



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS D.P.C.**

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA)
MICHAEL W. WEEKS, P.E. (NY, NJ & PA)
MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT & VA)
MATTHEW J. SICKLER, P.E. (NY & PA)
(NY & PA)
PATRICK J. HINES
PA)

Main Office
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Principal Emeritus:
RICHARD D. McGOEY, P.E.

WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT NAME: IRONWORKERS LOCAL 417 AMENDED SITE PLAN
PROJECT NO.: 15-02
PROJECT LOCATION: SECTION 4, BLOCK 3, LOT 5.2
REVIEW DATE: 14 AUGUST 2015
MEETING DATE: 20 AUGUST 2015
REPRESENTATIVE: MASER CONSULTING

1. Subsurface Sanitary Sewer Disposal System has been redesigned to replace existing system with new system utilizing H 20 loading infiltrators.
2. While project does not exceed thresholds requiring storm water attenuation it appears that a large portion of the new roof and parking areas will be directed in a westerly direction towards adjoining property. The Applicant's Representative is requested to evaluate if engineering controls can be incorporated into the design in order to provide for attenuation of any increased peak flows from roof leaders and the expanded parking area in a westerly direction.
3. The Planning Board may wish to discuss whether a Landscape Bond for the project is required.

Respectfully submitted,

***McGoey, Hauser & Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

1607 Route 300, Suite 101
Newburgh, NY 12550
T: 845.564.4495
F: 845.564.0278
www.maserconsulting.com

August 10, 2015

VIA HAND DELIVERY

Mr. John E. Ewasutyn, Planning Board Chairman
Town of Newburgh
308 Gardnertown Road
Newburgh, New York 12786

Re: Iron Workers Local 417
Section 4, Block 3, Lot 5.2
Town of Newburgh, Orange County, New York
MC Project No. 14000837A

Dear Chairman Ewasutyn:

Below please find our responses to comments from comment letters received from McGoey, Hauser & Edsall Consulting Engineers D.P.C., dated January 20, 2015 and David Church, Orange County Department of Planning dated March 11, 2015. The comments have been repeated here for clarity.

McGoey, Hauser and Edsall

Comment 1: Project is located in the RR Reservoir Residence District. The existing use on the site is a pre-existing, non-conforming use which has received variances in the past. The proposed 6,500 square foot addition with parking lot modifications will require a use variance for the expansion. In addition, the project is located in a critical environmental area, the Chadwick Lake critical environment. Based on Section 185-22, lot coverage is limited to 20% for any use in the zone. Increased lot coverage is identified from 33.4% to 41.5%(+/-). Variance from this requirement must also be received.

Response 1: As discussed at the prior Planning Board meeting the Use Variance previously received from the Zoning Board of Appeals (ZBA) remains valid. Therefore, further action by the ZBA is not required.

Comment 2: The additional storm water management requirements in Section 185-22 will apply to the project.

Response 2: Per Section 185-22 of the Code, plans and details to manage Soil Erosion and Sediment Control have been included in the design plans.

Comment 3: Finished floor elevations should be added to future plan sheets as it appears relocated subsurface sanitary sewer disposal system may be located in a higher

Customer Loyalty *through* Client Satisfaction

location and require a pump station. Information regarding existing utilities must be provided.

Response 3: The attached set of design plans includes a Grading & Drainage Plan and Subsurface Sewage Disposal Plan and details for the proposed septic system. The proposed location for the septic has been revised since the initial site plan. It has been moved closer to the building.

Comment 4: It is noted the building is served by a well. Fire protection sprinkler system is required by the ordinance unless a waiver is received.

Response 4: A prior waiver was received for project from the Code Compliance office (see attached) for a larger building. An updated waiver letter will be sought from the Code Compliance office.

Comment 5: Existing shed to be relocated must be depicted on the plans.

Response 5: The proposed location for the shed has been called-out on Sheet #2.

Comment 6: Because project is located in critical environmental area, a long form EAF is required as coordinated review with NYSDEC, NYSDOT and County Planning will be required. All actions within the critical environmental area are considered Type 1 Actions for SEQRA review.

Response 6: A completed long form EAF was submitted to Mr. Hines and circulated by his office. Correspondence from County Planning and NYSDOT have been received (see attached letters) and responded to as needed in this letter.

Comment 7: Additional review will be undertaken upon receipt of detailed plan sheets.

Response 7: The attached set of Preliminary Site Plans details out the proposed project improvements.

OC Department of Planning:

The Department has received the above referenced site plan and has found no evidence that significant inter-municipal or countywide impacts would result from its approval. We would like to offer the following advisory comments:

Comment 8: Forest Management: The applicant proposes to remove several mature trees and other vegetation in order to construct this addition. We advise the Town that mature trees, particularly in clusters such as those existing in the vicinity of the project site, are excellent cooling agents and prevent soil erosion, among other benefits. We therefore advise the Town to require the planting of additional trees elsewhere on the project site; these trees could be placed at the south end of the parking lot next to the building addition or north of the existing building.



Response 8: A Landscape Plan has been prepared and included in the Preliminary Site Plans. It includes the installation of shade trees, evergreen trees and various shrub plantings.

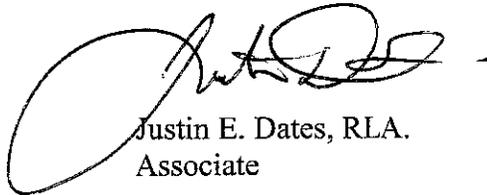
Comment 9: Parking Lot Design: The proposed site plan shows three handicapped-accessible spaces, but does not show a safe route between those spaces and the building entrance, either existing or proposed. We advise the Town to require more detailed drawings prior to the final project approval, and to determine whether the proposed parking lot and sidewalk designs allow for safe access by all users.

Response 9: The attached set of Preliminary Site Plans details out the proposed project improvements associated with the Accessible parking areas. Both these areas are located directly adjacent to the main building entrances (existing & proposed) and provided safe access into the facilities.

County Recommendation: Local Determination

Very truly yours,

MASER CONSULTING P.A.

A handwritten signature in black ink, appearing to read 'Justin E. Dates', is written over the typed name and title.

Justin E. Dates, RLA.
Associate

JED/jm



**Department of
Transportation**

ANDREW M. CUOMO
Governor

MATTHEW J. DRISCOLL
Commissioner

WILLIAM J. GORTON, P.E.
Regional Director

August 05, 2015

Mr. John P. Ewasutyn, Chairman
Town of Newburgh Planning Board
308 Gardnertown Road
Newburgh, New York 12550

**RE: NYSDOT SEQRA# 15-070
Ironworkers Local 417
Town of Newburgh, Orange County**

Dear Mr. Ewasutyn:

We have received Short Environmental Assessment Form along with Site Plan dated March 09, 2015 and received on March 16, 2015 from the Town of Newburgh Planning Board for our review and comments.

We apologies for our late response and at the same time would like to inform you that the proposed addition to the existing site may not have significant impact on the existing highway system. We have no additional comments to offer at this time.

Thank you for your interest in highway safety.

Very truly yours,

Akhter A. Shareef
Senior Transportation Analyst

cc: Michael Sassi, Regional Traffic Engineering and Safety Group, R-8
Siby Zachariah, Permit Field Engineer, Residency 8-4

RECEIVED

AUG 05 2015

MASER CONSULTING P.A.

TOWN OF NEWBURGH

Crossroads of the Northeast

OLD TOWN HALL
308 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

CODE COMPLIANCE DEPT.
TELEPHONE 845-564-7801
FAX LINE 845-564-7802

10/02/02

Ironworkers Local 417 Training and Education
583 Route 32
Walkill NY 12589

Re: Decision and Resolution Sprinkler Variance 09/25/02

Gentlemen,

This note is to inform you that following your presentation and deliberation by the Town of Newburgh Fire Prevention Bureau relative to your variance request from the Town of Newburgh Sprinkler Ordinance a vote was taken of the Town Fire Chief's present at the meeting.

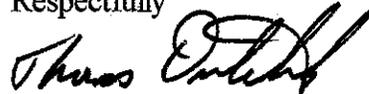
The vote was in favor of granting the variance with the following stipulations:

1. The new building must have a central station monitored fire alarm system. The system must identify the new building as a separate location with an illuminated strobe on the outside of each building visible from Rte. 32, activated when the fire alarm activates.
2. An NFPA compliant fire lane is to be placed on the south and rear side of the building.
3. Knox Box accessibility is to be proved for both buildings.
4. There is to be no combustible storage in the building.

All the above items must be complied with prior to the issuance of a Certificate of Occupancy for the building. If at any time the above items are eliminated or altered the Certificate of Occupancy for the building will be revoked with court action to be initiated.

Any questions regarding this variance please notify this office.

Respectfully



Thomas Dubetsky
Asst. Fire Inspector

