



**TOWN OF NEWBURGH  
PLANNING BOARD  
TECHNICAL REVIEW COMMENTS**

**PROJECT NAME:** POPPY LANE AMENDED SUBDIVISION  
**PROJECT NO.:** 21-26  
**PROJECT LOCATION:** SECTION 6, BLOCK 1, LOT 113, 114 &115  
**REVIEW DATE:** 13 MAY 2022  
**MEETING DATE:** 19 MAY 2022  
**PROJECT REPRESENTATIVE:** ENGINEERING & SURVEYING PROPERTIES, PC

1. The project is before the Board for a continuation of a Public Hearing. Previously unresolved drainage issues are being addressed.
2. The applicant's representative have provided a Stormwater Design which will convey stormwater from the private road entrance to Lester Clark Drive in an easterly direction to an existing closed pipe drainage system. The existing drainage system appears consist of 18" diameter pipe discharging to a 15" diameter pipe. The addition of the pipe from the site to the existing catch basin will add an additional 18" pipe to the system. The capacity of the existing 15" pipe should be evaluated to ensure that tributary flow can be conveyed for the design storm event.
3. The discharge location of the existing 15" HDPE pipe should be depicted on the plans. This is required to identify any downgradient impacts of the increased runoff tributary to the 15" stormwater system.
4. Cost estimates for the private roadway and off- site drainage improvements should be provided such that upon approval the securities can be sent to the Town Board for acceptance.
5. The Board is reminded that the applicant is seeking waivers for the percent grade of the private roadway and the waiver for the cul-de-sac at the termination of the private road.

Respectfully submitted,

**MHE Engineering, D.P.C.**

A handwritten signature in dark ink, appearing to read 'Patrick J. Hines'.

Patrick J. Hines  
Principal  
PJH/kbw

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www.EngineeringPropertiesPC.com

May 6, 2022

Town of Newburgh Planning Board  
21 Hudson Valley Professional Plaza  
Newburgh, NY 12550

**ATTN: John P. Ewasutyn, Chairman**

**RE: W.O. # 1493.01  
POPPY LANE  
SECTION 6, BLOCK 1, LOTS 113, 114, AND 115, OFF OF LESTER CLARK ROAD  
LOTS 2, 3 & 4 OF THE MARTUSCELLO SUBDIVISION, FILED MAP #8866 5/18/1988  
RESPONSE TO COMMENTS**



MHE Engineering, D.P.C.

Dear Chair Ewasutyn and members of the Board,

We have revised the plans for the above-referenced property in response to comments provided at the March 17, 2022 meeting. We provide the following numbered responses to Planning Board Engineer Patrick Hines's review letter dated March 11 (copy attached):

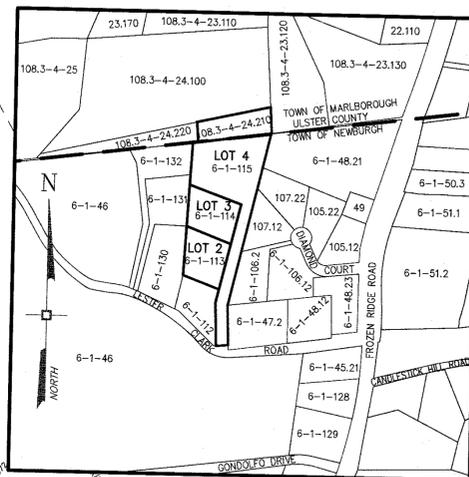
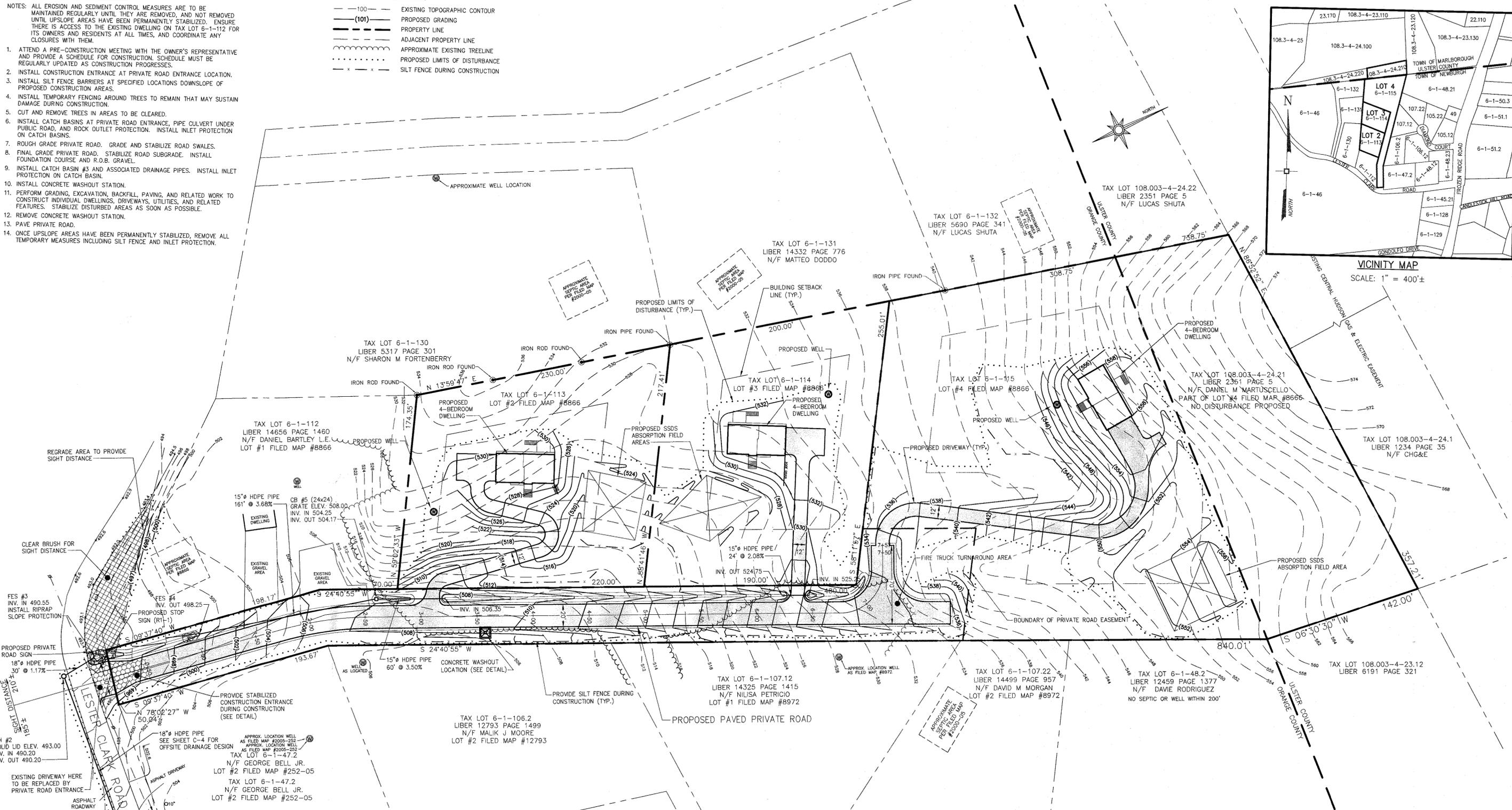
1. No response required at this time.
2. The section of Lester Clark Road where the off-site drainage is to be provided has been surveyed, and the design of the off-site drainage has been revised. This information is on Sheet C-4 of the revised plans.
3. The revised plan includes two manholes, MH#1 and MH#2, along the south side of Lester Clark Road.
4. A preliminary discussion with the highway superintendent indicated that the concept was acceptable. Plans have been sent to his office for review.
5. The existing culvert has been surveyed; it is an 18" diameter culvert with catch basins at both ends. Instead of using this culvert, a new culvert across Lester Clark is proposed at the location of the new private road entrance.

**CONSTRUCTION SEQUENCE**

- NOTES: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED REGULARLY UNTIL THEY ARE REMOVED, AND NOT REMOVED UNTIL UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED. ENSURE THERE IS ACCESS TO THE EXISTING DWELLING ON TAX LOT 6-1-112 FOR ITS OWNERS AND RESIDENTS AT ALL TIMES, AND COORDINATE ANY CLOSURES WITH THEM.
- ATTEND A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A SCHEDULE FOR CONSTRUCTION. SCHEDULE MUST BE REGULARLY UPDATED AS CONSTRUCTION PROGRESSES.
  - INSTALL CONSTRUCTION ENTRANCE AT PRIVATE ROAD ENTRANCE LOCATION.
  - INSTALL SILT FENCE BARRIERS AT SPECIFIED LOCATIONS DOWNSLOPE OF PROPOSED CONSTRUCTION AREAS.
  - INSTALL TEMPORARY FENCING AROUND TREES TO REMAIN THAT MAY SUSTAIN DAMAGE DURING CONSTRUCTION.
  - CUT AND REMOVE TREES IN AREAS TO BE CLEARED.
  - INSTALL CATCH BASINS AT PRIVATE ROAD ENTRANCE, PIPE CULVERT UNDER PUBLIC ROAD, AND ROCK OUTLET PROTECTION. INSTALL INLET PROTECTION ON CATCH BASINS.
  - ROUGH GRADE PRIVATE ROAD. GRADE AND STABILIZE ROAD SWALES.
  - FINAL GRADE PRIVATE ROAD. STABILIZE ROAD SUBGRADE. INSTALL FOUNDATION COURSE AND R.O.B. GRAVEL.
  - INSTALL CATCH BASIN #3 AND ASSOCIATED DRAINAGE PIPES. INSTALL INLET PROTECTION ON CATCH BASIN.
  - INSTALL CONCRETE WASHOUT STATION.
  - PERFORM GRADING, EXCAVATION, BACKFILL, PAVING, AND RELATED WORK TO CONSTRUCT INDIVIDUAL DWELLINGS, DRIVEWAYS, UTILITIES, AND RELATED FEATURES. STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
  - REMOVE CONCRETE WASHOUT STATION.
  - PAVE PRIVATE ROAD.
  - ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE ALL TEMPORARY MEASURES INCLUDING SILT FENCE AND INLET PROTECTION.

**LEGEND**

- 100 --- EXISTING TOPOGRAPHIC CONTOUR
- (101) PROPOSED GRADING
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- APPROXIMATE EXISTING TREELINE
- PROPOSED LIMITS OF DISTURBANCE
- x x x SILT FENCE DURING CONSTRUCTION



- GENERAL NOTES**
- TAX MAP DESIGNATION: SECTION 6, BLOCK 1, LOTS 113, 114, & 115. LOTS NUMBER 2, 3, AND 4 OF THE LANDS OF PHOEBE E. MARTUSCELLO MINOR SUBDIVISION, FILED MAY 16, 1986 AS MAP #8866.
  - OWNER/APPLICANT: WISE EQUITIES GROUP LLC, 20 CHEVRON STREET, SUITE 201, MONROE, NY 10850.
  - ZONING DISTRICT: AR.
  - BASED ON A SURVEY BY CV ASSOCIATES NY DATED 10/12/2020, AND ON FILED MAP #8866.
  - THERE ARE NO REGULATED FLOOD PLAINS WITHIN 300 FEET OF THE PROJECT SITE, PER THE NATIONAL FLOOD INSURANCE RATE MAPS NUMBER 3607100133E AND 3607100134E FOR ORANGE COUNTY, NY EFFECTIVE 8/03/09.
  - PROPOSED USE: NEW SINGLE-FAMILY RESIDENTIAL DWELLINGS. REFER TO SEPARATE PLANS FOR PROPOSED RESIDENTIAL CONSTRUCTION AND UTILITIES.
  - LIMITS OF DISTURBANCE FOR ALL PROPOSED CONSTRUCTION: 3.4 ACRES ±.

- PER FILED MAP #8866 GENERAL NOTE #6, A STREET SIGN AND PRIVATE ROAD SIGN MUST BE ERCTED BEFORE A BUILDING PERMIT IS ISSUED, ALONG WITH A STOP SIGN. SEE DETAILS ON SHEET C-3.
- A PRIVATE ROAD MAINTENANCE DECLARATION FOR THE PROPOSED PRIVATE ROAD WAS FILED IN THE ORANGE COUNTY CLERK'S OFFICE AT LIBER 3265 AND PAGE 309 ON 5/16/1990.
- PER FILED MAP #8866 GENERAL NOTE #8, NO TOWN SERVICES WILL BE PROVIDED ON PRIVATE ROAD.
- DURING CONSTRUCTION, CONTRACTOR SHALL ENSURE THERE IS ACCESS TO THE EXISTING DWELLING ON TAX LOT 6-1-112 FOR ITS OWNERS AND RESIDENTS AT ALL TIMES, AND COORDINATE ANY CLOSURES WITH THEM.

- UTILITY NOTES:**
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES, WHETHER IN THE PUBLIC RIGHT-OF-WAY, IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES THROUGHOUT THE COURSE OF CONSTRUCTION. PROJECT SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - DIG SAFELY NEW YORK MUST BE CONTACTED 2 FULL WORKING DAYS PRIOR TO ANY EXCAVATION OR DEMOLITION, BY DIALING 811 OR AT [www.digsafelynewyork.com](http://www.digsafelynewyork.com).

No.	DATE	DESCRIPTION
1	1/18/22	DRAINAGE AND EROSION CONTROL
2	3/2/22	OFFSITE DRAINAGE DESIGN
3	5/3/22	OFFSITE DRAINAGE DESIGN

DRAWING STATUS		ISSUE DATE:	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		5/3/22	
		SHEET	NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	1	OF 4
<input type="checkbox"/>	OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/>	OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/>	NYSDDC APPROVAL	N/A	OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/>	OTHER	N/A	OF N/A
<input type="checkbox"/>	FOR BID	N/A	OF N/A
<input type="checkbox"/>	FOR CONSTRUCTION	N/A	OF N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAMP IN RED OR BLUE INK SHALL BE CONSIDERED INVALID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

**ROSS WINGLOVITZ, P.E.**  
NEW YORK LICENSE # 071701

1" = 40'

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**PRIVATE ROAD AND SOIL EROSION & SEDIMENT CONTROL PLAN**

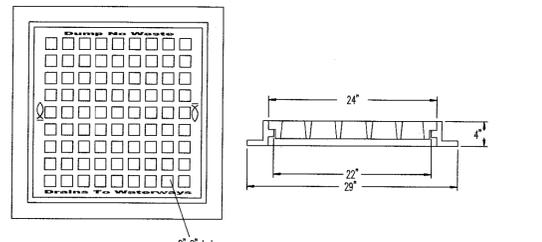
POPPY LANE  
LESTER CLARK ROAD  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1493.01  
DATE: 10/7/21  
REVISION: 3

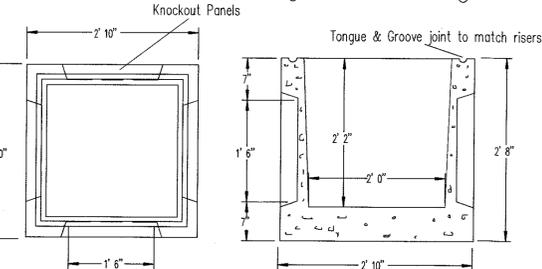
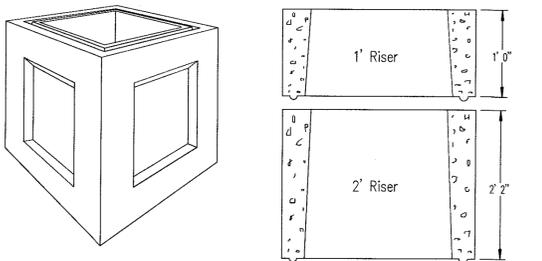
DRAWN BY: DJG  
SCALE: 1" = 40'  
TAX LOTS: 6-1-113, 114 & 115

**C-1**





Grate

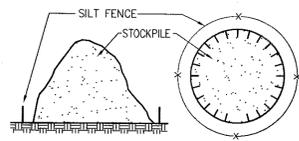


CATCH BASIN TYPE 24x24  
N.T.S.

- CATCH BASIN SHALL BE PRECAST CONCRETE MODEL CB-2x2 AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC., BULLVILLE NY, OR APPROVED EQUAL.
- CONCRETE MIN. STRENGTH: 4,000 PSI AT 28 DAYS
- STEEL REINFORCEMENT: #4 REBAR / ASTM A615
- CONSTRUCTION JOINT: SEALED WITH BUTYL RUBBER SEALANT OR EQUIVALENT
- LOAD RATING: H20 / ASTM C857
- GRATE SHALL BE WOODARD'S CONCRETE PRODUCTS CAST IRON FRAME AND GRATE MODEL GRATE-24x24x44 OR APPROVED EQUAL.

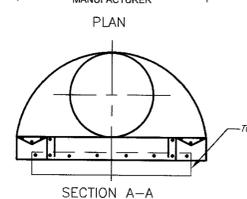
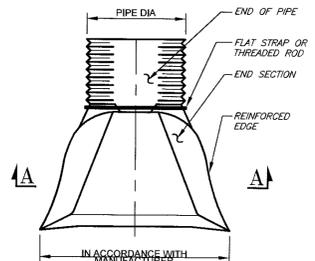
SOIL EROSION NOTES

- SILT FENCE BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- DISTURBANCE TO BE LIMITED TO THE MINIMUM NECESSARY FOR THE GRADING AND CONSTRUCTION OF THE DWELLING, DRIVEWAY, LAWN, UTILITIES, ETC.
- TEMPORARY SEEDING WITH ANNUAL RYE GRASS OR OTHER RAPID GROWING MIXTURE SHALL BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN 14 DAYS AS FOLLOWS:
  - SEED WITH ANNUAL RYEGRASS (2.5 LBS. PER 1,000 SQ. FT.)
  - MULCH WITH STRAW (90 LBS. PER 1,000 SQ. FT.)
- ALL DISTURBED AREAS TO BE MULCHED TO PREVENT EROSION, THE CONTRACTOR SHALL COMPLY WITH ALL REQUESTS OF THE VILLAGE ENGINEER OR BUILDING INSPECTOR DURING CONSTRUCTION WITH REGARD TO EROSION CONTROL DEVICES.
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY, AS FOLLOWS:
  - LOOSEN SEVERELY COMPACTED AREAS BY DISCING TO 12" DEPTH.
  - FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 LBS. PER 1,000 SQ. FT.)
  - SEED WITH THE FOLLOWING MIXTURE AT 5 LBS. PER 1,000 SQ. FT.:
    - 50% KENTUCKY BLUEGRASS
    - 25% MANHATTAN RYE GRASS
    - 25% PENNLAWN CREEPING RED FESCUE
  - MULCH WITH SALT HAY OR STRAW (90 LBS. PER 1,000 SQ. FT.)



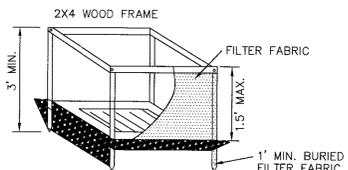
TOPSOIL STOCKPILE  
N.T.S.

- NOTE:
- STOCKPILE TO RECEIVE TEMPORARY SEEDING WITH ANNUAL RYE IF IT REMAINS IN PLACE FOR MORE THAN 30 DAYS.
  - 2" DENSE BINDER - TYPE 3 + FILL
  - 12" R.O.B. GRAVEL OR 6" R.O.B. GRAVEL ON 6" CRUSHED SHALE
- SILT FENCE TO BE INSTALLED AROUND STOCKPILE (SEE SILT FENCE DETAIL).



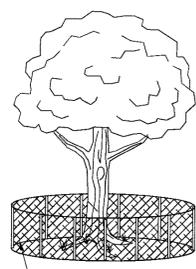
FLARED END SECTION  
SCALE: N.T.S.

- NOTE:
- PIPE-RAP TO BE PROVIDED AT THE END OF THE FLARED END SECTION AS PER PLANS.



INLET PROTECTION DETAIL  
N.T.S.

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

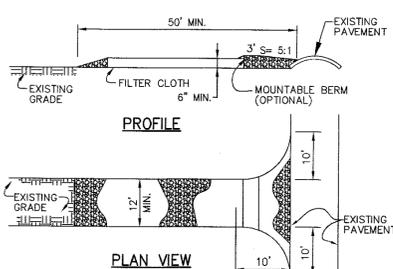


TREE PROTECTION DETAIL  
N.T.S.

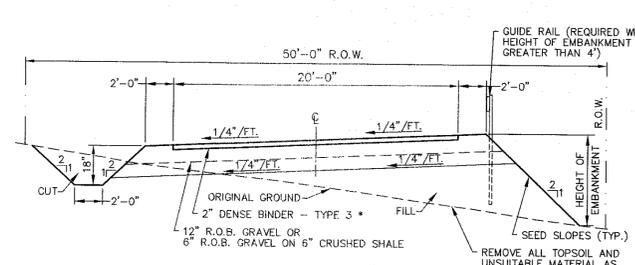
- NOTES:
- ANY TREE TO REMAIN THAT MAY SUSTAIN DAMAGE DURING CONSTRUCTION SHALL BE PROTECTED AS SHOWN ABOVE.
  - NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.

GRAVEL CONSTRUCTION ENTRANCE BLANKET SPECIFICATIONS:

- STONE SIZE - USE 1"-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FT.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

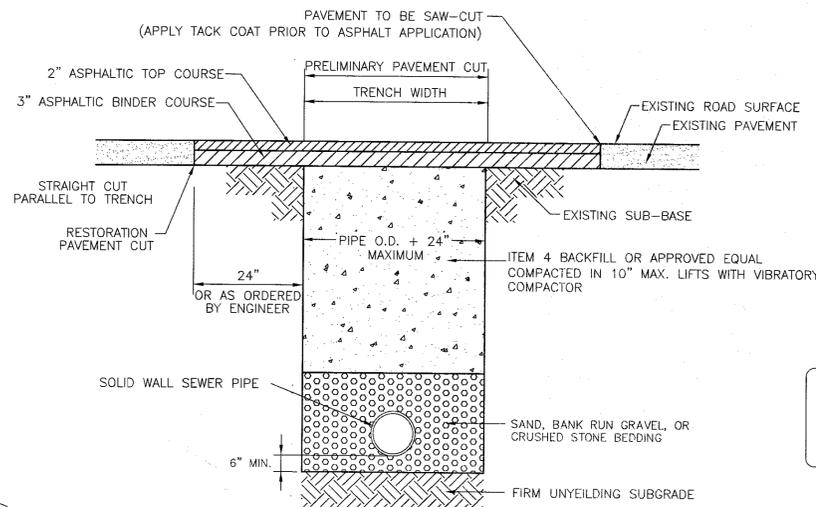


CONSTRUCTION ENTRANCE DETAIL  
N.T.S.

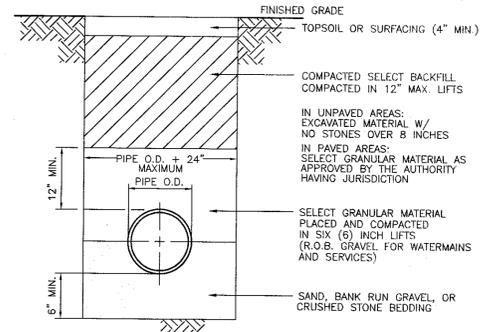


TYPICAL SECTION - PRIVATE ROAD  
N.T.S.

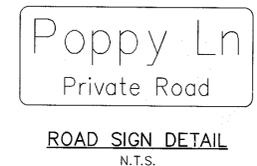
- THE SUBGRADE SHALL BE MADE STABLE TO THE SATISFACTION OF THE TOWN ENGINEER. ALL TOPSOIL, LOAM, ROCKS AND ORGANIC MATERIAL SHALL BE REMOVED UNTIL A SATISFACTORY SUBGRADE IS ESTABLISHED. FILL SHALL BE MADE IN 12" MAX. LAYERS COMPACTED TO MINIMUM 90% STANDARD PROCTOR.
- THE FOUNDATION COURSE SHALL BE WELL GRADED AND CONTAIN STONES NO LARGER THAN 3 INCHES IN DIMENSION. RUN-OF-BANK (R.O.B.) GRAVEL SHALL BE PLACED IN ONE LAYER AND THOROUGHLY COMPACTED PRIOR TO FINE GRADING.



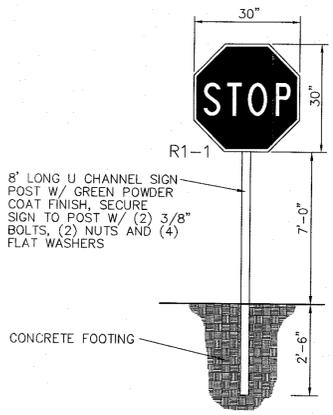
PIPE BEDDING DETAIL (WITHIN LESTER CLARK ROAD)  
N.T.S.



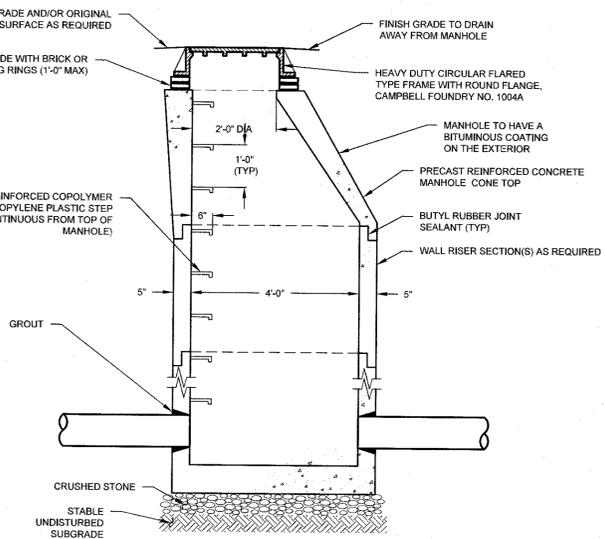
PIPE BEDDING DETAIL (ELSEWHERE)  
N.T.S.



ROAD SIGN DETAIL  
N.T.S.

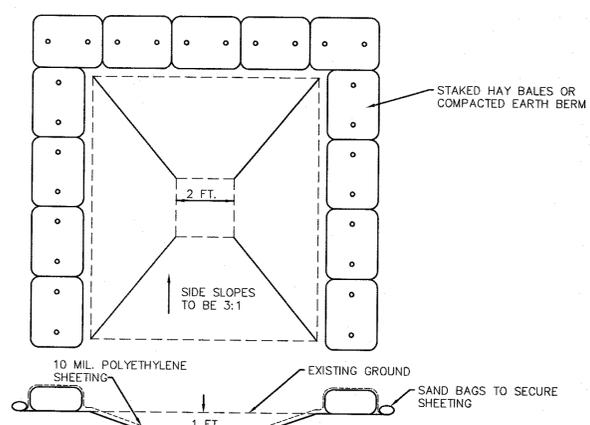


STOP SIGN & POST DETAIL  
N.T.S.



DRAINAGE MANHOLE  
SCALE: N.T.S.

- NOTES:
- CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  - REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60 AND ASTM A185 GRADE 65.
  - CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
  - MANHOLE CONSTRUCTION TO BE CAPABLE OF WITHSTANDING H=20 LOADINGS.
  - PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARD'S CONCRETE PRODUCTS, INC. OR APPROVED EQUAL.



CONCRETE WASHOUT AREA  
N.T.S.

- NOTES:
- CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. THE CONCRETE WASHOUT AREA SHALL BE ENTIRELY SELF-CONTAINED.
  - CONCRETE WASHOUT AREA(S) ARE TO BE LOCATED AT LEAST 50 FT. FROM ANY STREAM, WETLAND, STORM DRAINS OR OTHER SENSITIVE RESOURCE.
  - SURFACE DISCHARGE IS UNACCEPTABLE. THEREFORE, HAY BALES OR OTHER CONTROL MEASURES, AS APPROVED BY THE ENGINEER, SHALL BE USED AROUND THE PERIMETER OF THE CONCRETE WASHOUT AREA FOR CONTAINMENT.
  - WASHOUT AREA(S) ARE TO BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND CHECKED FOR LEAKS, TEARS, OR OVERFLOWS. WASHOUT AREA(S) SHALL BE CHECKED AFTER HEAVY RAINS.
  - HARDENED CONCRETE WASTE SHALL BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO HALF OF THE CONCRETE WASHOUT'S HEIGHT. ALL CONCRETE WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS, REGULATIONS, AND GUIDELINES.

No.	DATE	DESCRIPTION
1	1/18/22	DRAINAGE AND EROSION CONTROL
2	3/3/22	OFFSITE DRAINAGE DESIGN
3	5/3/22	OFFSITE DRAINAGE DESIGN

DRAWING STATUS		ISSUE DATE:	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		5/3/22	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF	N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3	OF	4
<input type="checkbox"/> CDDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> CDDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDDOT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OTHER	N/A	OF	N/A
<input type="checkbox"/> FOR BID	N/A	OF	N/A
<input type="checkbox"/> FOR CONSTRUCTION	N/A	OF	N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

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ROSS WINGLOVITZ, P.E.  
NEW YORK LICENSE # 021701

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CONSTRUCTION DETAILS

POPPY LANE  
LESTER CLARK ROAD  
TOWN OF NEWBURGH  
ORANGE COUNTY, NEW YORK

JOB #: 1493.01  
DATE: 10/7/21  
REVISION: 3

DRAWN BY: DJG  
SCALE: AS NOTED  
TAX LOTS: 6-1-113, 114 & 115

C-3

