



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.

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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: DLE HOLDINGS, LLC
PROJECT NO.: 2015-13
PROJECT LOCATION: SECTION 23, BLOCK 1, LOT 1
REVIEW DATE: 5 AUGUST 2015
MEETING DATE: 6 AUGUST 2015
PROJECT REPRESENTATIVE: JOHN FULLER, P.E.

1. The Applicant's representatives have addressed our previous comments. The parking lot has been revised to show paving in the smaller vehicle/employee public access areas and gravel for the bus storage.
2. A dumpster enclosure had been included on the plans.
3. Landscaping has been revised based on as built location of newly installed fence at the site. Additional landscaping has been provided between the DOT right of way and the newly installed fence. The Planning Board should review the proposed landscaping to determine if it is adequate.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

John D. Fuller, P.E.
CIVIL & STRUCTURAL ENGINEERING

July 23, 2015

Mr. John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Rd.
Newburgh, NY 12550

RE: DLE Holdings, LLC
5310 Route 9W
Section 23 Block 1 Lot 1
Town of Newburgh, NY
Project #2015-13

Job No. 2129.002

Dear Mr. Ewasutyn:

Enclosed are revised plans for the proposed site improvements at the above referenced property. The revisions are based on comments received from the Town Engineer dated July 10, 2015 and those received at the July 16th Planning Board meeting. Below are my responses:

1. The Planning Board was satisfied with the proposed landscaping at the July 16th meeting. Please note that with the relocation of the new fence, additional landscaping has been proposed along the Route 9W corridor; please see S-4.
2. The location of the new fence is provided on the plans; please see S-3.
3. A dumpster enclosure of chain link fence with vinyl slats is proposed; please see S-3. The site plan has been revised to provide pavement for the main parking area and gravel for the buses, etc in the northern portion of the property; please see S-3.
4. As of the date of this letter, comments from Orange County Planning have not been received.
5. The plans are not being sent to NYSDOT for review.
6. The septic system is existing and has been located within the parking lot ever since its installation with no report of failure. Risers and manhole covers shall be installed on the septic tank for access upon paving of the parking lot; please see S-3.
7. The parking lot striping and detail have been revised to be in compliance with the Town of Newburgh zoning ordinance; please see S-3 and S-5.

John D. Fuller, P. E.
Page 2 of 2

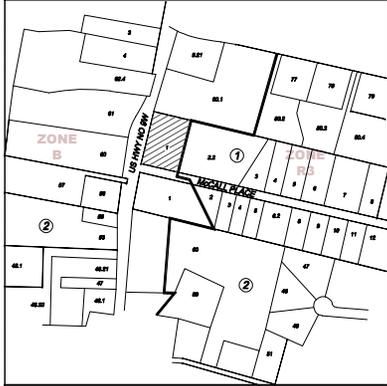
Please see the attached plans for details. Should you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "John D. Fuller". The signature is written in a cursive style with a large initial "J" and "F".

John D. Fuller, P.E.

Cc: DLE Holdings, LLC
Quality Bus Service, LLC



REFERENCE: TOWN OF NEWBURGH TAX MAPS, SECTIONS 20 AND 23

VICINITY MAP

SCALE: N.T.S.



REFERENCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: N.T.S.



DLE HOLDINGS, LLC

5310 ROUTE 9W

SECTION 23 BLOCK 1 LOT 1

TOWN OF NEWBURGH, NY

Town of Newburgh Planning Board Approval

PROJECT INFORMATION	
ZONING	B (BUSINESS)
TAX ID	SECTION 23
	BLOCK 1
	LOT 1
LOT AREA	1.29 ACRES
BUILDING AREA	2,400 SF
PROPOSED ADDITION	600 SF

DRAWING LIST	
S-1	COVER SHEET
S-2	EXISTING CONDITIONS
S-3	SITE PLAN
S-4	LIGHTING PLAN
S-5	SITE DETAILS
S-6	PRELIMINARY FLOOR PLAN & ELEVATIONS

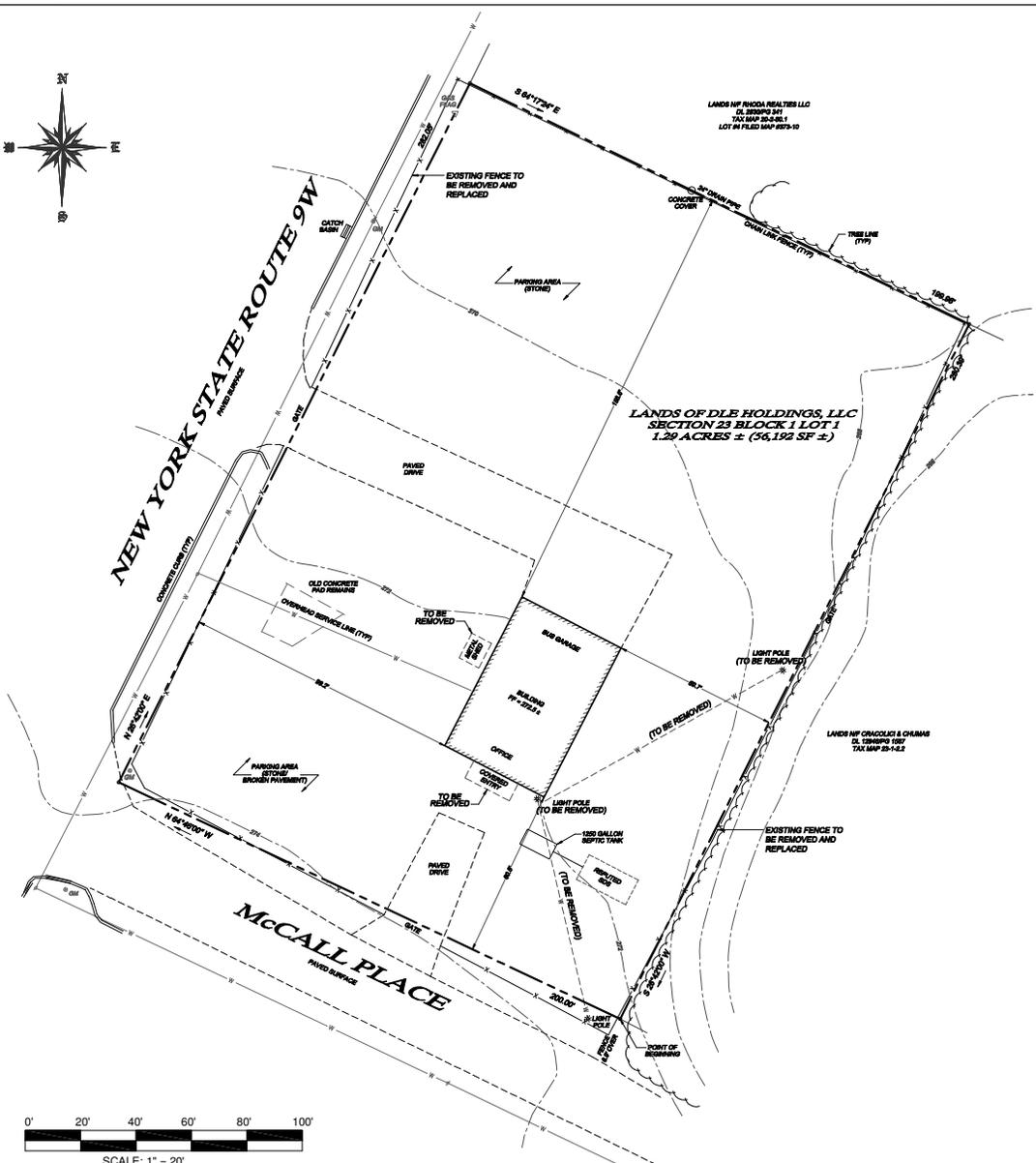
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REVISIONS				
DWG BY	REV	DESCRIPTION	DATE	APPROVED
JDF	0	FOR APPROVAL	06/08/15	
JDF	1	REVISED PER TOWN COMMENTS	06/25/15	
JDF	2	REVISED PER TOWN COMMENTS	07/22/15	

JOHN D. FULLER
REG. NO. 077763

JOHN D. FULLER, P.E.		4 SOUTH STREET PORT JERVIS, NY 12771 (845) 856-1536	
SITE PLAN FOR DLE HOLDINGS, LLC			
5310 ROUTE 9W			
SECTION 23 BLOCK 1 LOT 1			
TOWN OF NEWBURGH, NY			
DWG TITLE		DRAWING NO.	
COVER SHEET		S-1	
SCALE AS NOTED		SHEET NO. 2129.002	



LEGEND

---	PROPERTY LINE
- - - -	SETBACK LINE
---x---	CHAIN LINK FENCE
---w---w---	OVERHEAD UTILITIES
---u/s---u/s---	UNDERGROUND UTILITIES
	UTILITY POLE
NF	NOW OR FORMERLY
~~~~~	EX. TREE LINE

**GENERAL NOTES**

1. OWNER OF RECORD:  
DLE HOLDINGS, LLC  
74 FOX FIRE ESTATES  
MIDDLETOWN, NY 10940
2. TAX MAP DESIGNATION: SECTION 23 BLOCK 1 LOT 1
3. PARCEL ZONED: B (BUSINESS)
4. TOTAL AREA: 1.29± ACRES
5. SITE IS SERVICED BY MUNICIPAL WATER AND EXISTING SEPTIC SYSTEM.
6. CURRENT BUSINESS PROVIDES 22 FULL-SIZE BUSES, 21 VANS AND 11 CARAVANS.
7. CONTOURS ARE BASED OFF OF ORANGE COUNTY GIS MAPS AND ARE NOT FROM A FIELD SURVEY.

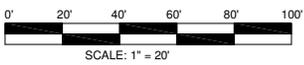
LANDS OF DLE HOLDINGS, LLC  
SECTION 23 BLOCK 1 LOT 1  
1.29 ACRES ± (36,192 SF ±)

LANDS HF RHODA REALTIES LLC  
DL 282003 241  
TAX MAP 20-4-1  
LOT 24 FILED MAP 20-75-10

LANDS HF ORCICOLI & CHAMAS  
DL 282003 107  
TAX MAP 20-4-2

**NEW YORK STATE ROUTE 9W**  
Highway

**McCALL PLACE**  
Paved Surface



EXISTING CONDITIONS

1  
S-2

**REFERENCE MAP:**

SURVEY MAP OF LANDS FOR DLE HOLDINGS, LLC  
BY DANIEL J. O'BRIEN, PROFESSIONAL LAND SURVEYOR,  
DATED APRIL 22, 2015, FILE # 15-51.

Town of Newburgh Planning Board Approval

DWG BY	REV	REVISIONS	DATE	APPROVED
JDF	0	FOR APPROVAL	06/08/15	
JDF	1	REVISED PER TOWN COMMENTS	06/25/15	
JDF	2	REVISED PER TOWN COMMENTS	07/22/15	

JOHN D. FULLER  
REG. NO. 077793

**JOHN D. FULLER, P.E.** 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

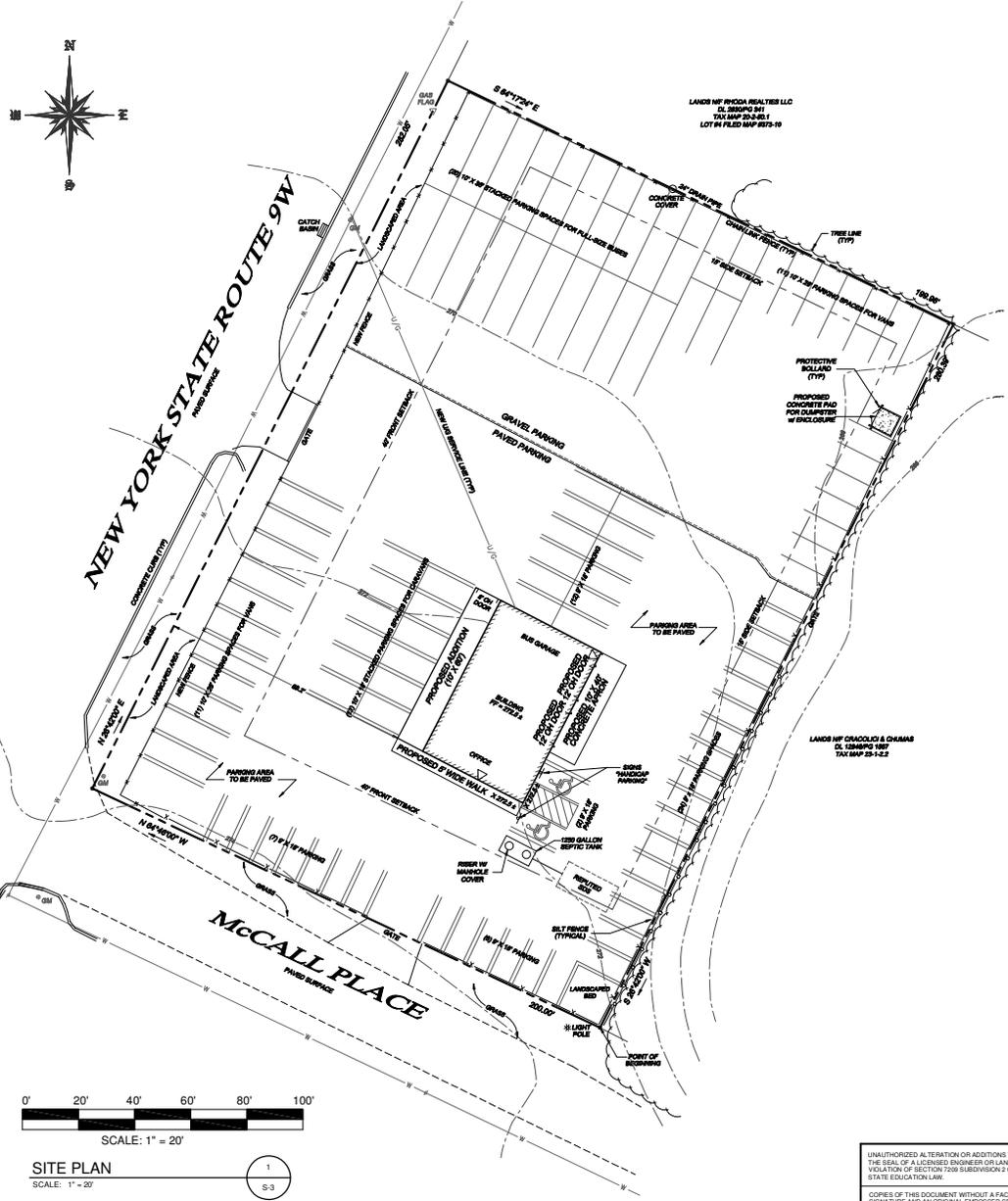
**SITE PLAN FOR DLE HOLDINGS, LLC**  
5310 ROUTE 9W  
SECTION 23 BLOCK 1 LOT 1  
TOWN OF NEWBURGH, NY

DWG TITLE: **EXISTING CONDITIONS** DWG. NO.: **S-2**

SCALE: AS NOTED DATE: 1/26/16 2129.002

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**LEGEND**

- PROPERTY LINE
- - - RETRACTION LINE
- x - x - CHAIN LINK FENCE
- - - OVERHEAD UTILITIES
- - - UNDERGROUND UTILITIES
- - - UTILITY POLE
- - - HP
- - - EX. TREE LINE
- - - ENTRY DOOR

**GENERAL NOTES**

1. OWNER OF RECORD: DLE HOLDINGS, LLC  
74 FOX FIRE ESTATES  
MIDDLETOWN, NY 10940
2. APPLICANT: QUALITY BUS CO.  
PO BOX 600  
SPARROWBUSH, NY 12780
3. TAX MAP DESIGNATION: SECTION 23 BLOCK 1 LOT 1
4. PARCEL ZONED: B (BUSINESS)
5. TOTAL AREA: 1.29± ACRES
6. CURRENT BUSINESS PROVIDES 22 FULL-SIZE BUSES, 21 VANS AND 11 CARAVANS.
7. SITE IS SERVICED BY MUNICIPAL WATER AND EXISTING SEPTIC SYSTEM.
8. CONTOURS ARE BASED OFF OF ORANGE COUNTY GIS MAPS AND ARE NOT FROM A FIELD SURVEY.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT DRIVEWAY ENTRANCES ON TOWN ROAD.
10. DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN HIGHWAY SUPERINTENDENT AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL DRAINAGE FACILITIES ARE REQUIRED TO PROVIDE POSITIVE DRAINAGE WITHIN THE RIGHT-OF-WAY OR ADJACENT PROPERTY, THEY SHALL BE INSTALLED BY THE DEVELOPER AT NO COST TO THE TOWN.
11. ALL EMBANKMENTS ARE TO BE GRADED AND SEEDED IMMEDIATELY UPON BEING LAID BACK.
12. ALL EROSION CONTROL DEVICES ARE TO BE SET IN PLACE PRIOR TO ANY LAND DISTURBANCE. DURING THE COURSE OF CONSTRUCTION, WHENEVER THE TOWN BUILDING INSPECTOR AND/OR TOWN ENGINEER DETERMINE THAT ADDITIONAL EROSION CONTROL DEVICES ARE REQUIRED, THEY SHALL BE INSTALLED IMMEDIATELY BY THE DEVELOPER AT NO COST TO THE TOWN.
13. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE TOWN OF NEWBURGH ZONING ORDINANCE AND GAN APPROVAL OF THE BUILDING DEPARTMENT.
14. PROPOSED HOURS OF OPERATION:  
OFFICE / BUS TERMINAL  
MONDAY THROUGH FRIDAY 5:50AM TO 6:30PM  
SATURDAY AND SUNDAY BY APPOINTMENT ONLY
15. THE PROJECT DOES NOT LIE WITHIN ANY FLOOD ZONES AS PER FEMA FLOOD INSURANCE RATE MAPS.
16. THERE ARE NO DEC OR FEDERAL DESIGNATED WETLANDS ON THE PARCEL PER THE NYSDEC AND ENVIRONMENTAL RESOURCE MAPPER.
17. NO FLOOR DRAINS ARE PROPOSED IN SERVICE AREA. NO WASHING OF VEHICLES IS PROPOSED ON-SITE. DRIP PANS AND ABSORBENT PADS SHALL BE USED IN LIEU OF FLOOR DRAINS AND OIL SEPARATORS. ALL WASTE OIL WILL BE STORED IN A 500 GALLON TANK KEPT INSIDE THE BUILDING.
18. NO BUS WASHING SHALL BE PERFORMED ON-SITE.
19. A KNOX BOX WILL BE PROVIDED AT THE ENTRANCE TO HOLD THE FIRE DEPARTMENT KEYS.

**PARKING CALCULATIONS**

	NO. OF SPACES REQUIRED	SIZE
EMPLOYEES / BUS DRIVERS -	40	9' X 18'
FULL-SIZE BUS -	22	10' X 36'
VANS -	21	10' X 25'
CARAVANS -	11	9' X 18'
<b>TOTAL 9' X 18' SPACES REQUIRED -</b>	<b>51</b>	<b>PROVIDED - 51</b>
<b>TOTAL 10' X 25' SPACES REQUIRED -</b>	<b>21</b>	<b>PROVIDED - 21</b>
<b>TOTAL 10' X 36' SPACES REQUIRED -</b>	<b>22</b>	<b>PROVIDED - 22</b>

THE OWNER HAS REVIEWED THE SITE PLAN AND IS IN CONCURRENCE WITH THE PROPOSED DESIGN.

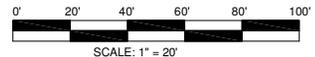
OWNER'S SIGNATURE _____

**BULK TABLE REQUIREMENTS:**

	ZONED DISTRICT: B (BUSINESS)		
	MINIMUM REQUIREMENTS:	EXISTING:	PROPOSED:
LOT AREA:	20,000 SF	56,226 SF	56,226 SF
LOT WIDTH:	100 FEET	200 FEET	200 FEET
LOT DEPTH:	125 FEET	280 FEET	280 FEET
FRONT YARD:	40 FEET	60.6 FEET	60.6 FEET
REAR YARD:	30 FEET	NA	NA
ONE SIDE YARD:	15 FEET	59.7 FEET	59.7 FEET
BOTH SIDE YARDS:	30 FEET	218.3 FEET	218.3 FEET
MAXIMUM PERMITTED:			
BUILDING HEIGHT:	35 FEET	<35 FEET	<35 FEET
MAXIMUM BUILDING SURFACE:	50%	4.7%	5.3%
MAXIMUM IMPERVIOUS SURFACE:	80%	12.9%	96.1%

**Town of Newburgh Planning Board Approval**

MINIMUM REQUIREMENTS:	EXISTING:	PROPOSED:
LOT AREA:	20,000 SF	56,226 SF
LOT WIDTH:	100 FEET	200 FEET
LOT DEPTH:	125 FEET	280 FEET
FRONT YARD:	40 FEET	60.6 FEET
REAR YARD:	30 FEET	NA
ONE SIDE YARD:	15 FEET	59.7 FEET
BOTH SIDE YARDS:	30 FEET	218.3 FEET
MAXIMUM PERMITTED:		
BUILDING HEIGHT:	35 FEET	<35 FEET
MAXIMUM BUILDING SURFACE:	50%	4.7%
MAXIMUM IMPERVIOUS SURFACE:	80%	12.9%



**SITE PLAN**  
SCALE: 1" = 20'



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DWG BY	REV	REVISIONS	DATE	APPROVED
JDF	0	FOR APPROVAL	06/08/15	
JDF	1	REVISED PER TOWN COMMENTS	06/25/15	
JDF	2	REVISED PER TOWN COMMENTS	07/22/15	

*[Signature]*  
JOHN D. FULLER  
REG. NO. 077193

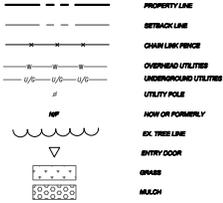
**JOHN D. FULLER, P.E.** 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**SITE PLAN FOR DLE HOLDINGS, LLC**  
5310 ROUTE 9W  
SECTION 23 BLOCK 1 LOT 1  
TOWN OF NEWBURGH, NY

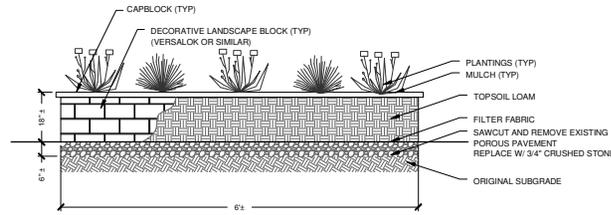
DWG TITLE: **SITE PLAN** DWG NO: **S-3**

SCALE: AS NOTED PLAN NO: 2129.002

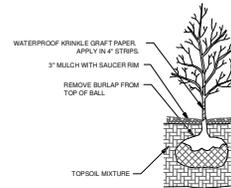
**LEGEND**



LANDSHP INCORPORATED LLC  
CL 20090 341  
TAX MAP 200-011  
LOT 1 IN FILED MAP 070-10



TYPICAL LANDSCAPE BED DETAIL  
SCALE: N.T.S.



SHRUB PLANTING DETAIL  
SCALE: N.T.S.

**PLANTING NOTES**

- FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE OWNER.
  - ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" MIN. DECORATIVE LANDSCAPE STONE OR MULCH.
  - TOPSOIL AND SEED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR STORAGE OF EQUIPMENT. CONTRACTOR TO FIELD VERIFY ALL AREAS OF SEED.
  - TOPSOIL SHALL BE SANDY LOAM, FREE FROM STONES LARGER THAN 3/4" OR ANY UNDESIRABLE MATERIAL. 4% ORGANIC MATTER, PH 6.0 TO 6.5.
- | NAME OF GRASS      | PROPORTION BY WT. | MIN. GERM. | MIN. PURITY |
|--------------------|-------------------|------------|-------------|
| PENNLAWN FESCUE    | 60%               | 85%        | 95%         |
| FYKING BLUEGRASS   | 30%               | 85%        | 95%         |
| PERENNIAL RYEGRASS | 10%               | 95%        | 95%         |
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAWN THROUGH THE SECOND CUTTING. WATER ALL LAWNS AND PLANTINGS UNTIL FINAL ACCEPTANCE BY THE OWNER.
  - ALL PLANTS SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK AND SHALL BE INSPECTED UPON DELIVERY TO SITE PRIOR TO PLANTING.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT FROM THE PLANNING BOARD ENGINEER FOR THE TOWN.

**PLANTING LIST**

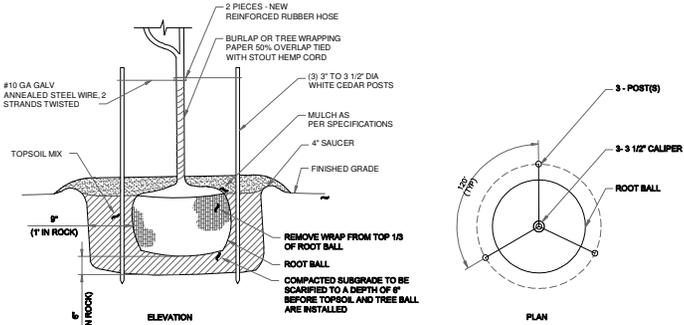
QTY.	SIZE	HARDINESS ZONE	BOTANICAL NAME	COMMON NAME
10	3 GAL.	5	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY
7	2" 2.5" CAL.	5	ACER RUBRUM	RED MAPLE
8	3 GAL.	5	SPHRAEA NIPPONICA	SNOWMOUND
6	2" 2.5" CAL.	5	ACER SACCHARUM	SUGAR MAPLE

NOTE: ALL PLANTS SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSUITABLE AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.

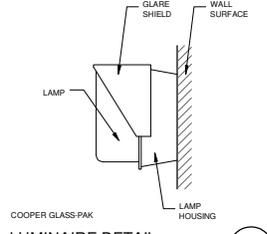
**MAINTENANCE NOTE:**

- GRASSY AREAS IN THE FRONT OF THE PROPERTY SHALL BE MAINTAINED WITH MOWING AS NEEDED.
- ALL OTHER AREAS THAT HAVE NATURAL VEGETATIVE COVER SHALL BE MAINTAINED NATURALLY.

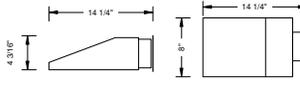
PER SECTION 185-13(0)(9)(a), ONE SHADE TREE SHALL BE PLANTED FOR EACH EIGHT PARKING SPACES, NUMBER OF PARKING SPACES FOR EMPLOYEES/BUS DRIVERS=40. NUMBER OF TREES REQUIRED=40/8=5. NUMBER OF TREES PROVIDED=8.



TREE PLANTING DETAIL  
SCALE: NONE



LUMINAIRE DETAIL  
SCALE: N.T.S.



LUMINAIRE DETAIL  
SCALE: NONE

LIGHTING SCHEDULE			
SYMBOL	QTY	DESCRIPTION	LAMP
□	2	COOPER LIGHTING WAL-LITE VERTICAL SURFACE MOUNT HIGH PRESSURE SODIUM COMPACT WALL MOUNT LUMINAIRE	50 W
⊗	5	COOPER LIGHTING - LUMINAIRE GLASS-PAK HIGH PRESSURE SODIUM WALL MOUNT LUMINAIRE, W/ GLARE SHIELD	150 W

REVISIONS				
DWG BY	REV	DESCRIPTION	DATE	APPROVED
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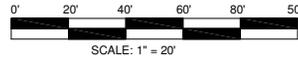
JOHN D. FULLER  
REG. NO. 077103

JOHN D. FULLER, P.E. 4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

SITE PLAN FOR DLE HOLDINGS, LLC  
5310 ROUTE 9W  
SECTION 23 BLOCK 1 LOT 1  
TOWN OF NEWBURGH, NY

DWG TITLE: LANDSCAPING & LIGHTING PLAN S-4  
SCALE: AS NOTED 1/28/15 2/29/2012

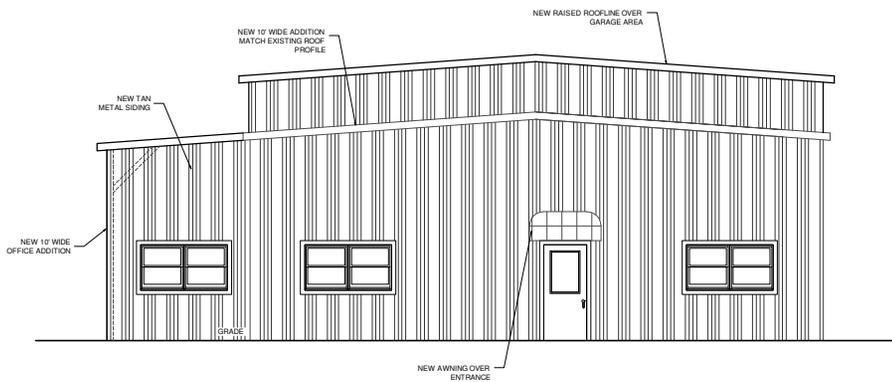
Town of Newburgh Planning Board Approval



LIGHTING AND LANDSCAPING PLAN  
SCALE: 1" = 20'

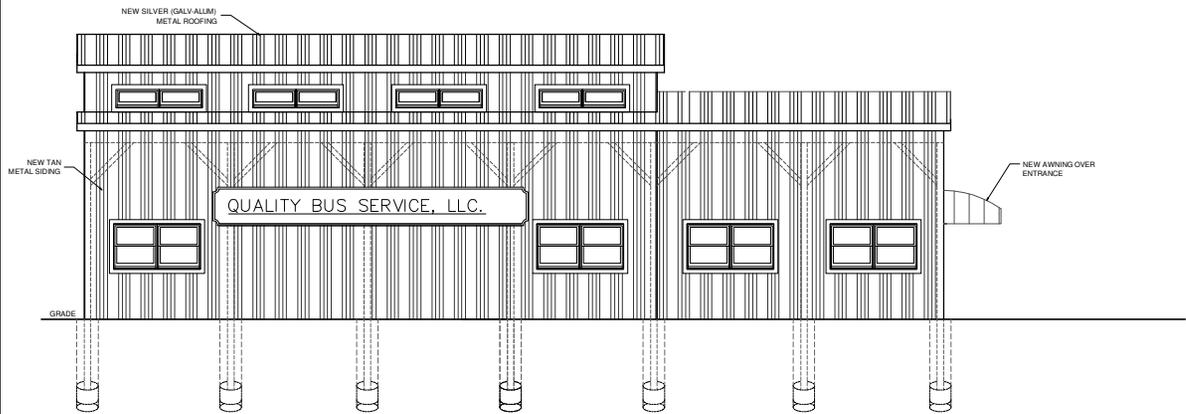
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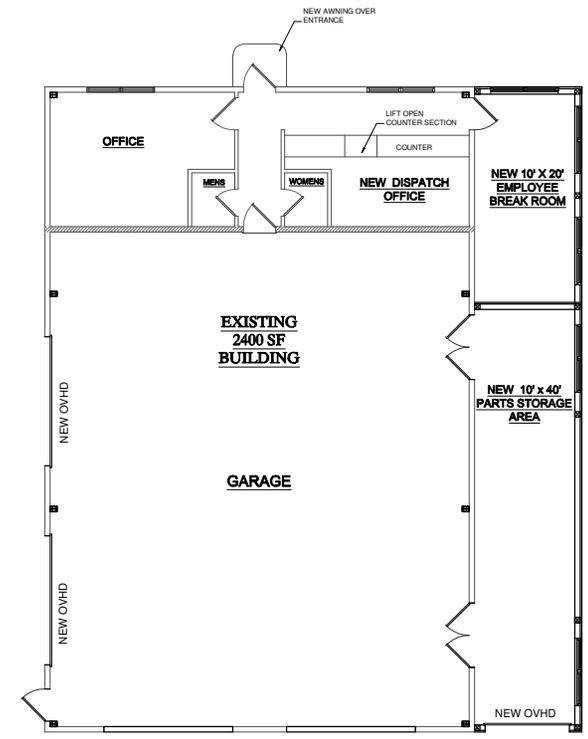
MCCALL PLACE ELEVATION  
SCALE: 1" = 20'

1  
S-6



ROUTE 9W ELEVATION  
SCALE: 1" = 20'

2  
S-6



PRELIMINARY FLOOR PLAN  
SCALE: 1" = 20'

3  
S-6

Town of Newburgh Planning Board Approval

UNAUTHORIZED ALTERATION OR ADDITIONS TO A PLAN BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS A VIOLATION OF SECTION 7209 (SUBSECTION 2) OF THE NEW YORK STATE EDUCATION LAW.  
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JDF	1	REVISED PER TOWN COMMENTS	06/25/15	
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*John D. Fuller*

JOHN D. FULLER  
REG. NO. 077763

4 SOUTH STREET  
PORT JERVIS, NY 12771  
(845) 856-1536

**JOHN D. FULLER, P.E.**

SITE PLAN FOR DLE HOLDINGS, LLC  
5310 ROUTE 9W  
SECTION 23 BLOCK 1 LOT 1  
TOWN OF NEWBURGH, NY

DWG TITLE: PRELIMINARY FLOOR PLAN AND ELEVATIONS  
DWG NO: S-6  
SCALE: AS NOTED  
DATE: 07/22/15  
PROJECT NO: 2129.002