



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
REVIEW COMMENTS**

PROJECT: BRITAIN PLAZA
PROJECT NO.: 13-13
PROJECT LOCATION: SECTION 97, BLOCK 3, LOT 1
PROJECT REPRESENTATIVE: LANC & TULLY, PC
REVIEW DATE: 30 JULY 2014
MEETING DATE: 7 AUGUST 2014

1. Approval of the project cannot occur until Town Board action on allowing Banks within the IB District.
2. Planning Board should review landscaping proposed at dumpster enclosure as discussed at previous meeting.
3. Modification to the sidewalk on adjoining property is proposed. It is noted this modification is contained within a utility easement. Applicant's Representatives should address whether this project has rights to construct and/or modify the previous design.
4. Planning Board must consider the waiver for parking within front yard setbacks based on design guidelines.
5. A lighting plan has been submitted with the recent set. Lighting poles are depicted at 28 feet for 5 of the fixtures. The site lighting should be > 16 feet consistent with design guidelines for this size site.
6. The Planning Board may wish to review the detail of the proposed monument sign located at the northern property corner at NYS Route 300 and Old Little Britain Road. No detail of the sign size, etc. have been provided.
7. Sewer Flow Acceptance Letter for the site is required. Credit towards existing flows from the structures which were recently removed should be addressed in sewer flow acceptance letter.

REGIONAL OFFICE

• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Associate

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. Lanc, P.E., L.S., P.P.
David E. Higgins, P.E.
Rodney C. Knowlton, L.S.

Arthur R. Tully, P.E.
John J. O'Rourke, P.E.
John D. Russo, P.E.

July 23, 2014

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

RE: Britain Plaza – Commercial Site Plan - ARB
Tax Parcel: 97 – 3 – 1
Planning Board No.: 2013-13

Dear Chairman Ewasutyn and Members of the Planning Board:

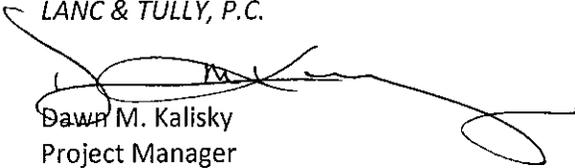
Enclosed please find twelve (12) color Conceptual Rendering – Britain Plaza and the corresponding Architectural Review Form prepared by DeGraw and DeHaan Architects. The enclosed is being submitted for ARB review and approval in conjunction with the referenced Site Plan.

By copy of this letter, the enclosed is being provided directly to Mr. Michael Donnelly, Esq., and Mr. Ken Wersted, PE, to complete the submission package.

We trust the enclosed is satisfactory; however, if you have any questions or require any further information, please do not hesitate to contact our office.

Very truly yours,

LANC & TULLY, P.C.


Dawn M. Kalisky
Project Manager

Enc.

cc: Michael Donnelly, Esq., Planning Board Attorney (w/enc)
Ken Wersted, PE, Planning Board Traffic Consultant (w/enc)
Angelo Danza, The Old Britain Group, LLC (w/enc)
Robert DiNardo, Esq. (w/enc)

pb-submit-ARB-7-23-14.doc

ARCHITECTURAL REVIEW FORM
TOWN OF NEWBURGH PLANNING BOARD

DATE: 7-23-2014

NAME OF PROJECT: BRITAIN PLAZA

The applicant is to submit in writing the following items prior to signing of the site plans.

EXTERIOR FINISH (skin of the building):

Type (steel, wood, block, split block, etc.)

EIJS + STONE

COLOR OF THE EXTERIOR OF BUILDING:

BEIGE

ACCENT TRIM:

Location: FRIEZE BOARD / CORNICE

Color: WHITE

Type (material): FIBER CEMENT

PARAPET (all roof top mechanicals are to be screened on all four sides):

YES

ROOF:

Type (gabled, flat, etc.): GABLE / HIP / FLAT

Material (shingles, metal, tar & sand, etc.): METAL + EPDM

Color: RED / WHITE

WINDOWS/SHUTTERS:

Color (also trim if different): CLEAR ANODIZED ALUMINUM

Type: FIXED/STOREFRONT

DOORS:

Color: CLEAR ANODIZED ALUMINUM

Type (if different than standard door entrée): _____

SIGN:

Color: VARIES / TBD BY TENANT

Material: BACKLIT ALUMINUM

Square footage of signage of site: TBD

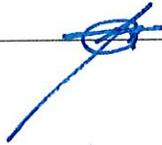
STREET FRONTAGE = 477.74' ±

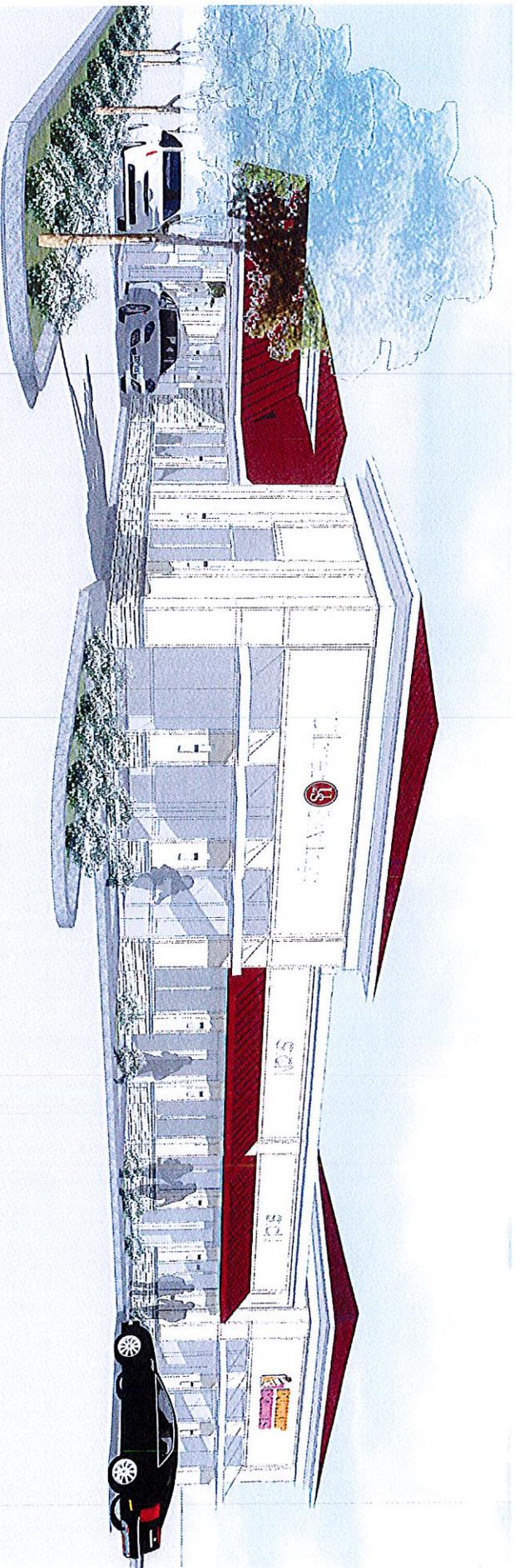
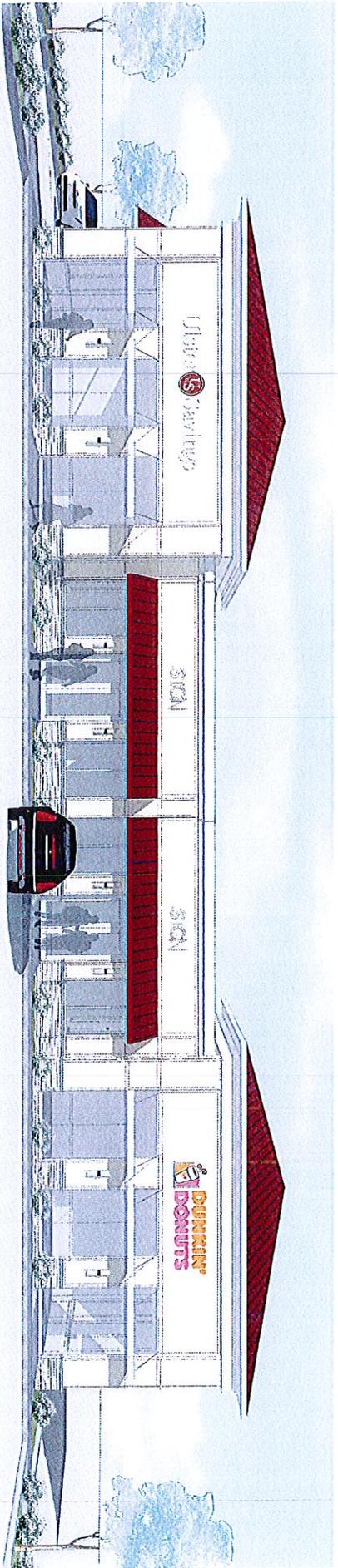
∴ SIGNAGE SHALL NOT EXCEED: 238.87#

JOSEPH THOMPSON, ARCHITECT (DEGRAW & DEHAAN ARCHITECTS)

Please print name and title (owner, agent, builder, superintendent of job, etc.)

Signature





BRITAIN PLAZA - CONCEPTUAL RENDERING

◇ DEGRAW & DEHAAN ARCHITECTS

DATE: JULY 1, 2014

◇ DANZA GROUP

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. Lane, P.E., L.S., P.P.
David E. Higgins, P.E.
Rodney C. Knowlton, L.S.

Arthur R. Tully, P.E.
John J. O'Rourke, P.E.
John D. Russo, P.E.

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550



RE: Britain Plaza – Commercial Site Plan

Tax Parcel: 97 – 3 – 1

Planning Board No.: 2013-13

Dear Chairman Ewasutyn and Members of the Planning Board:

Enclosed and as requested please find twelve (12) complete plan sets a Site Plan entitled "Commercial Site Plan – Britain Plaza", Sheets 1-6 of 6, dated June 30, 2014 and last revised July 21, 2014. The site plan set has been revised to address comments received from the Planning Board Members and the consultants. To assist in your review, we have annotated the comments and our responses below:

Planning Board:

The Planning Board would like the Landscaping augmented in the area of the dumpster enclosure (front yard setback) prior to approving the dumpster location.

The landscaping around the dumpster enclosure has been augmented to include three (3) Inkberry shrubs in addition to the three (3) American Holly shrubs. Both plant types are evergreen. The Inkberry Holly will grow to 3 to 4 feet tall and spread. The American Holly will grow to 15 to 30 feet tall, but on this site should be maintained to a 10 to 12 foot height. The combination of the two evergreens with the varying heights should provide an adequate screening of the dumpster enclosure. Additionally, the dumpster enclosure will be a 6 foot tall, split face block enclosure in an earth tone color as indicated by the detail included on Sheet 6 of 6 of the plan set. If the augmented landscaping is acceptable, we would respectfully request the Planning Board approve the location of the dumpster enclosure.

The Sidewalk connection to the sidewalk on the CRH Realty site should be revised to a smooth angle in lieu of the hard 90° bends.

The sidewalk on the CRH Realty site has been revised to provide a smooth angle for connection to the Britain Plaza site continued sidewalk. The sidewalk has also been extended to the northern property line along Old Little Britain Road.

Creighton Manning, dated July 16, 2014:

Attached is a response submitted prepared by Maser Consulting dated July 18, 2014 in response to Mr. Wersted's comments.

McGoev, Hauser and Edsall, DPC, dated July 10, 2014:

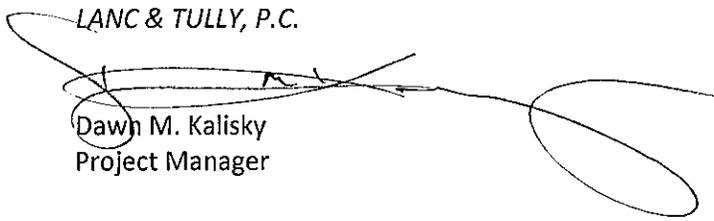
1. *The notation pertaining to the 2008 NYSDOT right turn lane has been revised to indicate the "previous area reserved for potential right turn lane obtained from South Union Plaza Site Plan (2008)".*
2. *Based on discussion with the Town of Newburgh Highway Superintendent, the existing asphalt driveway shall be removed to the edge of travel lane of Old Little Britain Road, a shoulder constructed to match the existing shoulder area, and the remainder of the Town Right-of-Way vegetated. The plans reflect this requirement.*
3. *The sidewalk connection from the CRH Realty site has been revised as discussed above.*
4. *The 6" valve on the fire suppression line has been relocated to prior to the 1" domestic connections as requested.*
5. *The dumpster enclosure location landscaping has been augmented, see response above.*
6. *A forebay has been added to the bio-retention system as pre-treatment for the flared end section discharge.*
7. *The location of the proposed signage (monument and directional) is contained on Sheet 2 of 6, Landscaping / Signage Plan and Details.*
8. *The site proposes parking within the front yard setback which is contrary to the design guidelines. The parking spaces have been buffered by proposed landscaping including combination of deciduous trees and shrubs. We note that the surrounding commercial sites along NYS Route 300 and Old Little Britain Road have parking within the front yard setback as well. With the proposed screening and consistency with surrounding commercial sites, we would respectfully request a waiver to provide parking in the front yard setback.*
9. *The Lighting Plan and Details have been included in the plan set as Sheet 3 of 6.*

By copy of this letter, a complete package is being provided directly to Mr. Michael Donnelly, Esq., and Mr. Ken Wersted, PE.

By submission of the enclosed, we respectfully request placement on the next available Planning Board agenda and look forward to further discussing the proposed project. We trust the enclosed is satisfactory; however, if you have any questions or require any further information, please do not hesitate to contact our office.

Very truly yours,

LANC & TULLY, P.C.


Dawn M. Kalisky
Project Manager

Enc.

cc: Michael Donnelly, Esq., Planning Board Attorney (w/enc)
Ken Wersted, PE, Planning Board Traffic Consultant (w/enc)
Angelo Danza, The Old Britain Group, LLC (w/enc)
Robert DiNardo, Esq. (w/enc)



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July 18, 2014

VIA EMAIL

Mr. John Ewasutyn
Planning Board Chairman
Town of Newburgh
308 Gardnertown Road
Newburgh, NY 12550

Re: Site Plan Review for Britain Plaza
Old Little Britain Road, Town of Newburgh, NY
MC Project No. 13002110A

Dear Mr. Ewasutyn:

The following items are in response to the letter prepared by Mr. Kenneth Wersted, PE, PTOE, dated July 16, 2014. The items are numbered according to his review comments.

1. The traffic study was conducted according to industry acceptable practices. The other development projects included are appropriate.

Response: Comment noted. No further response is necessary

2. A 2023 design year was assumed. It would appear that between the Crystal Run Health Care and Britain Plaza projects, a 2016/17 year of completion is more likely. Regardless, the 2023 design year simply assumes more overall growth as a worst-case condition.

Response: We are in agreement. No further responses are necessary.

3. The trip generation for the restaurant and coffee/donut shop does not match that of ITE's land use codes for the weekday PM and Saturday peak hour of generator. A clarification is requested for any departure in the rates assumed.



Response: *The 2,000 s.f. restaurant use is proposed to be occupied by a sandwich shop type facility and will not have the same characteristics as the ITE Fast-Food Restaurant category. The trip generation rates for this use were calculated using ITE Land Use Code – 932 – High Turnover Sit-Down Restaurant and Note No. 1 on Table No. 1 (attached) has been revised to reflect this. This is the most appropriate estimation of the trip generation volumes during the analyzed time periods.*

It should also be noted that ITE provides trip generation data for a coffee/donut shop for the Saturday Peak Hour of Generator, which typically occurs during the morning peak hours between 8:00 AM and 11:00 AM and does not coincide with the peak hour of traffic along NYS Route 300. Therefore, it was assumed that the trip generation during the 12:00 PM - 1:00 PM time period analyzed in the study would be similar to the PM Peak Hour trip generation. It should also be noted that the volumes along NYS Route 300 during the 9:00 AM - 10:00 AM time period, when the coffee/donut shop would generate the most traffic on a Saturday, is approximately 60% of the critical 12:00 PM to 1:00 PM time period analyzed.

4. Combining Crystal Runs trip generation with Britain Plaza, a total of approximately 318 trips will be generated in the weekday PM peak hour and 375 trips in the Saturday peak hour. This is comparable to South Union Plaza, which previously proposed the development of both parcels, generating approximately 305 trips during the weekday PM peak hour and 390 trips during the Saturday peak hour.

Response: *This is correct. However, we believe that the uses proposed in Britain Plaza will likely attract a very high percentage of pass-by and/or diverted trips (probably in excess of 50%) which will not be new to the system since they will be attracted from the existing traffic streams along NYS Route 300 and Old Little Britain Road. Thus, the net additional volumes on the roadway system will likely be significantly lower when compared to the previously proposed South Union Plaza development.*



5. Two analysis scenarios were completed. One that included the Shoppes at Union Square (located on the northwest corner of Route 300/Orr Ave) and one without. Without the Shoppes, levels of service will remain largely unchanged, although delays on the westbound approach of Old Little Britain Road (OLB Rd) will increase by approximately 17 to 40 seconds between NO-Build and Build conditions. With the addition of a northbound right turn lane (an improvement originally included with South Union Plaza), capacity is increased on Route 300, allowing a few seconds of green time to be shifted from Route 300 to OLB Rd, thus minimizing the increase in delays from the project.

In the second analysis that includes the Shoppes, an eastbound left turn lane is added on Orr Avenue (by Shoppes), which adds additional capacity, and with signal timing adjustments results in comparable operating conditions as No-Build. It is noted that with the project Crystal Run, and Shoppes, the Route 200/207 intersection (in New Windsor) will operate closer to capacity. However, with an unknown completion date for Shoppes at Union Square and a 2023 design year, actual operations are likely to be better than reported in the near future.

Response: *As noted above, the “new” trip estimates for Britain Plaza together with the extended 2023 analysis period provides a very conservative evaluation of future conditions with the project. The levels of service are expected to be similar from No-Build to Build conditions for the majority of locations studied. However, as noted in the comment, there will be some increases in the delays on the westbound Old Little Britain Road approach to NYS Route 300 as a result of the conservative analysis. As indicated by the analysis of conditions with the previously proposed Shops at Union Plaza development, that development would likely trigger the need for a possible right turn lane addition on the NYS Route 300 northbound approach, but this is not needed in the near term.*

6. The site plan now shows the potential land dedication area for northbound right turn lane. Whether the lane should be constructed now or left for future construction should be a discussion with NYSDOT.

Response: *The site plan has been designed to allow the potential future widening for a northbound right turn lane on NYS Route 300 at Old Little Britain Road.*



Mr. John Ewasutyn
MC Project No. 13002110A
July 18, 2014
Page 4 of 4

7. Truck access (for garbage truck) around the site has been improved and is acceptable.

Response: No further response necessary.

If you have any questions regarding the above, please do not hesitate to contact us.

Very truly yours,
MASER CONSULTING P.A.

A handwritten signature in black ink, appearing to read 'Philip J. Grealy', is written over a circular stamp or seal. The signature is fluid and cursive.

Philip J. Grealy, Ph.D., P.E.
Principal Associate/Department Manager

PJG/js
Enclosures
cc: D. Kalisky
K. Wersted, P.E.
M. Donnelly, Esq.
J. Osborne, P.E.
J. Canfield
P. Hines

TABLE 1

**HOURLY TRIP GENERATION RATES (HTGR) AND ANTICIPATED
SITE GENERATED TRAFFIC VOLUMES**

BRITAIN PLAZA NEWBURGH, NY	ENTRY			EXIT		
	HGTR ¹	VOLUME	NEW TRIPS ²	HGTR ¹	VOLUME	NEW TRIPS ²
BANK WITH DRIVE-THROUGH (2,344 S.F.)						
PEAK PM HOUR	11.95	28	18	11.95	28	18
PEAK SAT HOUR	13.23	31	20	13.23	31	20
RETAIL (2,000 S.F.)						
PEAK PM HOUR	6.68	13	9	6.68	13	9
PEAK SAT HOUR	10.30	21	13	10.30	21	13
RESTAURANT (2,000 S.F.)						
PEAK PM HOUR	5.00	10	6	5.00	10	6
PEAK SAT HOUR	7.00	14	9	7.00	14	9
COFFEE/DONUT SHOP (2,344 S.F.)						
PEAK PM HOUR	20.48	48	27	20.48	48	27
PEAK SAT HOUR ³	20.48	48	27	20.48	48	27
TOTAL						
PEAK PM HOUR	-	99	59	-	99	59
PEAK SAT HOUR	-	114	68	-	114	68

NOTES:

- 1) THE HOURLY TRIP GENERATION RATES (HTGR) ARE BASED ON THE DATA PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) AS CONTAINED IN THE TRIP GENERATION HANDBOOK, 9TH EDITION, 2012 ITE LAND USE CODE - 912 - DRIVE-IN BANK, LAND USE CODE - 820 - RETAIL, LAND USE CODE - 932 - HIGH TURNOVER SIT-DOWN RESTAURANT, AND LAND USE CODE - 936 - COFFEE/DONUT SHOP WITHOUT DRIVE-THROUGH WINDOW.
- 2) NEW TRIPS INCLUDE A 15% INTERNAL TRIP CREDIT TO ACCOUNT FOR TRIPS BETWEEN EACH OF THE LAND USES AS WELL AS A 25% PASS-BY TRIP CREDIT FOR THE BANK, RETAIL AND RESTAURANT USES AND A 35% PASS-BY CREDIT FOR THE COFFEE/DONUT SHOP USE TO ACCOUNT FOR TRIPS ATTACHED FROM THE EXISTING TRAFFIC VOLUMES ALONG NYS ROUTE 300 AND OLD LITTLE BRITAIN ROAD AND THEREFORE ARE NOT NEW TO THE ROADWAY SYSTEM.
- 3) ITE PROVIDES TRIP GENERATION FOR THE COFFEE/DONUT SHOP FOR THE SATURDAY PEAK HOUR OF GENERATOR, HOWEVER THIS GENERATION DOES NOT COINCIDE WITH THE PEAK HOUR OF TRAFFIC ALONG NYS ROUTE 300, THEREFORE IT WAS ASSUMED THAT THE TRIP GENERATION DURING THE 12:00 PM - 1:00 PM TIME PERIOD ANALYZED WOULD BE SIMILAR TO THE PM PEAK HOUR TRIP GENERATION. IT SHOULD ALSO BE NOTED THAT THE VOLUMES ALONG NYS ROUTE 300 DURING THE 9:00 AM - 10:00 AM TIME PERIOD, WHEN THE COFFEE/DONUT SHOP GENERATES THE MOST TRAFFIC ON A SATURDAY, IS APPROXIMATELY 60% OF THE CRITICAL 12:00 PM TO 1:00 PM TIME PERIOD ANALYZED.

July 16, 2014

Mr. John Ewasutyn
Planning Board Chairman
Town of Newburgh
308 Gardnertown Road
Newburgh, NY 12550

**RE: Site Plan Review for Britain Plaza, Old Little Britain Road, Town of
Newburgh, NY; Town Project No. 2013-13, CM Project No. 113-188.**

Dear Mr. Ewasutyn:

Creighton Manning Engineering, LLP (CM) is in receipt of the Site Plan dated June 30, 2014, prepared by Lanc & Tully, and the Traffic Impact Study dated June 26, 2014, prepared by Maser Consulting. After reviewing the referenced materials, we offer the following comments:

1. The traffic study was conducted according to industry acceptable practices. The other development projects included are appropriate.
2. A 2023 design year was assumed. It would appear that between the Crystal Run Health Care and Britain Plaza projects, a 2016/17 year of completion is more likely. Regardless, the 2023 design year simply assumes more overall growth as a worst-case condition.
3. The trip generation for the restaurant and coffee/donut shop does not match that of ITE's land use codes for the weekday PM and Saturday peak hour of generator. A clarification is requested for any departure in the rates assumed.
4. Combining Crystal Run's trip generation with Britain Plaza, a total of approximately 318 trips will be generated in the weekday PM peak hour and 375 trips in the Saturday peak hour. This is comparable to South Union Plaza, which previously proposed the development of both parcels, generating approximately 305 trips during the weekday PM peak hour and 390 trips during the Saturday peak hour.
5. Two analysis scenarios were completed. One that included the Shoppes at Union Square (located on the northwest corner of Route 300/Orr Ave) and one without. Without the Shoppes, levels of service will remain largely unchanged, although delays on the westbound approach of Old Little Britain Road (OLB Rd) will increase by approximately 17 to 40 seconds between No-Build and Build conditions. With the addition of a northbound right turn lane (an improvement originally included with South Union Plaza), capacity is increased on Route 300, allowing a few seconds of green time to be shifted from Route 300 to OLB Rd, thus minimizing the increase in delays from the project.

In the second analysis that includes the Shoppes, an eastbound left turn lane is added on Orr Avenue (by Shoppes), which adds additional capacity, and with signal timing adjustments results in comparable operating conditions as No-Build. It is noted that with the project, Crystal Run, and Shoppes, the Route 300/207 intersection (in New Windsor) will operate closer to capacity. However, with an unknown completion date for Shoppes at Union Square and a 2023 design year, actual operations are likely to be better than reported in the near future.

6. The site plan now shows the potential land dedication area for a northbound right turn lane. Whether the lane should be constructed now or left for future construction should be a discussion with NYSDOT.
7. Truck access (for a garbage truck) around the site has been improved and is acceptable.

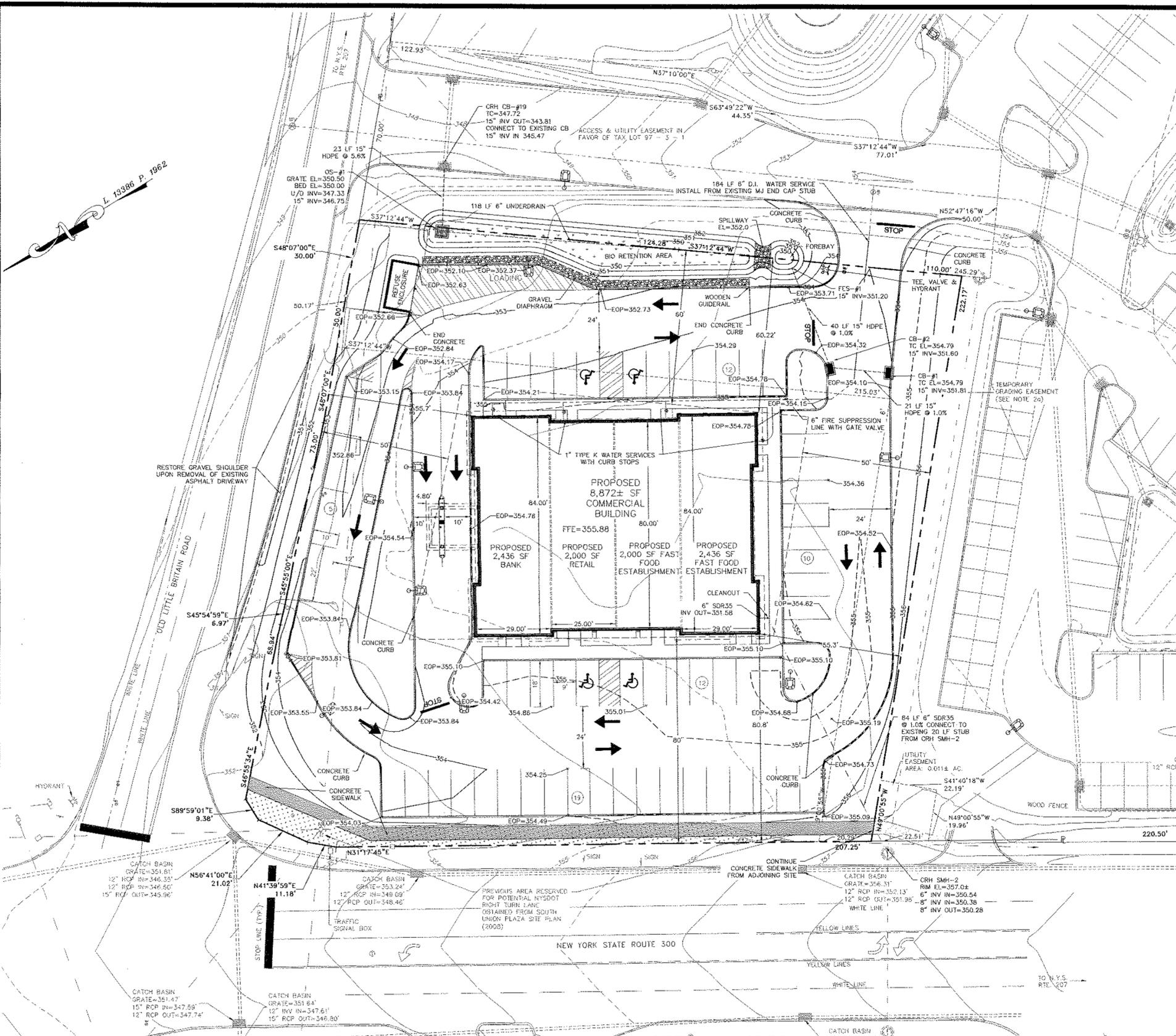
If you have any questions regarding these comments or recommendations, please feel free to contact our office.

Respectfully submitted,
Creighton Manning Engineering, LLP



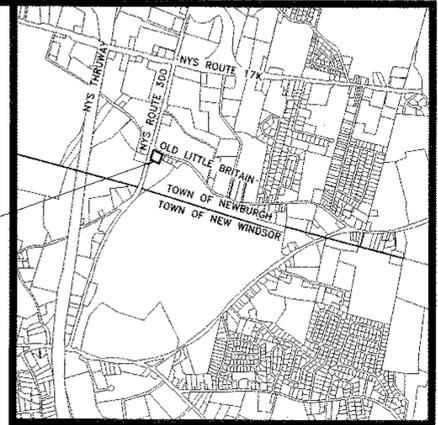
Kenneth Wersted, PE, PTOE
Project Manager

Cc: Michael Donnelly – PB Attorney
Jim Osborne – Town Engineer
Jerry Canfield – Fire Inspector
Pat Hines – MHE
Karen Arent – KALA



SURVEY NOTES:

- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "LOT LINE CHANGE AND CONSOLIDATION MAP PREPARED FOR CRH REALTY VII, LLC., TOWN OF NEWBURGH, TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 17, 2013, LAST REVISED FEBRUARY 12, 2014, AS PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C., AND FILED WITH THE ORANGE COUNTY CLERK ON JUNE 6, 2014 AS FILED MAP NO. 149-14.
 - MAP ENTITLED "COMPOSITE SITE PLAN, SOUTH UNION PLAZA, TOWN OF NEWBURGH, NEW YORK, DATED OCTOBER 16, 2007, LAST REVISED OCTOBER 29, 2008 AS PREPARED BY SHAW ENGINEERING, CONSULTING ENGINEERS.
 - TITLE REPORT NUMBER 730-0-2497, PREPARED BY HARDENBURGH TITLE AGENCY, DATED AUGUST 30, 2013.



LOCATION PLAN
1 INCH = 2000 FEET

GENERAL NOTES:

- PROPOSED 8,872± MIXED USE COMMERCIAL BUILDING.
- PROPOSED USES:
 - BANK - 2,436 SF
 - RETAIL - 2,000 SF
 - FAST FOOD ESTABLISHMENT - 2,000 SF (600 SF SEATING AREA)
 - FAST FOOD ESTABLISHMENT - 2,436 SF (600 SF SEATING AREA)
- INGRESS / EGRESS FOR BRITAIN PLAZA TO BE VIA CRH REALTY VII, LLC., ACCESS DRIVE FROM OLD LITTLE BRITAIN ROAD. WATER SERVICE AND SANITARY SEWER SERVICE TO BE CONNECTED TO RESPECTIVE INFRASTRUCTURE CONSTRUCTED BY CRH REALTY VII, LLC., SITE. AGREEMENTS BETWEEN CRH REALTY VII, LLC AND THE OLD BRITAIN GROUP ARE FILED WITH THE ORANGE COUNTY CLERK.
- STORMWATER FACILITIES TO BE CONSTRUCTED AND DISCHARGED TO CRH REALTY VII, LLC. STORMWATER FACILITIES IN ACCORDANCE WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CRH REALTY VII, LLC / BRITAIN PLAZA, DATED DECEMBER 10, 2013 AND LAST REVISED MARCH 14, 2014. AGREEMENT BETWEEN CRH REALTY VII, LLC AND THE OLD BRITAIN GROUP ARE FILED WITH THE ORANGE COUNTY CLERK.

TABLE OF PARKING REQUIREMENTS:

PROPOSED USE	PARKING REQUIRED	PARKING PROVIDED
BANK/OFFICE (2,436 SF) 1/200 SF GFA	12.0	
RETAIL (2,000 SF) 1/150 SF GLFA	13.3	
FAST FOOD ESTABLISHMENT (2,000 SF) 1/40 SF SEATING AREA (600 SF)	15.0	
FAST FOOD ESTABLISHMENT (2,436 SF) 1/40 SF SEATING AREA (600 SF)	15.0	
TOTAL PARKING PROVIDED * INCLUDES 4 HC SPACES	55.3	58*

TABLE OF ZONING REQUIREMENTS
IB DISTRICT (INTERCHANGE BUSINESS)

MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 S.F.	55,495± S.F.
LOT DEPTH	150 FT.	222.2 FT.
LOT WIDTH	150 FT.	237.9 FT.
FRONT YARD (UNION AVE)*	80 FT.	80.8 FT.
FRONT YARD	50 FT.	55.7 FT.
SIDE YARD (ONE)	50 FT.	55.3 FT.
SIDE YARD (BOTH)	100 FT.	N/A
REAR YARD	60 FT.	60.2 FT.
MAXIMUM	PERMITTED	PROVIDED
LOT BUILDING COVERAGE	40%	18.24%
LOT SURFACE COVERAGE	80%	75.44%
BUILDING HEIGHT	35 FT.	<35 FT.

LEGEND:

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED WOODED GUIDERAIL
- PROPOSED SIDEWALK
- PROPOSED 6" D.I. WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED 1" TYPE K WATER SERVICE
- PROPOSED 6" SDR35 SEWER SERVICE
- PROPOSED HDPE DRAINAGE PIPE

RECORD OWNER:

THE OLD BRITAIN GROUP, LLC
104 GARDEN COURT
FRANKLIN LAKES, NJ 07417

97 - 3 - 1.2
F.M. 149-14

LOT AREA:
1.274± AC.

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

COMMERCIAL SITE PLAN

BRITAIN PLAZA

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: dmk
Checked By:
Scale: 1" = 20'
Tax Map No.: 97 - 3 - 1

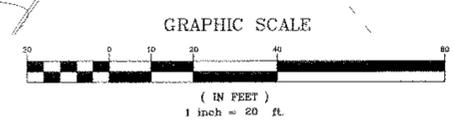
Date: JUNE 30, 2014
Revisions: JULY 21, 2014

Sheet No.: 1 OF 6
Drawing No.: C3D
B - 13 - 0082 - 01

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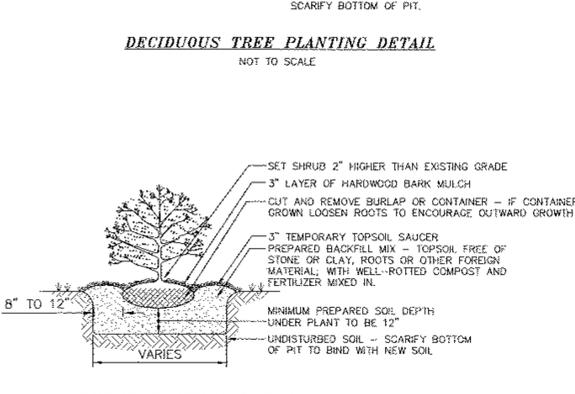
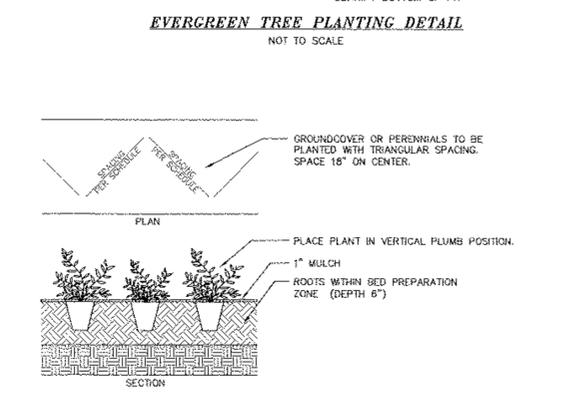
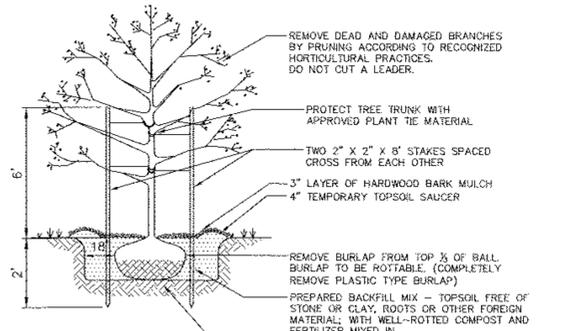
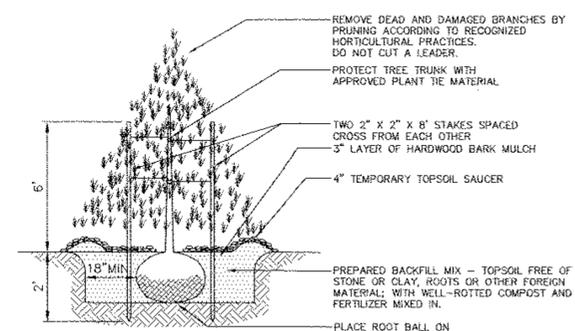
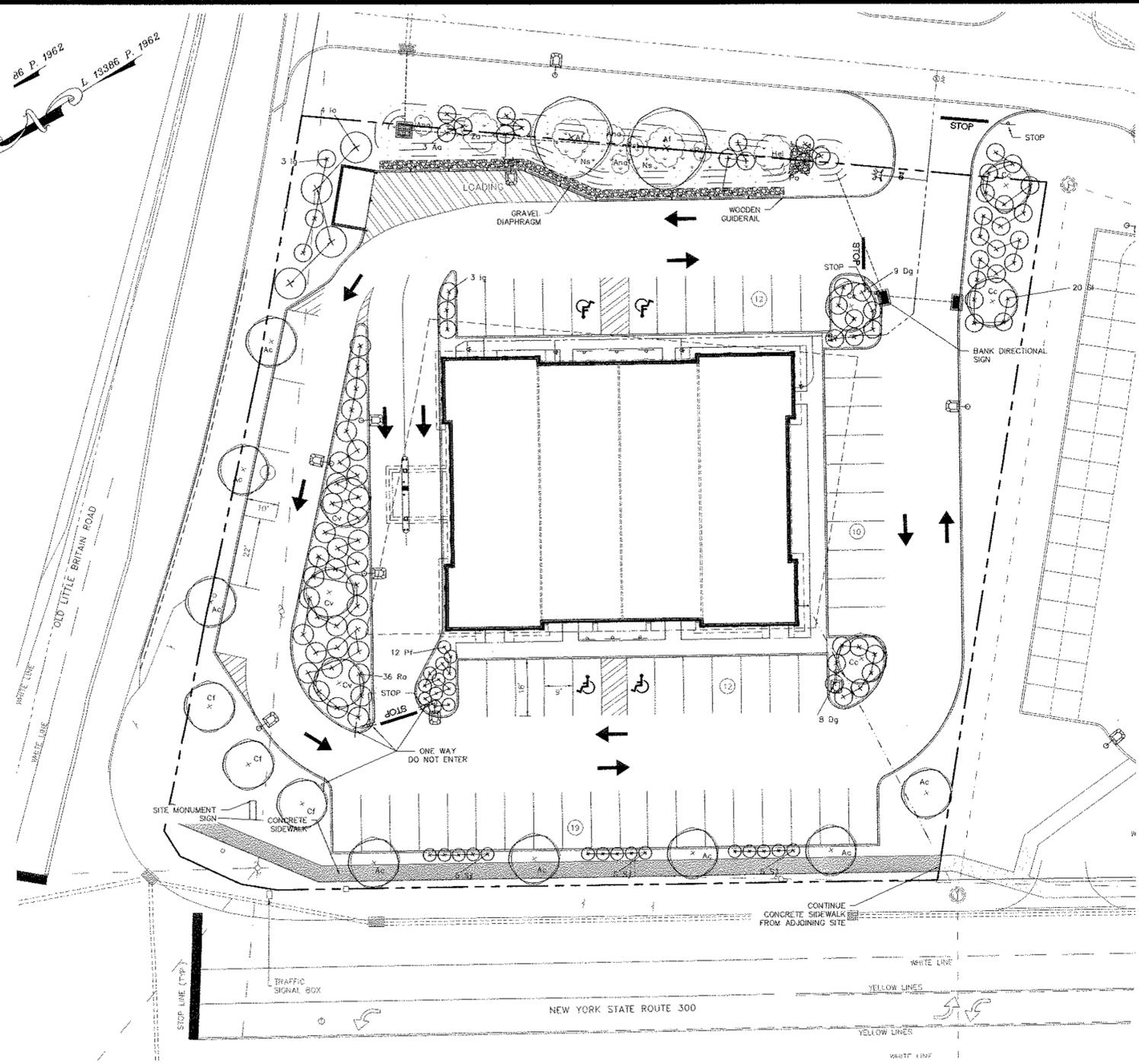
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GENERAL LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION OR INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSEYMEN, LATEST EDITION.
3. ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR 2 CALENDAR YEARS. CONTRACTOR SHALL REMOVE STAKING AND GUYING AT END OF GUARANTEE PERIOD.
4. ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).
5. CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
6. ALL LANDSCAPING PLANT MATERIALS - TREES, SHRUBS, GROUNDCOVERS AND PERENNIALS SHALL BE PLANTED AS SHOWN IN DETAILS. BACKFILL MIX FOR PLANTING BEDS SHALL BE A MIX OF TOPSOIL, WELL-ROTTED COMPOST AND FERTILIZER. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
7. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
8. ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE.
9. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL ALL PLANTS.
10. ALL LAWN/GRASSSED AREAS ARE TO BE TOPSOILED TO A DEPTH OF 4" AND SEEDS AS PER THE PERMANENT SEEDING RATE. A MINIMUM OF 12" OF TOPSOIL IN ALL PLANTING AREAS. IF POOR SOILS OR ROCK ARE ENCOUNTERED IN AREAS OF CUT, PROPOSED TREES SHALL BE PLANTED IN A MINIMUM OF 18" TOPSOIL COMPOST MIX.
11. MULCH ALL PLANTING BEDS AND TREES WITH A 3 INCH MINIMUM DEPTH OF HARDWOOD BARK MULCH. NO MULCH SHALL BE PLACED AGAINST THE ROOT COLLAR OF THE PLANTINGS. ALL TREES PLANTED IN LAWN AREAS SHALL RECEIVE A 3" DIAMETER MULCH RING OR TO THE LIMIT OF THE ADJACENT LAWN AREA.
12. SHRUB AND PERENNIAL PLANTINGS ARE MASS PLANTING BEDS AND SHALL BE MULCHED CONTINUOUSLY.

LANDSCAPING SEEDING SCHEDULE

TEMPORARY SEEDING DISTURBED AREAS

SEASON	TYPE OF COVER & SPECIES OF MIXTURES	SEEDING RATES IN LBS. 1,000 SF	LBS. PER ACRE
SPRING/SUMMER/EARLY FALL	ANNUAL RYEGRASS	0.7	30
LATE FALL/EARLY WINTER	ARGOSTOOK WINTER RYE	2.5	100

MULCH WITH HAY OR STRAW AT 2 TONS/ACRE OR 90 LBS. PER 1,000 SF

PLANTING SCHEDULE

TREES AND SHRUBS:	SPRING PLANTING	FALL PLANTING
	EVERGREEN	APRIL 1 - JUNE 30
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
SEEDING:	APRIL 1 - MAY 31	SEPT. 1 - OCT. 15

PERMANENT LAWN SEEDING RATES

PERMANENT LAWN SEEDING SHALL CONSIST OF 30% CREEPING RED FESCUE, 50% KENTUCKY BLUE GRASS, 10% ANNUAL RYEGRASS, AND 10% PERENNIAL RYEGRASS - ERNST 5311 CONSERVATION MIX (ERNST-114) OR APPROVED EQUAL - AT A RATE OF 200 POUNDS PER ACRE OR 5 POUNDS PER 1,000 SQ. FT.

- NOTES:
1. TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
 2. SEEDING AREA TO BE PREPARED WITH THE APPLICATION OF LIMESTONE AT THE RATE OF 800 LBS. PER 1,000 SY AND FERTILIZED WITH 10-20-20 AT THE RATE OF 140 LBS. PER 1,000 SY AFTER SEEDING, HAY MULCH IS TO BE APPLIED AT A RATE OF 2 1/2 TO 3 TONS PER ACRE.

STORMWATER AREA AND PERIMETER SEEDING

- A. NORTHEASTERN U.S. ROADSIDE NATIVE MIX (ERNST 105 OR APPROVED EQUAL) SHALL BE BROADCAST OVER DISTURBED AREA AROUND STORMWATER PONDS AND OTHER AREAS AS NOTED ON THE PLANS AT A RATE OF 20 POUNDS PER ACRE OR 1/2 POUND PER 1,000 SQ. FT.
- B. RAIN GARDEN MIX (ERNST-180 OR APPROVED EQUAL) SHALL BE BROADCAST ABOVE THE PERMANENT POOL ELEVATION IN STORMWATER PONDS AT A RATE OF 15 LB PER ACRE, OR 1/2 POUND PER 1,000 SQ. FT.

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 687, Rt. 207
Goshen, N.Y. 10924
(845) 294-3700

DATE: JUNE 30, 2014
REVISION: JULY 21, 2014

LANDSCAPING / SIGNAGE
PLAN AND DETAILS

BRITAIN PLAZA

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

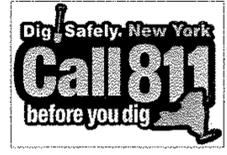
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Tax Map No.: 97-3-1

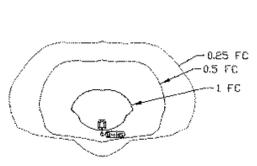
SITE PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE, NOTES
DECIDUOUS TREES				
Ac	8	ACER CAMPESTRE	HEDGE MAPLE	1-3/4"-2" CAL. B&B
Cc	4	CERCIS CANADENSIS	AMERICAN REDBUD	1-3/4"-2" CAL. B&B
Cv	3	CRATAEGUS VIRIDIS	WINTER KING HAWTHORNE	1-3/4"-2" CAL. B&B
Cf	3	CORNUS FLORIDA 'CLOUD 9'	CLOUD NINE FLOWERING DOGWOOD	1-3/4"-2" CAL. B&B
Ns	2	NYSSA SYLVATICA	BLACK GUM	2.5" CAL. MIN. B&B
SHRUBS				
Ig	3	ILEX GLABRA	INKBERRY	18"-24" DIA. CONTAINER
Io	4	ILEX OPACA	AMERICAN HOLLY	24"-30" DIA. CONTAINER
Pf	12	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	18"-24" DIA. CONTAINER
Sj	15	SPIRAEA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPIRAEA	18"-24" DIA. CONTAINER
WOODY GROUNDCOVERS				
Dg	17	DEUTZIA GRACILLIS 'NIKKO'	SLENDER DEUTZIA	3 GAL. CONTAINER
Gl	20	GENISTA LYDIA	LYDIA BROOM	3 GAL. CONTAINER
Ra	36	RHUS AROMATICA GRO LOW	FRAGRANT SUMAC	3 GAL. CONTAINER
SHRUBS (BIORETENTION AREA)				
Aa	6	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3 GAL. CONTAINER
Po	6	PHYSOCARPUS OPULIFOLIUS	NINEBARK	3 GAL. CONTAINER
PERENNIALS (BIORETENTION AREA/RAIN GARDEN)				
Ana	15	ASTER NOVAE ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER
At	10	ASTYRIBUM FLUXIFRUM	LADY FERN	1 GAL. CONTAINER
Hf	12	HELENIUM AUTUMNALE	COMMON SNEEZEWEED	1 GAL. CONTAINER
Pst	6	PHLOX STOLONIFERA 'BLUE RIDGE'	BLUE RIDGE CREEPING PHLOX	1 GAL. CONTAINER
Za	12	ZIZA AUREA	GOLDEN ALEXANDERS	1 GAL. CONTAINER
PERENNIALS				
La	50	LAVANDULA ANGSTUFOLIA	LAVENDER	3 GAL. CONTAINER
Pa	30	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	3 GAL. CONTAINER

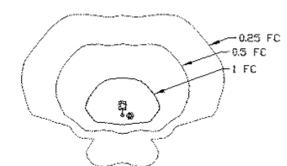
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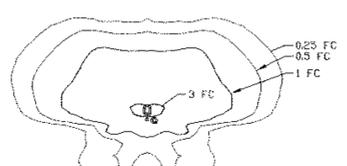




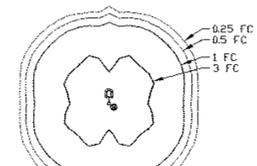
LITHONIA LIGHTING "D-HS"
LED AREA LUMINAIRE
TYPE T3M DISTRIBUTION
PHOTOMETRIC DIAGRAM
SCALE 1"=40'



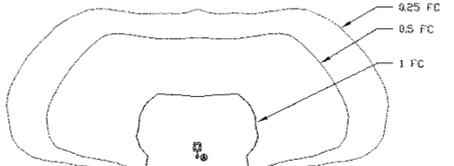
LITHONIA LIGHTING "D"
LED AREA LUMINAIRE
TYPE T3M DISTRIBUTION
PHOTOMETRIC DIAGRAM
SCALE 1"=40'



LITHONIA LIGHTING "D-SERIES SIZE 1"
LED AREA LUMINAIRE
TYPE T3M DISTRIBUTION
PHOTOMETRIC DIAGRAM
SCALE 1"=40'

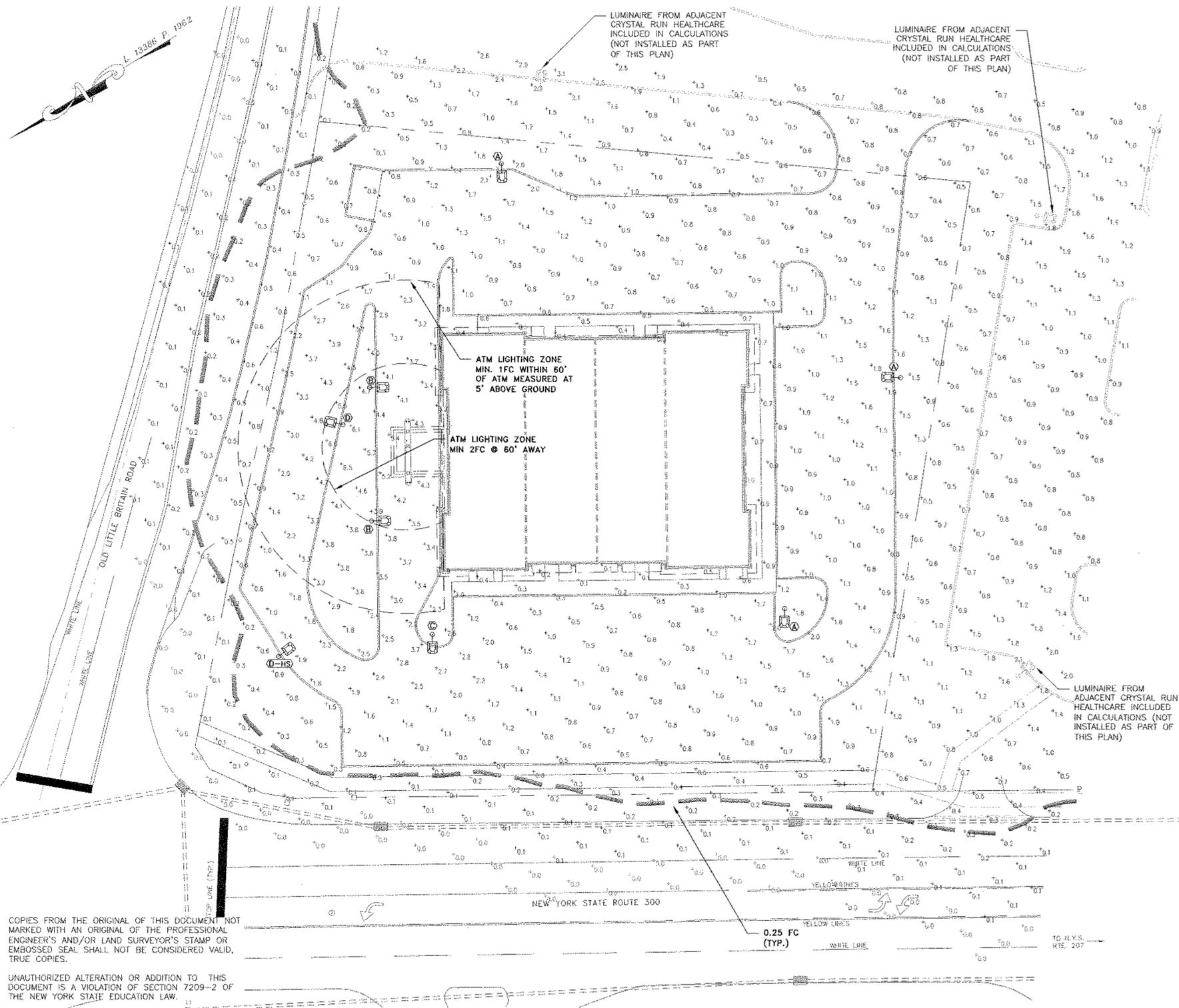


LITHONIA LIGHTING "D-SERIES SIZE 1"
LED AREA LUMINAIRE
TYPE T3M DISTRIBUTION
PHOTOMETRIC DIAGRAM
SCALE 1"=40'



LITHONIA LIGHTING "D-SERIES SIZE 1"
LED AREA LUMINAIRE
TYPE T3M DISTRIBUTION
PHOTOMETRIC DIAGRAM
SCALE 1"=40'

LUMINAIRE SCHEDULE						
SYMBOL	QTY	MOUNTING HEIGHT	DESCRIPTION	CATALOG NUMBER	LAMP	LUMENS LDF
(A)	3	28' (25' POLE + 3' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 1" LED AREA LUMINAIRE TYPE T3M DISTRIBUTION	DSX1-LED-60C-700-40K-T3M-MVOLT	LED ARRAY	13,265± 9
(B)	2	28' (25' POLE + 3' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 1" LED AREA LUMINAIRE TYPE T3M DISTRIBUTION	DSX1-LED-60C-700-40K-T5V5-MVOLT	LED ARRAY	13,890± 9
(C)	1	17' (14' POLE + 3' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 1" LED AREA LUMINAIRE TYPE T3M DISTRIBUTION	DSX0-LED-40C-700-40K-T3M-MVOLT	LED ARRAY	9,076± 9
(D)	1	17' (14' POLE + 3' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 1" LED AREA LUMINAIRE TYPE T3M DISTRIBUTION	DSX0-LED-20C-700-40K-T4M-MVOLT	LED ARRAY	9,029± 9
(D-HS)	1	17' (14' POLE + 3' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 1" LED AREA LUMINAIRE TYPE T3M DISTRIBUTION	DSX0-LED-20C-700-40K-T4M-MVOLT-HS	LED ARRAY	9,029± 9

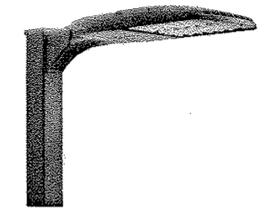


MYS ATM SAFETY ACT LIGHTING STANDARDS:
(STANDARDS BASED UPON LAW DATED DECEMBER 12, 2006)

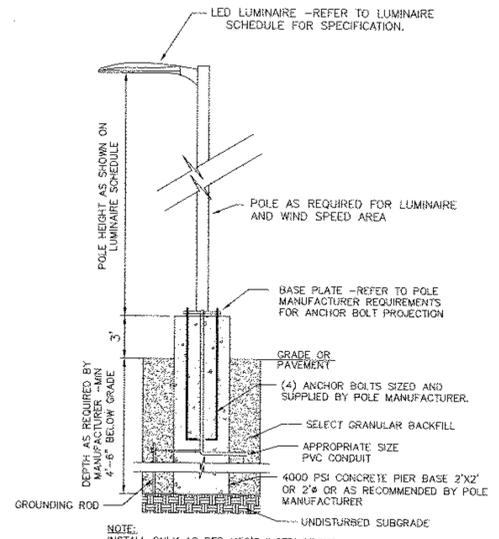
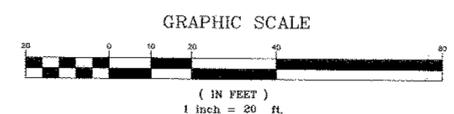
- WITH RESPECT TO OUTSIDE ATM FACILITIES ADEQUATE LIGHTING SHALL BE PROVIDED AS FOLLOWS:
- A MINIMUM ILLUMINANCE OF FIVE FOOTCANDLES WITHIN A DISTANCE OF FIVE (5) FEET FROM AN ATM.
 - A MINIMUM ILLUMINANCE OF TWO FOOTCANDLES WITHIN A DISTANCE OF THIRTY (30) FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM AN ATM.
 - A MINIMUM ILLUMINANCE OF ONE FOOTCANDLE WITHIN A DISTANCE OF SIXTY (60) FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM AN ATM, MEASURED ON A VERTICAL PLANE AND POINTED AT THE LIGHT SOURCE.

ZONE REQUIREMENT	ZONE ILLUMINATION PROVIDED:				
	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN RATIO	AVERAGE/MIN RATIO
MIN. 2 FC WITHIN 30' OF ATM	4.4 FC	6.9 FC	2.6 FC	2.7:1	1.7:1
MIN. 1 FC WITHIN 60' OF ATM MEASURED AT 5' HIGH	4.7 FC	9.7 FC	1.1 FC	8.8:1	4.3:1

- NOTE:**
- REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER AND MOUNTING HEIGHT.
 - NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
 - FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
 - THIS LIGHTING PLAN DOES NOT TAKE INTO ACCOUNT ANY ARCHITECTURAL BUILDING MOUNTED LUMINAIRES.
 - CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLANE AT GROUND LEVEL WITH A .80 LIGHT DEPRECIATION FACTOR. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
 - LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA FILES PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.



LITHONIA LIGHTING "D-SERIES"
LED AREA LUMINAIRE
TYPICAL POLE MOUNT AREA LUMINAIRE



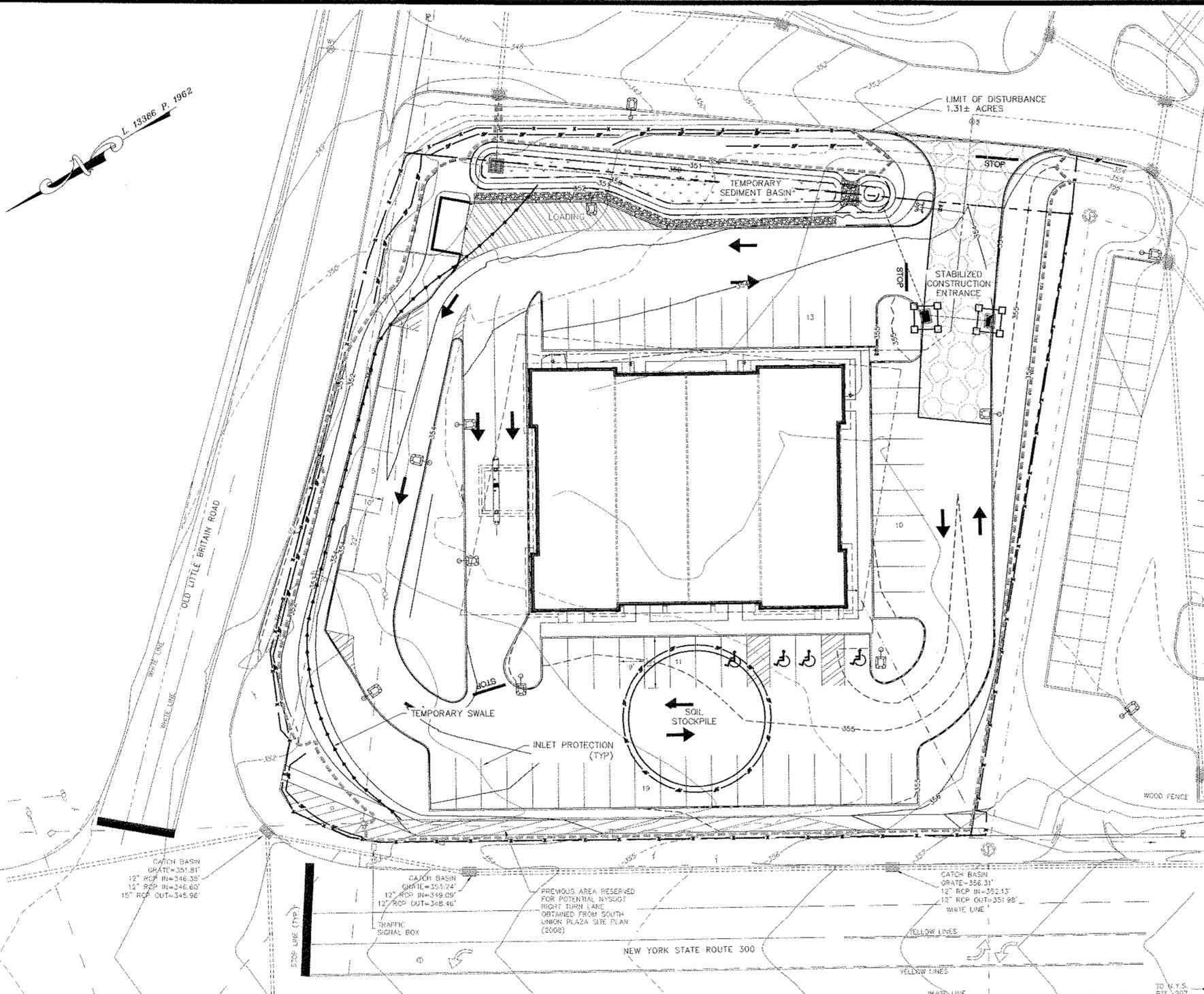
LIGHT POLE BASE DETAIL
NOT TO SCALE

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		LIGHTING PLAN BRITAIN PLAZA TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK	
		Date: July 21, 2014 Drawn By: SPS Checked By: SPS Scale: 1" = 20' Tax Map No.: 97-3-1 Drawing No.: B-13-0082-01	

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EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

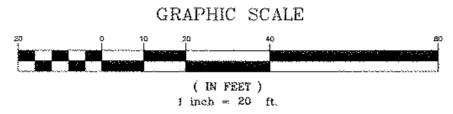
- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
- THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT A SITE INSPECTION IN ACCORDANCE WITH PART I.V.C. EVERY SEVEN (7) CALENDAR DAYS.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOG, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 7 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 7 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
 - SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
FALL/WINTER - ARGOSTOCK WINTER RYE AT 100 LBS PER ACRE
 - MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
 - WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS FOLLOWS (SEE LANDSCAPE PLAN FOR OTHER PLANTING INFORMATION):
 - LIME TOPSOIL TO pH 6.0.
 - FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
 - SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
 - MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 15C ABOVE).
- DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- MAINTAIN COPIES OF THE CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP), NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE

- PRE-CONSTRUCTION MEETING: BEFORE CONSTRUCTION ACTIVITIES AN EVALUATION OF THE SITE WILL BE PERFORMED WITH THE SITE CONTRACTOR, TOWN PERSONNEL AND SITE DESIGN ENGINEER TO DISCUSS GENERAL CONSTRUCTION PROCEDURES AND SEQUENCING.
- DELINEATE TOTAL SITE DISTURBANCE LIMITS: PLACEMENT OF ORANGE CONSTRUCTION FENCING ALONG THE LIMIT OF DISTURBANCE THROUGHOUT THE SITE.
- PROTECT EXISTING BUFFERS: PLACE EROSION CONTROL DEVICES (SILT FENCING, DIVERSION BERMS, ETC.) UPSTREAM OF ANY EXISTING WATERCOURSE WITHIN OR OUTSIDE OF CONSTRUCTION AREAS PRIOR TO THE START OF ANY CONSTRUCTION.
- THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT A SITE INSPECTION IN ACCORDANCE WITH PART I.V.C. EVERY SEVEN (7) CALENDAR DAYS.
- CONSTRUCTION ENTRANCES/SILTATION CONTROLS: A TEMPORARY CONSTRUCTION ENTRANCE WILL BE INSTALLED AT THE ENTRANCE TO THE SITE AS SHOWN ON THE SITE PLANS. IN ADDITION, ANY OTHER SILTATION CONTROL DEVICES, AS SHOWN ON THE EROSION CONTROL PLAN ARE TO BE INSTALLED ADJACENT TO THE TEMPORARY ENTRANCE AND STAGING AREA.
- CONSTRUCTION OF TEMPORARY SEDIMENT TRAP: CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAP PRIOR TO THE START OF ANY MAJOR EARTHWORK MOVEMENT OR SITE CONSTRUCTION.
- CONSTRUCTION OF TEMPORARY DIVERSION SWALE: THE INSTALLATION OF TEMPORARY DIVERSION SWALE TO BE USED TO CONVEY STORMWATER TO THE SEDIMENT TRAP SHALL BE COMPLETED.
- STAGING AREA: THE STAGING AREA WILL BE GRADED FOR STORAGE OF EQUIPMENT.
- STRIP TOPSOIL: TOPSOIL WILL BE STRIPPED FROM THE ACTIVE WORK AREAS AND WILL BE STOCKPILED FOR LATER REUSE.
- LAND GRADING: BULK SOIL GRADING WILL COMMENCE. AT THIS TIME, TEMPORARY STOCKPILE AREAS SHOULD BE UTILIZED. THE PROPOSED BUILDING PAD WILL BE GRADED AND STONE BASE WILL BE SPREAD.
- BUILDING FOUNDATION CONSTRUCTION: UPON COMPLETION OF GRADING IN BUILDING FOOTPRINT AREA, BUILDING FOUNDATION CONSTRUCTION WILL COMMENCE.
- UTILITY INSTALLATION: INSTALL WATER, SEWER, AND STORMWATER THROUGHOUT THE PROJECT. INLET PROTECTION WILL BE INSTALLED AT ALL STORMWATER CATCH BASINS.
- STORMWATER INSTALLATION: INSTALL BIO-RETENTION AREA WHEN ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED. CONVERT SEDIMENT TRAP TO BIO-RETENTION AREA AND INSTALL OUTLET STRUCTURE AND CONNECTION TO EXISTING CATCH BASIN.
- PAVEMENT CONSTRUCTION: CONSTRUCT PAVED PARKING AND ACCESS AREAS.
- EROSION CONTROL PRACTICE REMOVAL: REMOVE ANY REMAINING EROSION CONTROL PRACTICES INCLUDING INLET PROTECTION AND TEMPORARY DIVERSIONS SWALES WHEN AREAS HAVE BEEN TEMPORARILY STABILIZED.
- LANDSCAPING AND FINAL STABILIZATION: ALL OPEN AREAS TO BE STABILIZED WITH TOPSOIL AND SEEDED AS PER THE SEEDING SCHEDULE SPECIFIED ON THE EROSION AND SEDIMENT CONTROL PLANS. REMOVAL OF ALL TEMPORARY MEASURES, FLUSHING/CLEANING OF ALL CATCH BASINS AND PIPE, AND REMOVAL AND DISPOSAL OF ALL TRAPPED SEDIMENT ON SITE SHALL BE COMPLETED.
- FINAL SITE INSPECTION AND CERTIFICATION: AT THE END OF CONSTRUCTION A SITE EVALUATION OF THE SITE WILL BE PERFORMED WITH SITE CONTRACTOR, TOWN PERSONNEL, AND SITE ENGINEER TO ENSURE THAT ALL STORMWATER FACILITIES WERE CONSTRUCTED AS PER THE SWPPP DESIGN AND THAT THE SITE HAS BEEN STABILIZED. A NOTICE OF TERMINATION WILL BE SUBMITTED TO THE NYSDEC.

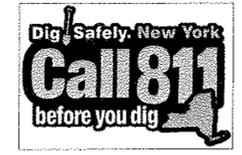
SOIL RESTORATION REQUIREMENTS:

- ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
- ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPIING AND DE-COMPACTION."



LEGEND:

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED WOODED GUIDERAIL
- PROPOSED SIDEWALK
- PROPOSED 6" D.I. WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED 1" TYPE K WATER SERVICE
- PROPOSED 6" SDR35 SEWER SERVICE
- PROPOSED HDPE DRAINAGE PIPE
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY BASIN
- PROPOSED TEMPORARY SWALE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED INLET PROTECTION
- LIMIT OF DISTURBANCE



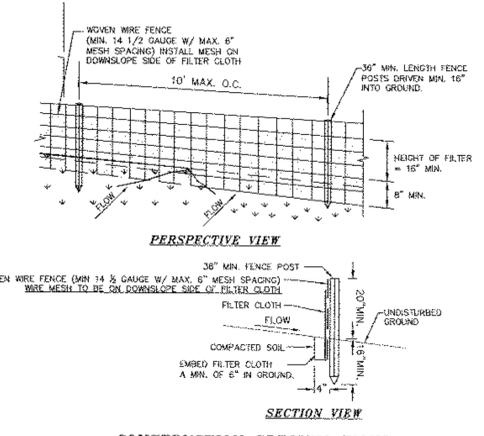
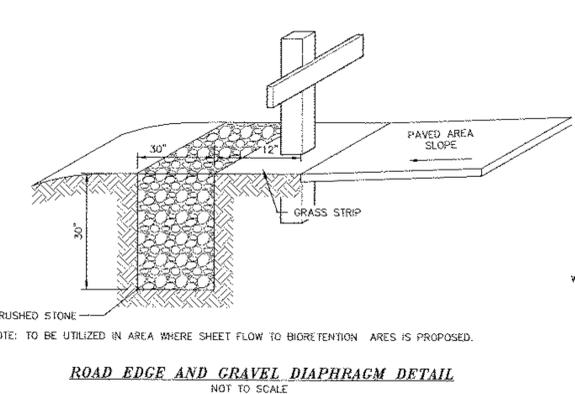
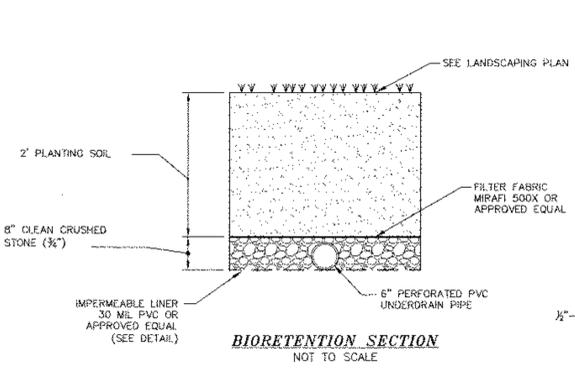
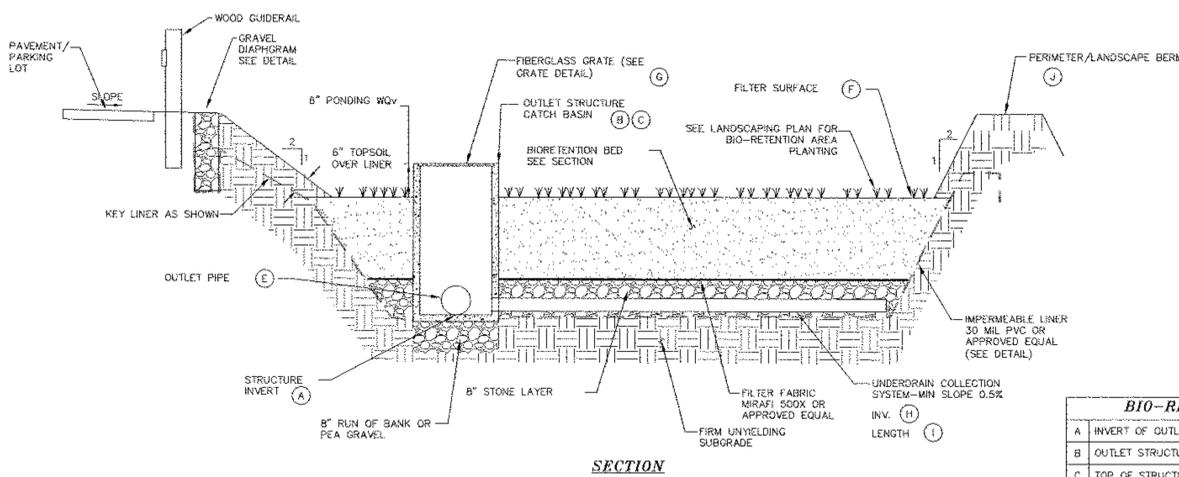
NOTE: DUE TO SENSITIVITY OF DOWNSTREAM WATER SUPPLY, NO TURBID WATER IS ACCEPTABLE TO LEAVE THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE EROSION CONTROL MEASURES AND METHODS AS NEEDED TO ENSURE NO TURBID WATER LEAVES THE SITE. ALTERNATIVE METHODS INCLUDING BUT NOT LIMITED TO TEMPORARY HAY/MULCH, WATTLES, USE OF RUMBLE TRACK(S), OR FILTER BAGS MAY BE REQUIRED.

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EROSION AND SEDIMENT CONTROL PLAN			
		BRITAIN PLAZA	
		TOWN OF NEWBURCH ORANGE COUNTY, NEW YORK	
Date: JUNE 30, 2014 Revisions: JULY 21, 2014	LANC File: 130082 - erosion control plan.dwg Layout: PLAN Sheet No.: 4 OF 5	Drawn By: dmk Checked By: Scale: 1" = 20' Tax Map No.: 97 - 3 - 1	Drawing No.: C3D B - 13 - 0082 - 01

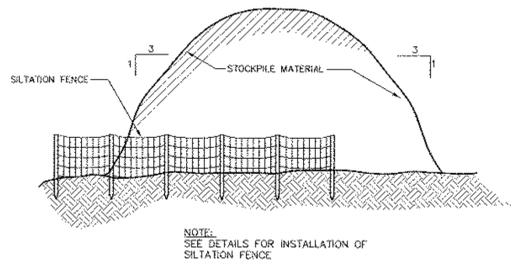


A	INVERT OF OUTLET STRUCTURE 346.75
B	OUTLET STRUCTURE DIMENSIONS (OUTSIDE) 48"x48"
C	TOP OF STRUCTURE ELEVATION 350.50
D	BOTTOM OF STRUCTURE ELEVATION 346.08
E	CULVERT: DIAMETER/INVERT ELEVATION 15" / 346.75
F	FILTER SURFACE ELEVATION 350.00
G	FIBERGLASS GRATE DIMENSION 42"x42"
H	UNDERDRAIN INVERT ELEVATION 347.33
I	UNDERDRAIN SYSTEM LENGTH 132'
J	TOP OF PERIMETER BERM 352.60

BIO-RETENTION AREA MAINTENANCE REQUIREMENTS:
 INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
- RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THAN 50% OF THE COVERAGE OF THE FACILITY IS NOT ACHIEVED.
- REMOVAL OF ACCUMULATED DEBRIS WITHIN THE FILTER BED AREAS AND AT ALL INLET AND OUTLET STRUCTURES.
- ANNUAL MOWING (EARLY WINTER) OF THE BANKS, TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
- WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER POUNDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E. LANDFILL).
- REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.

NOTE:
 THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 20% BY VOLUME. SOILS SHOULD FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12 TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).



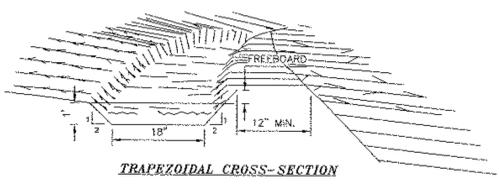
BIO-RETENTION AREA DETAIL
NOT TO SCALE

TYPICAL STOCKPILE DETAIL
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "1" OR "1 1/2" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1140X, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHICH "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE
NOT TO SCALE

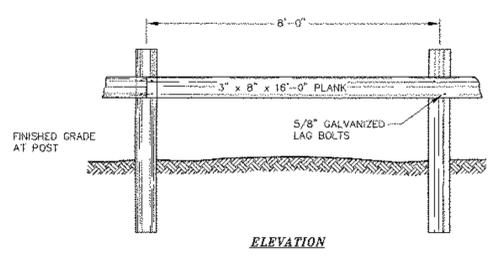
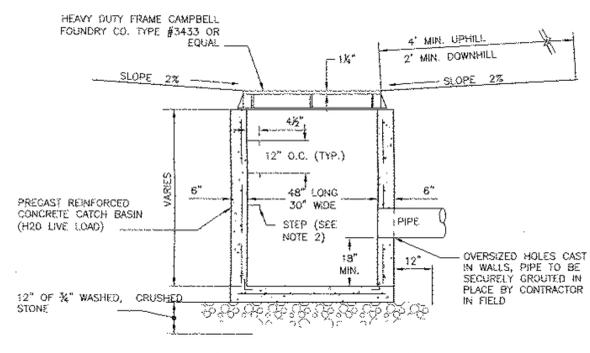


CONSTRUCTION SPECIFICATIONS

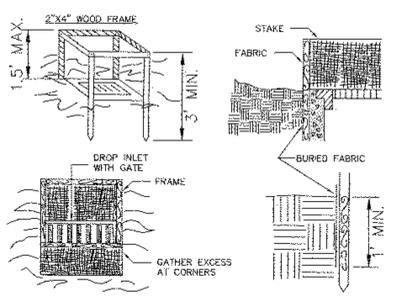
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
- THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED NORMAL FLOW.
- FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
- ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
- STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.

A. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOO, WITH SEEDING PROTECTED BY SUTE OR EXCESSOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.

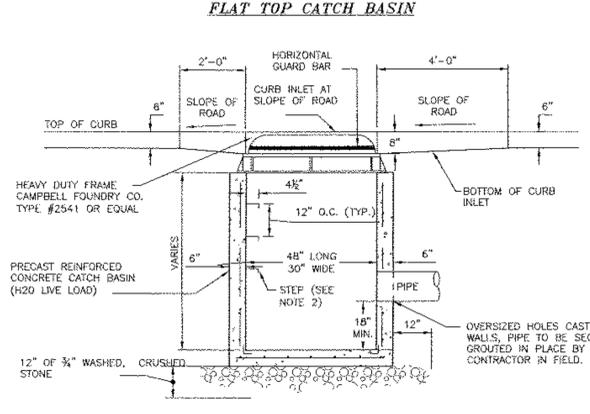
TEMPORARY DIVERSION SWALE
NOT TO SCALE



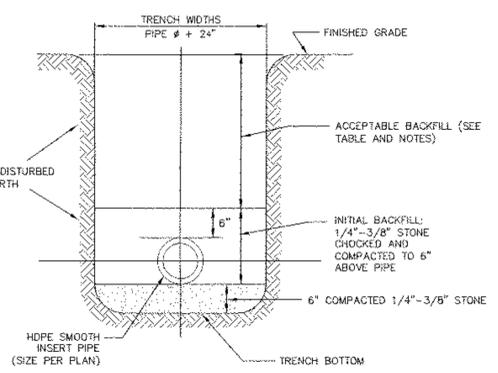
WOOD GUIDE RAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS
NOT TO SCALE



CURB TOP CATCH BASIN
NOT TO SCALE



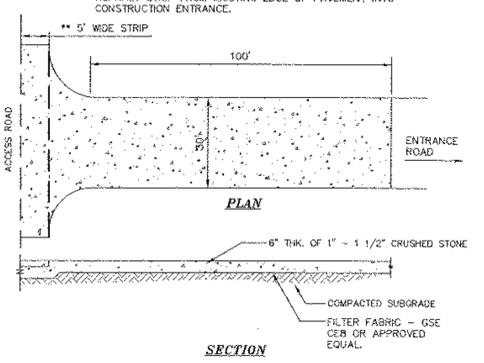
DESCRIPTION	ASTM D2321	ASTM D2487	AASHTO M4.3	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	CW GP SW SP	57 B	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTE: INORGANIC SILTS, CLAYS, AND OTHER CLASS IV MATERIAL SHALL NOT BE PERMITTED.

NOTES:

- BACKFILL TO BE COMPACTED IN 6" LIFTS AND SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION.
- BACKFILL UNDER ALL PAVED AREAS SHALL BE FULL DEPTH RUN OF BANK, ITEM #4 OR APPROVED EQUAL.

STORM SEWER TRENCH CROSS SECTION
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1"-1 1/2" CRUSHED STONE, WILL BE AT LEAST 30' X 100' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED.

ALL DRIVEWAYS MUST BE STABILIZED WITH 1" - 1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION.

PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN).

ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL.

ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN.

* ALTERNATIVE / ADDITIONAL USE OF RUMBLE TRACK IS PERMISSIBLE IF REQUIRED. MINIMUM 5' WIDE ASPHALT BINDER STRIP ALONG MUNICIPAL ROAD MUST BE MAINTAINED.

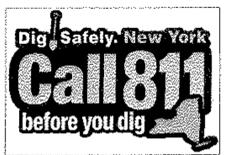
NOTES:

- CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
- STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT
- THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.

CATCH BASIN DETAILS
NOT TO SCALE

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DRAINAGE AND EROSION AND SEDIMENT CONTROL DETAILS

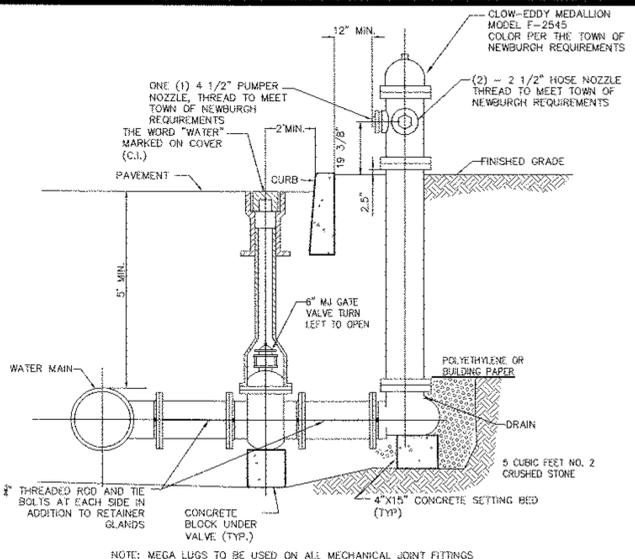
Date: JUNE 30, 2014
Revision: JULY 21, 2014

Sheet No. 5 OF 8

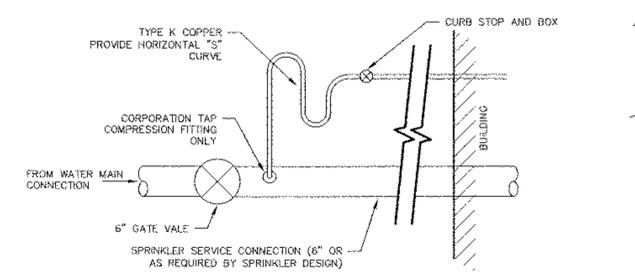
BRITAIN PLAZA
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

Drawn By: dmk
Checked By: NTS
Scale: 1" = 10'-0"
Tax Map No.: 97-3-1

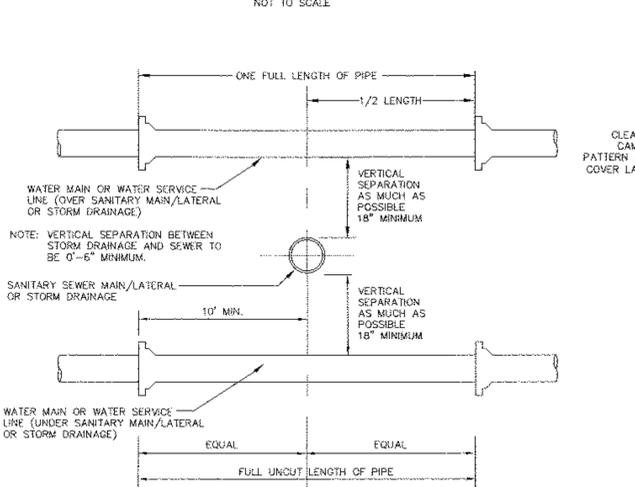
Drawn No.: CSD
Revision No.: B-13-0082-01



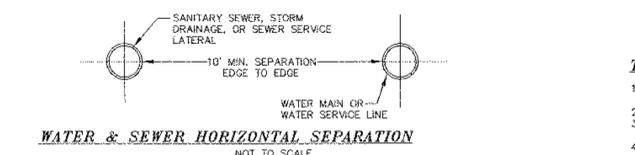
HYDRANT DETAIL
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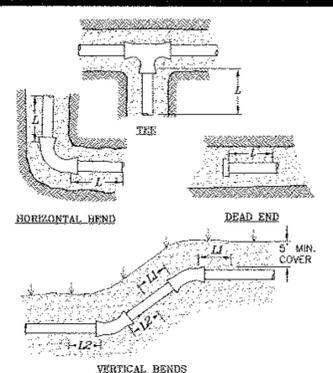
WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



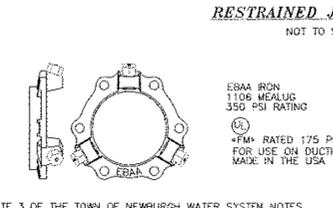
WATER & SEWER CROSSING DETAIL
NOT TO SCALE



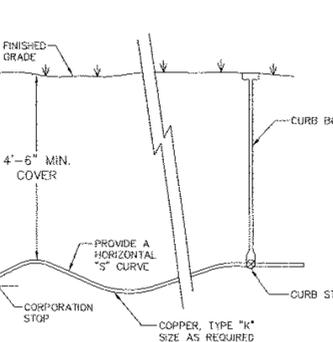
WATER & SEWER HORIZONTAL SEPARATION
NOT TO SCALE



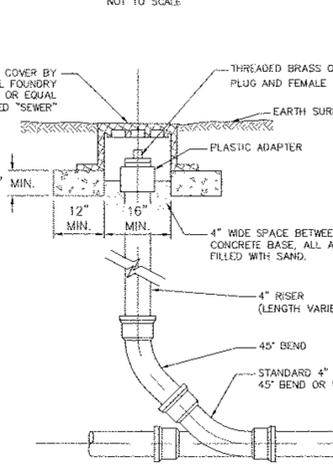
RESTRAINED JOINT DETAILS
NOT TO SCALE



MECHANICAL JOINT RESTRAINT DETAIL
NOT TO SCALE



WATER SERVICE CLEANOUT DETAIL
NOT TO SCALE



SEWER SERVICE CLEANOUT DETAIL
NOT TO SCALE

RESTRAINED JOINT TABLE	
MINIMUM LENGTH REQUIRED IN LINEAR FEET	
FITTING	LENGTH IN LINEAR FEET (L)
TEE - 6"	5'
REDUCER	12'
90° HORIZONTAL BEND - 6"	10'
45° HORIZONTAL BEND - 6"	4'
22-1/2° HORIZONTAL BEND - 6"	2'
VERTICAL BENDS - 6"	L1 = 6' L2 = 2'

NOTE: LENGTH OF RESTRAINED JOINTS BASED UPON:
 a) 4.5' MINIMUM COVER
 b) TEST PRESSURE = 150 PSI
 c) TYPE 5 TRENCH
 d) 1.5 TO 1 SAFETY FACTOR
 e) SOIL TYPE: GW

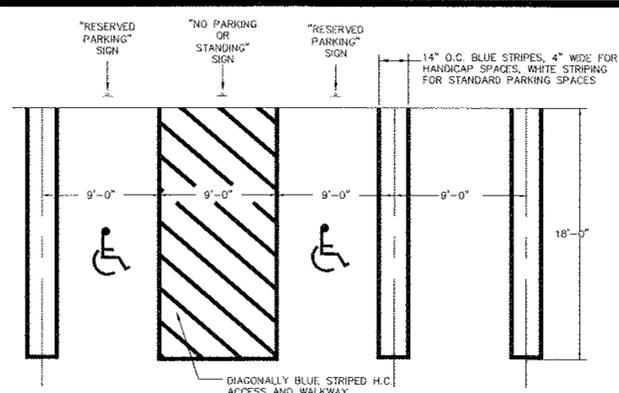
ALL REQUIRED JOINT RESTRAINT SHALL BE MEGALUG RETAINING GLANDS AS MANUFACTURED BY EBAA IRON, OR APPROVED EQUAL.

TOWN OF NEWBURGH WATER SYSTEM NOTES

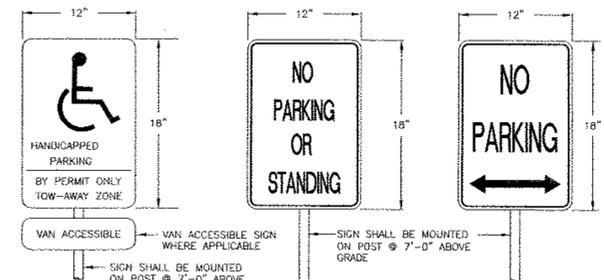
- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICES LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATEST REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THRUST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THRUST BLOCKS ARE NOT ACCEPTABLE. JOINT RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBAA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-94 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C909 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15000N OR B-25000N FOR 1-1/2 OR 2 INCH SIZES. CURB VALVES SHALL BE MUELLER B-25204N FOR 1-1/2 AND 2 INCH SIZES. CURB BOXES SHALL BE MUELLER H-10310 FOR 1-1/2 AND 2 INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT OF INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THRUST RESTRAINT SHALL BE PROVIDED BY THE RODS AND RETAINER GLANDS. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DHPA STANDARDS.
- PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-651 - YEAR OF LATEST REVISION STANDARDS.
- ALL WATER MAINS SHALL BE 6", CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.

TOWN OF NEWBURGH SEWER SYSTEM NOTES

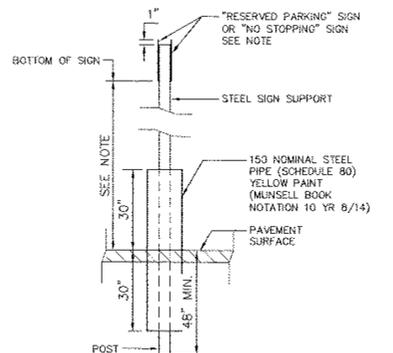
- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SANITARY SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL GRAVITY SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.



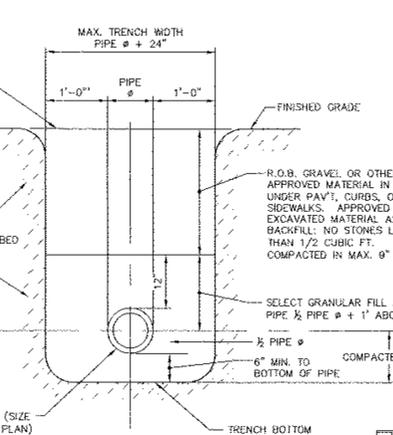
PARKING SPACE STRIPING DETAIL
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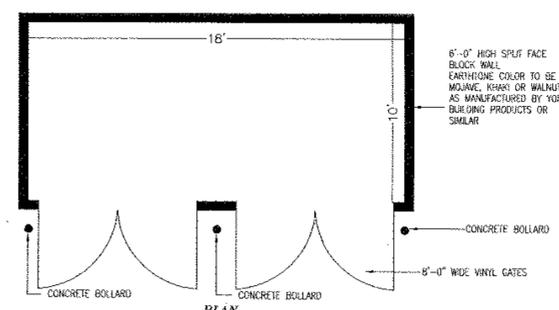
HANDICAP SIGN NOT TO SCALE
NO PARKING SIGNS NOT TO SCALE



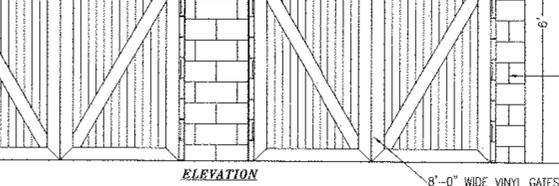
POST BASE DETAIL
NOT TO SCALE



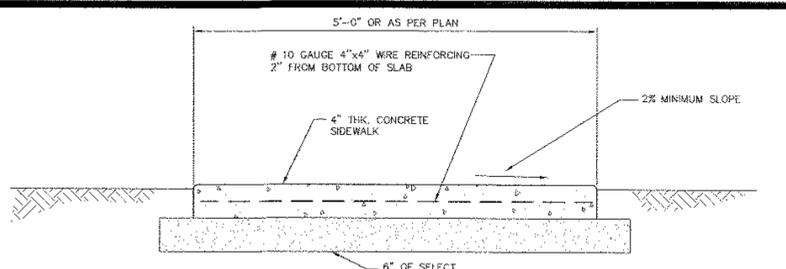
TRENCH CROSS SECTION
NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

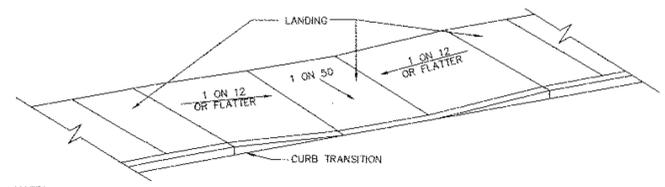


DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



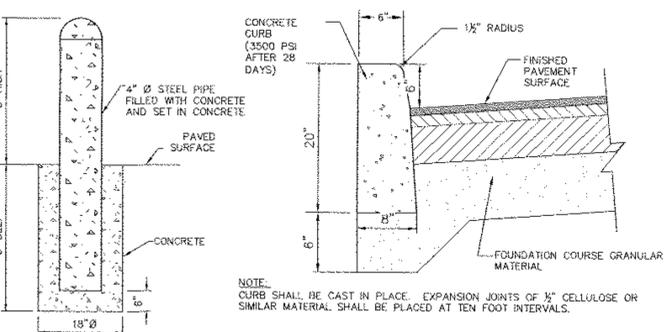
STANDARD SIDEWALK DETAIL
NOT TO SCALE

- NOTES:
 1. EXPANSION JOINTS OF 3/8\"/>



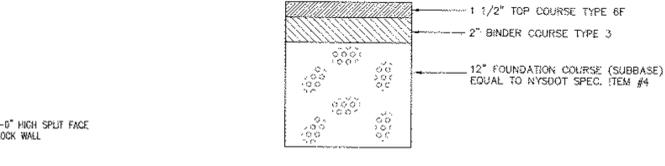
- NOTES:
 1. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET AND AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 2. CROSS SLOPES: THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
 3. THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
 4. CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60\"/>

CURB RAMP DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

CONCRETE CURB
NOT TO SCALE



PAVEMENT SECTION
NOT TO SCALE

- NOTES:
 1. SUB BASE MATERIAL TO BE DRY AND FREE OF DEBRIS COMPACTED TO 90% MODIFIED PROCTOR DENSITY
 2. PROOF ROLLING REQUIRED TO VERIFY NO MEASURABLE MOVEMENT IN SUBGRADE "PUMPING".

LANC & TULLY ENGINEERING AND SURVEYING, P.C.
 P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700

CONSTRUCTION DETAILS

BRITAIN PLAZA

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK

DATE: JUNE 30, 2014
 REVISION: JULY 21, 2014

Drawn By: dmh
 Checked By: NTS
 Scale: 97 - 3 - 1

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