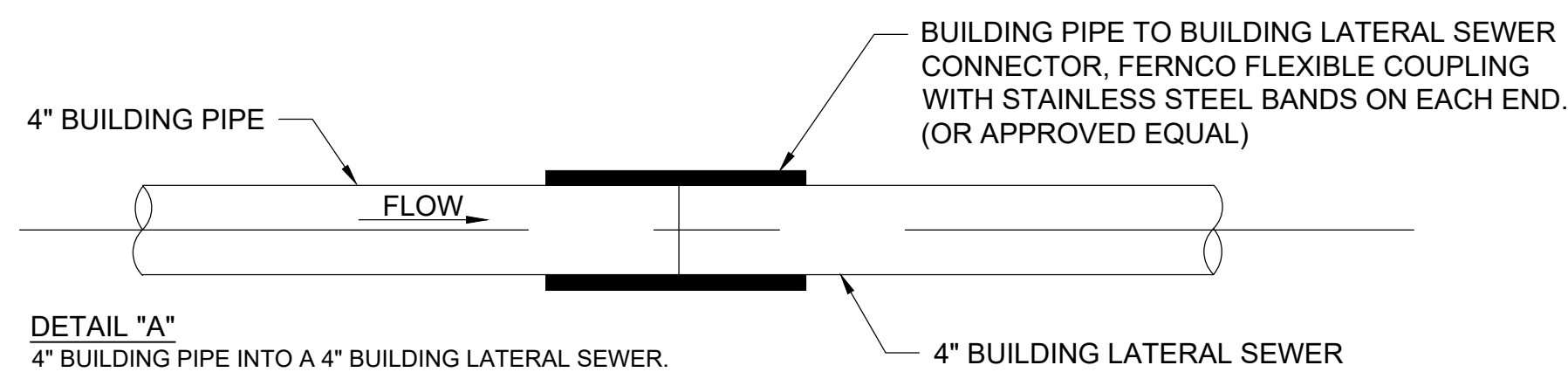
NOTE
FOR AUTHENTICITY SEAL MUST BE ORIGINAL AND SIGNATURE MUST BE IN COLOR - BOTH CANNOT BE COPIED

FOR REVIEW

CONSTRUCTION DETAILS
 WELLS ROAD SUBDIVISION
 121 WELLS ROAD
 NEWBURGH NY 12550
 PROJECT:
 DAVID NIEMOTKO
 167 STAGE RD
 MONROE NY 10950
 CLIENT:

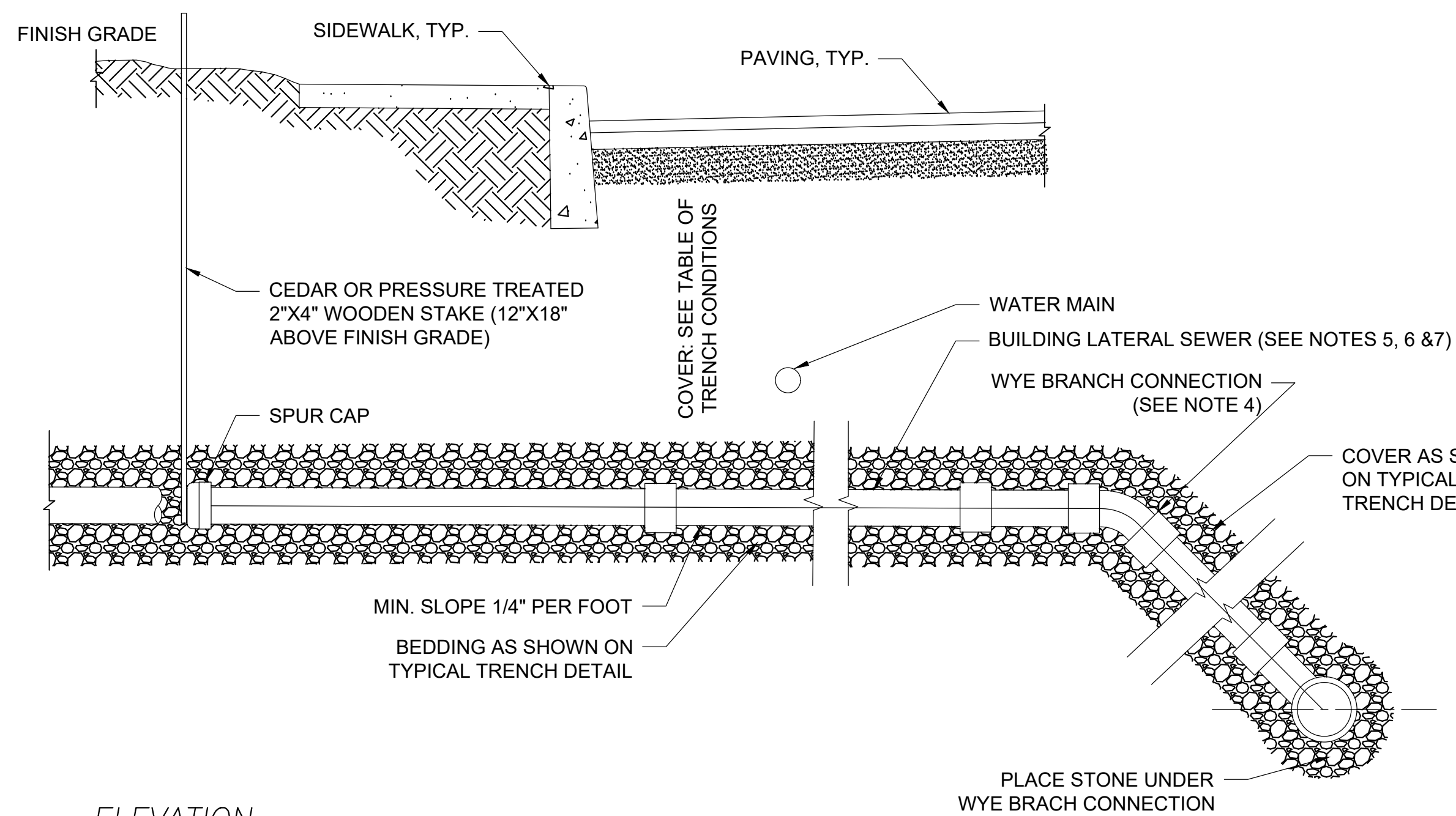
SCALE:
 DRAWN BY: J.S.
 CHECKED BY: D.N.
 JOB #
 PLOT DATE: 08/20/2025

SHEET No.
C-6



- NOTES:
- 4" BUILDING PIPE TO STUB APPROX. 6" INTO 6" BUILDING LATERAL SEWER.
 - EACH 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE AND TWO FAMILY DWELLINGS ONLY.
 - EACH 6" BUILDING LATERAL SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SERVE NO MORE THAN 12 EQUIVALENT LIVING UNITS
 - BUILDING PIPE SHALL NOT EXCEED MORE THAN 10 FEET FROM THE EXTERIOR OF THE FOUNDATION.
 - 6" BUILDING PIPE TO 6" BUILDING LATERAL SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).

BUILDING PIPE TO BUILDING LATERAL SEWER CONNECTION
SCALE: NTS

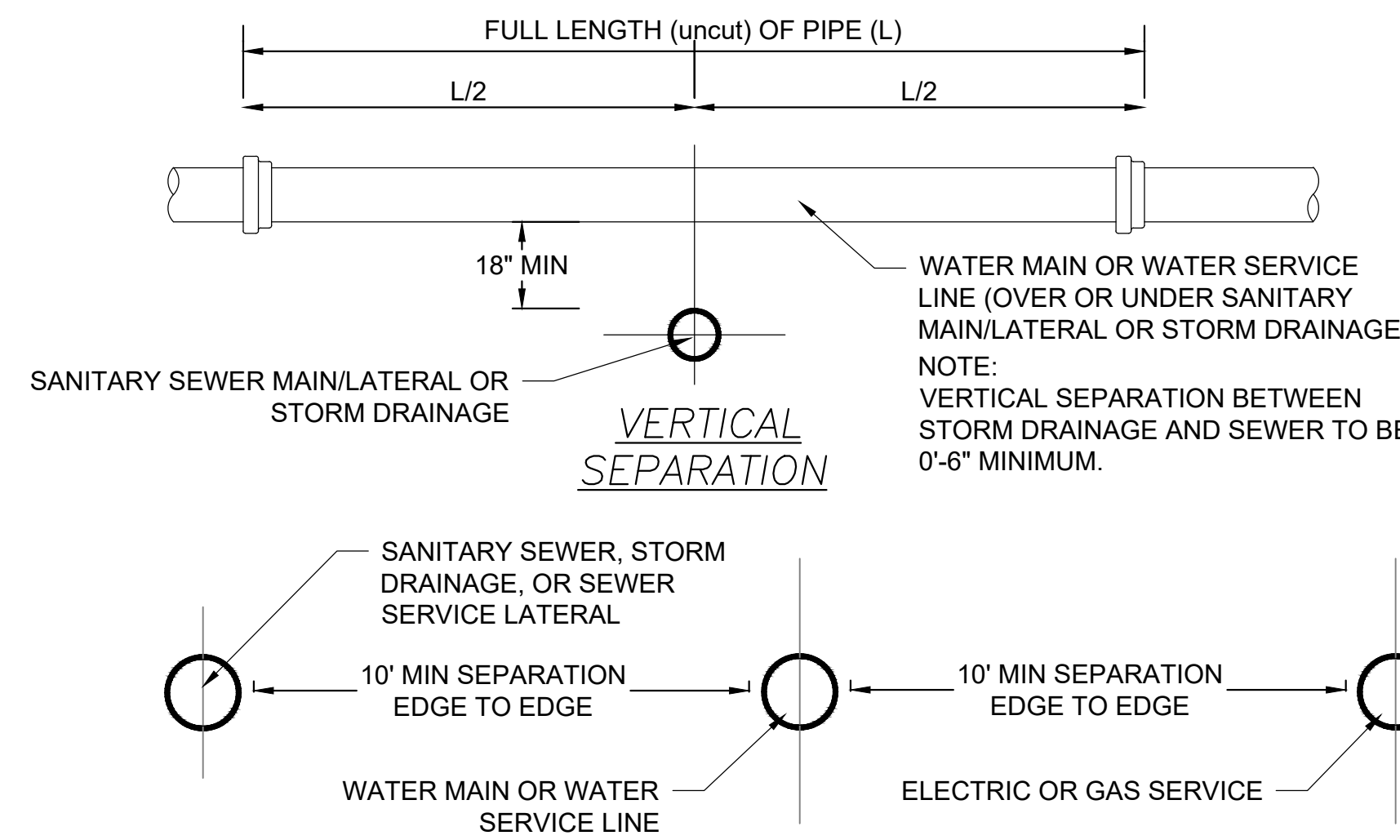


ELEVATION
N.T.S.

BUILDING LATERAL SEWER CONNECTION

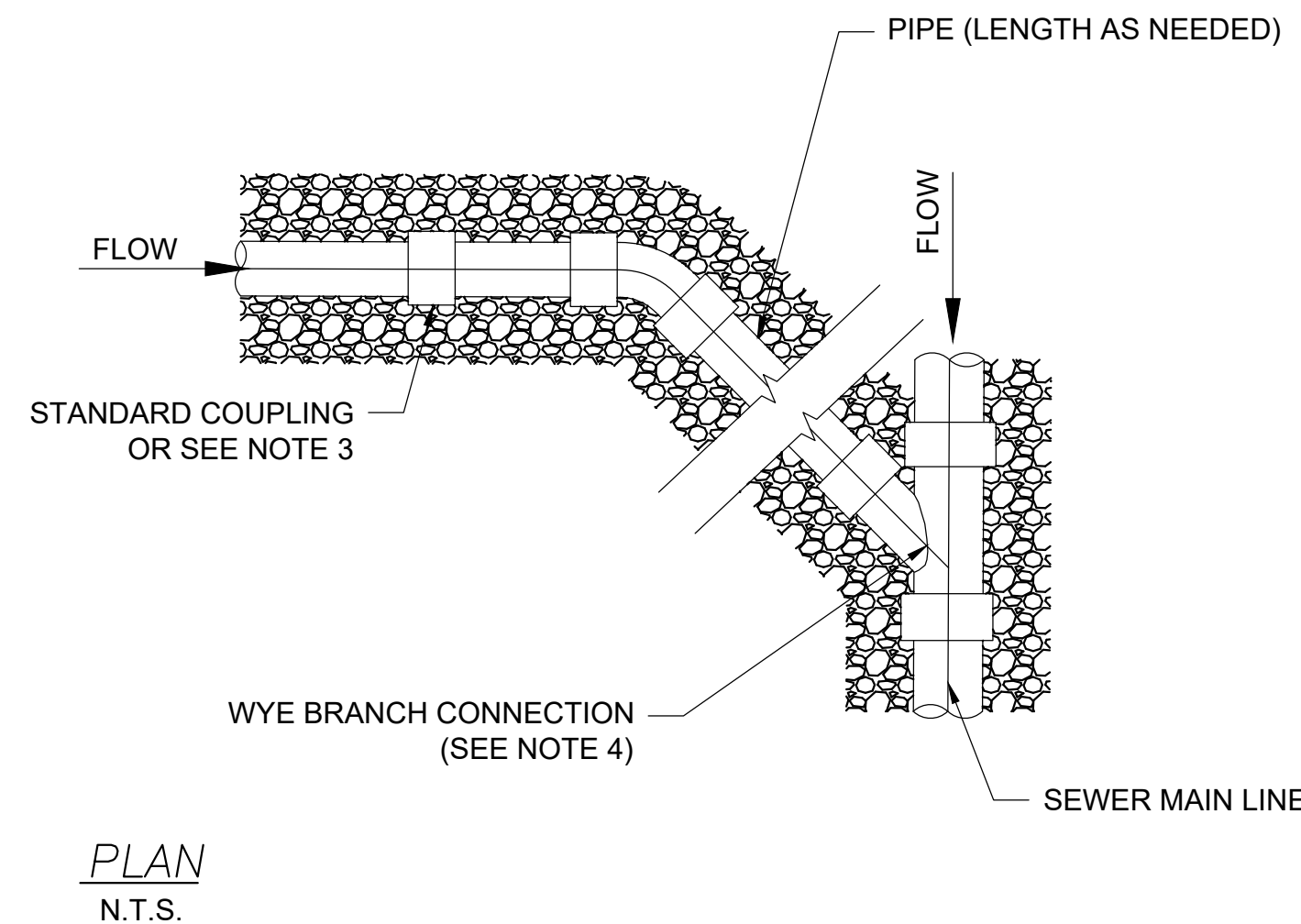
SANITARY SEWER SPECIFICATIONS (FOR BUILDING LATERAL SEWERS AND SEWER MAINLINE)

- NOTES:
- ALL APPROVED BUILDING LATERAL SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
 - MINIMUM HORIZONTAL SEPARATION BETWEEN SPUR CAP AND SIDEWALK SHALL BE 2'-0" IN ALL CASES THE SPUR CAP LOCATION SHALL EXTEND A MINIMUM HORIZONTAL DISTANCE OF 2'-0" ONTO ALL BUILDING LOT PROPERTIES.
 - TRANSITION BETWEEN DIFFERENT PIPE MATERIAL (AS APPROVED) SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 62 DRESSER COUPLING OR DRESSER STYLE 262 HYMAX COUPLING (OR APPROVED EQUAL).
 - WYE BRANCH CONNECTION SHALL BE A FITTING CONSTRUCTED SPECIFICALLY FOR THE INSTALLED MAIN LINE SEWER MATERIAL CLASS (OR APPROVED EQUAL).
 - THE BUILDINGS LATERAL SEWER SHOWN FROM THE MAIN LINE SOURCE WYE BRANCH CONNECTION FITTING TO THE SPUR CAP SHALL MEET THE SPECIFICATIONS SHOWN FOR ii) BUILDING LATERAL SEWER.
 - 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DWELLINGS ONLY. ALL OTHER BUILDING LATERAL SEWERS (INCLUDING ALL COMMERCIAL USES) SHALL BE 6" IN DIAMETER.



NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

SANITARY SEWER/WATER/STORM DRAINAGE SEPARATION REQUIREMENTS
SCALE: NTS



PLAN
N.T.S.

SPECIAL CONDITIONS FOR SHALLOW TRENCH CONDITIONS	
COVER	PIPE
LESS THAN 4'-0"	CLASS 52 DUCTILE IRON PIPE OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL

- SPECIFICATIONS
- REQUIRED MAIN LINE SEWER (OR APPROVED EQUAL):
 - ABS-TRUSS PIPE:
 - PIPE: STAMPED ASTM D2680.
 - FITTINGS: STAMPED ASTM D2680.
 - JOINTS: SOLVENT WELD, ASTM D2235.
 - PVC- TRUSS PIPE:
 - PIPE: STAMPED ASTM D2680.
 - FITTINGS: STAMPED ASTM D2680.
 - JOINTS: SOLVENT WELD, ASTM D2564 OR ELASTOMERIC (GASKET).
 - PVC - SDR 25 HEAVY WALL PIPE
 - PIPE (8" - 15" DIAMETER): STAMPED ASTM D3034 PIPE (18" AND GREATER DIAMETER): STAMPED ASTM F679.
 - FITTINGS: STAMPED ASTM D3034 OR F679.
 - JOINTS: SOLVENT WELD ASTM D2564 OR ELASTOMERIC GASKET.
 - PVC - SDR 35 SOLID WALL PIPE:
 - PIPE (8"-15" DIAMETER): STAMPED ASTM D3034.
 - PIPE (18" AND GREATER DIAMETER): STAMPED ASTM F679.
 - FITTINGS: STAMPED ASTM D3034 OR ASTM F679.
 - JOINTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - REQUIRED 4" OR 6" (AS APPROVED) BUILDING LATERAL SEWER (OR APPROVED EQUAL):
 - PVC - SDR 35 SOLID WALL PIPE:
 - PIPE: STAMPED ASTM D3034 AND SDR 35.
 - FITTINGS: STAMPED SDR 35 AND ASTM D3034.
 - JOINTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
 - SDR 26 HEAVY WALL PIPE:
 - PIPE: STAMPED ASTM D3034 AND SDR 26.
 - FITTINGS: STAMPED D3034 AND SDR 26.
 - JOINTS: BELL AND SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564.
 - SDR 23.5 ABS SOLID WALL PIPE:
 - PIPE: STAMPED ASTM D2751 AND SDR 23.5
 - FITTINGS: STAMPED SDR 23.5 ASTM D2751
 - JOINTS: SOLVENT WELD, ASTM D2235
 - OTHER REQUIRED PIPE MATERIALS FOR BUILDING LATERAL SEWERS AND SEWER MAIN LINE (OR APPROVED EQUAL): ASTM C-564
 - CAST IRON, EXTRA HEAVY, COATED HUB & PLAIN END. ASTM C-74 WITH ELASTOMERIC COMPRESSION GASKET
 - DUCTILE IRON PIPE: CLASS 52, CEMENT LINED AND TAR, COATED INSIDE AND OUT.

REGION
PLANNING BOARD SUBMISSION
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DATE
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2

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FOR REVIEW

CONSTRUCTION DETAILS

SHEET TITLE:
WELLS ROAD SUBDIVISION
121 WELLS ROAD
NEWBURGH NY 12550

PROJECT:
DAVID NIEMOTKO
167 STAGE RD
MONROE NY 10950

SHEET No.

SCALE:

DRAWN BY: J.S.

CHECKED BY: D.N.

JOB #

PLOT DATE: 08/20/2025