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CONSULTING ENGINEERS D.P.C.**

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**TOWN OF NEWBURGH
PLANNING BOARD
REVIEW COMMENTS**

PROJECT: BRITAIN PLAZA
PROJECT NO.: 13-13
PROJECT LOCATION: SECTION 97, BLOCK 3, LOT 1
PROJECT REPRESENTATIVE: LANC & TULLY, PC
REVIEW DATE: 18 AUGUST 2014
MEETING DATE: 21 AUGUST 2014

1. The Applicant's Representative has revised the plans pursuant to our previous comments and comments received from the Planning Board on 7 August 2014. A rendering of the dumpster enclosure along with additional information regarding landscaping has been provided. Landscaping has been modified to be consistent with the adjoining Crystal Run Realty site, lighting plan has been modified incorporating pedestrian style lighting on the site and a letter summarizing sewer flows from this site as well as adjoining Crystal Run site consistent with the 2008 City of Newburgh Flow Grant for both parcels.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Associate

REGIONAL OFFICE

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •

LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. Lanc, P.E., L.S., P.P.
David E. Higgins, P.E.
Rodney C. Knowlton, L.S.

Arthur R. Tully, P.E.
John J. O'Rourke, P.E.
John D. Russo, P.E.

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550



RE: Britain Plaza – Commercial Site Plan
Tax Parcel: 97 – 3 – 1
Planning Board No.: 2013-13

Dear Chairman Ewasutyn and Members of the Planning Board:

Enclosed and as requested please find twelve (12) complete plan sets a Site Plan entitled "Commercial Site Plan – Britain Plaza", Sheets 1-6 of 6, dated June 30, 2014 and last revised August 8, 2014. The site plan set has been revised to address comments received from the Planning Board Members and the consultants. To assist in your review, we have annotated the revisions below:

1. As requested, attached is an elevation of the proposed 6 foot high dumpster enclosure with the proposed landscaping screening as prepared by DeGraw and DeHaan Architects. With a focus on building green/ reducing environmental impact, the architects are proposing Kingston Block's Pozzotive CMU (30% replacement of Portland cement with postconsumer recycled material and manufactured locally in Ulster County). The rendering depicts an "Ulster Wheat" split face finish. They have chosen a darker earth tone in order to minimize visual impact and to tie the dumpster enclosure color in with some of the darker earth tones in the stone base. The landscaping plan has also been revised to indicate the larger initial planting sizes for the American Holly (5'-6', B&B) and the Dense Inkberry Holly (3'-3.5', B&B).
2. The landscaping plan has been revised to indicate London Plane trees to be planted along NYS Route 300, consistent with the tree species along NYS Route 300 on the adjoining CRH Realty VIII site.
3. The lighting plan has been revised to 16 foot pole heights. Please note that because of the reduced pole heights, additional fixtures have been incorporated.
4. Attached is a letter outlining the 2008 City of Newburgh permitted Sewer Flows (South Union Plaza) and the total estimated flows for the combined CRH Realty VIII and Britain Plaza site plans; the combined site plans are estimated to generate 1,565 gallons per day less than the approved South Union Plaza.

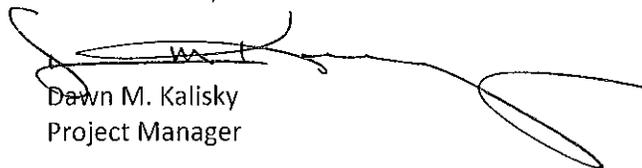
As discussed at the August 7, 2014 meeting, the Public Hearing for the Zoning Amendment to allow banks in the IB Zoning District was closed on August 4, 2014; the Town Board was unable to adopt the Local Law, pending SEQR action by the Planning Board as Lead Agency. With the issuance of the Negative Declaration by the Planning Board on August 7, 2014, the proposed Local Law is on the August 20, 2014 Town Board agenda for adoption.

By copy of this letter, a complete package is being provided directly to Mr. Michael Donnelly, Esq., and Mr. Ken Wersted, PE.

By submission of the enclosed, we respectfully request placement on the next available Planning Board agenda and look forward to further discussing the proposed project. We trust the enclosed is satisfactory; however, if you have any questions or require any further information, please do not hesitate to contact our office.

Very truly yours,

LANC & TULLY, P.C. 



Dawn M. Kalisky
Project Manager

Enc.

cc: Michael Donnelly, Esq., Planning Board Attorney (w/enc)
Ken Wersted, PE, Planning Board Traffic Consultant (w/enc)
Angelo Danza, The Old Britain Group, LLC (w/enc)
Robert DiNardo, Esq. (w/enc)

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

John J. Lanc, P.E., L.S., P.P.
David E. Higgins, P.E.
Rodney C. Knowlton, L.S.

August 8, 2014

Arthur R. Tully, P.E.
John J. O'Rourke, P.E.
John D. Russo, P.E.

Mr. John Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, NY 12550

RE: Britain Plaza – Commercial Site Plan
Tax Parcel: 97 – 3 – 1
Planning Board No.: 2013-13

Dear Chairman Ewasutyn and Members of the Planning Board:

On June 20, 2008, the City of Newburgh granted permission for connection of the sewer discharge of the South Union Plaza (previously approved site plan on the subject and adjoining properties) with a flow of 9,622 gallons per day. A copy of the approval letter is attached.

Based on NYSDEC standards, the wastewater flows generated by the mixed use Britain Plaza and the CRH Realty VIII approved site plan are estimated as follows:

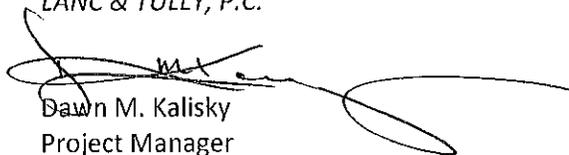
<u>Use</u>	<u>NYSDEC Standard</u>	<u>Estimate Wastewater Flow</u>
Office Building (66,070 SF – CRH)	0.1 gpd / SF	6,607 gpd
Bank and Retail (4,500 SF)	0.1 gpd / SF	450 gpd
Fast Food (40 seats total)	25 gpd / seat	<u>1,000 gpd</u>
<i>Total Estimate Flow Combined Sites</i>		<i>8,057 gpd</i>

Of the previously approved 9,622 gallons per day wastewater flow capacity, the combined CRH Realty VIII, LLC and the Britain Plaza sites are estimated to generate a total of 8,057 gallons per day; resulting in approximately 1,565 gallons per day of excess previous approval capacity. The excess capacity does not take into account any credits for the connection(s) of the previous uses on the subject parcels.

We trust the enclosed is satisfactory; however, if you have any questions or require any further information, please do not hesitate to contact our office.

Very truly yours,

LANC & TULLY, P.C.


Dawn M. Kalisky
Project Manager

swr appvl 8-8-14.doc

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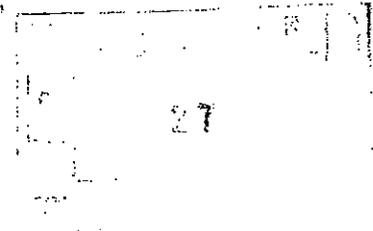


CITY OF NEWBURGH

OFFICE OF THE CITY MANAGER
City Hall - 83 Broadway, Newburgh, New York 12550
www.cityofnewburgh-ny.gov

Jean-Ann McGrane, Esq., M.S.
City Manager

jmcgrane@cityofnewburgh-ny.gov
Phone: (845) 569-7301
Fax: (845) 569-7370



June 20, 2008

Town of Newburgh Engineering Department
308 Gardnertown Road
Newburgh, New York 12550

ATTN: JAMES OSBORNE, P.E., TOWN ENGINEER

SUBJECT: DISCHARGE OF THE SOUTH UNION PLAZA (Route
300 and Little Britain Road) TO CITY OF NEWBURGH WASTEWATER
TREATMENT FACILITY

Dear Mr. Osborne,

Pursuant to your letter of March 6, 2008 and in accordance with the provisions of the Inter-municipal Sewer Agreement dated May 6, 2004 we have reviewed the description of this project as described in the project narrative dated February 20, 2008 prepared by Shaw Engineering. It is noted that this project was not included on the list of projects furnished by your office describing inclusion in the original 2 million gallon per day flow to be discharged to the City system. We assume therefore that the sewage flow from this retail/food service site (9,622 gallons per day) is to be included in the 1.8 million gallons per day allocation available with the construction of the first expansion of the sewage treatment plant by the Town.

Based upon the above permission is hereby granted for this connection.

Please advise this office when you believe initial flow from this project is to commence and, since the anticipated flow is large, a projected schedule of flow increases based on development schedule.

If you have questions regarding this approval please contact me at your convenience.

Very truly yours
CITY OF NEWBURGH


JEAN ANN McGRANE, ESQ., M.S.
CITY MANAGER

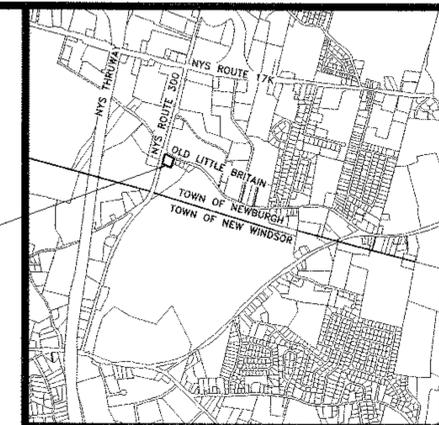
JAM/ee

Cc: Geoffrey Chanin, Corporation Counsel
Dale Post, Severn Trent Services
William J. Hauser, P.E., City Consulting Engineer

7.2.08
copies to: W. Booth, Supervisor
M. Taylor, Esq.
Sewer Dept.
Planning Board
Garling Assoc.
G. Shaw

SURVEY NOTES:

- SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
- REFERENCES:
 - MAP ENTITLED "LOT LINE CHANGE AND CONSOLIDATION MAP PREPARED FOR CRH REALTY VIII, LLC., TOWN OF NEWBURGH, TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK," DATED SEPTEMBER 17, 2013, LAST REVISED FEBRUARY 12, 2014, AS PREPARED BY LANC & TULLY ENGINEERING AND SURVEYING, P.C., AND FILED WITH THE ORANGE COUNTY CLERK ON JUNE 6, 2014 AS FILED MAP NO. 149-14.
 - MAP ENTITLED "COMPOSITE SITE PLAN, SOUTH UNION PLAZA, TOWN OF NEWBURGH, NEW YORK, DATED OCTOBER 16, 2007, LAST REVISED OCTOBER 29, 2008 AS PREPARED BY SHAW ENGINEERING, CONSULTING ENGINEERS.
 - TITLE REPORT NUMBER 730-0-2497, PREPARED BY HARDENBURGH TITLE AGENCY, DATED AUGUST 30, 2013.



LOCATION PLAN
1 INCH = 2000 FEET

GENERAL NOTES:

- PROPOSED 8,872± MIXED USE COMMERCIAL BUILDING.
- PROPOSED USES:
 - BANK - 2,436 SF
 - RETAIL - 2,000 SF
 - FAST FOOD ESTABLISHMENT - 2,000 SF (600 SF SEATING AREA)
 - FAST FOOD ESTABLISHMENT - 2,436 SF (600 SF SEATING AREA)
- INGRESS / EGRESS FOR BRITAIN PLAZA TO BE VIA CRH REALTY VIII, LLC., ACCESS DRIVE FROM OLD LITTLE BRITAIN ROAD. WATER SERVICE AND SANITARY SEWER SERVICE TO BE CONNECTED TO RESPECTIVE INFRASTRUCTURE CONSTRUCTED BY CRH REALTY VIII, LLC., SITE. AGREEMENTS BETWEEN CRH REALTY VIII, LLC AND THE OLD BRITAIN GROUP ARE FILED WITH THE ORANGE COUNTY CLERK.
- STORMWATER FACILITIES TO BE CONSTRUCTED AND DISCHARGED TO CRH REALTY VIII, LLC. STORMWATER FACILITIES IN ACCORDANCE WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR CRH REALTY VIII, LLC / BRITAIN PLAZA, DATED DECEMBER 10, 2013 AND LAST REVISED MARCH 14, 2014. AGREEMENT BETWEEN CRH REALTY VIII, LLC AND THE OLD BRITAIN GROUP ARE FILED WITH THE ORANGE COUNTY CLERK.

TABLE OF PARKING REQUIREMENTS:

PROPOSED USE	PARKING REQUIRED	PARKING PROVIDED
BANK/OFFICE (2,436 SF) 1/200 SF GFA	12.0	
RETAIL (2,000 SF) 1/150 SF GLFA	13.3	
FAST FOOD ESTABLISHMENT (2,000 SF) 1/40 SF SEATING AREA (600 SF)	15.0	
FAST FOOD ESTABLISHMENT (2,436 SF) 1/40 SF SEATING AREA (600 SF)	15.0	
TOTAL PARKING PROVIDED	55.3	58*
* INCLUDES 4 HC SPACES		

TABLE OF ZONING REQUIREMENTS
IB DISTRICT (INTERCHANGE BUSINESS)

MINIMUM	REQUIRED	PROVIDED
LOT AREA	40,000 S.F.	55,495± S.F.
LOT DEPTH	150 FT.	222.2 FT.
LOT WIDTH	150 FT.	237.9 FT.
FRONT YARD (UNION AVE)*	80 FT.	80.8 FT.
FRONT YARD	50 FT.	55.7 FT.
SIDE YARD (ONE)	50 FT.	55.3 FT.
SIDE YARD (BOTH)	100 FT.	N/A
REAR YARD	60 FT.	60.2 FT.
MAXIMUM	PERMITTED	PROPOSED
LOT BUILDING COVERAGE	40%	16.24%
LOT SURFACE COVERAGE	80%	73.44%
BUILDING HEIGHT	35 FT.	<35 FT.

LEGEND:

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED WOODEN GUIDERAIL
- PROPOSED SIDEWALK
- PROPOSED 6" D.I. WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED 1" TYPE K WATER SERVICE
- PROPOSED 6" SDR35 SEWER SERVICE
- PROPOSED HOPE DRAINAGE PIPE

RECORD OWNER:

THE OLD BRITAIN GROUP, LLC
104 GARDEN COURT
FRANKLIN LAKES, NJ 07417

97 - 3 - 1.2
F.M. 149-14

LOT AREA:
1.274± AC.

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LANC & TULLY
ENGINEERING AND SURVEYING, P.C.

P.O. Box 887, Rt. 207
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COMMERCIAL SITE PLAN

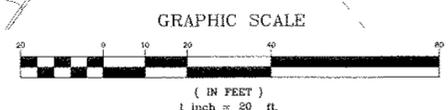
BRITAIN PLAZA

TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK



Drawn By: dmk Checked By: Scale: 1" = 20' Tax Map No.: 97 - 3 - 1.2 Drawing No.: B-13-0082-01

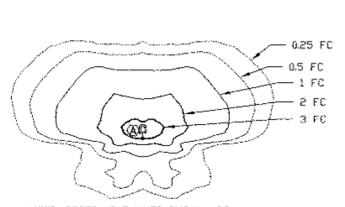
TOWN OF NEWBURGH
PLANNING BOARD NO. 2013-13



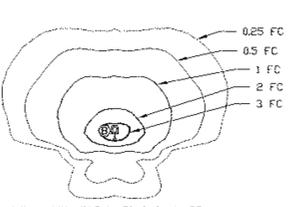
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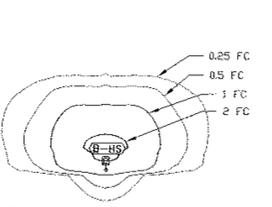




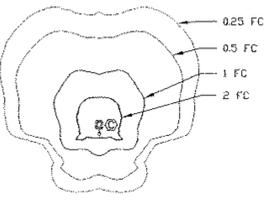
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 16' HEIGHT
LUMINAIRE "A"
 LITHONIA LIGHTING "D-SERIES SIZE 0"
 LED AREA LUMINAIRE
 TYPE T3M DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



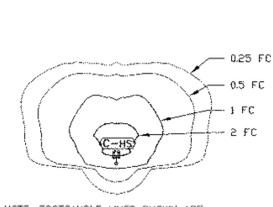
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 16' HEIGHT
LUMINAIRE "B"
 LITHONIA LIGHTING "D-SERIES SIZE 0"
 LED AREA LUMINAIRE
 TYPE T4M DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



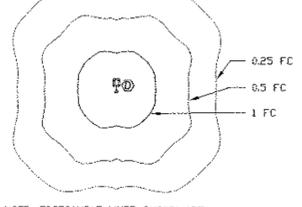
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 16' HEIGHT
LUMINAIRE "B-HS"
 LITHONIA LIGHTING "D-SERIES SIZE 0"
 LED AREA LUMINAIRE
 TYPE T4M W/ SHIELD DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



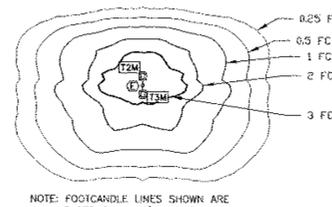
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LUMINAIRE "C"
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 LED AREA LUMINAIRE
 TYPE T1M DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



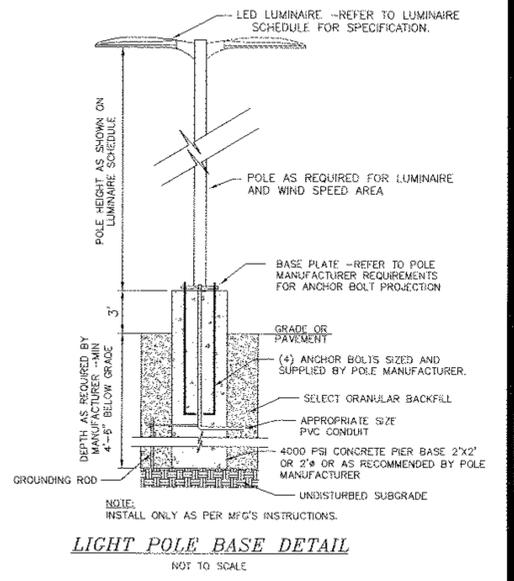
NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 16' HEIGHT
LUMINAIRE "C-HS"
 LITHONIA LIGHTING "D-SERIES SIZE 0"
 LED AREA LUMINAIRE
 TYPE T1M W/ SHIELD DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 16' HEIGHT
LUMINAIRE "D"
 LITHONIA LIGHTING "D-SERIES SIZE 0"
 LED AREA LUMINAIRE
 TYPE T5W DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



NOTE: FOOTCANDLE LINES SHOWN ARE BASED ON A 16' HEIGHT
LUMINAIRE "E"
 2 LITHONIA LIGHTING "D-SERIES SIZE 0"
 LED AREA LUMINAIRE
 #1 = TYPE T2M DISTRIBUTION
 #2 = TYPE T3M DISTRIBUTION
 PHOTOMETRIC DIAGRAM
 SCALE 1"=40'



LUMINAIRE SCHEDULE							
SYMBOL	QTY	MOUNTING HEIGHT	DESCRIPTION	CATALOG NUMBER	LAMP	LUMEN OUTPUT	LDI
A	2	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T3M	DSX0-LED-40C-700-40K-T3M-MVOLT	LED ARRAY	9,075±	.9
B	1	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T4M	DSX0-LED-40C-530-40K-T4M-MVOLT	LED ARRAY	7,086±	.9
B-HS	1	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T4M W/ SHIELD	DSX0-LED-40C-530-40K-T4M-MVOLT-HS	LED ARRAY	5,034±	.9
C	2	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T1M	DSX0-LED-40C-530-40K-T1M-MVOLT	LED ARRAY	7,014±	.9
C-HS	1	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T1M W/ SHIELD	DSX0-LED-40C-530-40K-T1M-MVOLT-HS	LED ARRAY	4,807±	.9
D	2	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T5W	DSX0-LED-40C-530-40K-T5W-MVOLT	LED ARRAY	7,355±	.9
T2M	2	(14' POLE + 2' BASE)	LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T2M	DSX0-LED-40C-530-40K-T2M-MVOLT	LED ARRAY	7,011±	.9
T3M			LITHONIA LIGHTING "D-SERIES SIZE 0" LED AREA LUMINAIRE TYPE T3M	DSX0-LED-40C-530-40K-T3M-MVOLT	LED ARRAY	7,132±	.9

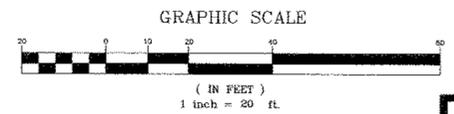
NYS ATM SAFETY ACT LIGHTING STANDARDS:
 (STANDARDS BASED UPON LAW DATED DECEMBER 12, 2006)

WITH RESPECT TO OUTSIDE ATM FACILITIES ADEQUATE LIGHTING SHALL BE PROVIDED AS FOLLOWS:

- A MINIMUM ILLUMINANCE OF FIVE FOOTCANDLES WITHIN A DISTANCE OF FIVE (5) FEET FROM AN ATM.
- A MINIMUM ILLUMINANCE OF TWO FOOTCANDLES WITHIN A DISTANCE OF THIRTY (30) FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM AN ATM.
- A MINIMUM ILLUMINANCE OF ONE FOOTCANDLE WITHIN A DISTANCE OF SIXTY (60) FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM AN ATM, MEASURED ON A VERTICAL PLANE AND POINTED AT THE LIGHT SOURCE.

ATM LIGHTING STATISTICS					
ZONE REQUIREMENT	ZONE ILLUMINATION PROVIDED:				
	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN RATIO	AVERAGE/MIN RATIO
MIN. 2 FC WITHIN 30' OF ATM	3.8 FC	5.8 FC	2.2 FC	2.6:1	1.7:1
MIN. 1 FC WITHIN 60' OF ATM MEASURED AT 5' HIGH	5.7 FC	11.4 FC	1.1 FC	10.4:1	5.2:1

- NOTE:**
- REFER TO LUMINAIRE SCHEDULE FOR CATALOG NUMBER AND MOUNTING HEIGHT.
 - NO ADDITIONAL EQUIPMENT OR ATTACHMENTS SHALL BE PERMITTED ON LIGHT POLES WITHOUT APPROVAL OF DESIGN ENGINEER. EQUIPMENT INCLUDES BUT IS NOT LIMITED TO BANNERS, FLAGS, ADDITIONAL LUMINAIRES OTHER THAN SPECIFIED ON THIS PLAN, AND SECURITY CAMERAS.
 - FINISH OF ALL LUMINAIRES AND POLES SHALL BE SELECTED BY OWNER.
 - THIS LIGHTING PLAN DOES NOT TAKE INTO ACCOUNT ANY ARCHITECTURAL BUILDING MOUNTED LUMINAIRES.
 - CALCULATION VALUES SHOWN ON THIS PLAN ARE TAKEN ON A HORIZONTAL PLAN AT GROUND LEVEL WITH A .90 LIGHT DEPRECIATION FACTOR. TOPOGRAPHICAL INFORMATION HAS NOT BEEN ACCOUNTED FOR IN THESE CALCULATIONS.
 - LIGHTING CALCULATIONS SHOWN ARE BASED UPON DATA FILES PROVIDED BY THE LUMINAIRE MANUFACTURER. ACTUAL PERFORMANCE OF LUMINAIRES AFTER INSTALLATION MAY VARY DUE TO UNCONTROLLABLE FIELD CONDITIONS.



TOWN OF NEWBURGH
 PLANNING BOARD NO. 2013-18

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LANC & TULLY
 ENGINEERING AND SURVEYING, P.C.

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 (845) 294-3700

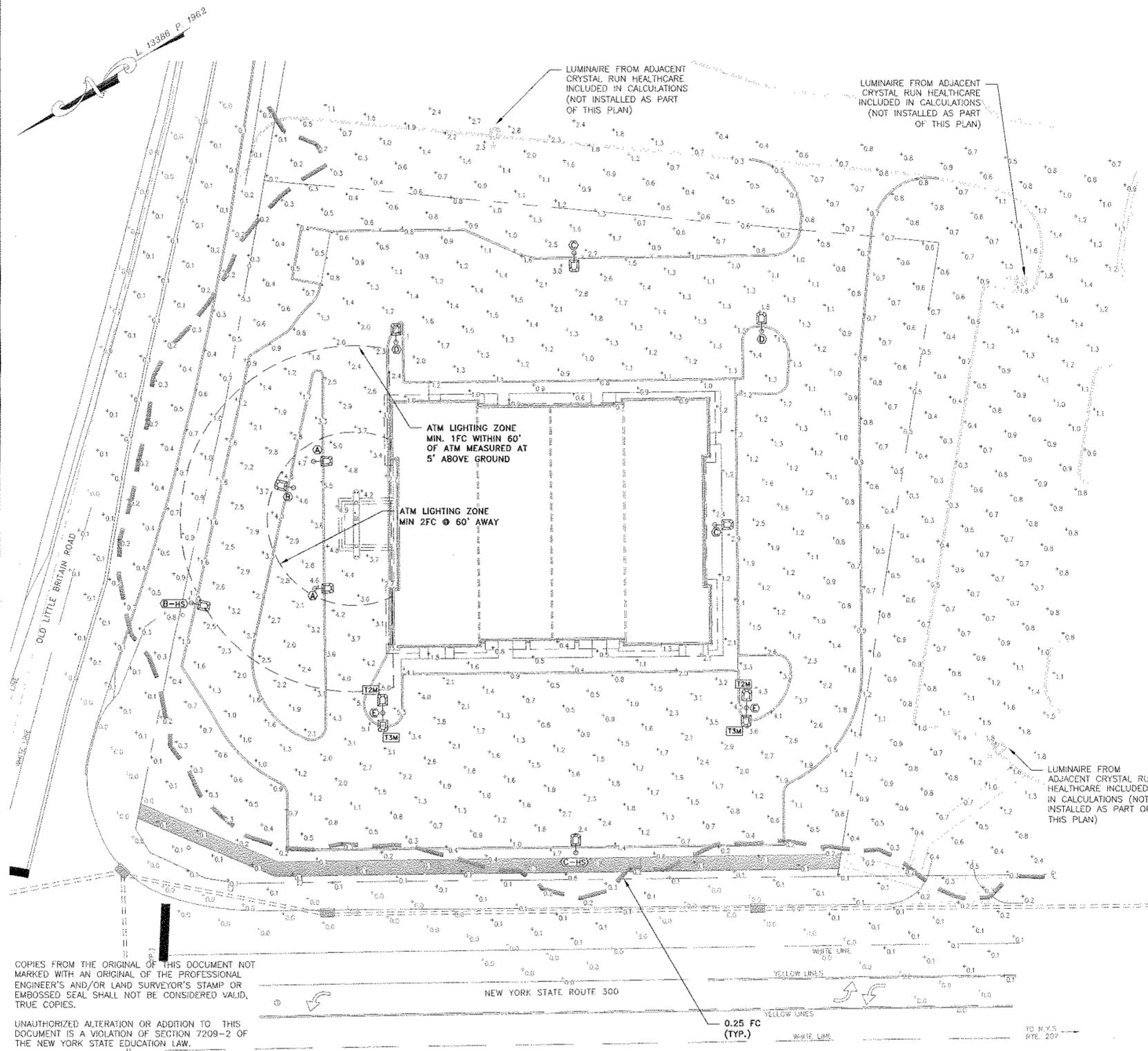
LIGHTING PLAN

BRITAIN PLAZA

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

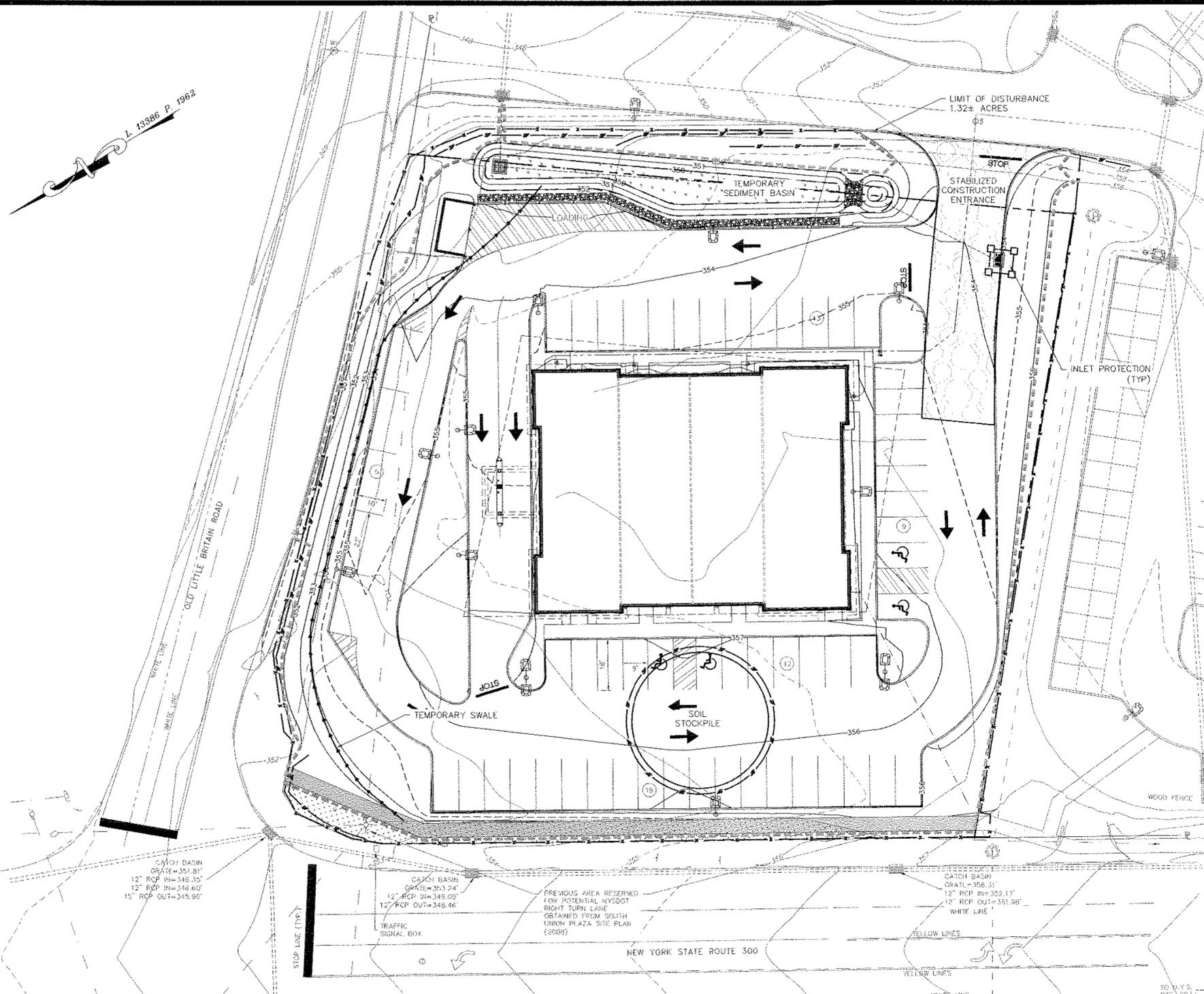
Date: JULY 21, 2014
 Revision: AUGUST 8, 2014

Drawn By: SPS
 Checked By:
 Scale: 1" = 20'
 Tax Map No.: 97-3-1
 Drawing No.: C30
 B-13-0082-01



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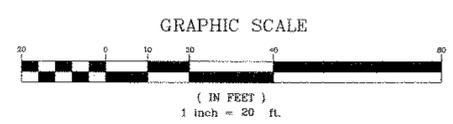


EROSION AND SEDIMENT CONTROL NOTES AND SPECIFICATIONS

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."
3. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT A SITE INSPECTION IN ACCORDANCE WITH PART IV.C. EVERY SEVEN (7) CALENDAR DAYS.
4. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
6. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
7. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
8. ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
9. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
10. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
11. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
12. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
13. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
14. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
15. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
16. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 7 DAYS OR MORE AND WHICH WILL NOT BE UNDER CONSTRUCTION WITHIN 7 DAYS WITH TEMPORARY RYEGRASS COVER, AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
 - A. LOOSEN SEEDBED BY DISCING TO A 4" DEPTH.
 - B. SEED WITH SUMMER - PERENNIAL OR ANNUAL RYEGRASS AT 30 LBS PER ACRE
FALL/WINTER - ARGOSTOOK WINTER RYE AT 100 LBS PER ACRE
 - C. MULCH WITH 2 TONS PER ACRE OF BLOWN AND CHOPPED HAY.
 - D. WHERE NOTED ON THE PLAN, AND ON SLOPES GREATER THAN OR EQUAL TO 3:1, PROVIDE SOIL STABILIZATION MATTING.
17. AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX AS FOLLOWS (SEE LANDSCAPE PLAN FOR OTHER PLANTING INFORMATION):
 - A. LIME TOPSOIL TO pH 6.0.
 - B. FERTILIZE WITH 600 LBS PER ACRE OF 5-10-10.
 - C. SEED REQUIREMENTS - SEE LANDSCAPING PLAN.
 - D. MULCH AS DESCRIBED FOR TEMPORARY SEEDING (NOTE 15C ABOVE).
18. DURING THE PROGRESS OF CONSTRUCTION, AND ESPECIALLY AFTER RAIN EVENTS, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT THEIR BEING CLOGGED WITH SEDIMENT. RE-STABILIZE ANY AREAS THAT MAY HAVE ERODED.
19. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
20. MAINTAIN COPIES OF THE CONSTRUCTION LOGBOOK, STORMWATER POLLUTION PREVENTATION PLAN (SWPPP), NOTICE OF INTENT (NOI), PERMITS, AND SITE PLANS ON-SITE AT ALL TIMES DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE

1. PRE-CONSTRUCTION MEETING: BEFORE CONSTRUCTION ACTIVITIES AN EVALUATION OF THE SITE WILL BE PERFORMED WITH THE SITE CONTRACTOR, TOWN PERSONNEL AND SITE DESIGN ENGINEER TO DISCUSS GENERAL CONSTRUCTION PROCEDURES AND SEQUENCING.
2. DELINEATE TOTAL SITE DISTURBANCE LIMITS: PLACEMENT OF ORANGE CONSTRUCTION FENCING ALONG THE LIMIT OF DISTURBANCE THROUGHOUT THE SITE.
3. PROTECT EXISTING BUFFERS: PLACE EROSION CONTROL DEVICES (SILT FENCING, DIVERSION BERMS, ETC.) UPSTREAM OF ANY EXISTING WATERCOURSE WITHIN OR OUTSIDE OF CONSTRUCTION AREAS PRIOR TO THE START OF ANY CONSTRUCTION.
4. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR CONDUCT A SITE INSPECTION IN ACCORDANCE WITH PART IV.C. EVERY SEVEN (7) CALENDAR DAYS.
5. CONSTRUCTION ENTRANCES/SILTATION CONTROLS: A TEMPORARY CONSTRUCTION ENTRANCE WILL BE INSTALLED AT THE ENTRANCE TO THE SITE AS SHOWN ON THE SITE PLANS. IN ADDITION, ANY OTHER SILTATION CONTROL DEVICES, AS SHOWN ON THE EROSION CONTROL PLAN ARE TO BE INSTALLED ADJACENT TO THE TEMPORARY ENTRANCE AND STAGING AREA.
6. CONSTRUCTION OF TEMPORARY SEDIMENT TRAP: CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAP PRIOR TO THE START OF ANY MAJOR EARTHWORK MOVEMENT OR SITE CONSTRUCTION.
7. CONSTRUCTION OF TEMPORARY DIVERSION SWALE: THE INSTALLATION OF TEMPORARY DIVERSION SWALE TO BE USED TO CONVEY STORMWATER TO THE SEDIMENT TRAP SHALL BE COMPLETED.
8. STAGING AREA: THE STAGING AREA WILL BE GRADED FOR STORAGE OF EQUIPMENT.
9. STRIP TOPSOIL: TOPSOIL WILL BE STRIPPED FROM THE ACTIVE WORK AREAS AND WILL BE STOCKPILED FOR LATER REUSE.
10. LAND GRADING: BULK SOIL GRADING WILL COMMENCE. AT THIS TIME, TEMPORARY STOCKPILE AREAS SHOULD BE UTILIZED. THE PROPOSED BUILDING PAD WILL BE GRADED AND STONE BASE WILL BE SPREAD.
11. BUILDING FOUNDATION CONSTRUCTION: UPON COMPLETION OF GRADING IN BUILDING FOOTPRINT AREA, BUILDING FOUNDATION CONSTRUCTION WILL COMMENCE.
12. UTILITY INSTALLATION: INSTALL WATER, SEWER, AND STORMWATER THROUGHOUT THE PROJECT. INLET PROTECTION WILL BE INSTALLED AT ALL STORMWATER CATCH BASINS.
13. STORMWATER INSTALLATION: INSTALL BIO-RETENTION AREA WHEN ALL CONTRIBUTING AREAS HAVE BEEN STABILIZED. CONVERT SEDIMENT TRAP TO BIO-RETENTION AREA AND INSTALL OUTLET STRUCTURE AND CONNECTION TO EXISTING CATCH BASIN.
14. PAVEMENT CONSTRUCTION: CONSTRUCT PAVED PARKING AND ACCESS AREAS.
15. EROSION CONTROL PRACTICE REMOVAL: REMOVE ANY REMAINING EROSION CONTROL PRACTICES INCLUDING INLET PROTECTION AND TEMPORARY DIVERSIONS SWALES WHEN AREAS HAVE BEEN TEMPORARILY STABILIZED.
16. LANDSCAPING AND FINAL STABILIZATION: ALL OPEN AREAS TO BE STABILIZED WITH TOPSOIL AND SEEDED AS PER THE SEEDING SCHEDULE SPECIFIED ON THE EROSION AND SEDIMENT CONTROL PLANS. REMOVAL OF ALL TEMPORARY MEASURES, FLUSHING/CLEANING OF ALL CATCH BASINS AND PIPE, AND REMOVAL AND DISPOSAL OF ALL TRAPPED SEDIMENT ON SITE SHALL BE COMPLETED.
17. FINAL SITE INSPECTION AND CERTIFICATION: AT THE END OF CONSTRUCTION A SITE EVALUATION OF THE SITE WILL BE PERFORMED WITH SITE CONTRACTOR, TOWN PERSONNEL, AND SITE ENGINEER TO ENSURE THAT ALL STORMWATER FACILITIES WERE CONSTRUCTED AS PER THE SWPPP DESIGN AND THAT THE SITE HAS BEEN STABILIZED. A NOTICE OF TERMINATION WILL BE SUBMITTED TO THE NYSDEC.

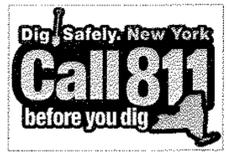


LEGEND:

- PROPERTY LINE
- REQUIRED BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED WOODED GUIDERAIL
- PROPOSED SIDEWALK
- PROPOSED 6" D.I. WATER SERVICE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED 1" TYPE K WATER SERVICE
- PROPOSED 6" SDR35 SEWER SERVICE
- PROPOSED HDPE DRAINAGE PIPE
- PROPOSED SILT FENCE
- PROPOSED TEMPORARY BASIN
- PROPOSED TEMPORARY SWALE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED INLET PROTECTION
- LIMIT OF DISTURBANCE

SOIL RESTORATION REQUIREMENTS:

1. ALL DISTURBED AREAS WHERE ONLY TOPSOIL STRIPPING HAS OCCURRED REQUIRE AERATION OF THE SUBGRADE BEFORE SPREADING TOPSOIL.
2. ALL DISTURBED AREAS WHERE CUT AND FILL OPERATIONS OCCURRED REQUIRE FULL SOIL RESTORATION AS SPECIFIED IN NYSDEC MANUAL PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION."



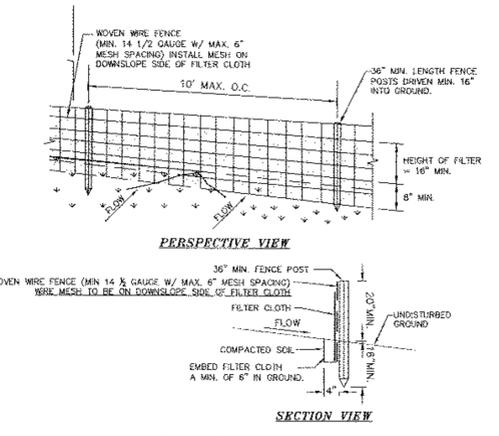
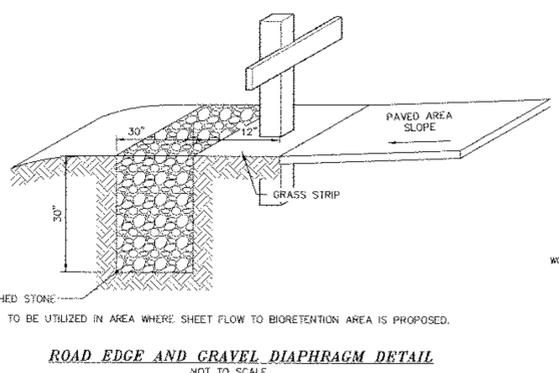
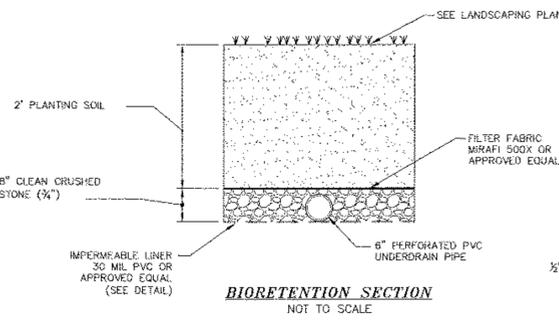
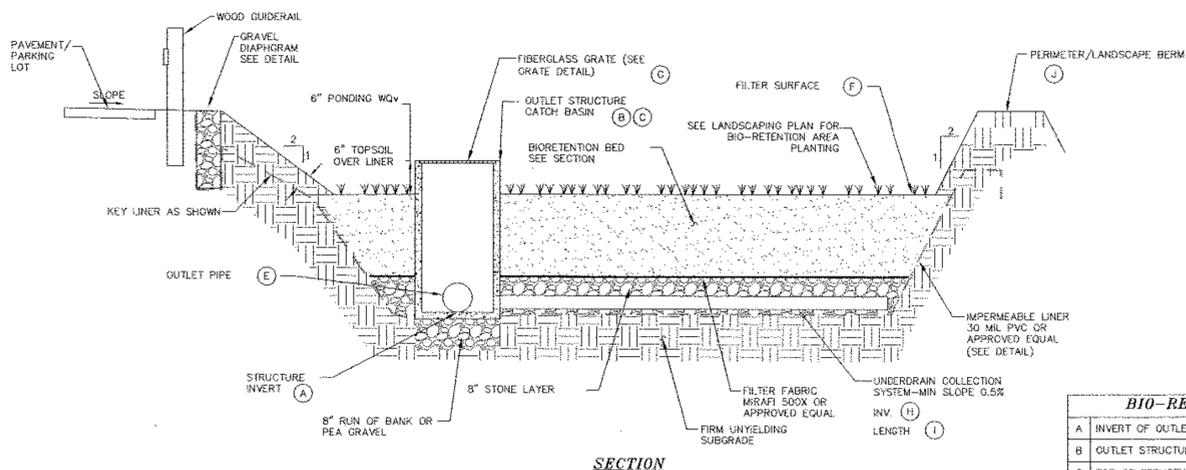
NOTE: DUE TO SENSITIVITY OF DOWNSTREAM WATER SUPPLY, NO TURBID WATER IS ACCEPTABLE TO LEAVE THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING THE EROSION CONTROL MEASURES AND METHODS AS NEEDED TO ENSURE NO TURBID WATER LEAVES THE SITE. ALTERNATIVE METHODS INCLUDING BUT NOT LIMITED TO TEMPORARY HAY/MULCH, WATTLES, USE OF RUMBLE TRACK(S), OR FILTER BAGS MAY BE REQUIRED.

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LANC & TULLY ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700	
EROSION AND SEDIMENT CONTROL PLAN			
BRITAIN PLAZA		TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK	
		Date: JUNE 30, 2014 Revisions: JULY 21, 2014 AUGUST 6, 2014	
Drawn By: dfrk	Checked By:	Scale: 1" = 20'	Sheet No.: 4 OF 6
		Proj. No.: 97-3-1	Drawing No.: C39



BIO-RETENTION AREA DATA

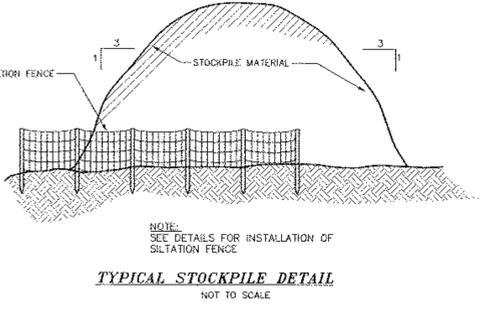
A	INVERT OF OUTLET STRUCTURE	346.75
B	OUTLET STRUCTURE DIMENSIONS (OUTSIDE)	48"x48"
C	TOP OF STRUCTURE ELEVATION	350.50
D	BOTTOM OF STRUCTURE ELEVATION	346.08
E	CULVERT: DIAMETER/INVERT ELEVATION	15" / 346.75
F	FILTER SURFACE ELEVATION	350.00
G	FIBERGLASS GRATE DIMENSION	42"x42"
H	UNDERDRAIN INVERT ELEVATION	347.33
I	UNDERDRAIN SYSTEM LENGTH	132'
J	TOP OF PERIMETER BERM	352.60

BIO-RETENTION AREA MAINTENANCE REQUIREMENTS:
 INSPECTION SHALL BE MADE WEEKLY BY A LICENSED PROFESSIONAL AND AFTER EVERY 1/2" RAINFALL EVENT BY THE OWNER OR CONTRACTOR DURING CONSTRUCTION. DURING THE FIRST GROWING SEASON INSPECTIONS SHALL BE CONDUCTED MONTHLY AND BI ANNUALLY THEREAFTER. THE FOLLOWING TASKS SHALL BE PERFORMED AS NEEDED:

- REMOVAL OF ACCUMULATED SEDIMENT AND CLEANING AND/OR RESTORATION OF THE FILTER BED AREAS WHENEVER ACCUMULATED SEDIMENT REACHES A DEPTH OF 1 INCH.
- RESTORATION OF ANY DISTURBED PLANT MATERIAL AND ANY ERODED EMBANKMENTS. REPLACEMENT OF PROPOSED PLANTS SHALL OCCUR IF MORE THAN 50% OF THE COVERAGE OF THE FACILITY IS NOT ADHESIVE.
- REMOVAL OF ACCUMULATED DEBRIS WHEN THE FILTER BED AREAS AND AT ALL INLET AND OUTFALL STRUCTURES.
- ANNUAL MOWING (EARLY WINTER) OF THE BASINS. TRIMMING AND PRUNING OF BUSHES. REMOVAL OF ANY FALLEN TREES OR LIMBS.
- WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER PONES ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER (I.E. LANDFILL).
- REFER TO LANDSCAPING PLANS FOR PLANTING REQUIREMENTS. IF FOR ANY REASON A CONFLICT OF PLANT MATERIAL OR PLANT MAINTENANCE SHOULD OCCUR, THE LANDSCAPE PLANS ARE TO TAKE PRECEDENCE.

NOTE:
 THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME. SOILS SHOULD FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12 TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET).

BIO-RETENTION AREA DETAIL
 NOT TO SCALE

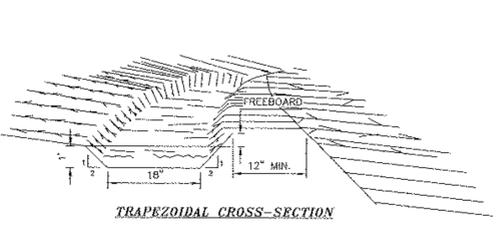


TYPICAL STOCKPILE DETAIL
 NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABULINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILTATION FENCE
 NOT TO SCALE



TRAPEZOIDAL CROSS-SECTION
 NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
- THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
- ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE STOCKPILED FOR RESTORATION OF THE AREA SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
- STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.

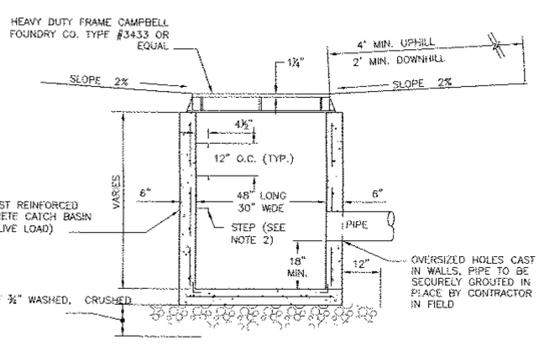
TEMPORARY DIVERSION SWALE
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CONSTRUCTION SPECIFICATIONS

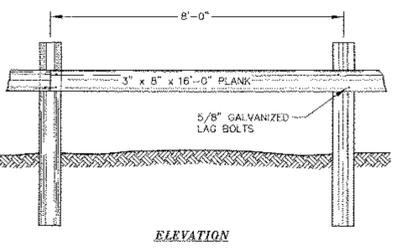
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA: 1 ACRE

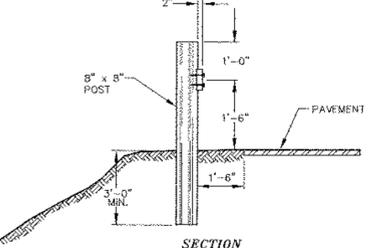
FILTER FABRIC DROP INLET PROTECTION
 NOT TO SCALE



FLAT TOP CATCH BASIN

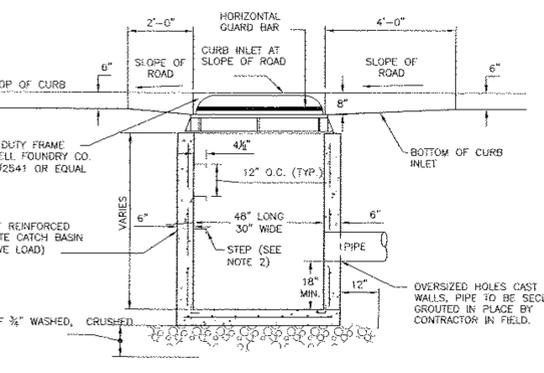


ELEVATION

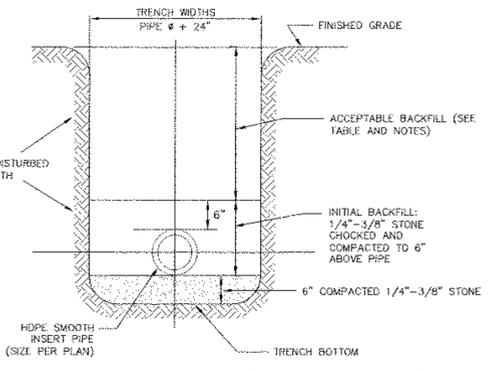


SECTION

WOOD GUIDE RAIL
 NOT TO SCALE



CURB TOP CATCH BASIN



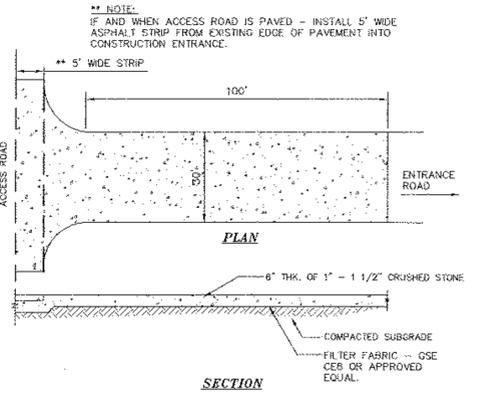
STORM SEWER TRENCH CROSS SECTION
 NOT TO SCALE

ACCEPTABLE BACKFILL MATERIAL & COMPACTION REQUIREMENTS

DESCRIPTION	ASTM D2321	ASTM D2487	AASHTO M43	MINIMUM STANDARD PROCTOR DENSITY %
GRADED OR CRUSHED, CRUSHED STONE, GRAVEL	CLASS I	-	5 56	DUMPED
SAND, GRAVELS AND GRAVEL/SAND MIXTURES; LITTLE OR NO FINES	CLASS II	GW GP SW SP	57 6	85%
SILTY OR CLAYEY GRAVELS, GRAVEL/SAND/SILT OR GRAVEL AND CLAY MIXTURES; SILTY OR CLAYEY SANDS, SAND/CLAY OR SAND/SILT MIXTURES	CLASS III	GM GC SM SC	GRAVEL AND SAND (<10% FINES)	90%

NOTES:
 1. BACKFILL TO BE COMPACTED IN 8" LIFTS AND SHALL CONTAIN NO STONES OVER 6" IN ANY DIMENSION.
 2. BACKFILL UNDER ALL PAVED AREAS SHALL BE FULL DEPTH RUN OF BANK, ITEM #4 OR APPROVED EQUAL.

STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHENEVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 6" DEPTH OF 1" - 1 1/2" CRUSHED STONE. WILL BE AT LEAST 30' X 100' AND SHOULD BE PLACED ON COMPACTED SUB-GRADE AND SHALL BE MAINTAINED. DRIVEWAYS MUST BE STABILIZED WITH 1" - 1 1/2" CRUSHED STONE OR SUB-BASE PRIOR TO INDIVIDUAL HOME CONSTRUCTION. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH A CRUSHED STONE OR HAYBALE FILTER (FILTER DETAILS APPEAR ON PLAN). ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE DISCHARGE POINTS BECOME OPERATIONAL. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES MUST BE DETAILED ON THE PLAN. *ALTERNATIVE / ADDITIONAL USE OF RUMBLE TRACK IS PERMISSIBLE IF REQUIRED. MINIMUM 5' WIDE ASPHALT BINDER STRIP ALONG MUNICIPAL ROAD MUST BE MAINTAINED.

NOTES:
 1. CONCRETE STRENGTH: 4000 P.S.I. @ 28 DAYS.
 2. STEPS TO BE COPOLYMER POLYPROPYLENE PLASTIC WITH 1/2" GRADE 60 STEEL REINFORCEMENT
 3. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF THE CATCH BASIN.

CATCH BASIN DETAILS
 NOT TO SCALE

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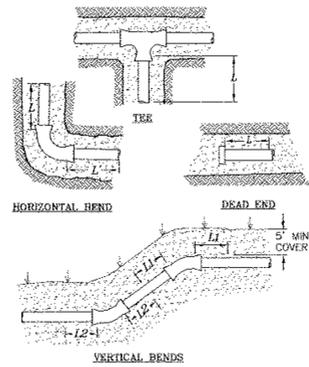
DRAINAGE AND EROSION AND SEDIMENT CONTROL DETAILS

BRITAIN PLAZA

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK

DATE: JUNE 30, 2014
 DESIGNER: JULY 21, 2014
 AUGUST 8, 2014

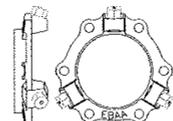
Scale: NTS
 Tax Map No.: 97 - 3 - 1



RESTRAINED JOINT TABLE		
MINIMUM LENGTH REQUIRED IN LINEAR FEET		
FITTING	LENGTH IN LINEAR FEET (L)	
TEE - 6"	5'	
REDUCER	12'	
90° HORIZONTAL BEND - 6"	10'	
45° HORIZONTAL BEND - 6"	4'	
22-1/2° HORIZONTAL BEND - 6"	2'	
VERTICAL BENDS - 6"	L1 = 9'	L2 = 2'

NOTE: LENGTH OF RESTRAINED JOINTS BASED UPON,
 a) 4.5" MINIMUM COVER
 b) TEST PRESSURE = 150 PSI
 c) TYPE 5 TRENCH
 d) 1.5 TO 1 SAFETY FACTOR
 e) SOIL TYPE: GW
 ALL REQUIRED JOINT RESTRAINT SHALL BE MEGALUG RETAINING GLANDS AS MANUFACTURED BY EBAA IRON, OR APPROVED EQUAL.

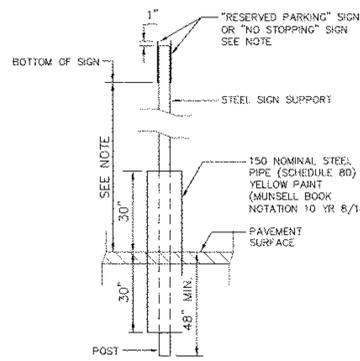
RESTRAINED JOINT DETAILS



SEE NOTE 3 OF THE TOWN OF NEWBURGH WATER SYSTEM NOTES.

MECHANICAL JOINT RESTRAINT DETAIL

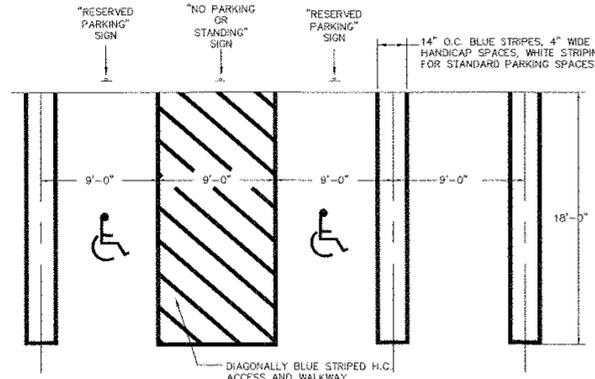
NOT TO SCALE



NOTE: SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON PAVED/ SIDEWALK AREAS SHALL BE AT LEAST 7" ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" ABOVE THE ADJACENT PAVEMENT SURFACE.

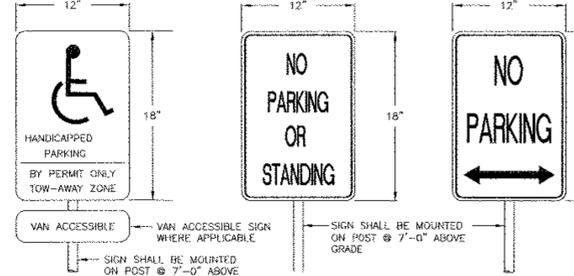
POST BASE DETAIL

NOT TO SCALE



PARKING SPACE STRIPING DETAIL

NOT TO SCALE

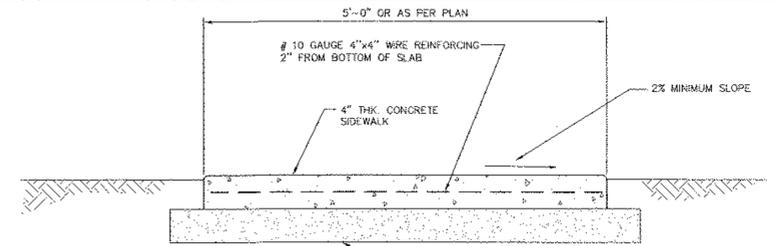


HANDICAP SIGN

NOT TO SCALE

NO PARKING SIGNS

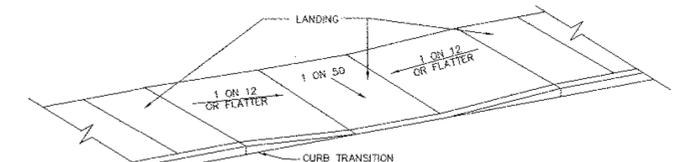
NOT TO SCALE



STANDARD SIDEWALK DETAIL

NOT TO SCALE

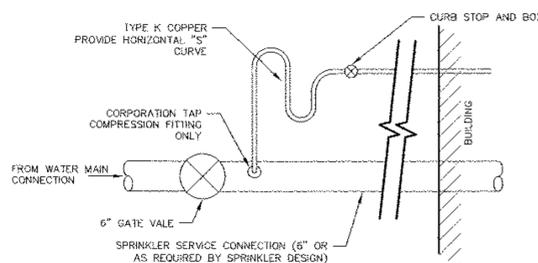
- NOTES:
 1. EXPANSION JOINTS OF 1/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS 1" DEEP HAVING 1/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 3. EDGES SHALL HAVE 1/2" RADIUS.
 4. USE 4000 PSI CONCRETE.
 5. BROOM FINISH TOP SURFACE.



- NOTES:
 1. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET AND AS REQUIRED BY THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 2. CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMP SURFACES SHALL BE 2 PERCENT. CURB RAMP SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
 3. THE RUNNING GRADE OF CURB RAMP SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.3%). CURB RAMP ARE NOT REQUIRED TO BE LONGER THAN 15'.
 4. CURB RAMP LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 60" WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 5. THE SURFACE OF ALL CURB RAMP SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES.
 6. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX.).

CURB RAMP DETAIL

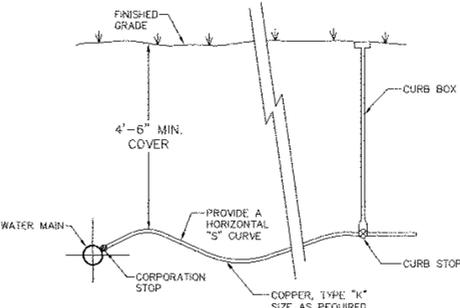
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NOTE:
 1. CORPORATION TAP, CURB STOP/CURB BOX AND GATE VALVE TO BE LEAD FREE AND MEET TOWN OF NEWBURGH SPECIFICATIONS. SEE NOTES THIS SHEET.

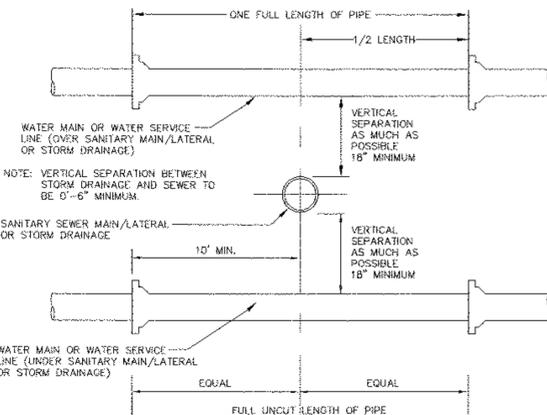
WATER SERVICE CONNECTION DETAIL

NOT TO SCALE



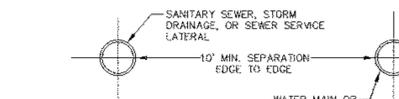
WATER SERVICE DETAIL

NOT TO SCALE



WATER & SEWER CROSSING DETAIL

NOT TO SCALE



WATER & SEWER HORIZONTAL SEPARATION

NOT TO SCALE

NOTE: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY.

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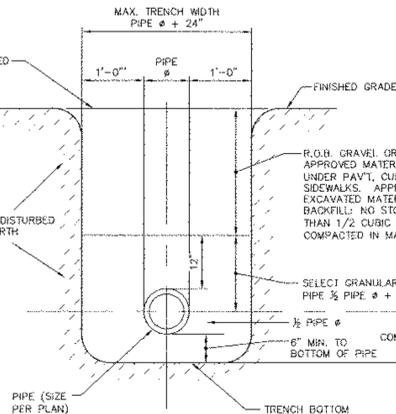


TOWN OF NEWBURGH WATER SYSTEM NOTES

- CONSTRUCTION OF POTABLE WATER UTILITIES AND CONNECTION TO THE TOWN OF NEWBURGH WATER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH WATER DEPARTMENT. ALL REQUIREMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE TOWN OF NEWBURGH.
- ALL WATER SERVICE LINES FOUR (4) INCHES AND LARGER IN DIAMETER SHALL BE CEMENT LINED, CLASS 52, DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51-91 OR LATEST REVISION FOR DUCTILE IRON PIPE JOINTS SHALL BE EITHER PUSH-ON OR MECHANICAL JOINT AS REQUIRED.
- THURST RESTRAINT OF THE PIPE SHALL BE THROUGH THE USE OF JOINT RESTRAINT. THURST RESTRAINT SHALL BE THROUGH THE USE OF MECHANICAL JOINT PIPE WITH RETAINER GLANDS. ALL FITTINGS AND VALVES SHALL ALSO BE INSTALLED WITH RETAINER GLANDS FOR JOINT RESTRAINT. RETAINER GLANDS SHALL BE EBAA IRON MEGALUG SERIES 1100 OR APPROVED EQUAL. THE USE OF A MANUFACTURED RESTRAINED JOINT PIPE IS ACCEPTABLE WITH PRIOR APPROVAL OF THE WATER DEPARTMENT.
- ALL FITTINGS SHALL BE CAST IRON OR DUCTILE IRON, MECHANICAL JOINT, CLASS 250 AND CONFORM TO ANSI/AWWA C110/A21.10-87 OR LATEST REVISION FOR DUCTILE AND GRAY IRON FITTINGS OR ANSI/AWWA C153/A21.53-94 FOR LATEST REVISION FOR DUCTILE IRON COMPACT FITTINGS.
- ALL VALVES SHALL BE RESILIENT WEDGE, MECHANICAL JOINT GATE VALVES CONFORMING TO ANSI/AWWA C509 OR LATEST REVISION SUCH AS MUELLER A-2360-23 OR APPROVED EQUAL. ALL GATE VALVES SHALL OPEN LEFT (COUNTER CLOCKWISE).
- ALL WATER SERVICE LINES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING. CORPORATION STOPS SHALL BE MUELLER H-15000N OR B-25000N FOR 1-1/2" OR 2" INCH SIZES. CURB VALVES SHALL BE MUELLER B-25044N FOR 1-1/2" AND 2" INCH SIZES. CURB BOXES SHALL BE MUELLER H-10310 FOR 1-1/2" AND 2" INCH SIZES.
- ALL PIPE INSTALLATION SHALL BE SUBJECT OF INSPECTION BY THE TOWN OF NEWBURGH WATER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT.
- THE WATER MAIN SHALL BE TESTED, DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING, DISINFECTION AND FLUSHING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH WATER DEPARTMENT. PRIOR TO PUTTING THE WATER MAIN IN SERVICE, SATISFACTORY SANITARY RESULTS FROM A CERTIFIED LAB MUST BE SUBMITTED TO THE TOWN OF NEWBURGH WATER DEPARTMENT. THE TEST SAMPLES MUST BE COLLECTED BY A REPRESENTATIVE OF THE TESTING LABORATORY AND WITNESSED BY THE WATER DEPARTMENT.
- THURST RESTRAINT SHALL BE PROVIDED BY THE RODS AND RETAINER GLANDS. THE LENGTH OF RESTRAINED PIPE SHALL BE DETERMINED BASED UPON WORKING PRESSURES, SOIL CONDITIONS AND DEPTH OF BURY ACCORDING TO DIPPA STANDARDS.
- PRESSURE AND LEAKAGE TESTS ARE REQUIRED AND SHALL BE DONE IN ACCORDANCE WITH AWWA C-600 STANDARDS.
- DISINFECTION OF ALL NEW WORK SHALL BE DONE IN ACCORDANCE WITH AWWA C-851 - YEAR OF LATEST REVISION STANDARDS.
- ALL WATER MAINS SHALL BE 6", CLASS 52, DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.

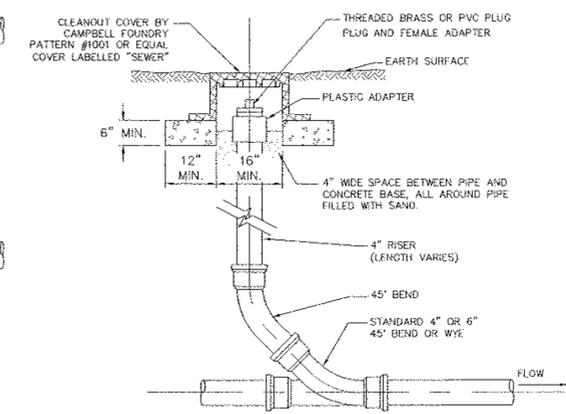
TOWN OF NEWBURGH SEWER SYSTEM NOTES

- CONSTRUCTION OF SANITARY SEWER FACILITIES AND CONNECTION TO THE TOWN OF NEWBURGH SEWER SYSTEM REQUIRES A PERMIT FROM THE TOWN OF NEWBURGH SEWER DEPARTMENT. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NYSDEC AND THE TOWN OF NEWBURGH.
- ALL SANITARY SEWER SERVICE LINES SHALL BE 4 INCHES IN DIAMETER OR LARGER AND SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034-89. JOINTS SHALL BE PUSH-ON WITH ELASTOMERIC RING GASKET CONFORMING TO ASTM D-3212. FITTINGS SHALL BE AS MANUFACTURED BY THE PIPE SUPPLIER OR EQUAL AND SHALL HAVE A BELL AND SPIGOT CONFIGURATION COMPATIBLE WITH THE PIPE.
- ALL PIPE INSTALLATION SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF NEWBURGH SEWER DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INSPECTIONS AS REQUIRED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.
- THE SEWER MAIN SHALL BE TESTED IN ACCORDANCE WITH TOWN OF NEWBURGH REQUIREMENTS. ALL TESTING SHALL BE COORDINATED WITH THE TOWN OF NEWBURGH SEWER DEPARTMENT.



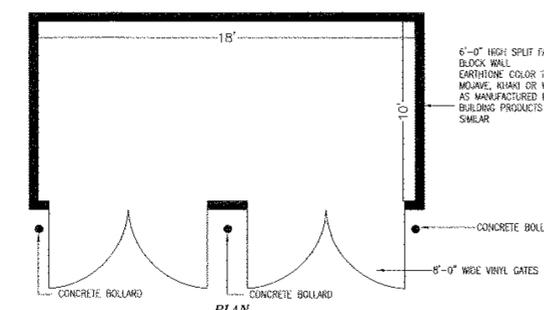
TRENCH CROSS SECTION

NOT TO SCALE



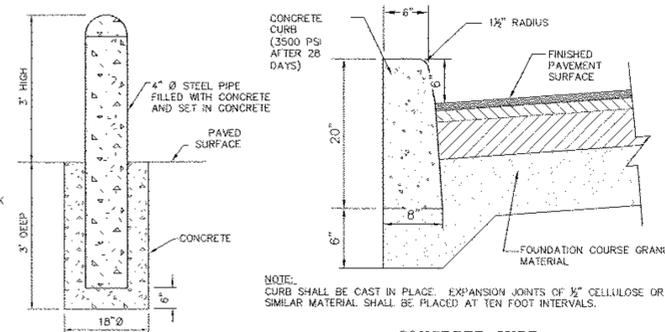
SEWER SERVICE CLEANOUT DETAIL

NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL

NOT TO SCALE

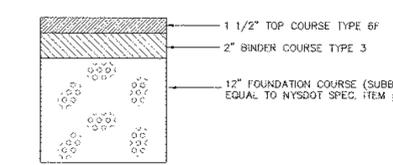


CONCRETE CURB

NOT TO SCALE

DOLLARD DETAIL

NOT TO SCALE



PAVEMENT SECTION

NOT TO SCALE

- NOTES:
 1. SUB BASE MATERIAL TO BE DRY AND FREE OF DEBRIS COMPACTED TO BASE MODIFIED PROCTOR DENSITY.
 2. PROOF ROLLING REQUIRED TO VERIFY NO MEASURABLE MOVEMENT IN SUBGRADE "PUMPING".

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CONSTRUCTION DETAILS

BRITAIN PLAZA

TOWN OF NEWBURGH
 ORANGE COUNTY, NEW YORK

DATE: JUNE 30, 2014
 REVISION: JULY 21, 2014
 AUGUST 8, 2014

Drawn By: dmk
 Checked By: NTS
 Scale: 97 - 3 - 1
 Drawing No.: 8 - 13 - 0082 - 01