



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: BARTON SITE PLAN/LOT LINE CHANGE
PROJECT NO.: 2021-08
PROJECT LOCATION: SECTION 97, BLOCK 2, LOT 27.32, 40 & 47
REVIEW DATE: 29 SEPTEMBER 2021
MEETING DATE: 7 OCTOBER 2021
PROJECT REPRESENTATIVE: MECURIO-NORTON-TAROLLI-MARSHALL

1. The plans have been circulated to Orange County Planning Department. We are awaiting receipt of their reply.
2. A City of Newburgh Flow Acceptance Letter has been submitted for the 315 gallons+/- increase in flow from the site.
3. The Applicants have confirmed that two of the parcels are included in the Stormwater Maintenance Agreement. The third parcel not proposed for development at this time does not have a Stormwater Management Agreement. This agreement will be required upon development of the site.
4. Based on the plans and reports provided this office would recommend a Negative Declaration for the 21,000 +/- square foot addition to the existing facility. It is noted that a large portion of the area proposed for the structure is currently paved. Stormwater Management Plan and Report have been provided, including an Erosion and Sediment Control Plan.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines
Principal

PJH/kbw

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

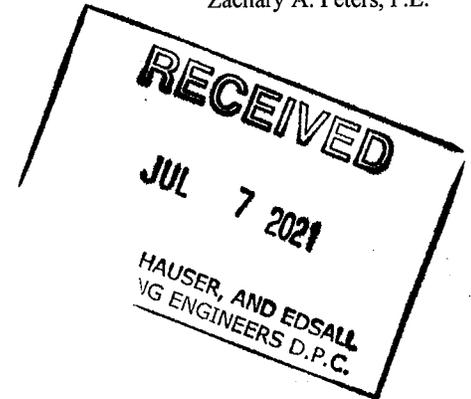
Lawrence J. Marshall, P.E.

John Tarolli, P.E., L.S.

Zachary A. Peters, P.E.

July 7, 2021

Planning Board
Town of Newburgh
21 Hudson Valley Professional Plaza
Newburgh, New York 12550
Also via email: planningboard@townofnewburgh.org



Re: Job No. 3912-3
Tax Map Parcels: 97-2-27.32, 40, & 47
Town of Newburgh
Orange County
Auto Park Place & Unity Place
Town Project #2021-08

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

1. Ten (10) copies of the Lot Line Change Map
2. Ten (10) copies of the Site Plan
3. Ten (10) copies of the revised Building Elevation
4. One (1) electronic copy of the Stormwater Pollution Prevention Plan (SWPPP)

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers, dated April 30, 2021:

1. No response required.
2. The proposed lot lines have been adjusted slightly to accommodate the proposed site improvements.
3. No response required.
4. The proposed addition is intended to serve the parts and service division of the dealership, which is currently located at an off-site location on an adjacent lot. The applicant appeared at the May 6, 2021 meeting and further discussed the proposed use with the Board.
5. Portions of the existing onsite drainage system will be removed and replaced as part of the proposed site development. A detailed site plan has been prepared.
6. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared for the proposed development.
7. No response required.
8. A separate Lot Line Change map has been prepared.
9. See response 5, above. The Board discussed completing the lot line change and site plan review concurrently at the last meeting.



The following comments are in response to a review by Kenneth Wersted, P.E. of Creighton Manning, dated April 30, 2021:

1. The existing parts and service center is located in a separate facility located to the east of the project site along Auto Park Place.
2. Due to the proximity of the existing parts and service center to the project site we do not anticipate any significant changes to employee and customer traffic along Auto Park Place or Unity Place will result from the proposed development.
3. The proposed overhead doors will provide access to the vehicle service bays and parts storage area. The service area includes four (4) exterior access overhead doors for light-duty trucks. A copy of the proposed building floorplan was included in our April 22, 2021 submittal.

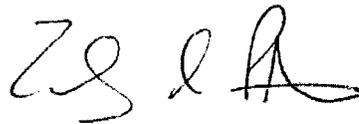
In addition to the responses above, we offer the following comments based upon the discussion at the May 6, 2021 meeting:

1. The previously proposed retaining wall has been removed. The southerly slope is proposed to be tied back to existing grade.
2. A landscaping plan has been included in the detailed site plan.
3. An updated building elevation, including exterior finish specifications, has been included in the current submittal. The exterior colors on the proposed addition will be consistent with the existing building.

Please place this project on the July 15, 2021 meeting agenda for discussion.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at zpeters@mntm.co.

Sincerely,



Zachary A. Peters, P.E.

ZAP/zap
Enc.

Cc: Patrick Hines (via email & mail, w. hard copy of SWPPP) - w.enc
Dominic Cordisco, Esq. (via email) - w.enc
Kenneth Wersted, P.E. (via email) - w.enc
Ron Barton (via email) - w.enc



Legend

- PROPERTY LINE & CORNER
- ▲— SET 5/8" IRON ROD AT PROPERTY CORNER
- P— ADJOINER PROPERTY LINE
- L XXXX, P. XXX DEED LIBER, PAGE
- XX-X-XX TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
- UL— EXISTING UTILITY POLE & LINE
- STONE WALL
- BUILDING
- ▬— CURBING
- ▬— CONCRETE PAD/ SIDEWALK
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- TREE
- SEWER MANHOLE
- GRAVEL AREA
- CHAINLINK FENCE
- ELECTRIC BOX

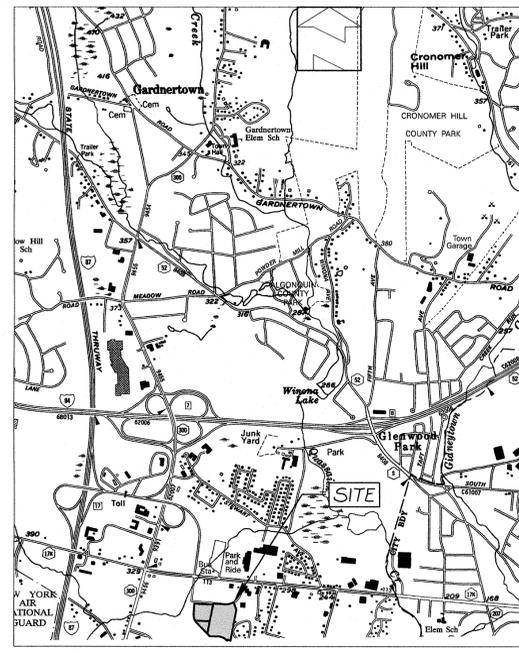
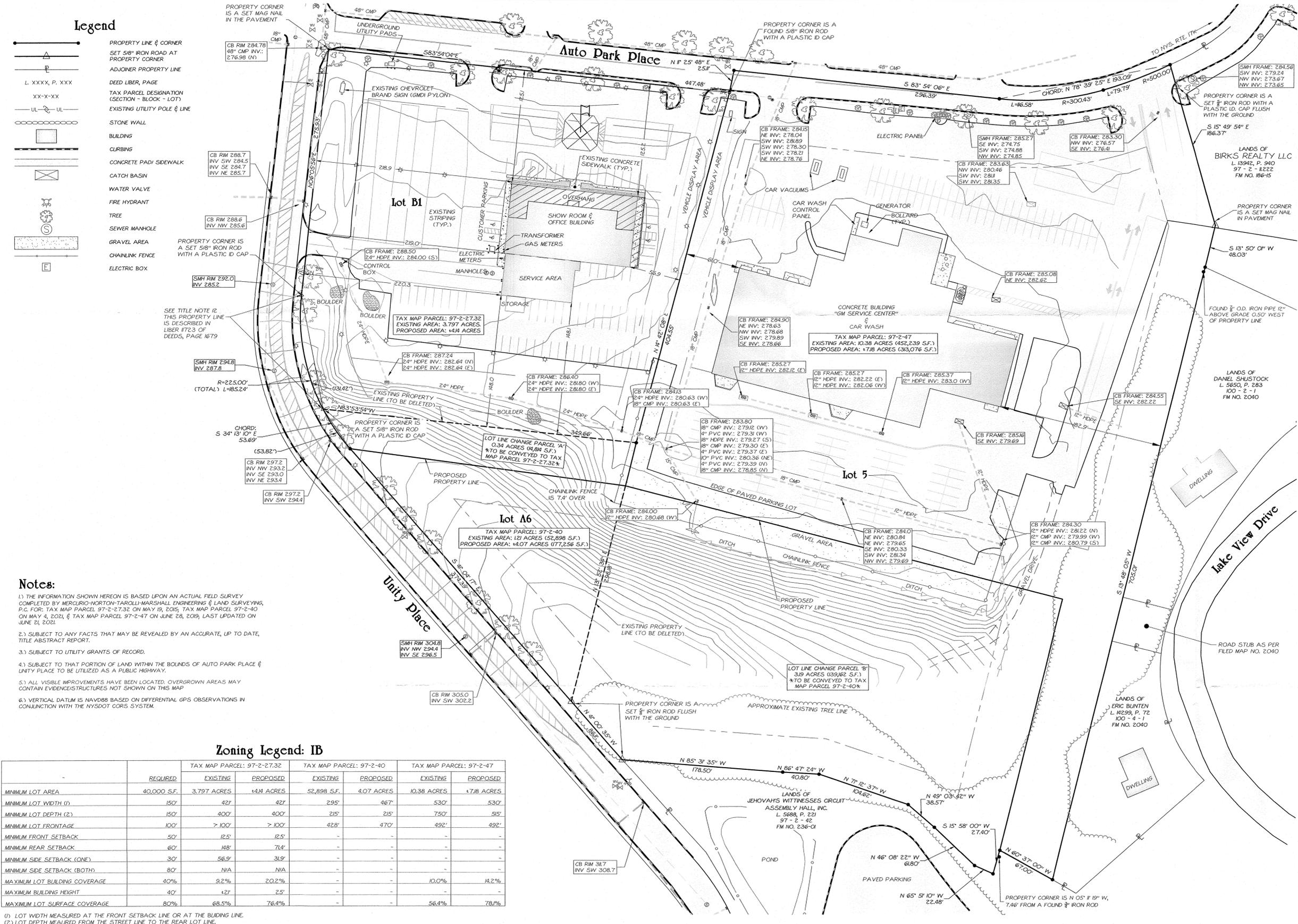
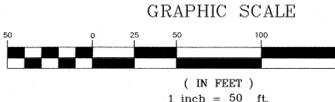
SEE TITLE NOTE 12. THIS PROPERTY LINE IS DESCRIBED IN LIBER 1723 OF DEEDS, PAGE 1679

- Notes:**
- 1.) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERS & LAND SURVEYING, P.C. FOR TAX MAP PARCEL 97-2-27.32 ON MAY 19, 2015; TAX MAP PARCEL 97-2-40 ON MAY 4, 2021 & TAX MAP PARCEL 97-2-47 ON JUNE 28, 2019, LAST UPDATED ON JUNE 21, 2021.
 - 2.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
 - 3.) SUBJECT TO UTILITY GRANTS OF RECORD.
 - 4.) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF AUTO PARK PLACE & UNITY PLACE TO BE UTILIZED AS A PUBLIC HIGHWAY.
 - 5.) ALL VISIBLE IMPROVEMENTS HAVE BEEN LOCATED. OVERGROWN AREAS MAY CONTAIN EVIDENCE/STRUCTURES NOT SHOWN ON THIS MAP.
 - 6.) VERTICAL DATUM IS NAVD88 BASED ON DIFFERENTIAL GPS OBSERVATIONS IN CONJUNCTION WITH THE NYS DOT CORS SYSTEM.

Zoning Legend: IB

	TAX MAP PARCEL: 97-2-27.32		TAX MAP PARCEL: 97-2-40		TAX MAP PARCEL: 97-2-47		
	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	3,797 ACRES	4,414 ACRES	52,898 S.F.	4.07 ACRES	10,38 ACRES	4,718 ACRES
MINIMUM LOT WIDTH (1)	150'	42'	42'	295'	46'	530'	530'
MINIMUM LOT DEPTH (2)	150'	400'	400'	215'	215'	750'	515'
MINIMUM LOT FRONTAGE	100'	> 100'	> 100'	428'	470'	492'	492'
MINIMUM FRONT SETBACK	50'	12.5'	12.5'	-	-	-	-
MINIMUM REAR SETBACK	60'	18'	71.4'	-	-	-	-
MINIMUM SIDE SETBACK (ONE)	30'	56.9'	31.9'	-	-	-	-
MINIMUM SIDE SETBACK (BOTH)	80'	N/A	N/A	-	-	-	-
MAXIMUM LOT BUILDING COVERAGE	40%	9.2%	20.2%	-	-	10.0%	14.2%
MAXIMUM BUILDING HEIGHT	40'	42'	2.5'	-	-	-	-
MAXIMUM LOT SURFACE COVERAGE	80%	68.5%	76.4%	-	-	56.4%	78.1%

(1) LOT WIDTH MEASURED AT THE FRONT SETBACK LINE OR AT THE BUILDING LINE.
 (2) LOT DEPTH MEASURED FROM THE STREET LINE TO THE REAR LOT LINE.



Location Map
SCALE: 1" = 2,000'

Parcel Information

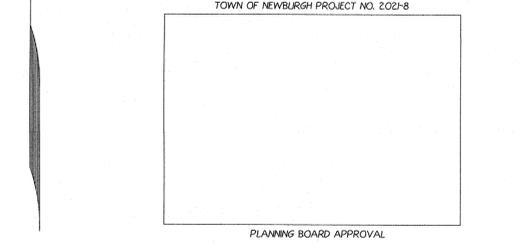
TAX PARCEL:	97 - 2 - 27.32
AREA:	3.797 ACRES
RECORD OWNER:	800 AUTO PARK PLACE, LLC 800 AUTO PARK PLACE NEWBURGH, NY 12550
DEED REFERENCE:	L 2484, P. 168
MAP REFERENCE:	LOT B1 - FM NO. 236-01 NOVEMBER 7, 2001

TAX PARCEL:	97 - 2 - 40
AREA:	1.21 ACRES
RECORD OWNER:	WEBB PROPERTIES, INC. 800 AUTO PARK PLACE NEWBURGH, NY 12550
DEED REFERENCE:	L 2484, P. 163
MAP REFERENCE:	LOT A6 - FM NO. 236-01 NOVEMBER 7, 2001

TAX PARCEL:	97 - 2 - 47
AREA:	10.38 ACRES
RECORD OWNER:	WEBB PROPERTIES, INC. 800 AUTO PARK PLACE NEWBURGH, NY 12550
DEED REFERENCE:	L 2484, P. 163
MAP REFERENCE:	LOT 5 - FM NO. 236-01 NOVEMBER 7, 2001

Applicant Information

APPLICANT:	800 AUTO PARK PLACE, LLC 800 AUTO PARK PLACE NEWBURGH, NY 12550
------------	---



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
 "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
 "CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

I HEREBY CERTIFY TO WEBB PROPERTIES, INC. THAT THIS MAP IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO - NORTON - TAROLLI - MARSHALL ENGINEERING & LAND SURVEYING, P.C. (SEE NOTE 1)	ZAP
JOHN TAROLLI LS #049201	ZACHARY A. PETERS PE #093918

Survey & Lot Line Change Map for Webb Properties, Inc. & 800 Auto Park Place, LLC

Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

TAX MAP PARCEL: 97-2-47
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: JUNE 28, 2019
PROJECT: 3874-4
SHEET: 1 / 1



CITY OF NEWBURGH

Office of the Engineer

83 Broadway, Newburgh, New York 12550

(845) 569-7448/Fax (845) 569-7349

www.cityofnewburgh-ny.gov

Jason C. Morris, P.E.

City Engineer

jmorris@cityofnewburgh-ny.gov

Zakia R. Alam

Junior Civil Engineer

zalam@cityofnewburgh-ny.gov

Elizabeth Garrison

Administrative Assistant to the City Engineer

egarrison@cityofnewburgh-ny.gov

Chad M. Wade, R.L.A.

Assistant City Engineer

cwade@cityofnewburgh-ny.gov

Thomas Jenkins

Engineering Technician

tjenkins@cityofnewburgh-ny.gov

September 29, 2021

Patrick J. Hines, PE

Town of Newburgh

308 Gardnertown Road

Newburgh, New York 12550

Re: Crossroads S.D. – City/Town of Newburgh Intermunicipal Agreement

Barton Chevrolet Warehouse Addition - Flow Acceptance Letter

City of Newburgh Sewer Connection Approval (315 gpd)

Mr. Hines,

Pursuant to the terms and conditions of the City-Town of Newburgh Intermunicipal Sewer Agreement dated May 6, 2004, permission is hereby granted for an increase in sewer flow to the Town of Newburgh's sewer main to serve the proposed 21,355 square foot addition to the existing Barton Chevrolet showroom. The anticipated sewer flow increase of 315 gallons per day from this proposed addition will be counted toward the 3.8 million gallons per day capacity allocated to the Town, as stated in the City-Town Sewer Agreement.

Please notify this office via email at least 48 hours prior to the commencement of sewer flows from this proposed addition. If you have any questions regarding this approval, please contact this office at your convenience.

Sincerely,

Jason C. Morris, PE

City Engineer

cc: Todd Venning, City Manager
Michelle Kelson, Corporation Counsel
George Garrison, DPW Superintendent
Michael Batz, INFRAMARK
Gil Piaquadio, Town Supervisor
John P. Ewasutyn, Planning Board Chairman
Patrick J. Hines, MHE
Mark Taylor, Attorney for the Town
Zachary Peters, MNTM Engineers



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

29 September 2021

City of Newburgh-City Hall
83 Broadway
Newburgh, NY 12550

ATTENTION: JASON MORRIS, P.E.

**SUBJECT: FLOW ACCEPTANCE LETTER-BARTON CHEVROLET WAREHOUSE
STORAGE ADDITION
AUTO PARK DRIVE & UNITY PLACE
TOWN OF NEWBURGH PB PROJECT #2021-08**

Dear Jason,

The Town of Newburgh Planning Board is reviewing a project located at Unity Place and Auto Park Drive. The Barton Chevrolet dealership is proposing to construct a 21,355 square foot addition to the rear of the existing Barton Chevrolet showroom. The purpose of the addition is identified to house parts and service division of the dealership, which currently operates at a separate off site location. The Applicants representative have identified that the project will add 21 additional employees to the site resulting in an increase of 315 gallons per day sewage flow from the facility (21 x 15 gals/day/employee). In compliance with requirements of the Crossroads Sewer District/ City of Newburgh Inter-Municipal Sewer Agreement, I am writing to request approval for the increased flow from the subject facility. A copy of the project narrative identifying the potential increase in sewer flow is attached for your use.

Should you have any questions or require additional information do not hesitate the contact this office.

Respectfully submitted,

MHE Engineering, D.P.C.



Patrick J. Hines
Rep. Engineer for the Town

Attachment

Cc: Gilbert Piaquadio, Supervisor
Mark Taylor, Attorney for the Town
John P. Ewasutyn, Planning Board Chairman
Zachary Peters, MNTM Engineers

Project Narrative

For

Barton Cadillac Lot Line Change & Site Plan

800 Auto Park Place
Town of Newburgh
Orange County, New York
Town of Newburgh Project No. 2021-8

Prepared for:

800 Auto Park Place, LLC
800 Auto Park Place
Newburgh, New York

Prepared by:

Mercurio-Norton-Tarolli-Marshall
Engineering & Land Surveying, P.C.



Zachary A. Peters, P.E.



Prepared:
April 14, 2021



A. Description of Project Site:

The project site is located in the Town of Newburgh, Orange County, New York on the southerly side of Auto Park Place and the easterly side of Unity Place. The parcel is currently identified as tax map parcels: Section 97, Block 2, Lot 27.32, 40, & 47. The site contains approximately 15.39 acres of land located in the IB zoning district.

B. Existing Conditions:

Tax map parcel 97-2-27.32 contains an existing display room and office building for the Barton Cadillac dealership. The majority of the project site contains paved parking areas utilized primarily for the display of new and used vehicles. The existing dealership is current accessed from Auto Park Place by two (2) existing entrances and Unity Place by one (1) existing access drive. The site is served by public water and sewer facilities located along Auto Park Place. The remainder of the parcel consists primarily of manicured lawn.

Tax map parcel 97-2-40 is vacant and consists primarily of manicured lawn.

Tax map parcel 97-2-47 contains an existing GM service center. The majority of the project site contains paved parking areas utilized primarily for the display of new and used vehicles. The existing dealership is current accessed from Auto Park Place by two (2) existing entrances. The site is served by public water and sewer facilities located along Auto Park Place. The remainder of the parcel consists of manicured lawn with wooded areas along the southerly and easterly property lines.

C. Proposed Development:

The proposed development involves the construction of approximately 21,355 square foot addition to the rear of the existing show room for the Barton Chevrolet dealership. The purpose of the addition is to house the parts and service division of the dealership, which currently operates at a separate, off-site location. The project will add twenty-one (21) additional employees to the site, resulting in an increase of approximately 315 gallons per day (gpd) in water usage for the facility.

The proposed project also involves two lot line changes:

- Lot line change "A" involves the transfer of 11,379 square feet of land from tax map parcel 97-2-40, the undeveloped parcel, to tax map parcel 97-2-27.32. The resulting lot areas are 4.06 acres for the dealership and 0.95 acres (1,492 square feet) for the vacant parcel.
- Lot line change "B" involves the transfer of 3.03 acres (132,188 s.f.) of land from tax map parcel 97-2-47, the service center, to tax map parcel 97-2-40, the undeveloped parcel. The resulting lot areas are 7.31 acres for the service center lot, and 3.98 acres for the vacant parcel.

The proposed lot line changes are summarized in the table below:

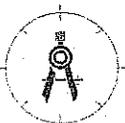


Table 1: Lot Line Change Parcel Summary		
<i>Tax Map Parcel</i>	<i>Existing Area (acres)</i>	<i>Proposed Area (acres)</i>
97-2-27.32	3.797	4.06
97-2-40	1.21	3.98
97-2-47	10.38	7.31

The proposed lot conditions meet or exceed the minimum bulk zoning requirements for the IB zoning district. The proposed lot conditions for the developed parcels (tax map parcels 97-2-27.32 & 97-2-47) are below the maximum lot building coverage & maximum lot surface coverage for the IB zoning district.

D. Stormwater Management:

The project involves the construction of approximately 0.75 acres of additional impervious cover on tax map parcel 97-2-27.32. The development area consists primarily of gently sloping manicured lawn. The area of disturbance anticipated is less than 1.0 acres. Erosion and sediment control measures will be installed during construction to prevent the transportation of sediment off-site. Erosion and sediment control measures will be maintained at all times during construction.



Legend

- PROPERTY LINE & CORNER
- SET 5/8" IRON ROAD AT PROPERTY CORNER
- ADJOINER PROPERTY LINE
- L. XXXX, P. XXX
DEED LIBER, PAGE
- XX-X-XX
TAX PARCEL DESIGNATION (SECTION - BLOCK - LOT)
- UL --- UL
EXISTING UTILITY POLE & LINE
- STONE WALL
- BUILDING
- CURBING
- CONCRETE PAD/ SIDEWALK
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- TREE
- SEWER MANHOLE
- GRAVEL AREA
- CHAINLINK FENCE
- ELECTRIC BOX

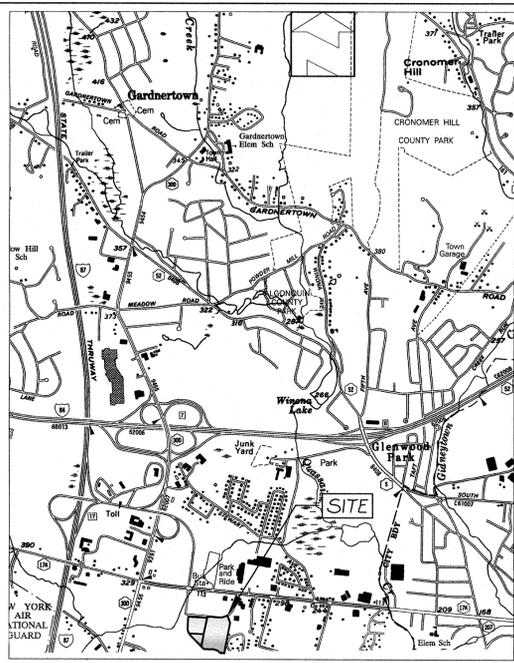
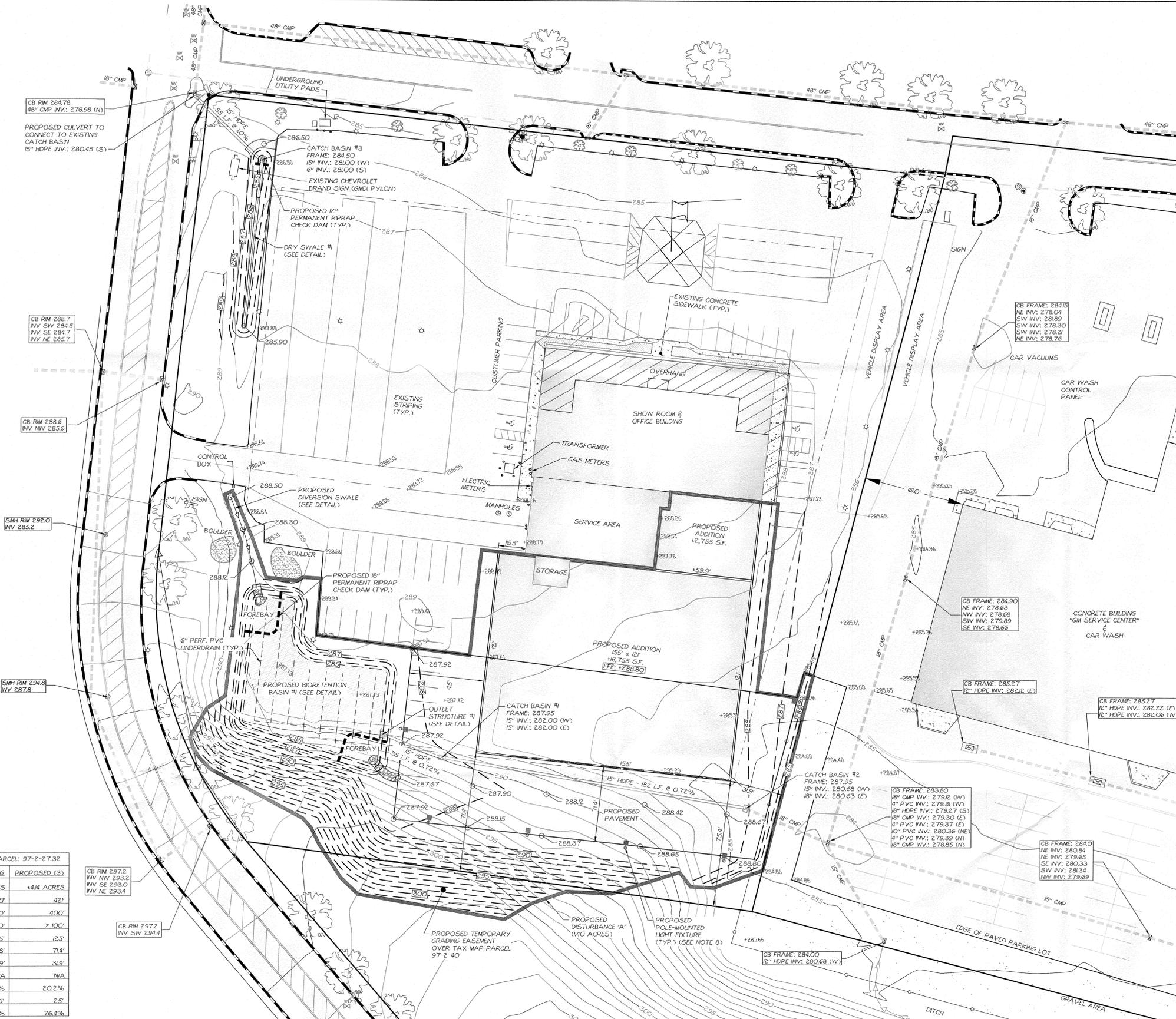
Notes:

- 1) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. FOR: TAX MAP PARCEL 97-2-27.32 ON MAY 2, 2015; TAX MAP PARCEL 97-2-40 ON MAY 4, 2021, & TAX MAP PARCEL 97-2-47 ON JUNE 28, 2019, LAST UPDATED ON JUNE 21, 2021.
- 2) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF AUTO PARK PLACE & UNITY PLACE TO BE UTILIZED AS A PUBLIC HIGHWAY.
- 5) ALL VISIBLE IMPROVEMENTS HAVE BEEN LOCATED. OVERGROWN AREAS MAY CONTAIN EVIDENCE/STRUCTURES NOT SHOWN ON THIS MAP.
- 6) VERTICAL DATUM IS NAVD88 BASED ON DIFFERENTIAL GPS OBSERVATIONS IN CONJUNCTION WITH THE NYSDOT CORS SYSTEM.
- 7) THE PROPOSED AREA OF DISTURBANCE IS APPROXIMATELY 1/4 ACRES.
- 8) THE PROPOSED LIGHTING FIXTURES WILL BE CONSISTENT WITH THE EXISTING ON-SITE LIGHTING FIXTURES.

Zoning Legend: IB

	REQUIRED	EXISTING	PROPOSED (3)
MINIMUM LOT AREA	40,000 S.F.	3,797 ACRES	14.4 ACRES
MINIMUM LOT WIDTH (1)	150'	421'	421'
MINIMUM LOT DEPTH (2)	150'	400'	400'
MINIMUM LOT FRONTAGE	100'	> 100'	> 100'
MINIMUM FRONT SETBACK	50'	12.5'	12.5'
MINIMUM REAR SETBACK	60'	118'	71.4'
MINIMUM SIDE SETBACK (ONE)	30'	56.9'	34.9'
MINIMUM SIDE SETBACK (BOTH)	80'	N/A	N/A
MAXIMUM LOT BUILDING COVERAGE	40%	9.2%	20.2%
MAXIMUM BUILDING HEIGHT	40'	12'	2.5'
MAXIMUM LOT SURFACE COVERAGE	80%	68.5%	76.4%

- (1) LOT WIDTH MEASURED AT THE FRONT SETBACK LINE OR AT THE BUILDING LINE.
- (2) LOT DEPTH MEASURED FROM THE STREET LINE TO THE REAR LOT LINE.
- (3) PROPOSED CONDITIONS REFLECT THE PROPOSED LOT LINE CHANGE.



Location Map
SCALE: 1" = 2,000'

Parcel Information

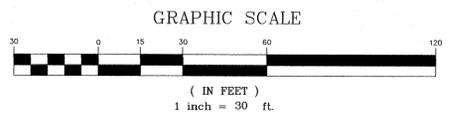
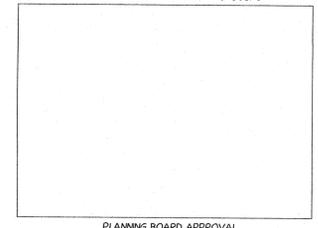
TAX PARCEL:	97 - 2 - 27.32
AREA:	3.797 ACRES
RECORD OWNER:	800 AUTO PARK PLACE, LLC 800 AUTO PARK PLACE NEWBURGH, NY 12550
DEED REFERENCE:	L. 12415, P. 168
MAP REFERENCE:	LOT B1 - FM NO. 236-01 NOVEMBER 7, 2001

* EXISTING TAX MAP PARCEL INFORMATION, DOES NOT REFLECT PROPOSED LOT LINE CHANGE

Applicant Information

APPLICANT:	800 AUTO PARK PLACE, LLC 800 AUTO PARK PLACE NEWBURGH, NY 12550
------------	---

TOWN OF NEWBURGH PROJECT NO. 2021-8



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYORS EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

NO.	DATE	REVISION	BY
1	7-7-21	DETAILED SITE PLAN	ZAP
			ZACHARY A. PETERS PE #09398

Site Plan
for lands of
800 Auto Park Place, LLC

Mercurio-Norton-Tarolli-Marshall
ENGINEERING & LAND SURVEYING

PO BOX 166, 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744-3620 F:(845)744-3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
TAX MAP PARCEL: 97-2-27.32
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: JUNE 28, 2019
PROJECT: 392-3
SHEET: 1 / 4



Legend

- PROPERTY LINE & CORNER
-
-
-
-
-
-
-
-
-
-
-
-
-
-
-
-
-

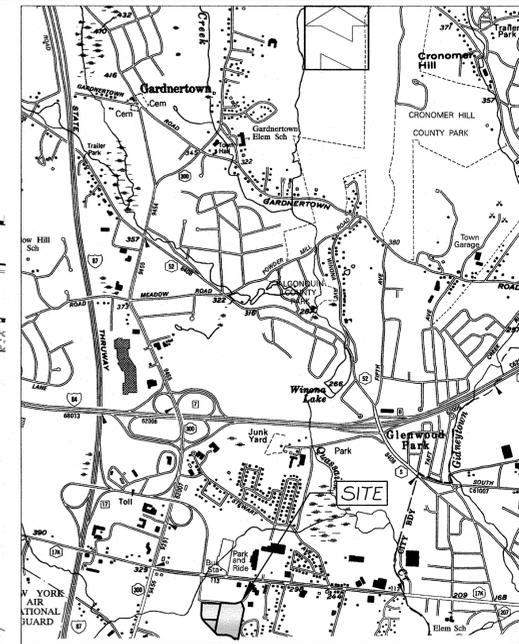
Notes:

- 1) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MERCURIO-NORTON-TAROLLI-MARSHALL ENGINEERING & LAND SURVEYING, P.C. FOR: TAX MAP PARCEL 97-2-27.32 ON MAY 19, 2015; TAX MAP PARCEL 97-2-40 ON XXXX, & TAX MAP PARCEL 97-2-47 ON JUNE 28, 2009, LAST UPDATED ON XXXX
- 2) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.
- 3) SUBJECT TO UTILITY GRANTS OF RECORD.
- 4) SUBJECT TO THAT PORTION OF LAND WITHIN THE BOUNDS OF AUTO PARK PLACE & UNITY PLACE TO BE UTILIZED AS A PUBLIC HIGHWAY.
- 5) ALL VISIBLE IMPROVEMENTS HAVE BEEN LOCATED. OVERGROWN AREAS MAY CONTAIN EVIDENCE/STRUCTURES NOT SHOWN ON THIS MAP.
- 6) VERTICAL DATUM IS NAVD88 BASED ON DIFFERENTIAL GPS OBSERVATIONS IN CONJUNCTION WITH THE NYSOD CORS SYSTEM.

Zoning Legend: IB

	TAX MAP PARCEL: 97-2-27.32	
	REQUIRED	EXISTING
MINIMUM LOT AREA	40,000 SF.	3,797 ACRES
MINIMUM LOT WIDTH (1)	150'	421'
MINIMUM LOT DEPTH (2)	150'	400'
MINIMUM LOT FRONTAGE	100'	> 100'
MINIMUM FRONT SETBACK	50'	12.5'
MINIMUM REAR SETBACK	60'	148'
MINIMUM SIDE SETBACK (ONE)	30'	56.9'
MINIMUM SIDE SETBACK (BOTH)	80'	N/A
MAXIMUM LOT BUILDING COVERAGE	40%	9.2%
MAXIMUM BUILDING HEIGHT	40'	< 27'
MAXIMUM LOT SURFACE COVERAGE	80%	68.5%

(1) LOT WIDTH MEASURED AT THE FRONT SETBACK LINE OR AT THE BUILDING LINE.
(2) LOT DEPTH MEASURED FROM THE STREET LINE TO THE REAR LOT LINE.



Location Map
SCALE: 1" = 2,000'

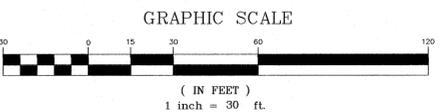
Parcel Information

TAX PARCEL:	97 - 2 - 27.32
AREA:	3.797 ACRES
RECORD OWNER:	800 AUTO PARK PLACE, LLC 800 AUTO PARK PLACE NEWBURGH, NY 12550
DEED REFERENCE:	L. 12415, P. 101
MAP REFERENCE:	LOT B1 - FM NO. 236-01 NOVEMBER 7, 2001

* EXISTING TAX MAP PARCEL INFORMATION, DOES NOT REFLECT PROPOSED LOT LINE CHANGE

Applicant Information

APPLICANT:	800 AUTO PARK PLACE, LLC 800 AUTO PARK PLACE NEWBURGH, NY 12550
------------	---



"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."
"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

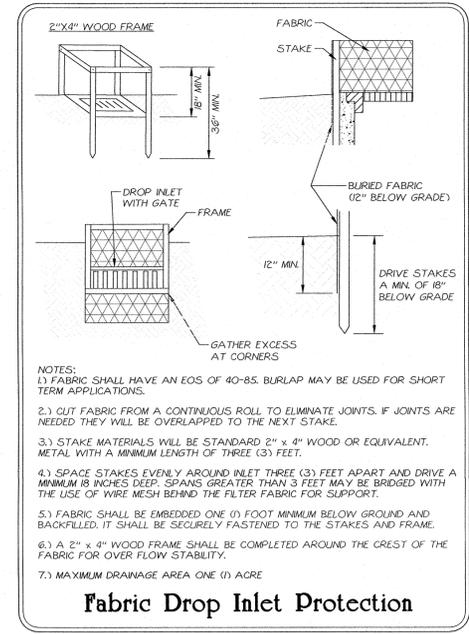
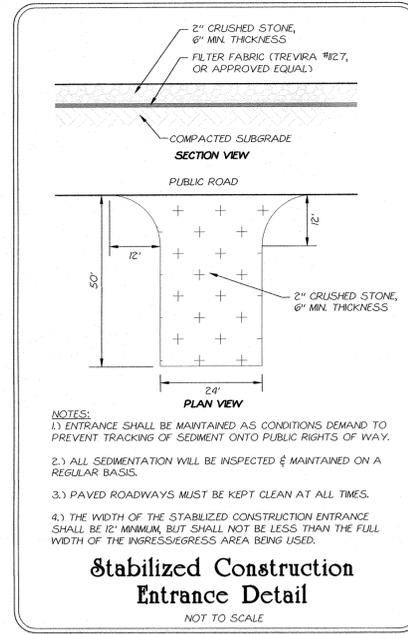
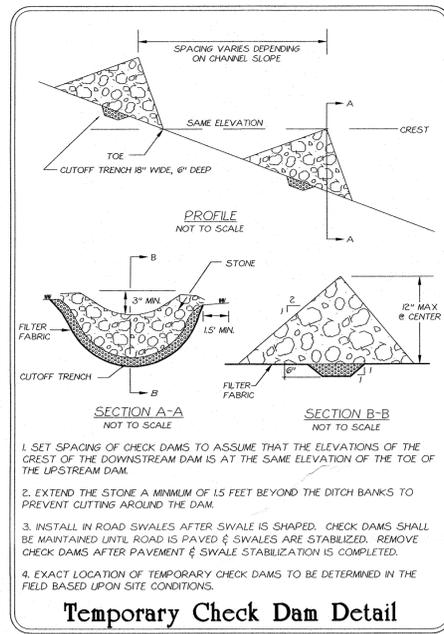
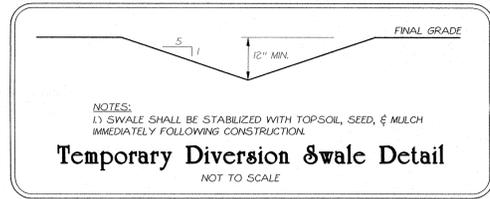
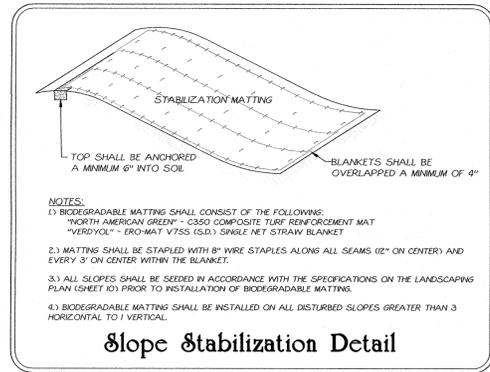
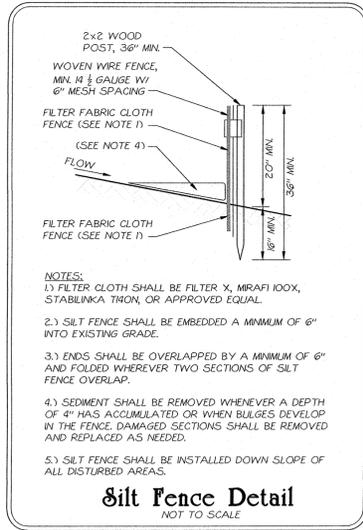
NO.	DATE	REVISION	BY
1	7-7-21	DETAILED SITE PLAN	ZAP

ZACHARY A. PETERS PE #093908

Existing Conditions & Demolition Plan
for
800 Auto Park Place, LLC

Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166; 45 MAIN STREET, PINE BUSH, NY 12566
P: (845) 744-3620 F: (845) 744-3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
TAX MAP PARCEL: 97-2-27.32
TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: ZAP
DATE: JUNE 28, 2019
PROJECT: 3912-3
SHEET: 2 / 4



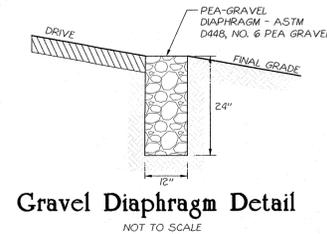
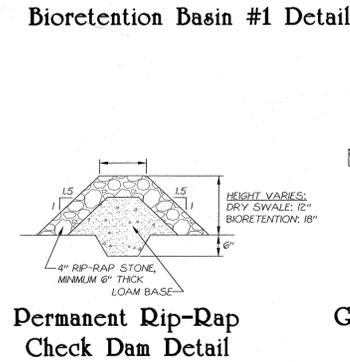
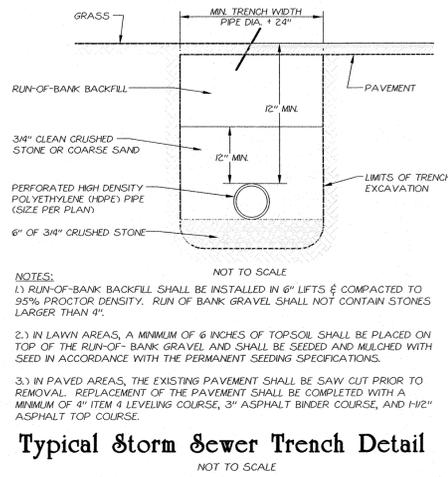
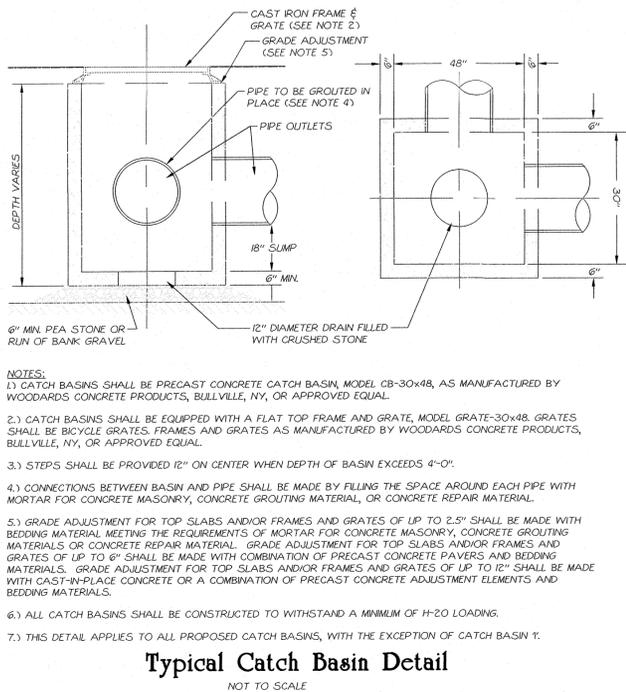
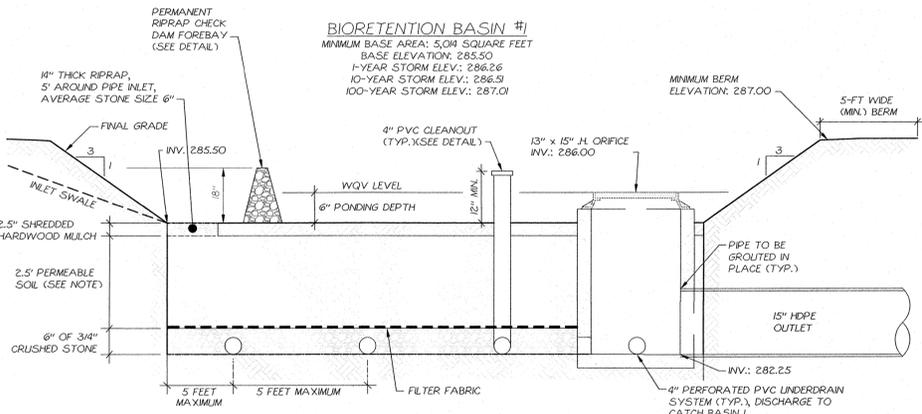
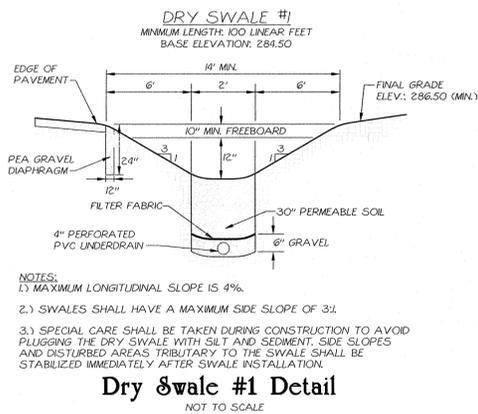
Permeable Soil Notes

1) PLANTING SOIL SHALL BE A SANDY LOAM, LOAMY SAND, LOAM, OR A LOAM/SAND MIX (CONTAINING 35-60% SAND) BY VOLUME. THE CLAY CONTENT FOR THESE SOILS SHALL BE LESS THAN 25% BY VOLUME. SOILS SHALL FALL WITHIN THE SM OR ML CLASSIFICATIONS OF THE UNITED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 10 FEET PER DAY (0.5"HR) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER AND BRUSH OR SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHALL BE IN LIFTS OF 12 TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).

2.) THE SOIL SPECIFICATIONS ARE AS FOLLOWS:

PARAMETER	VALUE
PH RANGE	5.2 TO 7.0
ORGANIC MATTER	3.0 TO 5.0%
MAGNESIUM	35 LBS. PER ACRE, MIN.
PHOSPHORUS	75 LBS. PER ACRE, MIN.
POTASSIUM	65 LBS. PER ACRE, MIN.
SOLUBLE SALTS	500 PPM
CLAY	0 TO 10%
SILT	10 TO 60%
SAND	25% MINIMUM

3.) A MINIMUM OF 2.5" OF MULCH SHALL BE APPLIED ON THE INTERIOR OF THE BASIN. MULCH SHALL ALSO BE APPLIED AROUND INDIVIDUAL PLANTINGS WITHIN THE BASIN. THE MULCH LAYER SHALL BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE, SHREDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHALL BE WELL AGED (STOCKPILE OR STORED FOR AT LEAST TWELVE (12) MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, STONES, ROOTS, ETC.



TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY-NO CHANGE IN GRADE	AERATE % AND APPLY 6 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ON GOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION	
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5-25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (RESTORATION/DECOMPACTION AND COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS, TO PROTECT NEWLY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES. CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PREVIOUS AREA.	

*AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COLLETERS, MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MIN-SUBSOILER.

FULL SOIL RESTORATION SPECIFICATIONS:

1) SOIL RESTORATION SHALL BE PERFORMED DURING THE LANDSCAPING PHASE OF THE PROJECT. SOIL RESTORATION SHALL INCLUDE THE FOLLOWING STEPS:

- APPLY 3" OF COMPOST OVER SUBSOIL.
- TILL COMPOST INTO SUBSOIL TO A MINIMUM DEPTH OF 12".
- REMOVE ALL STONEROCK MATERIAL GREATER THAN 4" IN SIZE.
- APPLY 6" OF TOPSOIL.
- VEGETATE IN ACCORDANCE WITH THE LANDSCAPING PLAN.

2) COMPOST SHALL BE AGED AND FROM PLANT DERIVED MATERIALS, FREE OF WEEDS, SEEDS, WATER, AND DUST. COMPOST SHOULD PASS THROUGH A HALF INCH SCREEN AND HAVE SUITABLE PH FOR PLANT GROWTH.

3) MAINTENANCE SHALL INCLUDE THE FOLLOWING:

- INSPECTIONS AFTER EACH STORM EVENT GREATER THAN HALF-INCH FOR THE FIRST SIX MONTHS.
- RESEEDING OF BARE OR ERODING AREAS TO ESTABLISH A STABILIZED COVER.
- WATER ONCE EVERY THREE DAYS FOR THE FIRST MONTH, THEN PROVIDE A HALF INCH OF WATER PER WEEK.

4) VEGETATED AREAS SHALL BE KEPT FREE OF VEHICULAR AND FOOT TRAFFIC.

5) ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED.

NOTES:
1) SOIL RESTORATION AS SPECIFIED IN THE CHART ABOVE SHALL BE APPLIED TO ALL AREAS DISTURBED DURING THE CONSTRUCTION PROCESS.

Soil Restoration Specifications
NOT TO SCALE

NO.	DATE	REVISION	BY
J	7-7-21	DETAILED SITE PLAN	ZAP
NO.			

ZACHARY A. PETERS PE #09398

Erosion - Sediment Control & Stormwater Detail Sheet for 800 Auto Park Place, LLC

TOWN OF NEWBURGH
COUNTY OF ORANGE
STATE OF NEW YORK

DRAFTED BY: ZAP
DATE: JUNE 28, 2019
PROJECT: 392C-3
SHEET: 3 / 4

Mercurio-Norton-Tarolli-Marshall
ENGINEERING - LAND SURVEYING
PO BOX 166 45 MAIN STREET, PINE BUSH, NY 12566
P: (845)744.3620 F: (845)744.3805 MNTM@MNTM.CO

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.

TAX MAP PARCEL: 97-2-27.32

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

"ONLY COPIES FROM THE ORIGINAL TRACINGS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID, TRUE COPIES."

"CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS."

