



**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: SCANNELL - NEWBURGH COMMERCE CENTER
PROJECT NO.: 22-21
PROJECT LOCATION: 124 ROUTE 17K
SECTION 95, BLOCK 1, LOT 58
REVIEW DATE: 29 JULY 2022
MEETING DATE: 4 AUGUST 2022
PROJECT REPRESENTATIVE: WHITEMAN OSTERMAN & HANNA, LLC/DAVID EVERETT

1. The application is before the Board for a revision to the project driveway to NYS Route 17K. NYSDOT rejected the dual existing lane proposal on the original plans.
2. Comments from the Jurisdictional Emergency Services should be received.
3. The driveway has been redesigned with a 10 foot wide center crosshatching resulting in a 40 foot total width to the driveway. This width is proposed as the project site has a single point of access from NYS Route 17K.
4. The project sponsor previously provided a Narrative Report regarding why the lot geometry and surrounding land uses prohibited an additional emergency access point.
5. DOT comments on the revised driveway should be received.
6. No changes to the utilities or drainage layout occurred based on the restriping of the access drive.
7. Dominic Cordisco's comments regarding the need to recirculate to County Planning regarding the revision to the access drive should be received.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in blue ink that reads 'Patrick J. Hines'.

Patrick J. Hines
Principal

PJH/em

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