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**TOWN OF NEWBURGH
PLANNING BOARD
TECHNICAL REVIEW COMMENTS**

PROJECT: MCDONALD'S
PROJECT NO.: 17-26
PROJECT LOCATION: SECTION 76, BLOCK 1, LOT 1.1
REVIEW DATE: 27 JULY 2018
MEETING DATE: 2 AUGUST 2018
PROJECT REPRESENTATIVE: BOHLER ENGINEERING

1. This office has review the amended plan submitted based on input for NYSDOT, Creighton Manning and Karen Arent, LA. The changes to the plans involve internal circulation, NYSDOT response comments and completion of comments previously identified in the Conditional Final Approval. This office finds no substantial engineering changes to the plans and will defer to Ken Wersted and Karen Arent regarding the site plan modifications.

Respectfully submitted,

***McGoey, Hauser and Edsall
Consulting Engineers, D.P.C.***

Patrick J. Hines
Principal

JP9
JUL 24 2018

HARRIS BEACH PLLC
ATTORNEYS AT LAW

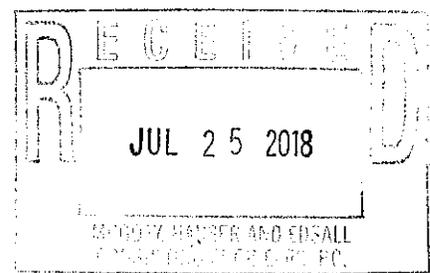
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July 23, 2018

VIA FEDEX OVERNIGHT DELIVERY

Honorable John P. Ewasutyn, Chairman,
& Members of the Planning Board of the Town of Newburgh
308 Gardnertown Road
Newburgh, New York 12550



Re: McDonald's Restaurant (Site ID: 031-0145)
65 North Plank Road (Route 32)
Block 1, Lot 1.1., Section 76
Town of Newburgh
Orange County, New York (the "Property")
Planning Board Project No. 2017-26

Dear Chairman Ewasutyn:

As you are aware, this firm serves as counsel to the McDonald's USA, LLC ("McDonald's" or the "Applicant") relative to the above-referenced Property and McDonald's application for site plan approval. As you are also aware, the Planning Board granted the Applicant conditioned site plan approval to reconstruct its restaurant on the Property at its April 19, 2018 meeting, which was then reduced to a written resolution of approval filed with the Town Clerk of the Town of Newburgh on April 23, 2018 ("Conditioned Site Plan Approval").

Since then, the Applicant has submitted a set of the plans to the New York State Department of Transportation ("NYSDOT") for review and comment. In response to that submission, the NYSDOT provided its preliminary review comments, which have necessitated revisions to the plans, explained in more detail below. Additionally, McDonald's has decided to propose a different, slightly larger (by 241 square feet ("SF")) prototype/configuration of its restaurant for the Property, also explained in more detail below, which requires the instant resubmission to the Planning Board. Lastly, McDonald's has revised the plans pursuant to the comments contained within Creighton Manning's letter dated April 13, 2018 and Ms. Arent's letter dated April 16, 2018, as required by the Conditioned Site Plan Approval.

For these reasons, please find enclosed sixteen (16) copies of the following documents for the Planning Board's review and consideration of McDonald's application for amended site plan review. Simultaneously with this submission to the Planning Board, we are also sending copies of these documents to the Planning Board's consultants for their review and comment.

- Signed and sealed site plan documents prepared by Bohler Engineering, dated August 15, 2017, last revised July 12, 2018 (rev #6);

- Signed and sealed sets of the ALTA/ACSM Land Title Survey prepared by Control Point Associates, Inc., dated October 26, 2011, last revised October 2, 2013 (rev #3);
- Signed and sealed sets of the Highway Work Permit Plans prepared by Atlantic Traffic & Design Engineers, dated June 4, 2018;
- Truck Turning Exhibit prepared by Bohler Engineering, dated August 15, 2017, last revised July 18, 2018.

Summary of Revisions

Revisions Necessitated by Newly-Proposed Building Prototype/Configuration

1. The footprint of the proposed restaurant building has been revised to utilize an updated McDonald's building prototype. The updated building is 241 SF larger than the building approved by the Conditioned Site Plan Approval (5,206 SF approved; 5,447 SF proposed).
2. The drive-thru configuration has been revised with a smaller curb island between the two drive-thru lanes. The drive-thru signage has also been updated and is shown on the detail sheets. Please note that the total area of the drive-thru signage is approximate 10.94 SF less than the signage on the previously approved site plan (89.86 SF approved; 78.92 proposed).
3. The information in the Bulk Requirements and Parking Requirements tables shown on the "Overall Site & Signage Plan" (Sheet C-2) has been updated to reflect changes necessitated by the above-listed revisions. Please note that the Front Yard Setback to the canopy is approximately 0.3 feet greater than the previously approved plan (57.1 feet approved; 57.4 feet proposed).

Revisions Based on the NYSDOT's Preliminary Review Comments

1. Adjustments to the ingress and egress driveway access have been made per the NYSDOT's recommendations. Additionally, adjustments to the location of signs, as well as the beginning and end points of the stone stack wall have been made to accommodate the changes to the ingress and egress driveways.
2. NYSDOT standard ADA curb ramps are now proposed for the ADA curb ramps located within the NYSDOT right-of-way.
3. An ADA-accessible ramp has been provided at the north end of the frontage sidewalk to transition to the adjacent driveway.
4. Signs within the frontage sidewalk are proposed to be relocated as necessary.

5. Additional curb is proposed along the frontage sidewalk to the south of the egress driveway. Stormwater within the shoulder will drain to the south, to Gardnertown Road, and into the grass area onsite, where it currently drains.
6. NYSDOT details have been included with the plan set for curb installation and adjacent shoulder restoration.

Revisions Per and Responses to Creighton Manning Comment Letter Dated April 13, 2018:¹

1. *Delivery truck access and circulation have been provided. Our comments include:*

- a. *The site can accommodate a NB left turn entry of a WB-40 (the smaller of tractor trailers). Will any SB right turns be expected? If so, they should be shown.*

Response: The anticipated truck route is shown on the plans. Southbound right turns are not expected.

- b. *The left turn exit is accommodated. Will there be any right turn exits? If so, they should be shown.*

Response: The anticipated truck route is shown on the plans. Right turn exits are not expected.

- c. *Is a WB-40 the appropriate design vehicle? Even if deliveries are scheduled during off-peak hours, a larger truck will have trouble navigating the drive-through area. What is used for deliveries today?*

Response: The WB-40 is the anticipated delivery vehicle.

- d. *The WB-40 has about 2 or 3 feet clearance between the outside drive-thru clearance bar and the truck and must exit the drive-thru across stalls near the picnic area.*

Response: Acknowledged. Please note that the drive-thru configuration has been revised.

- e. *The delivery staging area should be shown.*

Response: The channelized striped area adjacent to the drive-thru lane will be used as the delivery staging area.

¹ For ease of reference, Creighton Manning's comments and Ms. Arent's comments appear in *italic*.

- 2. If not already done so, the applicant should submit plans to NYSDOT for their input.*

Response: The plans have been submitted to the NYSDOT and the NYSDOT has provided its preliminary review comments, addressed above.

Revisions Per and Responses to Karent Arent's Letter Dated April 16, 2018:

Work Items

- 1. Pavement is not proposed for the outside dining area.*

Response: Brick pavers are now proposed for the outdoor dining area.

- 2. Decorative cross walks are proposed to be white. White will be a stark contrast to the asphalt.*

Response: Acknowledged.

- 3. Furniture, trash containers, and other site elements are not specified on the drawing. Outdoor amenities should be specified.*

Response: Details have been added to specify the outdoor amenities.

- 4. Stone wall notes were revised and noted that the type and color of stone to match Walgreens and Orange County Trust walls.*

Response: Acknowledged.

- 5. Signs posts and bollards will be painted a color to match the building.*

Response: Acknowledged.

Planting

- 6. Landscaping is shown in the area where the dumpster is located. The drive for the dumpster is now delineated, except material of the drive is not specified. Could the material be stabilized lawn?*

Response: Grass pavers are now proposed in the area of the dumpster.

- 7. Sweetgum trees are specified instead of Thornless Honeylocust. Sweetgums have fruits that drop and are somewhat of a nuisance. The consultant may want to specify another native shade tree.*

Response: Princeton Sentry Brand Ginkgo trees are now proposed instead of Sweetgum trees.

8. *All other requested planting revisions were made.*

Response: Acknowledged.

Lighting

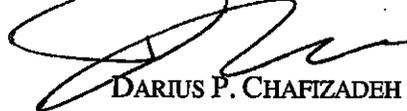
9. *All lighting fixtures are now ornamental and they all match. The maximum mounting height of the fixtures is 16'8".*

Response: Acknowledged.

Conclusion

Thank you for your time and attention to this matter. We respectfully request that McDonald's application be placed on the agenda for the Planning Board's August 2, 2018 meeting, and we look forward to presenting the amended application at that meeting.

RESPECTFULLY SUBMITTED,



DARIUS P. CHAFIZADEH

Enclosures

Cc (with enclosures):

Karen Arent
KALA-Landscape Architect
12 Old Minisink Trail
Goshen, New York 10924

Dickover, Donnelly & Donovan, LLP
Attn: Michael H. Donnelly, Esq.
28 Bruen Place
P.O. Box 610
Goshen, New York 10924

Creighton Manning
Attn: Ken Wersted
2 Winners Circle
Albany, New York 12205

Honorable John P. Ewasutyn
Town of Newburgh
July 23, 2018
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HARRIS BEACH PLLC
ATTORNEYS AT LAW

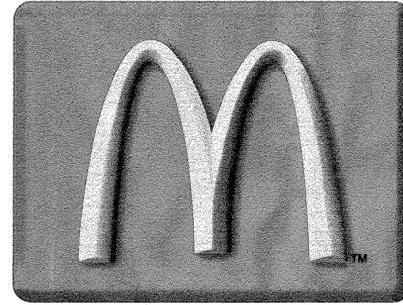
Cc (without enclosures):

Brad Bohler, P.E. (Bohler Engineering/Project Engineer)

William Weisgerber (Construction Manager/McDonald's Corporation)

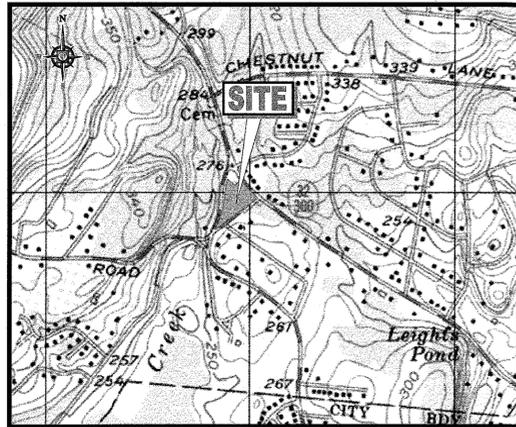
PRELIMINARY & FINAL SITE PLAN

FOR
PROPOSED



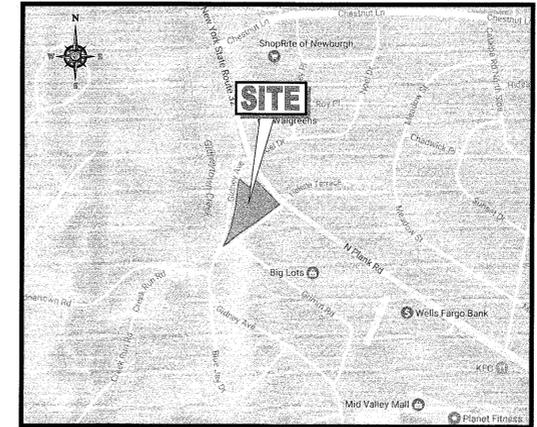
McDONALD'S RESTAURANT WITH DRIVE THRU

65 NORTH PLANK ROAD
TOWN OF NEWBURGH
ORANGE COUNTY, NY
SECTION 76, BLOCK 1, LOTS 1.1
ZONE B; TAX MAP SHEET #76



USGS MAP

SCALE: 1" = 1,000'
SOURCE: UNITED STATES GEOLOGICAL SURVEY MAPS



KEY MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

DRAWING SHEET INDEX

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TOPOGRAPHIC / ALTA SURVEY (BY OTHERS)	1 OF 1

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1, LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION

SIGNATURE: [Signature] DATE: 8/4/12
LINGO ASSOCIATES, LLC, A FLORIDA LIMITED LIABILITY COMPANY (AS TO 25% INTEREST)

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF SECTION 76, BLOCK 1, LOT 1.1 AND CONSENT TO THE FILING OF THIS APPLICATION

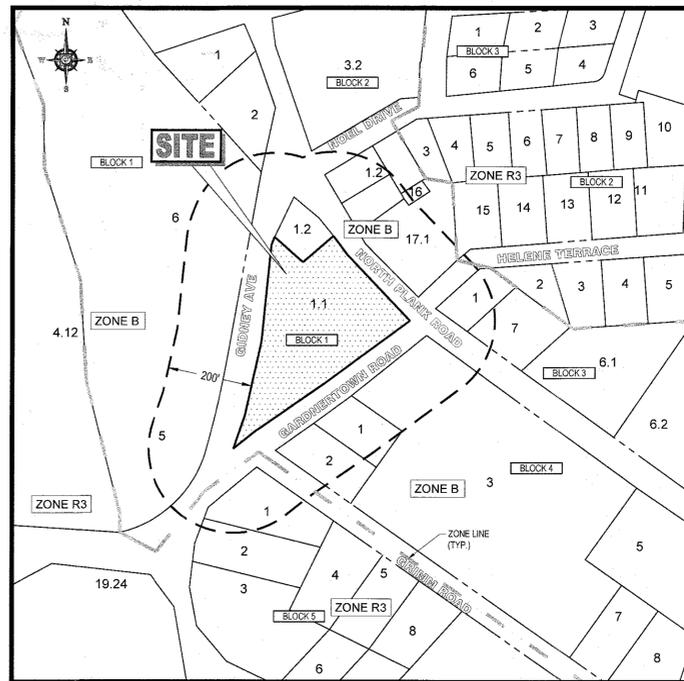
SIGNATURE: [Signature] DATE: 8/4/12
LAKE CREEK PROPERTIES, LLC, A NEW YORK LIMITED LIABILITY COMPANY (AS TO 75% INTEREST)

UTILITY INFORMATION

GAS	CENTRAL HUDSON GAS & ELECTRIC (845) 208-6046
ELECTRIC	CENTRAL HUDSON GAS & ELECTRIC (845) 208-6046
SEWER	TOWN OF NEWBURGH (845) 554-7803
WATER	TOWN OF NEWBURGH (845) 554-7803
PHONE & CABLE	VERIZON-HUDSON VALLEY (315) 448-2506

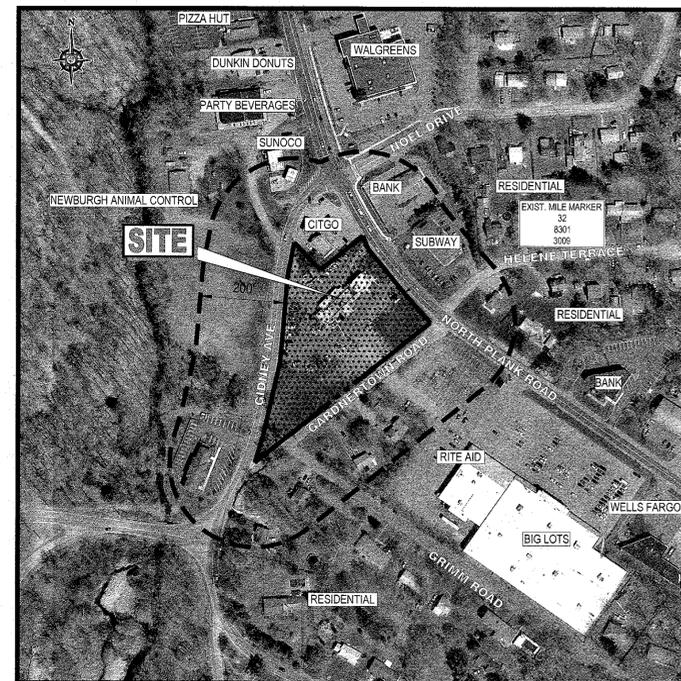
ADJOINING NEIGHBORS

SECTION 76, BLOCK 1, LOT 1.2
BHAI ENTERPRISES, LLC



TAX MAP

SCALE: 1" = 200'
SOURCE: NY GIS TAX MAPS



AERIAL MAP

SCALE: 1" = 200'
SOURCE: NYS AERIAL IMAGING

APPROVAL BLOCK

TOWNSHIP OF NEWBURGH BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE TOWN OF
NEWBURGH, NY.

BOARD CHAIRPERSON: _____ DATE: _____

PROPOSED SITE IMPROVEMENTS

SECTION 76, BLOCK 1, LOT 1.1

STREET ADDRESS

65 NORTH PLANK ROAD

CITY TOWN OF NEWBURGH

STATE NY

COUNTY ORANGE

REGIONAL DWG. NO 031-0145

PLAN DESCRIPTION

COVER SHEET

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK	
2	02/15/18	REV. PER TOWNSHIP ENGINEER COMMENTS	APR	
3	03/27/18	REV. PER TOWNSHIP COMMENTS	ATK	
4	05/07/18	REV. PER RESOLUTION COMPLIANCE	APR	
5	06/04/18	REV. PER NYS DOT COMMENTS	APR	
6	07/12/18	REV. PER UPDATED BUILDING FOOTPRINT	ATK	

FINAL PLAN SIGNATURES	DATE	BY
P.M.		
G.C.		
O/O		

McDonald's	PLANNING BOARD APPROVAL	DATE	BY
	TOWNSHIP OF NEWBURGH BOARD APPROVAL	DATE	BY
McDonald's	REGIONAL MGR.	DATE	BY
	CONST. MGR.	DATE	BY
McDonald's	OPERATIONS DEPT.	DATE	BY
	REAL ESTATE DEPT.	DATE	BY
McDonald's	CONTRACTOR	DATE	BY
	OWNER	DATE	BY

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

REGIONAL DWG. NO	PLAN DESCRIPTION
031-0145	COVER SHEET

CAD FILE: J11059-C016-0A	OF 18	REV. 6
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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRINKWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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CIVIL & CONSULTING ENGINEERS - SURVEYORS - PROJECT MANAGERS - ENVIRONMENTAL CONSULTANTS - LANDSCAPE ARCHITECTS

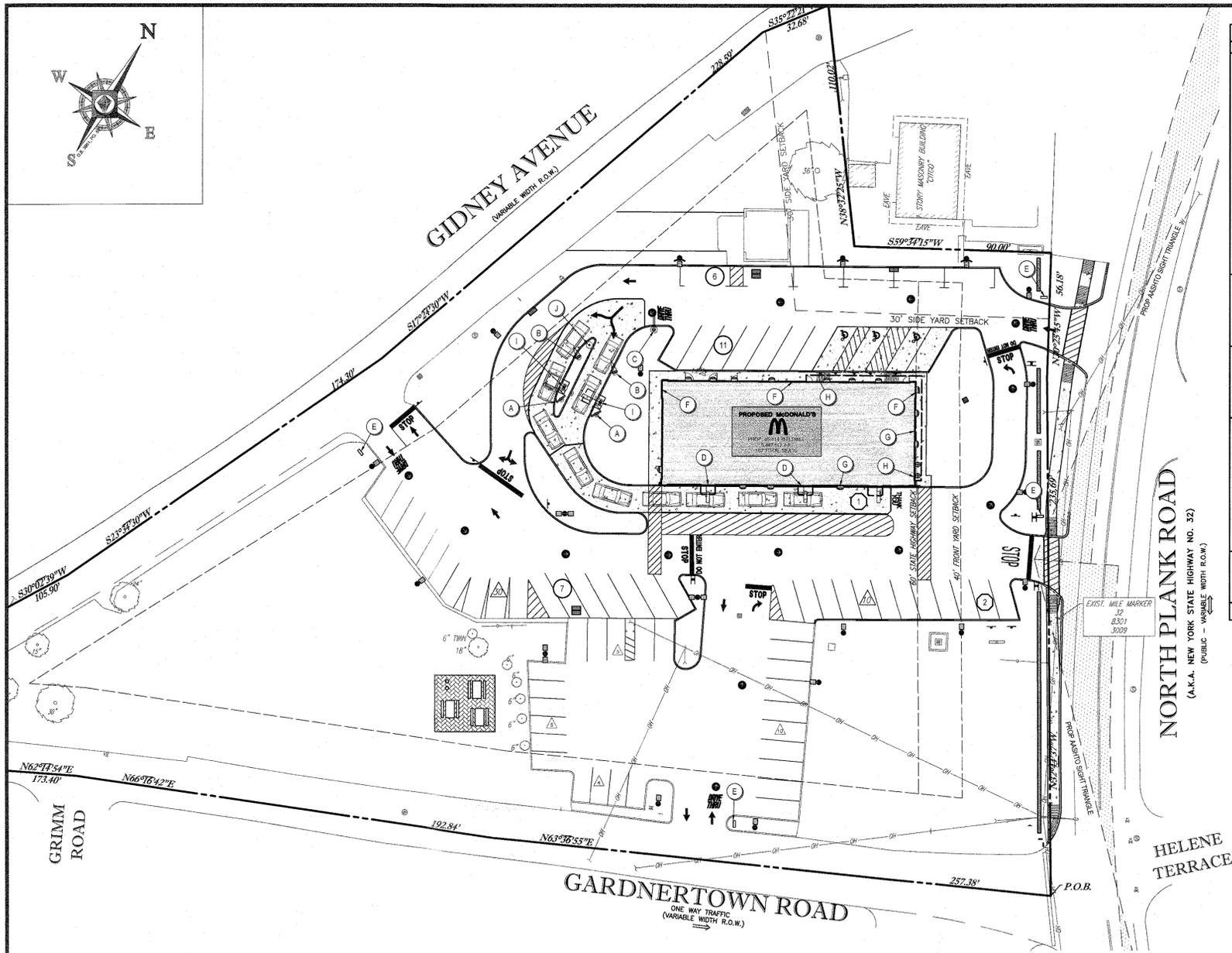
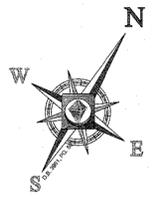
CORPORATE OFFICE: WARREN, NJ

- SOUTHBOROUGH, MA
- BOWIE, MD
- TOWSON, MD
- ALBANY, NY
- HAUPPAUGE, NY
- CENTER VALLEY, PA
- CHALFONT, PA
- PHILADELPHIA, PA
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- STERLING, VA
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- TAMPA, FL

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B.A. BOHLER
REGISTERED PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 08854-1
DELAWARE LICENSE NO. 28039
FLORIDA LICENSE NO. 07788

C:\031\11059\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J11059-C016-0A-1-LAYOUT-C-01 COVER



SIGNAGE TABLE (SEC. 185-14)		
REQUIRED (BY 470-C)	EXISTING (FOR COMPARISON ONLY)	PROPOSED
WALL MOUNTED SIGNS SEE BELOW FOR AREA REQUIREMENTS	NORTH/EAST FACADE: ONE (1) HIGH M LOGO SIGN AREA = 21 SF SOUTH/EAST FACADE: ONE (1) ARCH M LOGO SIGN AREA = 21 SF ONE (1) "PLAYPLACE" SIGN AREA = 40 SF	NORTH/EAST: ONE (1) "WELCOME" SIGN AREA = 2.50 SF ONE (1) MCDONALD'S FACIA SIGN AREA = 32.83 SF NORTHWEST: ONE (1) WELCOME SIGN AREA = 2.50 SF ONE (1) ARCH M LOGO SIGN AREA = 14.00 SF SOUTH/EAST: ONE (1) WELCOME SIGN AREA = 2.50 SF ONE (1) MCDONALD'S FACIA SIGN AREA = 32.83 SF
FREESTANDING SIGNS MAXIMUM HEIGHT = 40 FT MINIMUM SETBACK = 15 FT FROM ANY STREET LINE. SEE BELOW FOR AREA REQUIREMENTS	ONE (1) MCDONALD'S FREESTANDING ARCH SIGN W/ READER BOARD SIGN AREA = 272 SF ± PER FACE = 544 SF ± 17' SP. PER FACE = 42 SF ± 18' SP. PER FACE = 50 SF ± SUB-TOTAL = 82 ± SF	NO CHANGE PROPOSED SUB-TOTAL = 58 ± SF
FREESTANDING AND WALL SIGNS TOTAL MAX AREA = ONE HALF (1/2) OF THE TOTAL STREET FRONTAGE NORTH PLANK ROAD = 25.87 FT ± PER FACE = 12.935 FT ± PER FACE GARDNERTOWN ROAD = 63.52 FT ± = 31.761 SF PERMITTED GARDNERTOWN AVENUE = 63.17 FT ± = 31.574 SF PERMITTED	TOTAL EXISTING AREA OF FREESTANDING AND WALL SIGNS = 688.85 SF	TOTAL PROPOSED AREA OF FREESTANDING AND WALL SIGNS = 688.85 SF
DRIVE-THRU SIGNS: NOT SPECIFIED	ONE (1) DRIVE THRU SIGN (C) AREA = 13 SF ONE (1) MENU BOARD SIGN AREA = 47 SF ±	ONE (1) DRIVE THRU GATHWAY SIGN (C) AREA = 13 SF TWO (2) FREEST. BOARD SIGN AREA = 55 SF EACH TWO (2) ORDER HERE SIGN AREA = 4.5 SF EACH TWO (2) MENU BOARD SIGN AREA = 19.8 SF EACH TWO (2) WAYFINDER/ORDER HERE SIGN AREA = 2.5 SF EACH ONE (1) "ANY TIME" BOLLARD SIGN AREA = 2.5 SF SUB-TOTAL = 78.8 ± SF
IDENTIFICATION AND DIRECTIONAL SIGNS ONE IDENTIFICATION SIGN PERMITTED AT EACH POINT OF ACCESS MAX. AREA OF IDENTIFICATION SIGN = 3 SF EACH INTERNAL DIRECTIONAL SIGNS ARE PERMITTED MAX. AREA OF DIRECTIONAL SIGN = 3 SF EACH	THREE (3) DIRECTIONAL SIGNS AREA = 2 SF PER FACE = 4 SF EACH (V) SUB-TOTAL = 12 ± SF	FOUR (4) DIRECTIONAL SIGNS AREA = 2 SF PER FACE = 4 SF EACH (V) SUB-TOTAL = 16 SF TOTAL = 233 SF

ZONING TABLE	
ZONE: B (BUSINESS) ZONE USE: EATING AND DRINKING PLACE	
APPLICANT/ OWNER INFORMATION	
APPLICANT:	MCDONALD'S USA, LLC 111 WOOD AVENUE SOUTH, SUITE 400 ISELIN, NJ 08830
PROPERTY OWNER:	LAKE CREEK PROPERTIES, LLC 10814 CYPRESS BEND DR BOCA RATON, FL 33466
	RODERICK H. CUSHMAN & C/O CRE ASSET MANAGEMENT, LLC GLENCOVE, NY 11542

BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	§ 185-9 (SCHEDULE 7)	15,000 SF	121,554 SF (2,791 AC)	121,554 SF (2,791 AC)
MIN. LOT DEPTH	§ 185-9 (SCHEDULE 7)	100'	287.61'	287.61'
MIN. LOT WIDTH	§ 185-9 (SCHEDULE 7)	125'	354.25'	354.25'
MIN. FRONT YARD	§ 185-9 (SCHEDULE 7)	40' (1/3)	38.3' (E) (NORTH PLANK) 155.4' (GARDNERTOWN)	37.4' TO CANOPY BY 60' TO BUILDING (NORTH PLANK) 167.2' (GARDNERTOWN)
MIN. REAR YARD	§ 185-9 (SCHEDULE 7)	30' (4)	N/A	N/A
MIN. SIDE YARD	§ 185-9 (SCHEDULE 7)	15' (4)	90.20'	57.8'
MIN. SIDE YARD (BOTH)	§ 185-9 (SCHEDULE 7)	30'	N/A	N/A
MAX. LOT COVERAGE (BUILDING ONLY)	§ 185-9 (SCHEDULE 7)	60% (2)	4.67% (5,657 SF)	4.48% (5,447 SF)
MAX. BUILDING HEIGHT	§ 185-9 (SCHEDULE 7)	35'	18' ±	20' ±
MAX. LOT SURFACE COVERAGE	§ 185-9 (SCHEDULE 7)	85% (2)	61.18% (74,377 SF)	58.35% (70,944 SF)

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. STALL SIZE	§ 5-2.1A	9' X 18' N/A	8.5' X 15' (E)	9' X 18' (90') 9' X 23' (PARALLEL)
MIN. NUMBER OF STALLS	§ 4-4.2B	40' SPACES	60 SPACES	60 SPACES (PLUS 3 SHORT TERM SPACES)

LAND USE AND ZONING NOTES:

- PARKING REQUIREMENTS (185-15):**
 - A. MIN. ACCESS TO AND FROM A STREET - TWO (2) LINES OF 10 FT WIDTH EACH; 10.5 FT PROPOSED (C)
 - B. NO ENTRANCE OR EXIT FOR AN ACCESSORY OFF-STREET PARKING AREA WITH 10 SPACES OR ANY LOADING BERTH SHALL BE LOCATED WITHIN 150 FT OF AN INTERSECTION; 120 FT (E)
- OFF-STREET LOADING (185-13B):**
 - A. ON-STREET LOADING FACILITIES ARE NOT PERMITTED (C)
 - B. ONE (1) LOADING SPACE IS REQUIRED FOR ALL NON-RESIDENTIAL USES UNDER 25,000 SF IN FLOOR AREA (V)
 - C. LOADING FACILITIES SHALL NOT BE LOCATED IN A REQUIRED FRONT YARD OR A SIDE YARD ADJACENT TO A RESIDENTIAL DISTRICT (N/A)
 - D. MINIMUM ACCESS AT LEAST 12 FT IN WIDTH SHALL BE PROVIDED BETWEEN ANY LOADING FACILITY AND A STREET (N/A)
 - E. NO ACCESS TO A LOADING FACILITY SHALL BE LOCATED WITHIN 50 FT OF A STREET INTERSECTION (N/A)
 - F. ALL LOADING SHALL CONFORM TO THE MINIMUM REQUIRED SETBACKS FOR THE DISTRICT WHICH THEY ARE LOCATED (N/A)
- FAST-FOOD, DRIVE-THRU AND DRIVE-UP ESTABLISHMENTS (185-42):**
 - A. COMPATIBILITY: BEFORE APPROVING ANY FAST-FOOD, DRIVE-UP OR DRIVE-THRU ESTABLISHMENT, THE PLANNING BOARD SHALL CONSIDER:
 1. ALL DRIVE-THRU AISLES SHALL EXIT INTO A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES 9W, 17K, 32, 52 OR 300 (E)
 2. PROPOSED SIGNS, LIGHTING, SPEAKER NOISE WHERE RESIDENTIAL PROPERTIES ARE LOCATED AND NEARBY LANDSCAPING
 3. PARKING SHALL BE ADEQUATE FOR THE TYPE OF FACILITY PROPOSED, WITH THREE (3) ADDITIONAL SHORT-TERM SPACES DEVOTED SPECIFICALLY FOR PICK-UP OR ORDER DELAYS FOR EACH DRIVE-UP, DRIVE-THRU, WALK-UP OR PICK-UP WINDOW AREA INSIDE OR OUTSIDE OF THE BUILDING, 3 PROPOSED (C)
 4. PUBLIC ROADS AND INTERNAL DRIVE AISLES SHALL NOT BE BLOCKED BY WAITING DRIVE-THRU TRAFFIC (C)
 5. PARKING AREAS AND CIRCULATION DRIVES SHALL BE ADEQUATELY SEPARATED SO AS TO AVOID CONFLICT BETWEEN PARKING CARS AND WAITING DRIVE-THRU TRAFFIC (C)
 6. ADEQUATE STACKING SPACE WILL BE PROVIDED FOR WAITING DRIVE-THRU VEHICLES SUCH THAT THESE VEHICLES DO NOT INTERFERE WITH SITE VEHICULAR OR PEDESTRIAN CIRCULATION (C)
 7. THE SITE PLAN CHECKLIST FOR PARKING/TRAFFIC AND PEDESTRIAN MOVEMENTS/SAFETY CONCERNS SHALL BE REVIEWED IN PREPARATION OF PLANS (C)
 - B. CONDITIONS: ANY SUCH USE SHALL MEET THE FOLLOWING CONDITIONS OF OPERATION:
 1. PROVISION OF SUFFICIENT SECURITY TO PREVENT THE USE OF THE PREMISES AS A LOITERING PLACE DURING HOURS OF OPERATION (C)
 2. PROVISION OF ADEQUATE FACILITIES AND PERSONNEL FOR DISPOSAL OF TRASH AND OTHER DEBRIS (C)
 3. PROVISION FOR CONTINUING MAINTENANCE OF THE EXTERIOR OF THE BUILDING AND THE GROUNDS, INCLUDING LANDSCAPING, SIGNS AND POLICING OF LITTER (C)

VARIANCE LIST:				
1.	FRONT YARD SETBACK TO STATE HIGHWAY: 80' REQUIRED; 57.4' PROVIDED TO CANOPY (V)			
2.	MAX AREA OF DIRECTIONAL SIGN: 3 SF REQUIRED; 4 SF PROVIDED (V)			
3.	ENTRANCE OR EXIT FOR OFF-STREET PARKING WITHIN 150' OF INTERSECTION (E)			
4.	LOADING SPACES FOR NON-RESIDENTIAL USE: 1 REQUIRED; 0 PROVIDED (E)			
5.	ALL DRIVE-THRU AISLES SHALL EXIT INTO A PARKING AREA OR ONTO A SIDE STREET AND NOT DIRECTLY ONTO ROUTES 9W, 17K, 32, 52 OR 300 (E)			



SEE ADA PLAN & DETAIL SHEET FOR SIGN DETAILS

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209-2)

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPES, DRYWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORDED DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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800-962-7962
www.digsafelynewyork.com

THE ABOVE REFERENCED REGIONS REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THAT REGION. (NYS 1-800-962-7962)

BOHLER ENGINEERING
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
Phone: (908) 958-8300
Fax: (908) 754-4401
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• FORT LAUDERDALE, FL
• TAMPA, FL

B. BOHLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 1207
ILLINOIS LICENSE NO. 021-000000000-0000
FLORIDA LICENSE NO. 1207

PROPOSED SITE IMPROVEMENTS		
SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY		STATE
TOWN OF NEWBURGH		NY
COUNTY		
ORANGE		
REGIONAL DWG. NO	PLAN DESCRIPTION	
031-0145	OVERALL SITE & SIGNAGE PLAN	
CAD FILE: J110009-SPP-6A		

ISSUE REF		BY		DATE		DESCRIPTION	
1	01/22/18	ATK	REV. PER TOWNSHIP COMMENTS	01/22/18	ATK	REV. PER TOWNSHIP COMMENTS	
2	02/15/18	ATK	REV. PER TOWNSHIP COMMENTS	03/21/18	ATK	REV. PER TOWNSHIP COMMENTS	
3	03/21/18	ATK	REV. PER TOWNSHIP COMMENTS	05/07/18	ATK	REV. PER RESOLUTION COMPLIANCE	
4	05/07/18	ATK	REV. PER RESOLUTION COMPLIANCE	06/04/18	ATK	REV. PER NYSDOT COMMENTS	
5	06/04/18	ATK	REV. PER NYSDOT COMMENTS	07/12/18	ATK	REV. PER UPDATED BUILDING FOOTPRINT	
6	07/12/18	ATK	REV. PER UPDATED BUILDING FOOTPRINT				

FINAL PLAN SIGNATURES		CO-SIGN SIGNATURES	
DATE	SIGNATURE (2 REQUIRED)	DATE	SIGNATURE

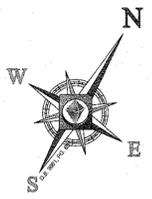
REGIONAL MGR	CONSET. MGR	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

OFFICE	ADDRESS
NEW YORK REGION	111 WOOD AVENUE SOUTH, SUITE 400 ISELIN, NJ 08830 (732) 623-8500

McDonald's

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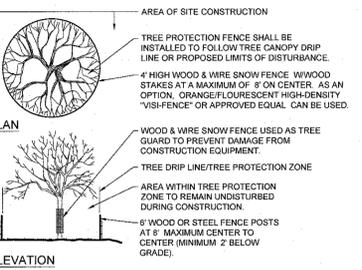
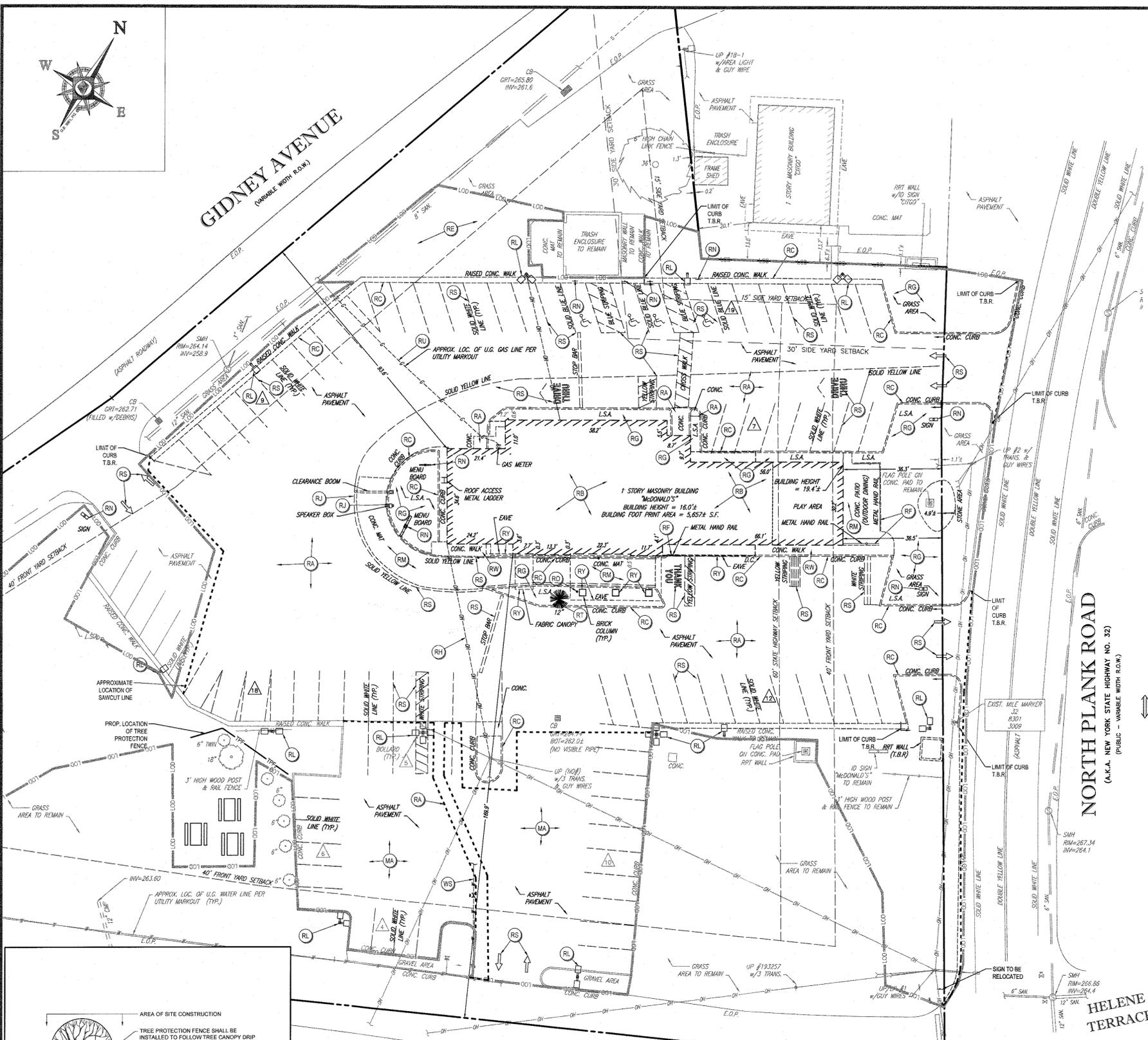


DEMOLITION NOTES:
(0000103 - 03/12/12)

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
CONTROL POINT ASSOCIATES, INC.
35 TECHNOLOGY DRIVE
WARREN, NJ 07059
DATED: 10/28/11, REVISED 2/28/12
JOB#: C11443
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 851 et seq.), AND THE NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48-27.3, et seq.) AS AMENDED.
- BOHLER ENGINEERING HAS NO CONTRACTUAL RESPONSIBILITY FOR JOB SITE SAFETY OR SUPERVISION.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH BOHLER ENGINEERING, IN WRITING AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
 - OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
 - NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 - LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWERS, TELEPHONE, CABLE, AND OTHER UTILITIES WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY ROOF OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCINGS AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
- CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPTURED, ABANDONED, IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMANLIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

PROPOSED KEY:

- (RA) REMOVE EXIST. ASPHALT/ CONC./ GRAVEL PAVEMENT/ BRICK
- (RB) REMOVE EXIST. BUILDING/ STRUCTURE
- (RC) REMOVE EXIST. CURB
- (RE) REMOVE EXIST. GRAVEL AREA
- (RF) REMOVE EXIST. FENCE/ GUIDE RAIL
- (RG) REMOVE EXIST. GROUND/ COVERS/ GRASS/ LANDSCAPE
- (RH) REMOVE EXIST. OVERHEAD WIRES IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS
- (RJ) REMOVE EXIST. FEATURE
- (RL) REMOVE EXIST. AREA LIGHT POLE AND FOUNDATION
- (RM) REMOVE EXIST. CONC. MAT/ PAD
- (RN) REMOVE EXIST. SIGN
- (RO) REMOVE EXIST. BOLLARD
- (RS) REMOVE EXIST. STRIPING
- (RT) REMOVE EXIST. TREE/ SHRUBS
- (RU) REMOVE EXIST. UG UTILITIES IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS
- (RV) REMOVE EXIST. CONC. SIDEWALK/ STAIRS AND RAILING
- (RW) REMOVE EXIST. CANOPY/ COLUMNS AND FOUNDATIONS
- (MA) MILL 2" ASPHALT
- (WS) EXIST. WATER SERVICE TO BE CUT, CAPPED & ABANDONED



TREE PROTECTION DURING SITE CONSTRUCTION DETAIL
NOT TO SCALE (06/29/09 - 4/20/17)

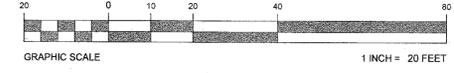
REFER TO SOIL EROSION PLAN FOR SOIL EROSION NOTES & DETAILS

CONTRACTOR IS REQUIRED TO OBTAIN A DEMOLITION PERMIT FROM THE TOWN OF NEWBURGH PRIOR TO THE START OF DEMOLITION

T.B.R. = FEATURE TO BE REMOVED

ALL EXISTING FEATURES IN R.O.W. ARE TO REMAIN UNLESS OTHERWISE NOTED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS IN ANY MANNER OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. ANY SUCH ALTERATIONS MADE WITHOUT THE SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER SHALL BE DEEMED UNLAWFUL UNDER SECTION 2209.2.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, SPRINGS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPARISON OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DESTROYED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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• TAMPA, FL

B.A. BOHLER
Professional Engineer
No. 000000000
New Jersey License No. 1257
Professional Seal

PROPOSED SITE IMPROVEMENTS		
SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY	STATE	
TOWN OF NEWBURGH	NY	
COUNTY		
ORANGE		
REGIONAL DWG. NO	PLAN DESCRIPTION	
031-0145	DEMOLITION PLAN	
CAD FILE: J110588-SPP-5A		

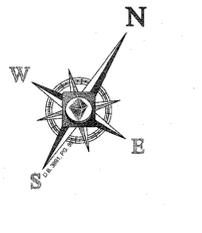
REV	DATE	DESCRIPTION	BY	ISSUE REF
1	01/22/18	REV PER TOWNSHIP COMMENTS	ATK	
2	02/15/18	REV PER TOWNSHIP COMMENTS	ATK	
3	03/27/18	REV PER TOWNSHIP COMMENTS	ATK	
4	05/07/18	REV PER RESOLUTION COMPLIANCE	APR	
5	06/04/18	REV PER NYSDOT COMMENTS	APR	
6	07/12/18	REV PER UPDATED BUILDING FOOTPRINT	ATK	

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NEW YORK REGION
111 WOOD AVENUE SOUTH, SUITE 400
ISELIN, NJ 08830 (732) 623-8500

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

CO-SIGN SIGNATURES	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

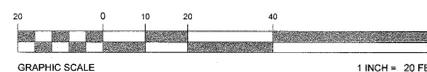
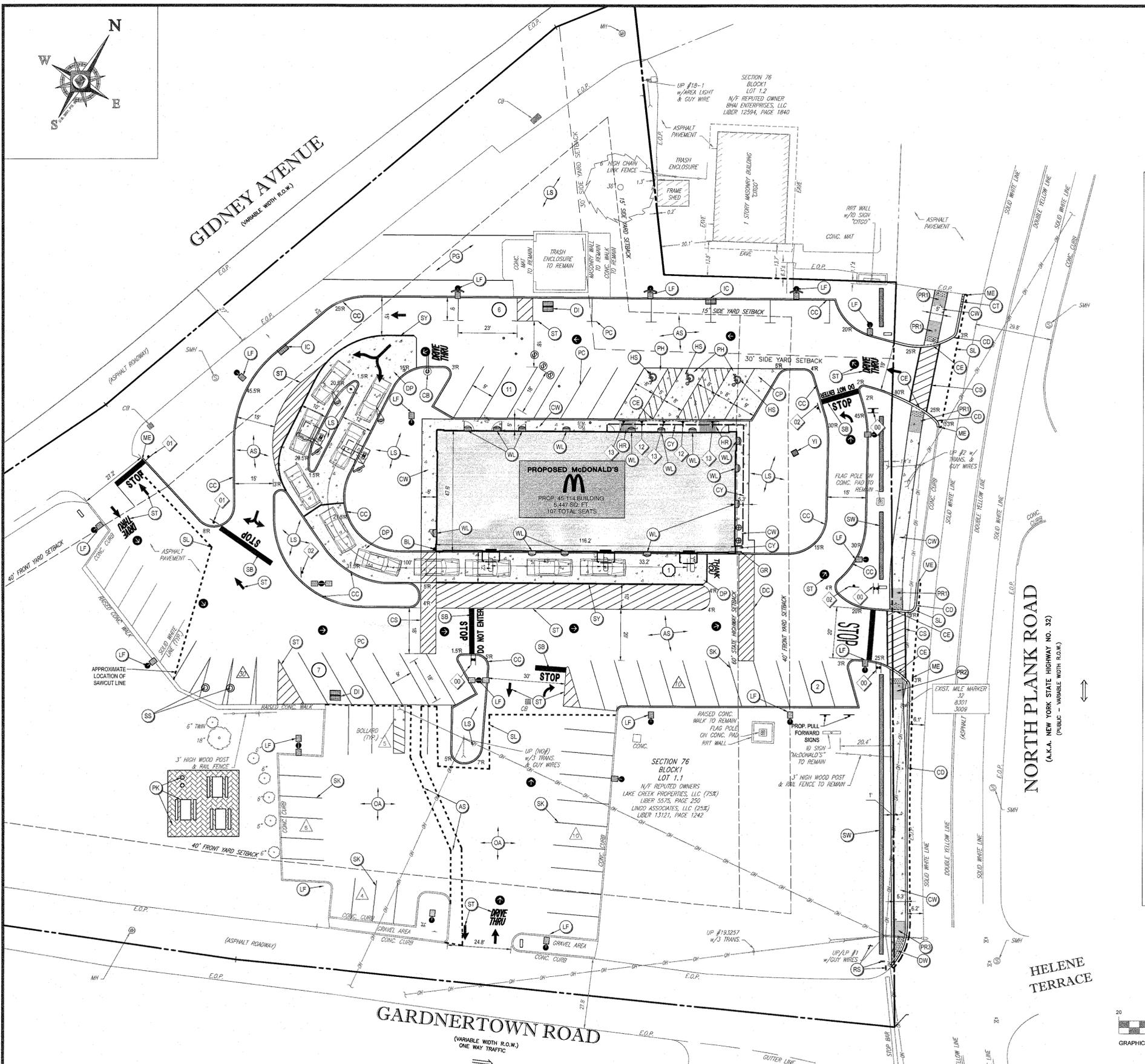


GENERAL NOTES:

- (S00003-10/2015)
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.
- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - "ALTA/ACSM LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 10/28/11, REVISED 2/28/12.
 - "STORMWATER MANAGEMENT REPORT" PREPARED BY BOHLER ENGINEERING, DATED AUGUST 2017.
 - "REPORT OF GEOTECHNICAL INVESTIGATION" PREPARED BY WHITESTONE ASSOCIATES, INC., DATED 4/29/12.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HESHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.
 - ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
 - THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND THE PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
 - THE PROPERTY SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. AND DATED 10/28/11, REVISED 2/28/12 SHALL BE CONSIDERED A PART OF THESE PLANS.
 - THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR CONDITIONS SHOWN ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN, PLANS, AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO: STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
 - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.
 - THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: DRIVEWAYS, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERSECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
 - ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
 - THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.
 - ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE. EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES, COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
 - BOHLER ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY CONDITIONS OR OMISSIONS FROM THE CONSTRUCTION DOCUMENTS BROUGHT TO ITS ATTENTION IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
 - NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
 - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

PROPOSED KEY:

- AS ON-SITE ASPHALT PAVEMENT
- BL 6" CONC. BOLLARD
- CB CLEARANCE CURB
- CC CONCRETE CURB
- CD NYSDOT CONCRETE CURB
- CE FLUSH CURB
- CF 6" THICK CONCRETE PAD
- CG 8" WIDE STRIPED CROSSWALK
- CH 8" THICK CONCRETE DRIVEWAY
- CW 6" THICK CONCRETE SIDEWALK
- CY CANOPY
- DI DRIVEWAY INLET
- DC DECORATIVE CROSSWALK
- DE 6" THICK CONCRETE DRIVEWAY PAD
- DW DETECTABLE WARNING SURFACE
- GR STEEL RAILING, SLF
- HS ADA SYMBOL
- IC CURB INLET
- LF POLE MOUNTED LIGHT FIXTURE
- LS LANDSCAPED AREA
- ME MEET EXISTING PAVEMENT, CURB AND SIDEWALK FLUSH WITH NO TRIPPING HAZARD
- OA OVERLAY 2" ASPHALT
- PC PARKING STALL(S) (SEE DETAIL)
- PE REPLACE GRAVEL AREA WITH GRASS PAVERS
- PH ACCESSIBLE PARKING STALL
- PK PICNIC AREA WITH TRASH AND RECYCLING RECEPTACLES ON CONC. PAVERS
- PR ACCESSIBLE RAMP
- PR1 NYSDOT PED RAMP TYPE 1 DETECTABLE WARNING STRIP OPTION 2 SIDE RAMP OPTION B
- PR2 NYSDOT PED RAMP TYPE 1 DETECTABLE WARNING STRIP OPTION 2 SIDE RAMP OPTION A&B
- PR3 NYSDOT PED RAMP TYPE 2 DETECTABLE WARNING STRIP OPTION 5 SIDE RAMP OPTION B
- RS RELOCATED SIGN
- SB PAINTED STOP BAR
- SK PAINTED STRIPING REPLICATED IN KIND
- SL SAWCUT LINE
- SS STORM MANHOLE
- SW PAINTED STRIPING
- ST STACK STONE WALL
- SY 6" WIDE DOUBLE PAINTED LINE (YELLOW)
- WL WALL LIGHT
- YI YARD INLET
- DO DO NOT ENTER MUTCD R1-1
- CI STOP SIGN MUTCD R1-1
- RO ONE WAY SIGN MUTCD R6-1
- NO NO PARKING ANY TIME SIGN (GENERAL) MUTCD R7-1
- RS RESERVED PARKING SIGN (WITHOUT ARROW) MUTCD R7-8



PROPOSED SITE IMPROVEMENTS

SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY	TOWN OF NEWBURGH	STATE
COUNTY	ORANGE	NY
REGIONAL DWG. NO	031-0145	PLAN DESCRIPTION
		SITE LAYOUT PLAN

ISSUE REF	BY	DATE	DESCRIPTION	FINAL PLAN SIGNATURES						
				REV. 1	REV. 2	REV. 3	REV. 4	REV. 5	REV. 6	
1	ATK	01/22/18	REV. PER TOWNSHIP ENGINEER COMMENTS							
2	ATK	02/15/18	REV. PER TOWNSHIP ENGINEER COMMENTS							
3	ATK	03/27/18	REV. PER TOWNSHIP ENGINEER COMMENTS							
4	APR	05/07/18	REV. PER RESOLUTION COMPLIANCE							
5	APR	06/04/18	REV. PER NYSDOT COMMENTS							
6	ATK	07/12/18	REV. PER UPDATED BUILDING FOOTPRINT							

REGIONAL MGR.	DATE	SIGNATURE (IF REQUIRED)	PLAN APPROVALS
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CONTRACTOR			
OWNER			

STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

CO-SIGN SIGNATURES	OFFICE ADDRESS
	111 WOOD AVENUE SOUTH, SUITE 400 ISELTON, NJ 08830 (732) 623-8500



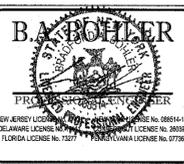
THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR THE SPECIFICATIONS IN WRITING. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REHABILITATED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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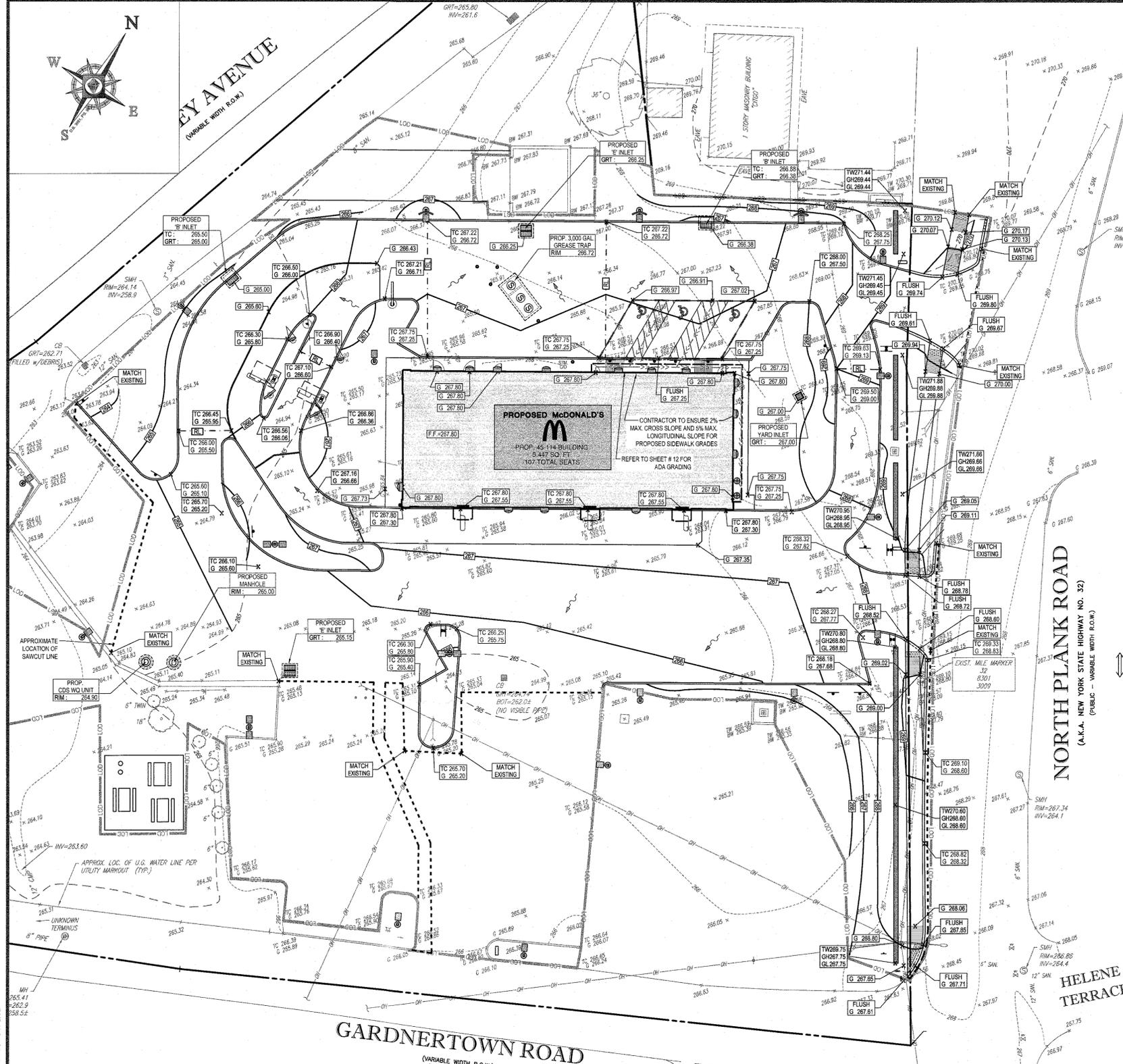
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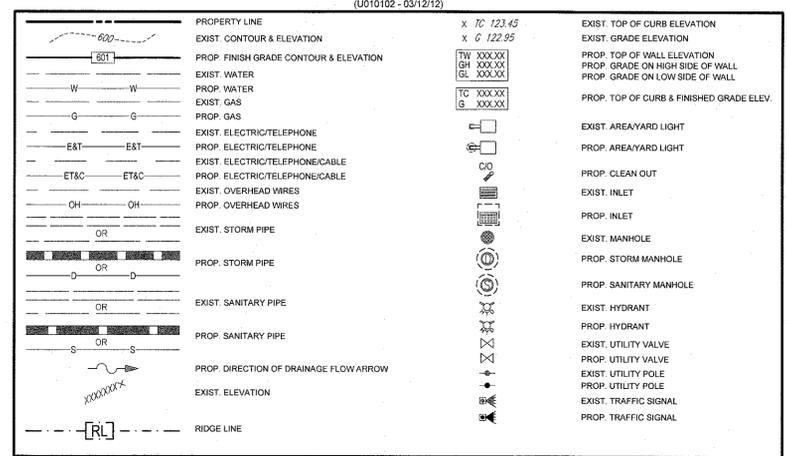
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GRADING & UTILITY NOTES:
(000102-03/12/17)

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. THE CONTRACTOR SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL COMPLIANCE BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL AND STATE REGULATIONS AND CODES.
- THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES WITH THE INDIVIDUAL UTILITIES WITHIN THE AREAS OF CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLES WITH UTILITY REQUIREMENTS HAVING JURISDICTION, AND SHALL BE RESPONSIBLE FOR COORDINATING THE UTILITY RECONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING SHALL COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE ABSENCE OF A GEOTECHNICAL REPORT, EARTHWORK ACTIVITIES SHALL COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION).
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAYMENT SHALL BE SAID OUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.

GRAPHIC LEGEND
(U010102-03/12/17)



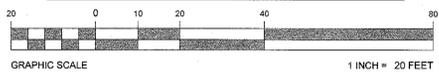
ADA INSTRUCTIONS TO CONTRACTOR:
(000103-03/12/17)

- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED/DISABLED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE NJ UNIFORM CONSTRUCTION CODE (WHICH BY REFERENCE HAS ADOPTED IC A117.1 2009) REQUIREMENTS AND THE FEDERAL 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. AS CONSTRUCTED FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, ACCESS BETWEEN BUILDINGS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCES/EGRESS POINTS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1 1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
 - CURB RAMPS - SLOPE MUST NOT EXCEED MAXIMUM OF 1:12 (8.3%).
 - LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, AND PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:48 (1 1/4" PER FOOT OR NOMINALLY 2.0%) CROSS SLOPE.
 - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE MUST NOT BE GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:48 (1 1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES BETWEEN LANDINGS, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT HAVE A CROSS SLOPE, TO PROVIDE POSITIVE DRAINAGE, OF NO MORE THAN 1:48 (1 1/4" PER FOOT OR NOMINALLY 2.0%). THE ENTIRE WIDTH OF THE PATH OF TRAVEL WALK MUST COMPLY WITH THESE REQUIREMENTS.
 - DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED FOR POSITIVE DRAINAGE, WITH SLOPE NO MORE THAN 1:48 (1 1/4" PER FOOT OR NOMINALLY 2.0%) IN BOTH DIRECTIONS. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/AIA 117-1.2009 AND OTHER REFERENCES INCORPORATED BY CODE).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

REFER TO SHEET #12 FOR
ADDITIONAL ADA GRADING
INFORMATION

APPROXIMATE CUT = 150 CY
APPROXIMATE FILL = 1350 CY
ADJUSTED TOTAL NET CUT/FILL = 1200 CY

THIS PLAN TO BE UTILIZED FOR
SITE GRADING PURPOSES ONLY



THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND FOR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND IN THE SPECIFICATIONS. IN THE EVENT OF SUCH ALTERATIONS, THE CONTRACTOR IS ADVISED THAT ALL SUCH FACILITIES AND/OR IN THE SPECIFICATIONS MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE.

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PROPOSED SITE IMPROVEMENTS		STATUS	DATE	BY
SECTION 76, BLOCK 1, LOT 1.1		PRELIMINARY	08/15/17	KF
STREET ADDRESS		PLAN CHECKED	08/15/17	LM
65 NORTH PLANK ROAD		AS-BUILT	N/A	N/A
CITY		TOWN OF NEWBURGH		
STATE		NY		
COUNTY		ORANGE		
REGIONAL DWG. NO.	PLAN DESCRIPTION	C-5		
031-0145	GRADING PLAN	OF 18 REV. 6		

REV	DATE	DESCRIPTION	ISSUE REF
1	01/22/18	REV PER TOWNSHIP COMMENTS	ATK
2	02/15/18	REV PER TOWNSHIP ENGINEER COMMENTS	APR
3	03/27/18	REV PER TOWNSHIP COMMENTS	ATK
4	05/07/18	REV PER RESOLUTION COMPLIANCE	APR
5	06/04/18	REV PER NYS DOT COMMENTS	APR
6	07/12/18	REV PER UPDATED BUILDING FOOTPRINT	ATK

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NEW YORK REGION
111 WOOD AVENUE SOUTH, SUITE 400
ISEL NJ 08850 (732) 623-6500

OFFICE ADDRESS

PLAN APPROVALS	DATE	SIGNATURE (2 REQUIRED)
REGIONAL MGR		
CONSULT MGR		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR OWNER		

CO-SIGN SIGNATURES	DATE	BY



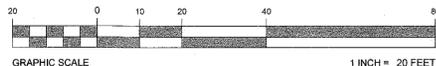
GIDNEY AVENUE
(VARIABLE WIDTH R.O.W.)

GARDNERTOWN ROAD
(VARIABLE WIDTH R.O.W.)
ONE WAY TRAFFIC

GRIMM ROAD

SEE DETAIL SHEET C-16 FOR
TOWN OF NEWBURGH WATER
AND SEWER NOTES

THIS PLAN TO BE UTILIZED
FOR DRAINAGE AND UTILITIES
PURPOSES ONLY



PROP. GAS CONNECTION. CONTRACTOR TO
COORDINATE WITH GAS AUTHORITY FOR
FEASIBILITY OF CONNECTION PRIOR TO
CONSTRUCTION. CONTRACTOR TO NOTIFY
ENGINEER IF LOCATION OF CONNECTION
DIFFERS FROM THAT SHOWN ON PLAN.

PRIOR TO START OF CONSTRUCTION,
CONTRACTOR TO VERIFY EXACT LOCATION, SIZE,
DEPTH AND CONDITION OF EXISTING SEWER
MAIN. CONTRACTOR TO THE PROPOSED
SEWER LATERAL TO THE EXISTING SEWER MAIN
AS SHOWN ON PLANS. SHOULD CONDITIONS
DIFFER FROM THOSE SHOWN ON THE PLANS,
CONTRACTOR TO NOTIFY THE ENGINEER OF
RECORD IN WRITING IMMEDIATELY.

CONTRACTOR TO CLEAN EXISTING
CATCH BASIN OF DEBRIS TO
DETERMINE IF ANY PIPES EXIST

PROP. 6" WET TAP. CONTRACTOR TO
COORDINATE WITH WATER AUTHORITY FOR
FEASIBILITY OF CONNECTION PRIOR TO
CONSTRUCTION. CONTRACTOR TO NOTIFY
ENGINEER IF LOCATION OF CONNECTION
DIFFERS FROM THAT SHOWN ON PLAN.

SANITARY COMPUTATIONS

GREASE TRAP
107 SEATS X 20 GPD/SEAT = 2,140 GPD
USE 6'X14'6" GREASE TRAP
CAPACITY = 3,000 GALLONS

GRAPHIC LEGEND

(LD10102 - 03/12/12)

	PROPERTY LINE
	EXIST. CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. WATER
	PROP. WATER
	EXIST. GAS
	PROP. GAS
	EXIST. ELECTRIC/TELEPHONE
	PROP. ELECTRIC/TELEPHONE
	EXIST. ELECTRIC/TELEPHONE/CABLE
	PROP. ELECTRIC/TELEPHONE/CABLE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. STORM PIPE
	PROP. STORM PIPE
	EXIST. SANITARY PIPE
	PROP. SANITARY PIPE
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. ELEVATION
	PROP. ELEVATION
	EXIST. TOP OF CURB ELEVATION
	PROP. TOP OF CURB ELEVATION
	EXIST. TOP OF WALL ELEVATION
	PROP. TOP OF WALL ELEVATION
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. AREA LIGHT
	PROP. AREA LIGHT
	PROP. CLEAN OUT
	EXIST. INLET
	PROP. INLET
	EXIST. MANHOLE
	PROP. MANHOLE
	PROP. SANITARY MANHOLE
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. UTILITY VALVE
	PROP. UTILITY VALVE
	EXIST. UTILITY POLE
	PROP. UTILITY POLE
	EXIST. TRAFFIC SIGNAL
	PROP. TRAFFIC SIGNAL

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK	
2	02/15/18	REV. PER TOWNSHIP COMMENTS	APR	
3	03/27/18	REV. PER TOWNSHIP COMMENTS	ATK	
4	05/07/18	REV. PER RESOLUTION COMPLIANCE	APR	
5	06/04/18	REV. PER NYS DOT COMMENTS	APR	
6	07/12/18	REV. PER UPDATED BUILDING FOOTPRINT	ATK	

FINAL PLAN SIGNATURES
P.M.
G.C.
O/O

McDonald's

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PLAN APPROVALS	DATE	SIGNATURE (2 REQUIRED)
REGIONAL MGR.		
CONSET. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		

CO-SIGN SIGNATURES	OFFICE ADDRESS	STATUS	DATE	BY
		PRELIMINARY	08/15/17	KF
		PLAN CHECKED	08/15/17	LM
		AS-BUILT	N/A	N/A

PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD

CITY: TOWN OF NEWBURGH STATE: NY
COUNTY: ORANGE

REGIONAL DWG. NO: 031-0145 PLAN DESCRIPTION: DRAINAGE & UTILITIES PLAN

CAD FILE: J110593 SPP-6A

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS IN ANY MANNER OR TO THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND IN THE SPECIFICATIONS. ANY ALTERATION IN THE DRAWINGS AND/OR IN THE SPECIFICATIONS INVIOLATED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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800-962-7962
www.digsafelynewyork.com

THE ABOVE REFERENCED REGIONS REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE AND UNDERGROUND UTILITIES IN THAT REGION. (NYS 1-800-962-7962)

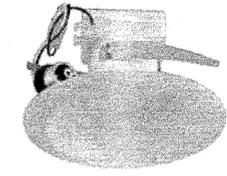
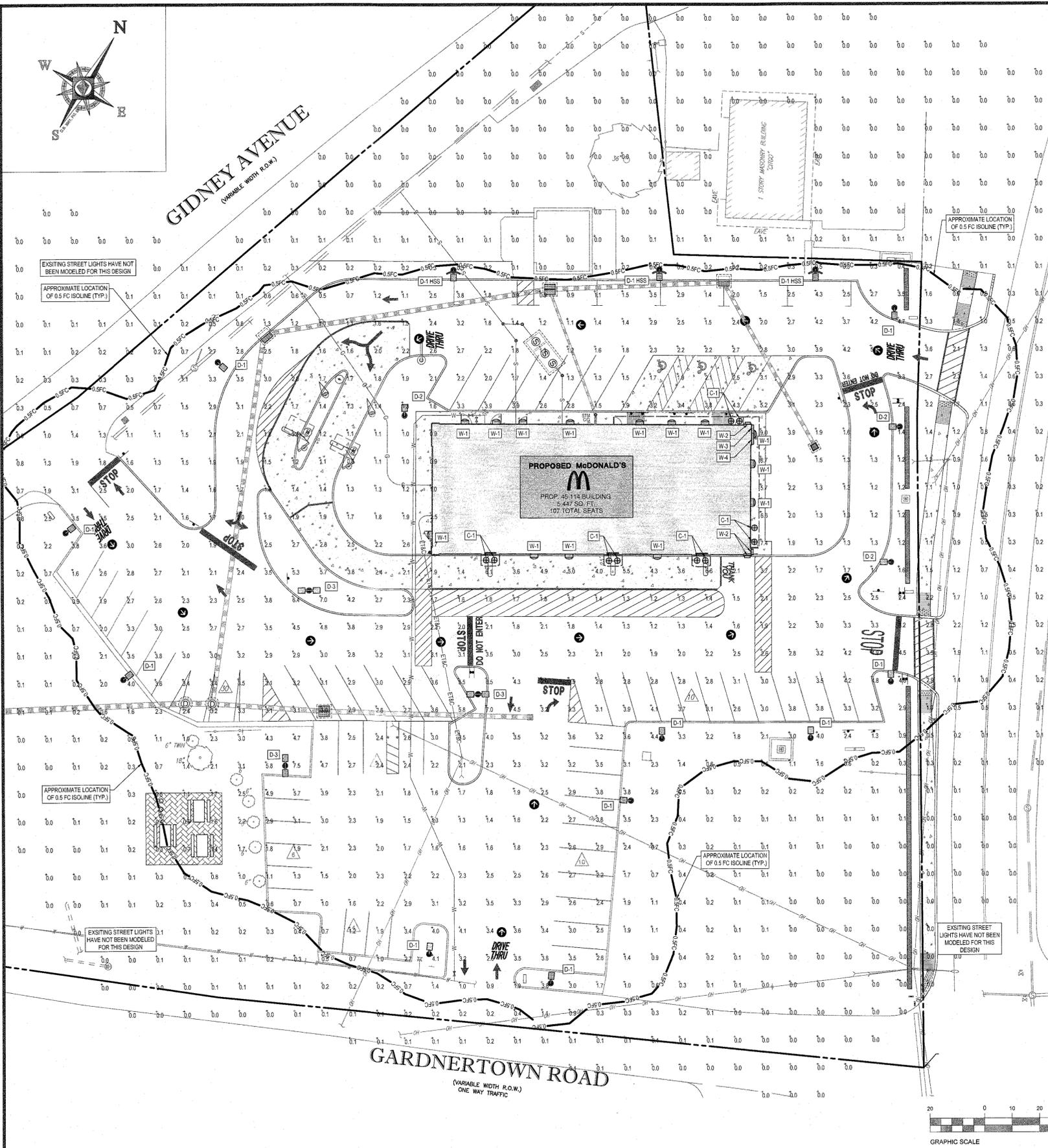
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WARREN, NJ 07059
Phone: (908) 988-8300
Fax: (908) 754-4401
www.BohlerEngineering.com

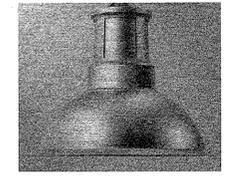
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• CHARLOTTE, NC
• STERLING, VA
• WARRINGTON, VA
• FORT LAUDERDALE, FL
• TAMPA, FL

B.A. BOHLER
Professional Engineer
No. 008864-1
FLORIDA LICENSE NO. 12077
NEW JERSEY LICENSE NO. 12077

C:\031\1\1\031000\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\LD10102-03121212.dwg - LAYOUT: C-00 DRAIN & UTIL



**SECURITY LIGHTING
LB6 SERIES LED
CANOPY LIGHT (C-1)**
NOT TO SCALE



**COOPER INDUSTRIES EPIC
MODERN MEDIUM SERIES LED
DECORATIVE AREA LIGHT
(D-1, D-1 HSS, D-2 & D-3)**
NOT TO SCALE



**SECURITY LIGHTING
RADIUS SERIES LED
WALL SCONCE
(W-1)**
NOT TO SCALE



**SECURITY LIGHTING
HIRAF SERIES LINEAR
LED FACADE LIGHT
(W-2, W-3 & W-4)**
NOT TO SCALE

LUMINAIRE SCHEDULE								
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRANGMT.	LUMENS	LLF	CATALOG #
⊕	10	C-1	9'-1"	SECURITY LIGHTING LB6 SERIES LED CANOPY LIGHT	SINGLE	1,000	0.87	LB6LEDA10L50K-WH-BXSQ
⊙	10	D-1	16'-8"	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT	SINGLE	8,893	0.87	EMM-E03-LED-XXX-T4-SO-BL-BZ-7050-VA6109-BZ
⊙	3	D-1 HSS	16'-8"	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT W/ HOUSE SIDE SHIELD	SINGLE	5,804	0.87	EMM-E03-LED-XXX-SL4-SO-BL-BZ-7050-VA6109-BZ-HSS
⊙	3	D-2	16'-8"	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT	SINGLE	3,134	0.87	EMM-E03-LED-XXX-5MQ-SO-BL-BZ-7050-VA6109-BZ
⊙	3	D-3	16'-8"	COOPER INDUSTRIES EPIC MODERN MEDIUM SERIES LED DECORATIVE AREA LIGHT	BACK-TO-BACK	8,893	0.87	EMM-E03-LED-XXX-T4-SO-BL-BZ-7050-VA6116-BZ
⊖	14	W-1	9'-4"	SECURITY LIGHTING RADIUS SERIES LED WALL SCONCE	SINGLE	1,620	0.87	RWSC-36L-5K-DO-XXX-PS
⊖	3	W-2	18'-6"	SECURITY LIGHTING HIRAF SERIES (2) LINEAR LED FACADE LIGHT	SINGLE	834	0.87	HIRAF-HE-LED-24-DO-XXX-PS
⊖	1	W-3	18'-6"	SECURITY LIGHTING HIRAF (3) SERIES LINEAR LED FACADE LIGHT	SINGLE	2,400	0.87	HIRAF-HE-LED-36-DO-XXX-PS
⊖	1	W-4	18'-6"	SECURITY LIGHTING HIRAF SERIES (4) LINEAR LED FACADE LIGHT	SINGLE	2,400	0.87	HIRAF-HE-LED-48-DO-XXX-PS

NOTE: 1. ANY EXISTING STREET LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.
 2. MOUNTING HEIGHT OF FIXTURES IS 18'-0" TOTAL FIXTURE HEIGHT IS 19'-6".
 3. BRACKET CATALOG NUMBER FOR FIXTURES: VA6109-BZ & VA6116-BZ.
 4. DECORATIVE POLE CATALOG NUMBER FOR FIXTURES: BWR-18-2-RT-3-BZ-XXX

LIGHTING NOTES:
(000201 - 01/05/19) (MODIFIED)

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.87 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES AND 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED.
- THE LUMINAIRES, LAMPS AND LENSES ARE TO BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY. THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS TO BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- LIGHTING CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCE FROM WITHIN THE BUILDING, AND TRIMMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.

REV	DATE	DESCRIPTION	BY	ISSUE REF
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4	05/07/18	REV. PER RESOLUTION COMPLIANCE	APR	
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6	07/12/18	REV. PER UPDATED BUILDING FOOTPRINT	ATK	

FINAL PLAN SIGNATURES
P.M.
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PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	08/15/17	KF
REGIONAL MGR.		PLAN CHECKED	08/15/17	LM
CONST. MGR.		AS-BUILT	N/A	N/A
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD
CITY STATE
TOWN OF NEWBURGH NY
COUNTY
ORANGE
REGIONAL DWG. NO
031-0145
PLAN DESCRIPTION
LIGHTING PLAN
C-7
OF 18 REV. 6

REFER TO DETAIL SHEET FOR DECORATIVE LIGHT POLE & BRACKET SPECIFICATIONS AND LIGHT POLE FOUNDATION DETAIL

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



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THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES, PIPING, DRIVEWELLS, ETC. PRIOR TO THE START OF WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPLETION OF FIELD LOCATIONS BY VARIOUS UTILITY AGENCIES AND RECORD DRAWINGS AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

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B.A. BOHLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 148804
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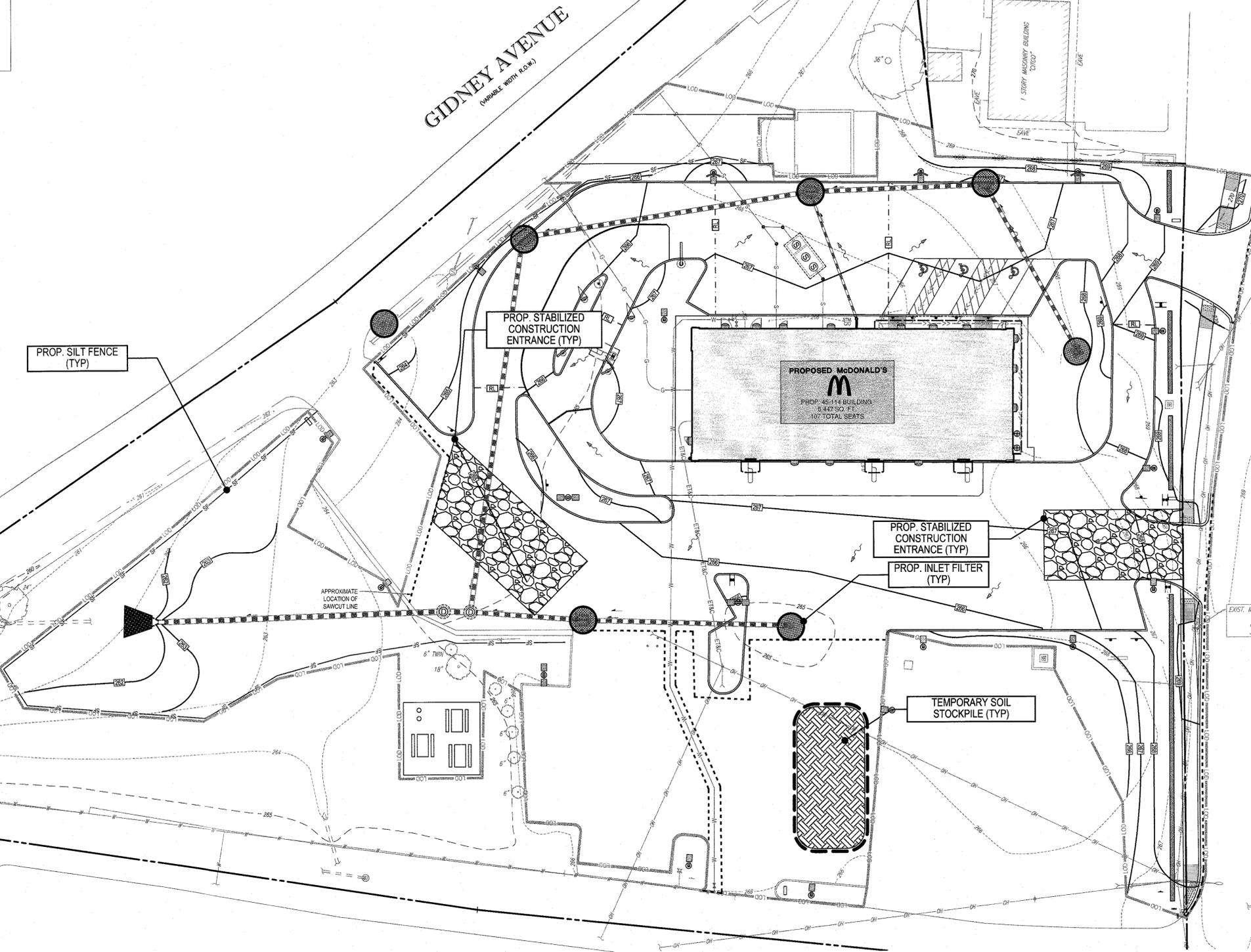
EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 6%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TESTING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 14 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITHIN BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

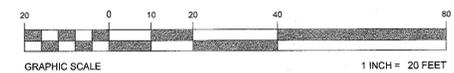
MULCH	LOCATION	MULCH	RATE (1000 SF)
WINDY AREA	PROTECT AREA	STRAW	100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1		SHREDDED OR CHOPPED CORNSTALKS (STRAW ANCHORED)	185-275 POUNDS
GREATER THAN 3:1		JUTE MESH OR EXCELSIOR MAT	AS REQUIRED

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

- SEQUENCE OF CONSTRUCTION:** (0309025-9.17.04) MODIFIED
- INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER SILT FENCING.
 - DEMOLITION OF EXISTING FEATURES TO BE REMOVED (SEE DEMOLITION PLAN).
 - CONSTRUCT TEMPORARY SEDIMENT BASIN AND TEMPORARY SWALE.
 - CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
 - EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
 - EXCAVATE FOR BUILDING FOUNDATION.
 - COMPLETE BUILDING CONSTRUCTION.
 - EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, AND UTILITIES.
 - FINAL GRADING ON SITE.
 - INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.
 - REMOVE ALL SOIL AND SEDIMENT CONTROLS AFTER THE SITE CONSTRUCTION IS COMPLETE AND STABILIZED.



THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



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 PENNSYLVANIA LICENSE NO. 26888
 FLORIDA LICENSE NO. 7327

PROPOSED SITE IMPROVEMENTS		
SECTION 76, BLOCK 1, LOT 1.1		
STREET ADDRESS		
65 NORTH PLANK ROAD		
CITY	STATE	
TOWN OF NEWBURGH	NY	
COUNTY		
ORANGE		
REGIONAL DWG. NO	PLAN DESCRIPTION	
031-0145	SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE II	
STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A
REGIONAL DWG. NO	PLAN DESCRIPTION	
031-0145	SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE II	
STATUS	DATE	BY
PRELIMINARY	08/15/17	KF
PLAN CHECKED	08/15/17	LM
AS-BUILT	N/A	N/A

PLAN APPROVALS		FINAL PLAN SIGNATURES		ISSUE REF	
REGIONAL MGR.	DATE	REV.	DATE	DESCRIPTION	BY
		1	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK
		2	02/15/18	REV. PER TOWNSHIP COMMENTS	ATK
		3	03/27/18	REV. PER TOWNSHIP COMMENTS	ATK
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		5	06/04/18	REV. PER NYSDOT COMMENTS	APR
		6	07/12/18	REV. PER UPDATED BUILDING FOOTPRINT	ATK

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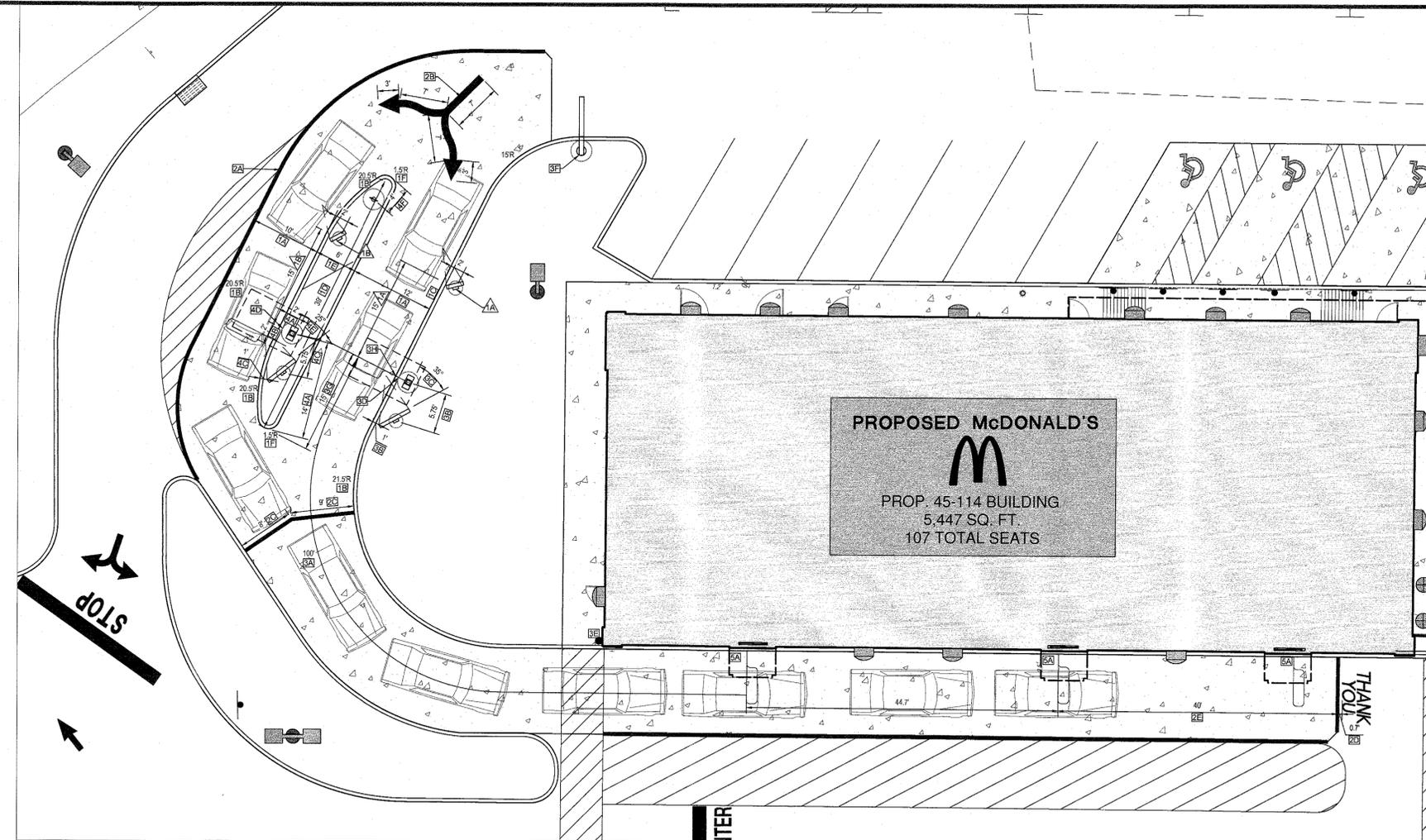
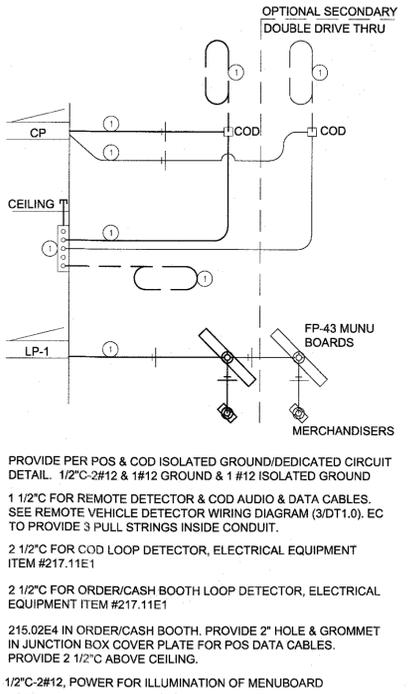
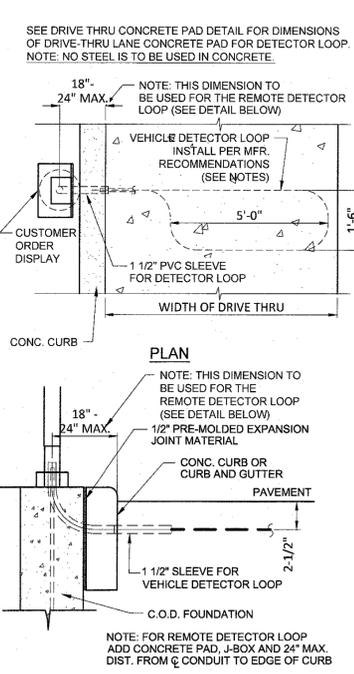
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CONTRACTOR OWNER

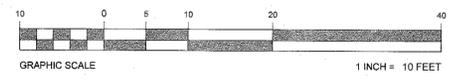
CONTRACTOR OWNER

CAD FILE: J11029-SFP-6A

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 OF 18 REV. 6

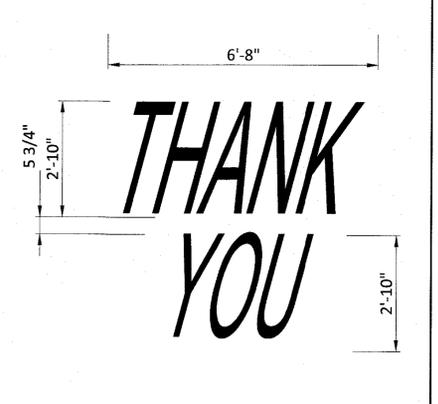
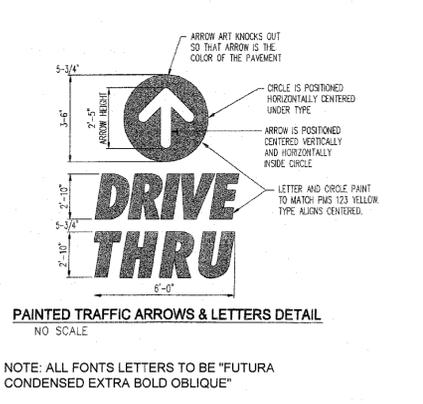


DRIVE-THRU ENLARGEMENT
SCALE: 1" = 10'



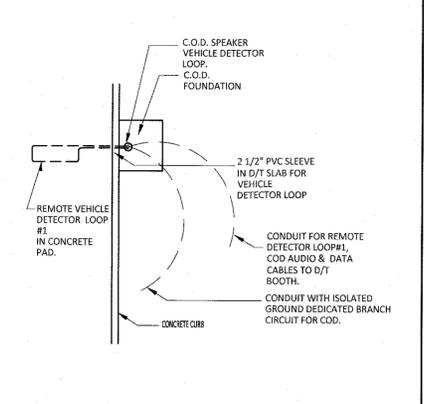
1 AUTO DETECTOR LOOP DETAIL
NOT TO SCALE (SOURCE: McDONALD'S)

2 DRIVE-THRU SITE WIRING DIAGRAM
NOT TO SCALE (SOURCE: McDONALD'S)



3 DRIVE-THRU PAVEMENT MARKING
NOT TO SCALE (SOURCE: McDONALD'S)

4 "THANK YOU" PAVEMENT MARKING
NOT TO SCALE (SOURCE: McDONALD'S)



5 AUTO DETECTOR WIRING DIAGRAM
NOT TO SCALE (SOURCE: McDONALD'S)

2017 SIDE BY SIDE DRIVE-THRU STANDARD A

- SIDE BY SIDE DRIVE-THRU STANDARD A CURBING DETAILS.
 - DRIVE-THRU LANES BOUND BY CURBS ON BOTH SIDES ARE TO BE 12'-0" LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0", 10' & 12" SHOWN, COMPLIES
 - THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB. 20' SHOWN, COMPLIES
 - PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER), COMPLIES
 - THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 38'-45". THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE COMMITMENT POINT. 38' SHOWN, COMPLIES
 - THE ISLAND WIDTH SHOULD BE 8' AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB), 6' SHOWN, COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A PAVEMENT MARKINGS.
 - 8" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. COMPLIES
 - DOUBLE HEADED ARROW PAVEMENT MARKINGS. STANDARD STRIPING MARKINGS ARE 7" SHAFT, 7" ARROW STEM AND 3" FOR THE ARROW HEAD. TIP OF ARROWHEAD TO BE LOCATED AT CENTER OF EACH LANE. COMPLIES
 - MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY WOULD MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 8' AND OFFSETTING THE OUTER LANE BACK OF CURB 8'. AT THE INTERSECTION OF THESE OFFSETS, A 4" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE. 8' & 8' SHOWN, COMPLIES
 - THE WORDS "THANK YOU" ARE TO BE PLACED 8' FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU". COMPLIES
 - THE 8" YELLOW STRIPE IS TO BE PLACED 40' FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS. COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A EQUIPMENT POSITIONING FOR PRIMARY LANE.
 - MIN. 40' (+5' -30' SLO) LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN CASH BOOTH WINDOW IS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20' INCREMENTS (+5' FOR 80', 100' & 120') TO A MAX. OF 120'. 100' IS OPTIONAL. 100' SHOWN, COMPLIES
 - THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-0" FROM THE CENTER OF THE CANOPY FOUNDATION WITH THE END CAP OF THE PRIMARY BOARD NOT LESS THAN 12" FROM THE FACE OF CURB. 5'-0" & 12" SHOWN, COMPLIES
 - THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE APPROXIMATELY 25° TO 35° ANGLE FROM A CAR POSITIONED AT THE COD TO MAXIMIZE CAR VIEWING. 35° SHOWN, COMPLIES
 - AUGER "McDONALD'S" ORDER HERE CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A DETECTOR LOOP.
 - DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS. COMPLIES
- SIDE BY SIDE DRIVE-THRU STANDARD A OPTIONAL FEATURES.
 - PRE-SELL BOARD MUST BE 16"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-SELL BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-SELL BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-SELL BOARD SHOULD MAXIMIZE VISIBILITY TO THE THIRD CAR FROM COD. COMPLIES
 - PRE-SELL BOARD MUST BE MIN. 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-SELL BOARD IS TO BE 15' AS MEASURED ALONG FACE OF CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-SELL BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°), COMPLIES
- A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB. COMPLIES
- AUGER "McDONALD'S" GATEWAY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE. 15' SHOWN, COMPLIES
- THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.
- WHEN THE SECONDARY CANOPY IS LOCATED 14' FROM THE TIP OF THE CURB ISLAND, THE LOOP DETECTOR IS TO BE 2' FORWARD OF THE CANOPY CENTER LINE WITH THE LOOP FACING FORWARD AND DETECTOR LOOP PERPENDICULAR TO THE SECONDARY CANOPY WHEN POSSIBLE. COMPLIES
- THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-0" FROM THE CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT LESS THAN 12" FROM THE FACE OF THE CURB. 5'-0" SHOWN, COMPLIES
- AUGER "McDONALD'S" ORDER HERE CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. COMPLIES
- THE SECONDARY MENU BOARD IS TO BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE COD WITH 100% VISIBILITY. 25° SHOWN, COMPLIES
- "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. 1'-0" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE 90° FROM THE CURB. COMPLIES

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PROPOSED SITE IMPROVEMENTS
SECTION 76, BLOCK 1, LOT 1.1
STREET ADDRESS
65 NORTH PLANK ROAD
CITY TOWN OF NEWBURGH STATE NY
COUNTY ORANGE

REGIONAL DWG. NO 031-0145
PLAN DESCRIPTION DRIVE-THRU PLAN & DETAILS

STATUS DATE BY
PRELIMINARY 08/15/17 KF
PLAN CHECKED 08/15/17 LM
AS-BUILT N/A N/A

REGIONAL DWG. NO 031-0145
PLAN DESCRIPTION DRIVE-THRU PLAN & DETAILS
C-11
OF 18 REV 6

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	01/22/18	REV. PER TOWNSHIP COMMENTS	ATK	
2	02/15/18	REV. PER TOWNSHIP COMMENTS	APR	
3	03/27/18	REV. PER TOWNSHIP COMMENTS	ATK	
4	05/07/18	REV. PER RESOLUTION COMPLIANCE	APR	
5	06/04/18	REV. PER NYSDOT COMMENTS	APR	
6	07/12/18	REV. PER UPDATED BUILDING FOOTPRINT	ATK	

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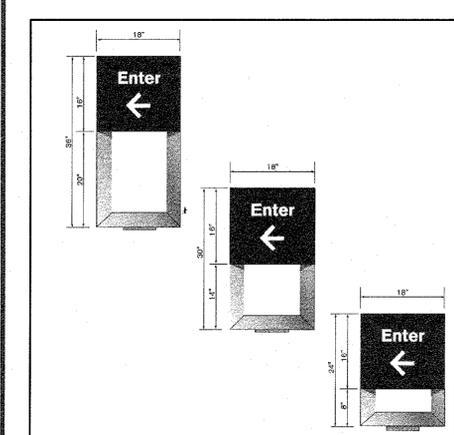
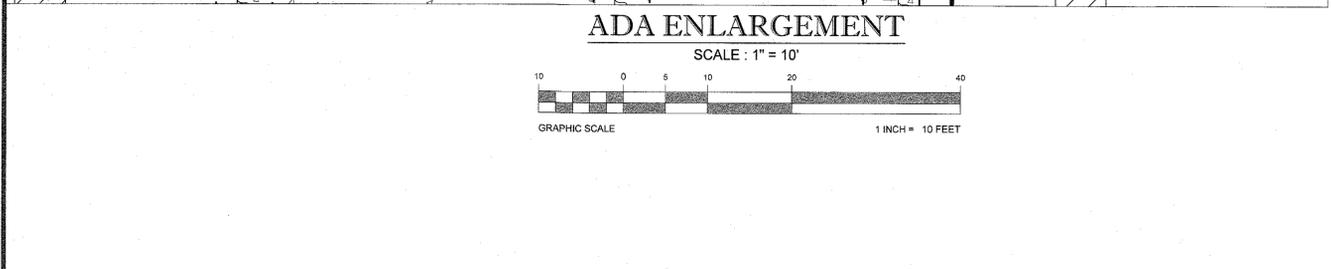
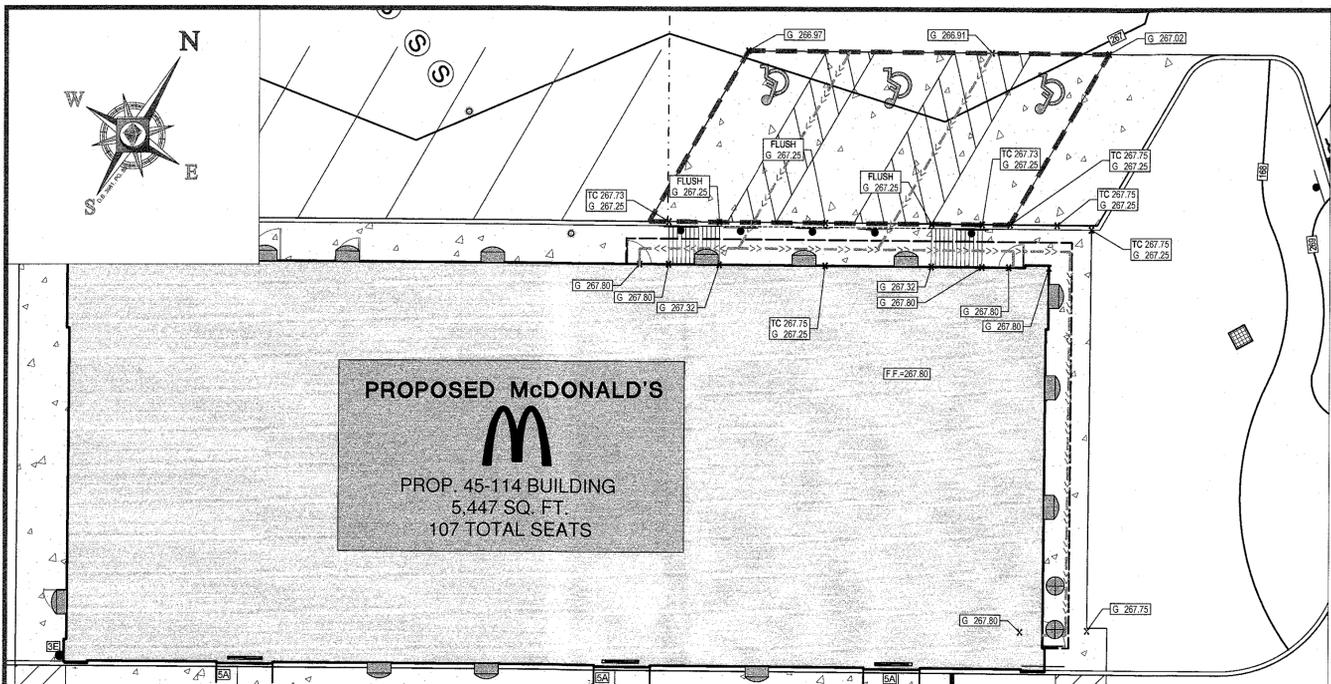
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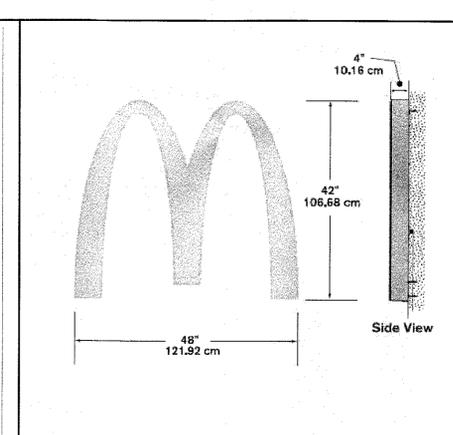
PLAN APPROVALS	DATE	SIGNATURE (2 REQUIRED)
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		

CO-SIGN SIGNATURES

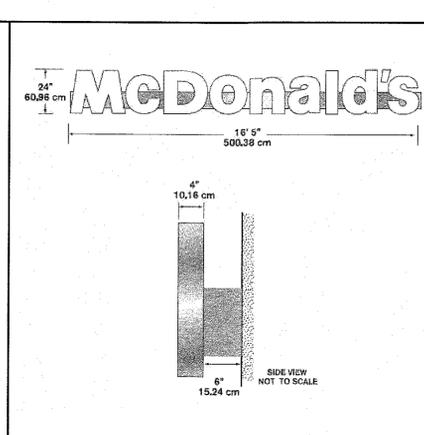
CONTRACTOR OWNER



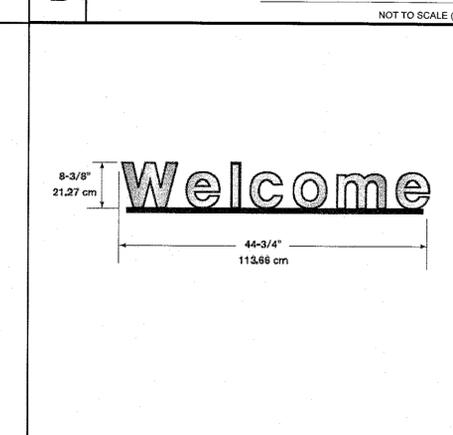
E NEXT GEN S2F DIRECTIONAL SIGNS
NOT TO SCALE (SOURCE: McDONALD'S)



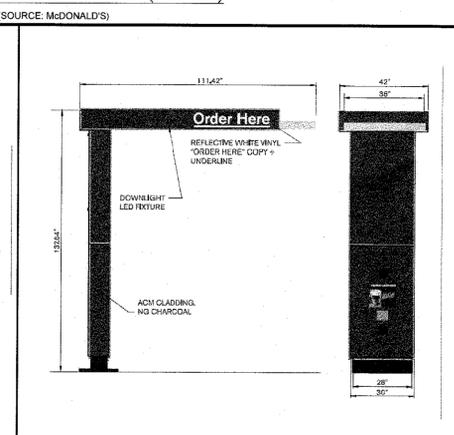
F ARCH 'M' LOGO SIGN
NOT TO SCALE (SOURCE: McDONALD'S)



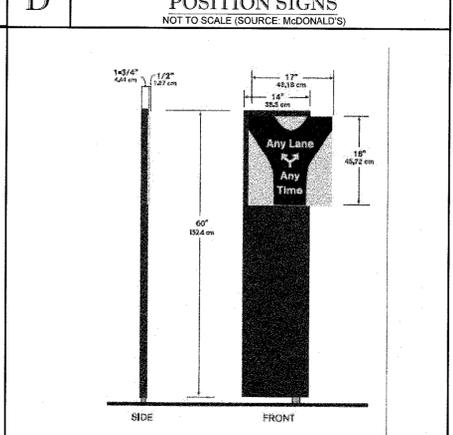
G McDONALD'S FACIA SIGN
NOT TO SCALE (SOURCE: McDONALD'S)



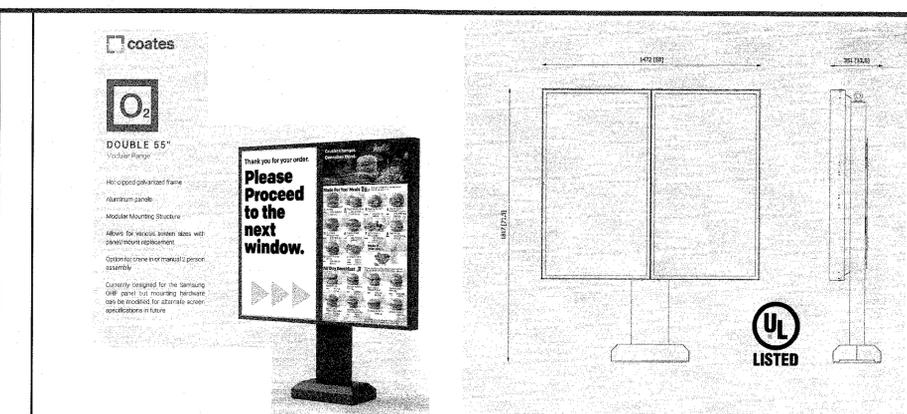
H NON-ILLUMINATED WELCOME SIGN
NOT TO SCALE (SOURCE: McDONALD'S)



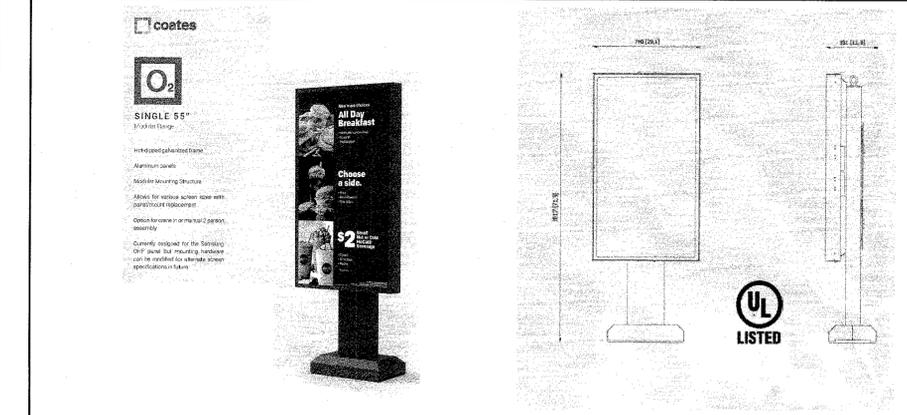
I SPRINGBOARD CANOPY WITH COD (CHARCOAL & YELLOW)
NOT TO SCALE (SOURCE: McDONALD'S)



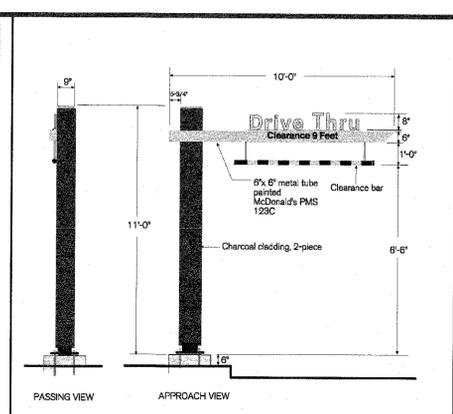
J 'ANY LANE ANY TIME' BOLLARD
NOT TO SCALE (SOURCE: McDONALD'S)



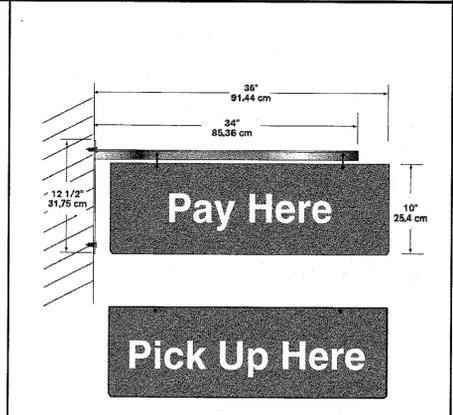
A MENU BOARD SIGN (19.84 SF)
NOT TO SCALE (SOURCE: McDONALD'S)



B PREBROWSE MENU BOARD SIGN (9.92 SF)
NOT TO SCALE (SOURCE: McDONALD'S)



C GATEWAY SIGN (3.30 SF)
NOT TO SCALE (SOURCE: McDONALD'S)



D NEXT GEN WINDOW POSITION SIGNS
NOT TO SCALE (SOURCE: McDONALD'S)

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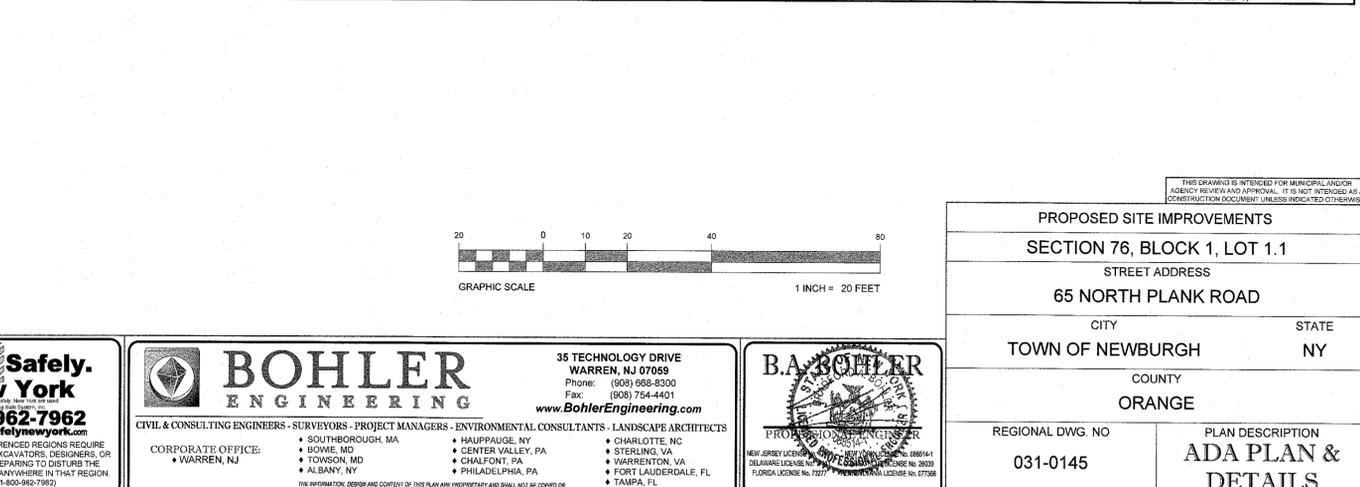
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PLAN DESCRIPTION ADA PLAN & DETAILS

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REGIONAL MGR	CONST. MGR	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

PLAN APPROVALS	CO-SIGN SIGNATURES

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